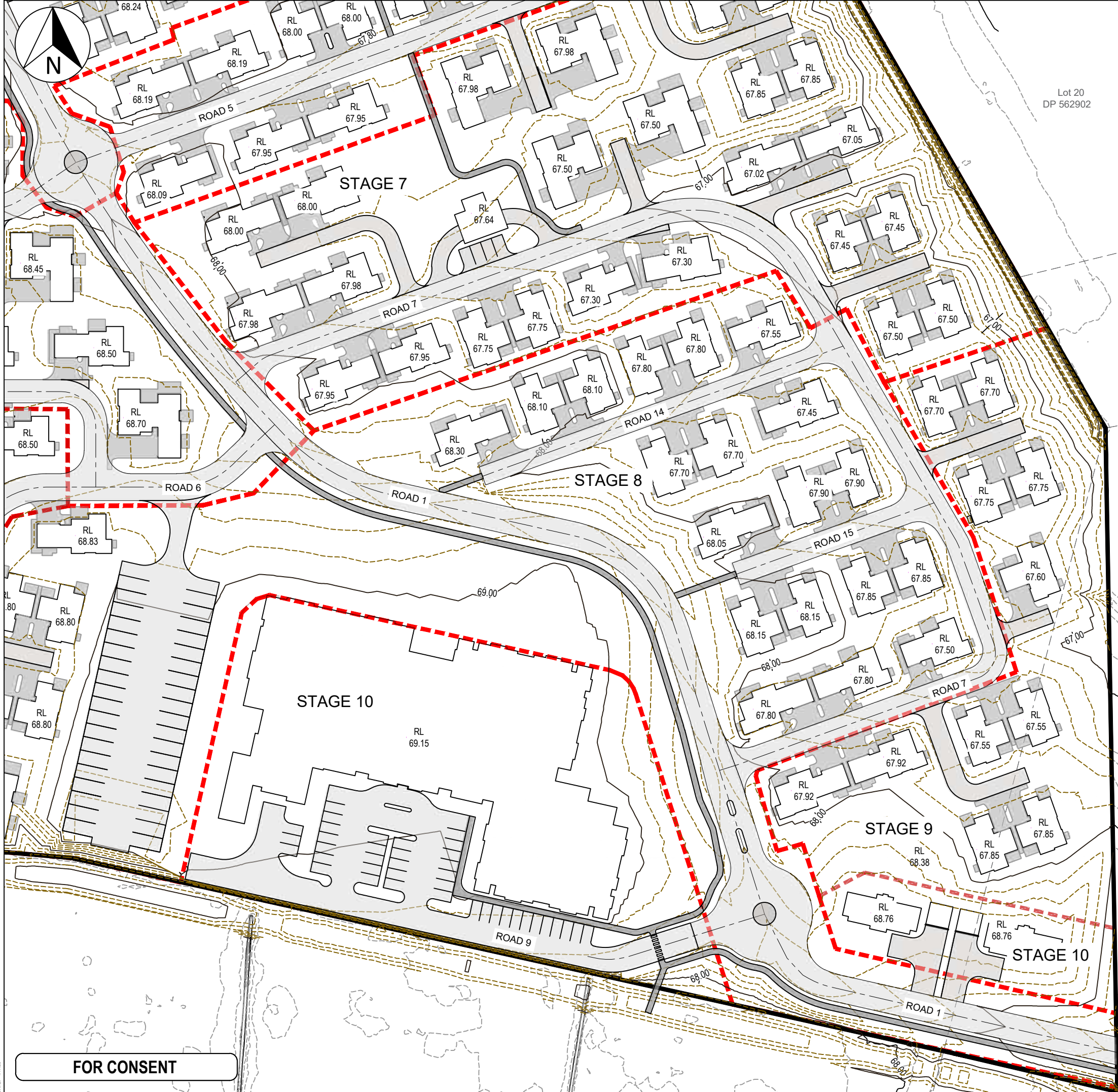


ORIGINAL SIZE: A3
DATE: 4/1/25



FOR CONSENT

Lot 19
DP 562902

Lot 20
DP 562902

Lot 18
DP 562902

- Notes
1. All works to be in accordance with MPDC and RITS standards.
 2. Co-ordinates in terms of NZ Geodetic Datum Mt Eden 2000.
 3. Reduced Levels are in terms of NZVD 2016.
 4. Contour interval Major 1m Minor 0.2m
 5. It is the contractors responsibility to locate all services that may be affected by their operations.
 6. The contractor shall comply with all relevant Health and Safety requirements.
 7. The contractor shall obtain all necessary approval from utility operators before commencing work under or near their services.
 8. Sediment control shall be installed and operational before earthworks start onsite in accordance with council standards.
 9. Contractor shall provide asbuilt of working sediment control devices and confirmation of pond/decent volumes to engineer.
 10. Sediment control to comply with Waikato Regional Council Erosion and Sediment Control guidelines for soil disturbing activities TR2009/02.

LEGEND	
	EX BDY
	PR BDY
	EX MAJOR CONTOUR
	EX MINOR CONTOUR
	PR MAJOR CONTOUR
	PR MINOR CONTOUR

B	FOR CONSENT	KQ	04/25
A	FOR REVIEW	DP	01/25
Rev	Description	By	Date
		By	Date
Survey	MAVEN		10/2024
Design	KQ		04/2025
Drawn	DP		04/2025
Checked	SB		04/2025

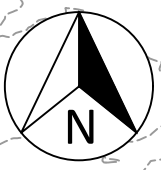


Project
**ASHBOURNE
RETIREMENT VILLAGE
MATAMATA
FOR
UNITY DEVELOPMENT LTD**

Title
**PROPOSED
CONTOUR
PLAN(3 OF 4)**

Project no.	J00606
Scale	1:1000@A3
Cad file	C2200 - PGL.DWG
Drawing no.	C2203
Rev	B

DATE: 4/1/25 ORIGINAL SIZE: A3



Part Lot 1
DP 21055

STORMWATER
POND 2

- Notes
1. All works to be in accordance with MPDC and RITS standards.
 2. Co-ordinates in terms of NZ Geodetic Datum Mt Eden 2000.
 3. Reduced Levels are in terms of NZVD 2016.
 4. Contour interval Major 1m Minor 0.2m
 5. It is the contractors responsibility to locate all services that may be affected by their operations.
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 8. Sediment control shall be installed and operational before earthworks start onsite in accordance with council standards.
 9. Contractor shall provide asbuilt of working sediment control devices and confirmation of pond/decent volumes to engineer.
 10. Sediment control to comply with Waikato Regional Council Erosion and Sediment Control guidelines for soil disturbing activities TR2009/02.

LEGEND	
	EX BDY
	PROP BDY
	PR BDY
	EX MAJOR CONTOUR
	EX MINOR CONTOUR
	PR MAJOR CONTOUR
	PR MINOR CONTOUR

B	FOR CONSENT	KQ	04/25
A	FOR REVIEW	DP	01/25
Rev	Description	By	Date
		By	Date
Survey	MAVEN		10/2024
Design	KQ		04/2025
Drawn	DP		04/2025
Checked	SB		04/2025



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Project
**ASHBOURNE
RETIREMENT VILLAGE
MATAMATA
FOR
UNITY DEVELOPMENT LTD**

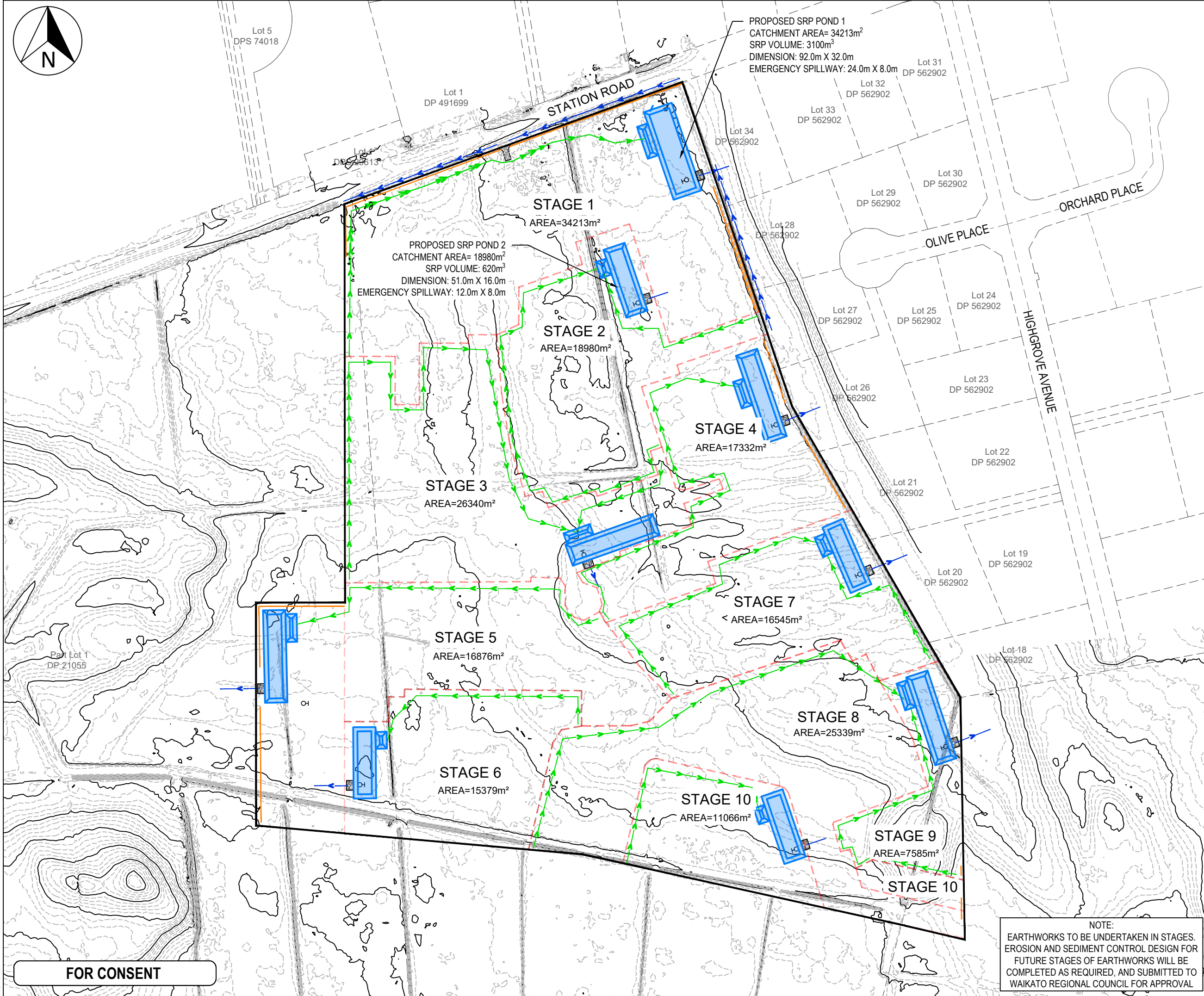
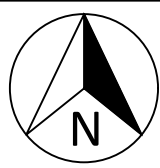
Title
**PROPOSED
CONTOUR
PLAN (4 OF 4)**

Project no.	J00606		
Scale	1:1000@A3		
Cad file	C2200 - PGL.DWG		
Drawing no.	C2204	Rev	B

FOR CONSENT

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ORIGINAL SIZE: A3



FOR CONSENT

NOTE:
EARTHWORKS TO BE UNDERTAKEN IN STAGES.
EROSION AND SEDIMENT CONTROL DESIGN FOR
FUTURE STAGES OF EARTHWORKS WILL BE
COMPLETED AS REQUIRED, AND SUBMITTED TO
WAIKATO REGIONAL COUNCIL FOR APPROVAL

- Notes
1. All works to be constructed in accordance with Waikato Regional Infrastructure Technical Specifications (RITS).
 2. Levels in terms of the NZVD16.
 3. All dust, sediment, erosion control and temporary stormwater discharge shall be undertaken in accordance with Environment Waikato Regional Council's "Erosion And Sediment Control Guidelines for Land Disturbing Activities".
 4. All erosion and sediment control measures should be in place before land-disturbing activities start and only removed when the site is stabilised.
 5. Always talk to your environment WRC representative to obtain accurate and up-to-date advice.
 6. It is contractor's responsibility to ensure that soil is kept on site and to ensure that the road is clean.
 7. The contractor shall comply with all relevant health and safety requirements.
 8. Use stabilised entrance in association with silt fences.

Legend

- EX BDY
- EX MAJOR CONTOUR
- EX MINOR CONTOUR
- PROP BDY
- STAGGING BDY
- PROP CLEAN WATER
- PROP DIRTY WATER
- PROP SEDIMENT
- RETENTION POND
- PROP DECANT
- PROP SILT FENCE

B	FOR CONSENT	KQ	04/25
A	FOR REVIEW	DP	01/25
Rev	Description	By	Date
Survey	MAVEN		10/2024
Design	KQ		04/2025
Drawn	KQ		04/2025
Checked	SB		04/2025

M
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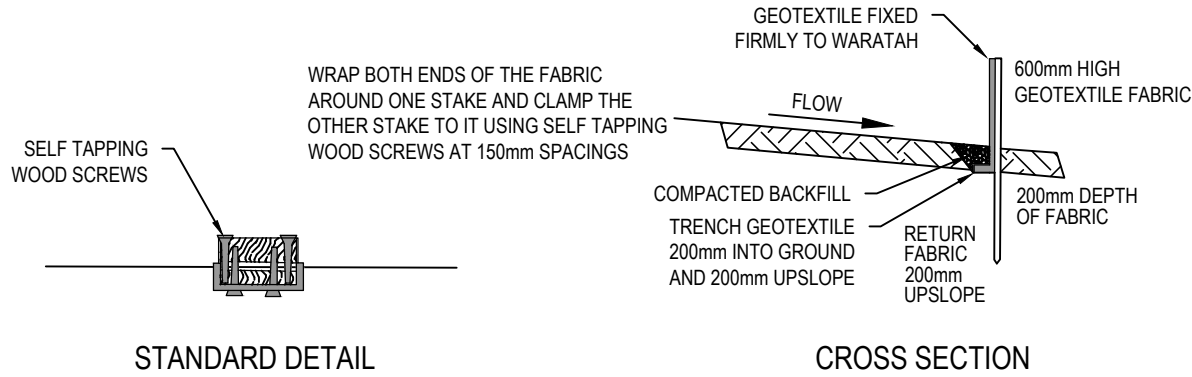
Project
**ASHBOURNE
RETIREMENT VILLAGE
MATAMATA
FOR
UNITY DEVELOPMENT LTD**

Title
**PROPOSED
EROSION & SEDIMENT
CONTROL PLAN**

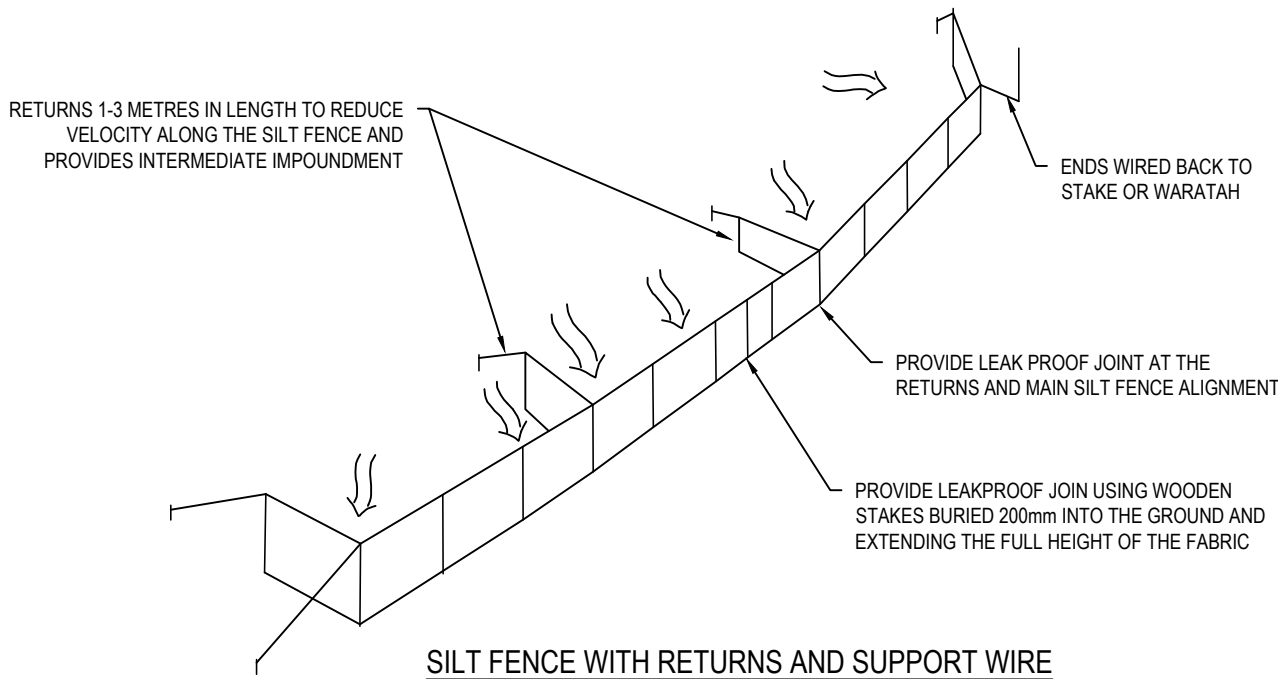
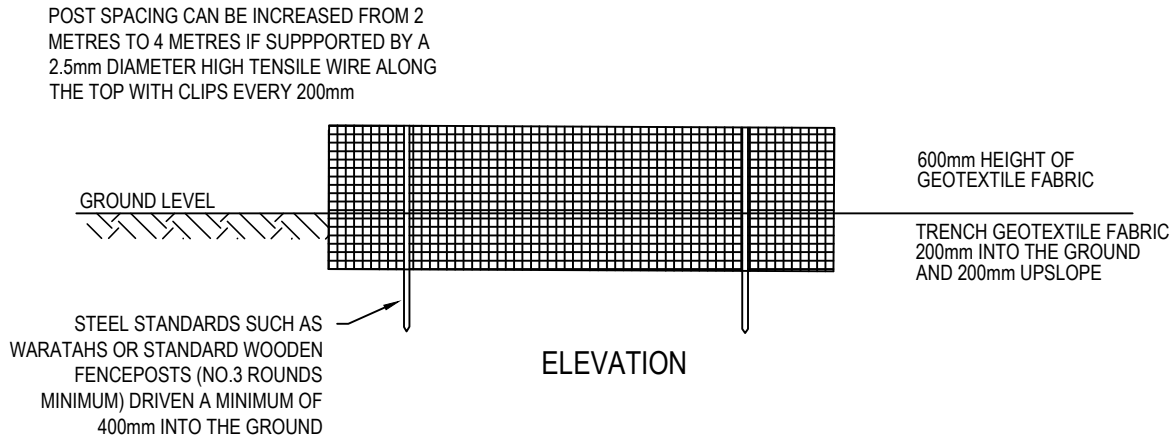
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Scale	1:2500@A3
Cad file	C2300 - ESC.DWG
Drawing no.	C2300
Rev	B

DATE: 17/04/2025
FILE: \\maven.mavenconsulting.co.nz\share\Current\MAVEN MATAMATA\1. Projects\J00606 MDL - Hemmings Station Rd\6. Drawing\2. CAD\3. Design\C2350 - ESC SD.dwg

ORIGINAL SIZE: A3
150mm
100
80
60
40
30
20
10
0



FABRIC JOIN



FOR CONSENT

- Notes
1. All works to be constructed in accordance with Waikato Regional Infrastructure Technical Specifications (RITS).
 2. Levels in terms of the NZVD16.
 3. All dust, sediment, erosion control and temporary stormwater discharge shall be undertaken in accordance with Environment Waikato Regional Council's "Erosion And Sediment Control Guidelines for Land Disturbing Activities".
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 5. Always talk to your environment WRC representative to obtain accurate and up-to-date advice.
 6. It is contractor's responsibility to ensure that soil is kept on site and to ensure that the road is clean.
 7. The contractor shall comply with all relevant health and safety requirements.
 8. Use stabilised entrance in association with silt fences.

B	FOR CONSENT	MS	04/25
A	FOR REVIEW	MS	10/24
Rev	Description	By	Date
	By	Date	
Survey	MAVEN	10/2024	
Design	DP	10/2024	
Drawn	MS	10/2024	
Checked	SB	10/2024	



Project
**ASHBOURNE
RETIREMENT VILLAGE
MATAMATA
FOR
UNITY DEVELOPMENT LTD**

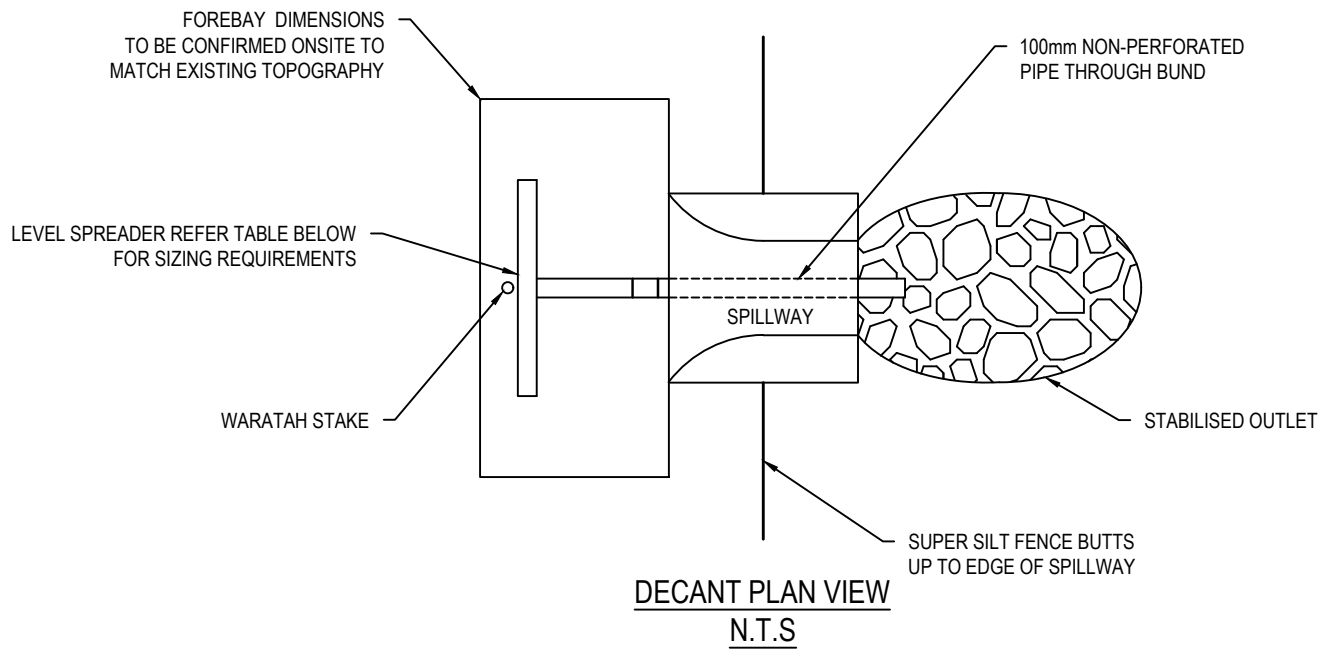
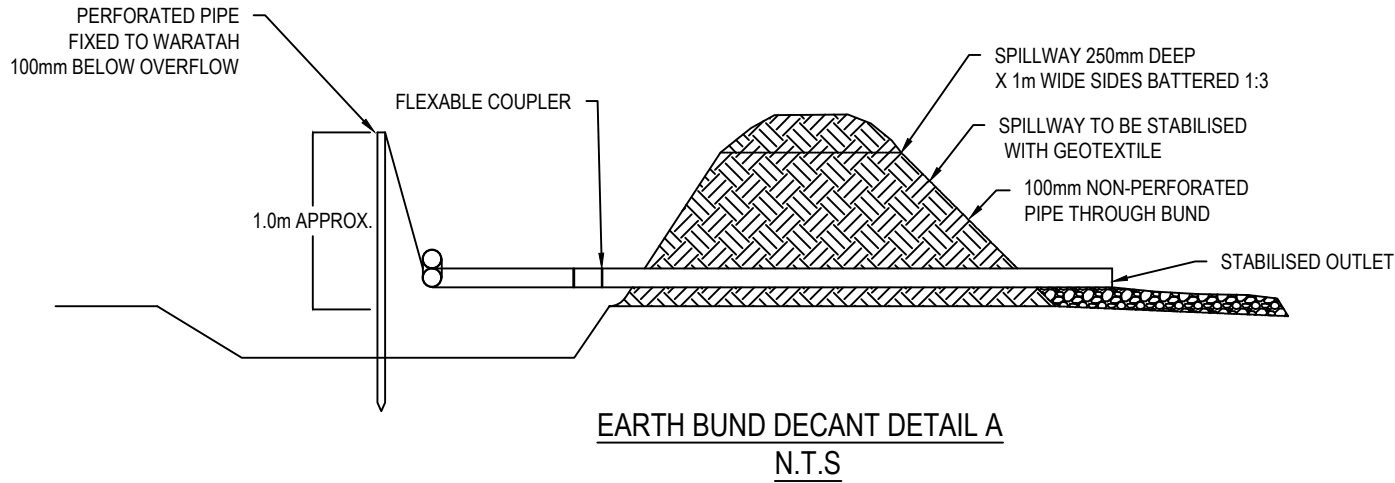
Title
**PROPOSED ESC
STANDARD DETAILS
PLAN SHEET 1 OF 4**

Project no.	J00606		
Scale	NTS		
Cad file	C2350 - ESC SD.DWG		
Drawing no.	C2350	Rev	B

Project no.	J00606		
Scale	NTS		
Cad file	C2350 - ESC SD.DWG		
Drawing no.	C2351	Rev	B

DATE: 17/04/2025
FILE: \\maven.mavenconsulting.co.nz\share\Current\MAVEN MATAMATA\1 - Projects\J00606 MDL - Hemmings Station Rd\6. Drawing\2_CAD\3_Design\C2350 - ESC SD.dwg

ORIGINAL SIZE: A3
150mm
100
80
60
40
30
20
10
0



LEVEL SPREADER DESIGN CRITERIA (20 YEAR STORM EVENT)				
DESIGN FLOW (m ³ /sec)	INLET WIDTH (m)	DEPTH (m)	END WIDTH (m)	LENGTH (mm)
0-0.3	3	150	1	3
0.3-0.6	5	180	1	7
0.6-0.9	7	220	1	10

FOR CONSENT

- Notes
1. All works to be constructed in accordance with Waikato Regional Infrastructure Technical Specifications (RITS).
 2. Levels in terms of the NZVD16.
 3. All dust, sediment, erosion control and temporary stormwater discharge shall be undertaken in accordance with Environment Waikato Regional Council's "Erosion And Sediment Control Guidelines for Land Disturbing Activities".
 4. All erosion and sediment control measures should be in place before land-disturbing activities start and only removed when the site is stabilised.
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 8. Use stabilised entrance in association with silt fences.

B	FOR CONSENT	MS	04/25
A	FOR REVIEW	MS	10/24
Rev	Description	By	Date
	By	Date	
Survey	MAVEN	10/2024	
Design	DP	04/2025	
Drawn	MS	04/2025	
Checked	SB	04/2025	



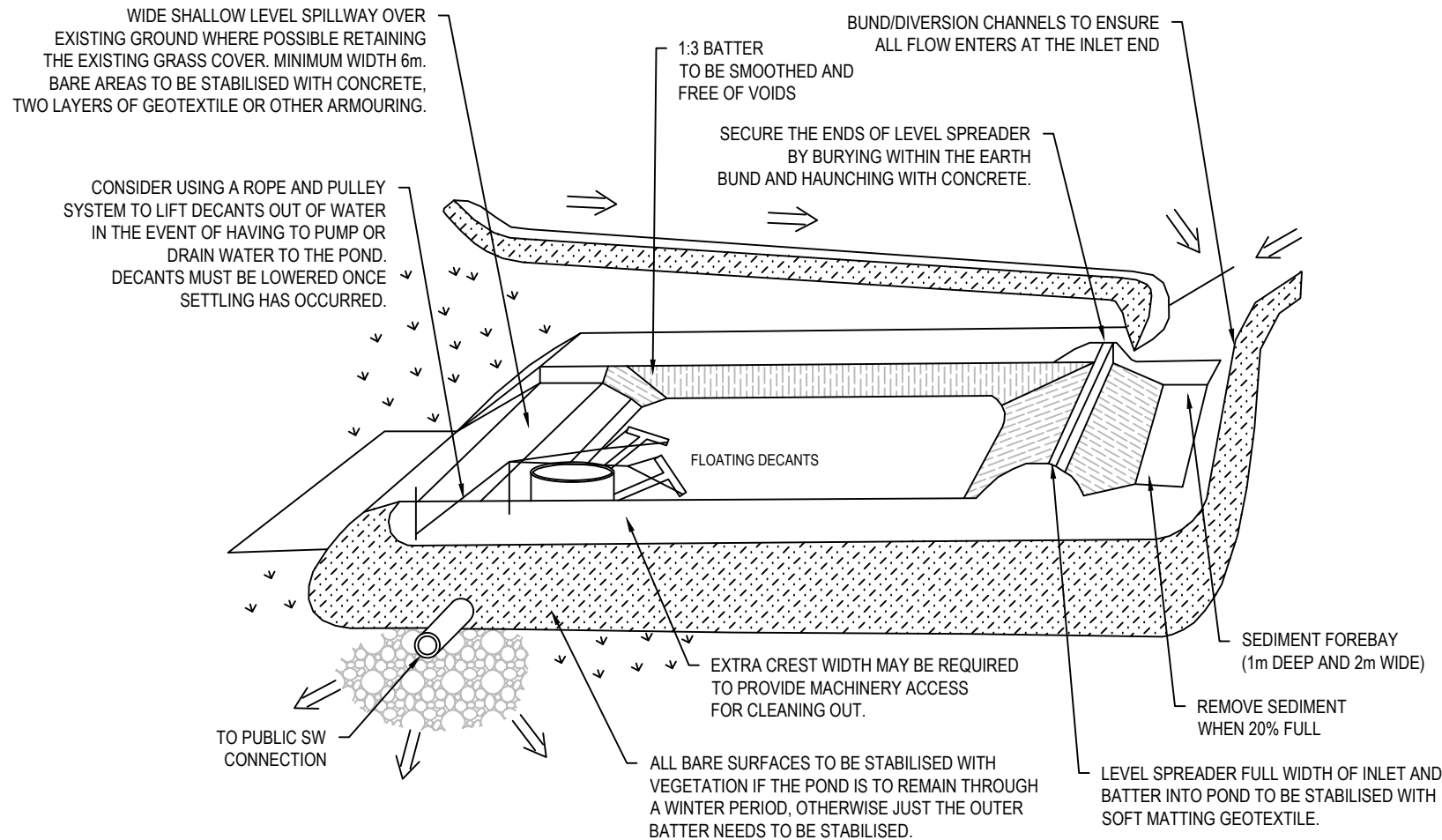
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New Zealand

Project
**ASHBOURNE
RETIREMENT VILLAGE
MATAMATA
FOR
UNITY DEVELOPMENT LTD**

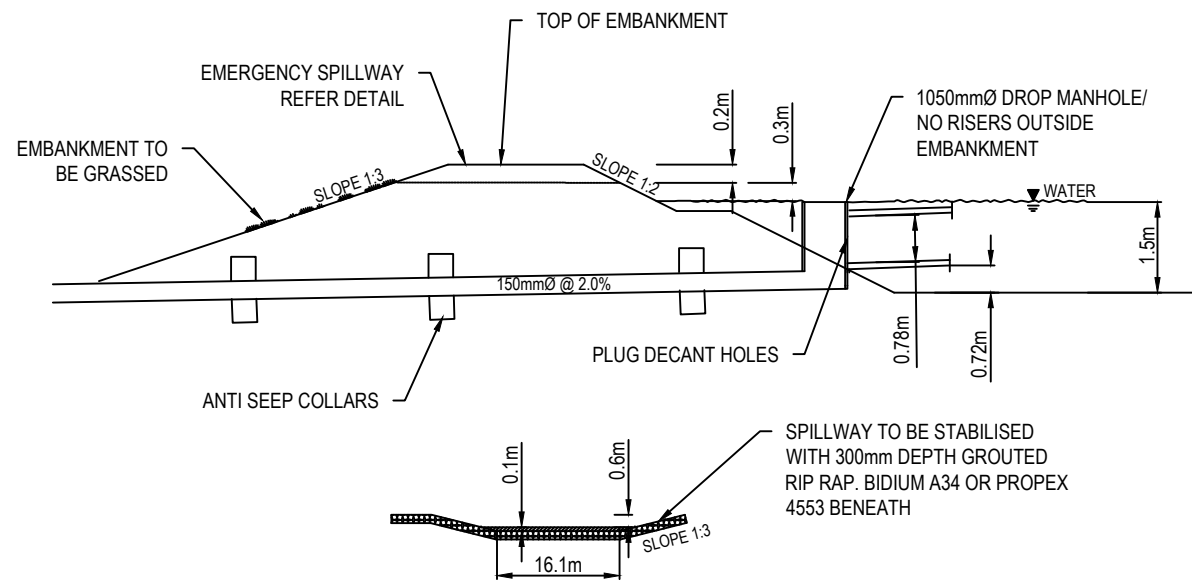
Title
**PROPOSED ESC
STANDARD DETAILS
PLAN SHEET 3 OF 4**

Project no.	J00606		
Scale	NTS		
Cad file	C2350 - ESC SD.DWG		
Drawing no.	C2352	Rev	B

ORIGINAL SIZE: A3
150mm
100
80
60
40
20
0



CROSS SECTION A-A OF SEDIMENT TREATMENT POND



EMERGENCY SPILLWAY

FOR CONSENT

Notes

- All works to be constructed in accordance with Waikato Regional Infrastructure Technical Specifications (RITS).
- Levels in terms of the NZVD16.
- All dust, sediment, erosion control and temporary stormwater discharge shall be undertaken in accordance with Environment Waikato Regional Council's "Erosion And Sediment Control Guidelines for Land Disturbing Activities".
- All erosion and sediment control measures should be in place before land-disturbing activities start and only removed when the site is stabilised.
- Always talk to your environment WRC representative to obtain accurate and up-to-date advice.
- It is contractor's responsibility to ensure that soil is kept on site and to ensure that the road is clean.
- The contractor shall comply with all relevant health and safety requirements.
- Use stabilised entrance in association with silt fences.

B	FOR CONSENT	MS	04/25
A	FOR REVIEW	MS	10/24
Rev	Description	By	Date
	By	Date	
Survey	MAVEN	10/2024	
Design	DP	04/2025	
Drawn	MS	04/2025	
Checked	SB	04/2025	



Project
**ASHBOURNE
RETIREMENT VILLAGE
MATAMATA
FOR
UNITY DEVELOPMENT LTD**

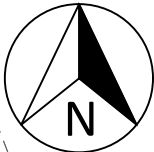
Title
**PROPOSED ESC
STANDARD DETAILS
PLAN SHEET 4 OF 4**

Project no.	J00606		
Scale	NTS		
Cad file	C2350 - ESC SD.DWG		
Drawing no.	C2353	Rev	B

DATE: 17/04/2025

FILE: \\maven.mavenconsulting.co.nz\share\Current\MAVEN MATAMATA\1 - Project\J00606 MDL - Hemmings Station Rd\6. Drawing\2. CAD\3. Design\C2350 - ESC SD.dwg

150mm
100
80
60
40
20
0



Lot 1
DP 348214

Lot 2
DP 348214

Lot 5
DPS 74018

Lot 1
DP 491699

Lot 1
DP 305244

Lot 1
DPS 29613

Lot 1
DP 567678

Lot 33
DP 562902

Lot 34
DP 562902

Lot 32
DP 562902

Lot 33
DP 562902

Lot 29
DP 562902

Lot 31
DP 562902

Lot 28
DP 562902

Lot 27
DP 562902

Lot 25
DP 562902

Lot 26
DP 562902

Lot 21
DP 562902

Lot 20
DP 562902

Lot 19
DP 562902

Lot 18
DP 562902

Part Lot 1
DP 21055

STAGE 1

STAGE 2

STAGE 4

STAGE 3

STAGE 7

STAGE 5

STAGE 8

STAGE 6

STAGE 10

STAGE 9

STAGE 10

BULK EARTH WORKS

CUT VOLUME 43500 m³
FILL VOLUME 77300 m³
NET FILL 33800 m³

TOPSOIL STRIPPED (200mm) = 42960 m³
EARTHWORKS AREA = 214800 m²

NOTE: NO ALLOWANCE FOR SERVICES TRENCHES,
VOLUMES AREA UNFACTORED AND IN SITU

Cut/Fill Table

Number #	Minimum Elevation	Maximum Elevation	Color
1	-3.000	-2.500	Dark Red
2	-2.500	-2.000	Red
3	-2.000	-1.500	Red
4	-1.500	-1.000	Red
5	-1.000	-0.500	Red
6	-0.500	0.000	Light Red
7	0.000	0.500	Light Green
8	0.500	1.000	Light Green
9	1.000	1.500	Light Green
10	1.500	2.000	Light Green
11	2.000	2.500	Dark Green

NOTES

- Levels in terms of NZVD 2016.
- Contour interval 0.5m.
- All dust, sediment, erosion control and temporary stormwater discharge shall be undertaken in accordance with Waikato Regional Council's "Erosion and Sediment Control Guidelines for Land Disturbing Activities".
- Contractor to locate the existing services prior to construction.
- All excavation works are to be in accordance with work safe - "Excavation Safety Guidelines".
- The contractor shall obtain all necessary approvals from utility operators before commencing work in close proximity to their services.
- Permanent cut or fill batter to be formed maximum gradient of 1v:3h.

LEGEND

- EX BDY
PROP BDY
STAGGING BDY

B	FOR CONSENT	KQ	04/25
A	FOR REVIEW	DP	12/24
Rev	Description	By	Date
Survey	MAVEN		10/2024
Design	KQ		04/2025
Drawn	DP		04/2025
Checked	SB		04/2025



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Project
**ASHBOURNE
RETIREMENT VILLAGE
MATAMATA
FOR
UNITY DEVELOPMENT LTD**

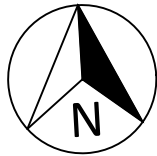
Title
**PROPOSED
CUT / FILL
PLAN**

Project no.	J00606
Scale	1:3000@A3
Cad file	C2200 - PGL.DWG
Drawing no.	C2400
Rev	B

FOR CONSENT

DATE: 4/1/25

FILE PATH: \\MAVEN\MAVENCONSULTING.CO\NZ\SHARE\CURRENT\MAVEN MATAMATA\1. PROJECTS\J00606.MDL - HEMMINGS STATION RD\8. DRAWING\2. CAD\3. DESIGN\C2200 - PGL.DWG



Part Lot 1
DP 21055

Lot 5
DPS 74018

Lot 1
DP 491699

Lot 1
DPS 29613

STATION ROAD

STAGE 1

ROAD 3

ROAD 2

STAGE 2

ROAD 2

ROAD 1

C3001

STAGE 3

ROAD 4

ROAD 6

STAGE 5

ROAD 12

STAGE 6

ROAD 6

C3002

STAGE 10

ROAD 1

STAGE 8

ROAD 15

STAGE 9

STAGE 10

ROAD 9

C3003

Lot 34
DP 562902

Lot 32
DP 562902

Lot 33
DP 562902

Lot 31
DP 562902

Lot 28
DP 562902

Lot 27
DP 562902

Lot 25
DP 562902

Lot 24
DP 562902

Lot 23
DP 562902

Lot 22
DP 562902

Lot 21
DP 562902

Lot 20
DP 562902

Lot 19
DP 562902

Lot 18
DP 562902

OLIVE PLACE

ORCHARD PLACE

HIGHGROVE AVENUE

STORMWATER POND 1

STORMWATER POND 2

Notes

1. Levels in terms of NZVD 2016.
2. Co-ordinates in terms of the Mount Eden 2000.
3. All works to be in accordance with RITS standards.
4. Existing services shown are from B4UDIG and are indicative only. Contractor to locate the existing services prior to construction.
5. Contractor to protect the existing infrastructure and any damage to existing infrastructure during construction is to be reinstated at the contractor's cost.
6. Final pavement design subject to CBR/Beam tests on subgrade material.
7. All concrete to be ordinary grade 20MPa at 28 days.
8. Refer to C3004-C3010 drawings for long section details
9. Refer to C3300 drawings for cross section details.

Legend

- SITE BDY
- STAGE BDY
- EX BDY
- PR CARRIAGEWAY
- PR FOOTPATH
- PR HARDSTAND
- PR VERTICAL K&C
- PR DISH CHANNEL
- FLUSH NIB KERB
- PR SW CATCHPIT
- CENTRELINE

B	FOR CONSENT	KQ	04/25
A	FOR REVIEW	DP	01/25
Rev	Description	By	Date
Survey	MAVEN		10/2024
Design	KQ		04/2025
Drawn	KQ		04/2025
Checked	MK		04/2025

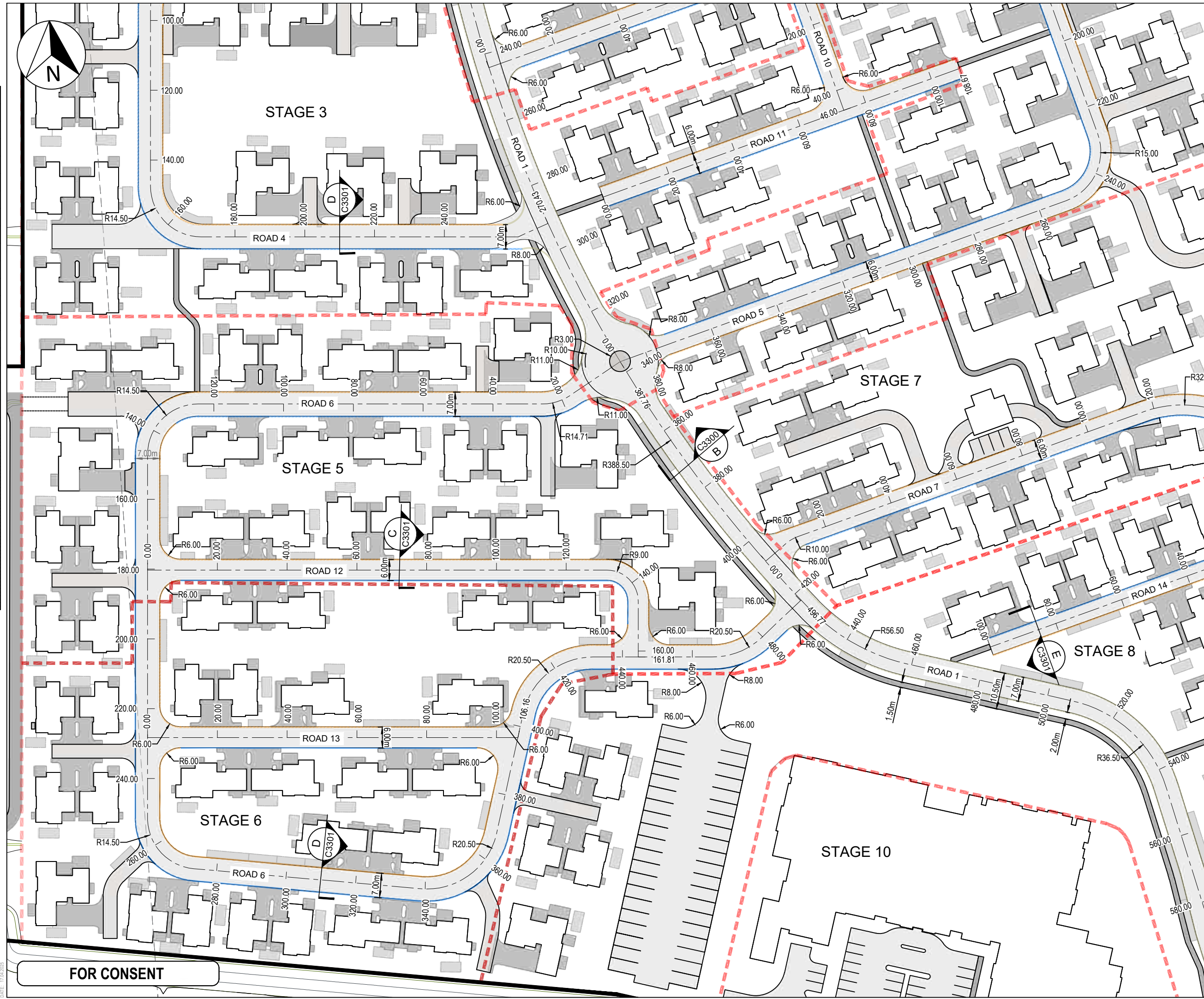


Project
**ASHBOURNE
RETIREMENT VILLAGE
MATAMATA
FOR
UNITY DEVELOPMENT LTD**

Title
**PROPOSED ROADING
LAYOUT OVERVIEW
PLAN**

Project no.	J00606
Scale	1:2500@A3
Cad file	C3000 - RD.DWG
Drawing no.	C3000
Rev	B

FOR CONSENT



Notes

1. Levels in terms of NZVD 2016.
2. Co-ordinates in terms of the Mount Eden 2000.
3. All works to be in accordance with RITS standards.
4. Existing services shown are from B4UDIG and are indicative only. Contractor to locate the existing services prior to construction.
5. Contractor to protect the existing infrastructure and any damage to existing infrastructure during construction is to be reinstated at the contractor's cost.
6. Final pavement design subject to CBR/Beam tests on subgrade material.
7. All concrete to be ordinary grade 20MPa at 28 days.
8. Refer to C3004-C3010 drawings for Long Section Details
9. Refer to C3300 drawings for cross section details
10. Pram crossings are to be flush to the channel with no lip.
11. All Kerb and Channel to have sawcuts at max. 4m centres.
12. All Kerbing, Channels and Edge Beams shall have 4kg Black Oxide.
13. All signage and pavement MARKINGS to be in accordance with NZTA MOTSAM standards.
14. The minimum vertical and lateral clearances for signage shall be in accordance with MOTSAM standards.

Legend

	SITE BDY
	STAGE BDY
	EX BDY
	PR CARRIAGEWAY
	PR FOOTPATH
	PR HARDSTAND
	PR VERTICAL K&C
	PR DISH CHANNEL
	FLUSH NIB KERB
	PR SW CATCHPIT
	CENTRELINE

B	FOR CONSENT	KQ	04/25
A	FOR REVIEW	DP	01/25
Rev	Description	By	Date
Survey	MAVEN		10/2024
Design	KQ		04/2025
Drawn	KQ		04/2025
Checked	MK		04/2025

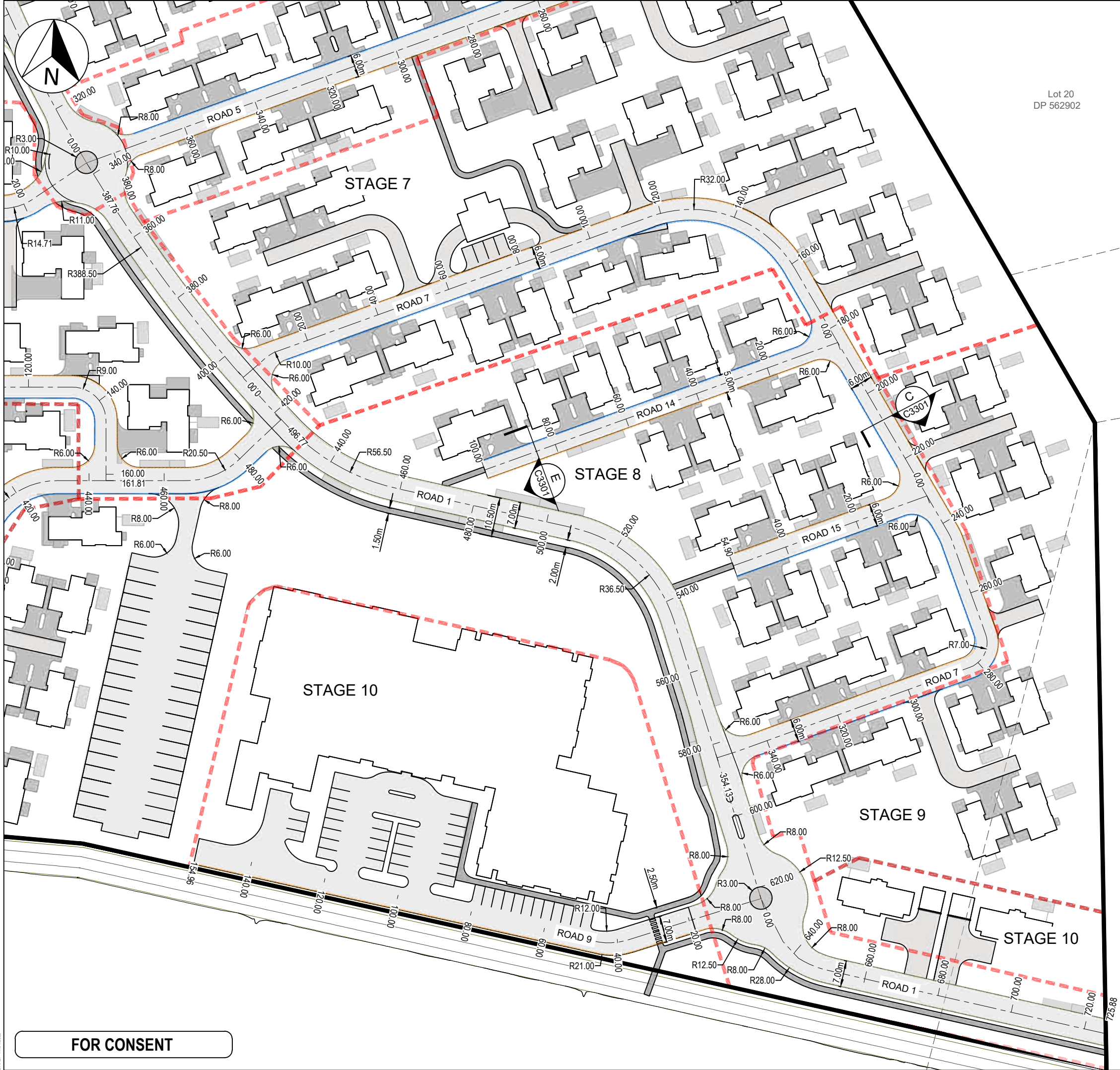


Project
**ASHBOURNE
RETIREMENT VILLAGE
MATAMATA
FOR
UNITY DEVELOPMENT LTD**

Title
**PROPOSED ROADING
LAYOUT
PLAN (2 OF 3)**

Project no.	J00606
Scale	1:1000@A3
Cad file	C3000 - RD.DWG
Drawing no.	C3002
Rev	B

DATE: 17/04/2025
FILE: F:\MAVEN MATAMATA\1. Projects\J00606 MDL - Hemmings Station Rd6. Drawing\2. CAD\3. Design\C3000 - RD.dwg



- Notes
1. Levels in terms of NZVD 2016.
 2. Co-ordinates in terms of the Mount Eden 2000.
 3. All works to be in accordance with RITS standards.
 4. Existing services shown are from B4UDIG and are indicative only. Contractor to locate the existing services prior to construction.
 5. Contractor to protect the existing infrastructure and any damage to existing infrastructure during construction is to be reinstated at the contractor's cost.
 6. Final pavement design subject to CBR/Beam tests on subgrade material.
 7. All concrete to be ordinary grade 20MPa at 28 days.
 8. Refer to C3004-C3010 drawings for Long Section Details
 9. Refer to C3300 drawings for cross section details
 10. Pram crossings are to be flush to the channel with no lip.
 11. All Kerb and Channel to have sawcuts at max. 4m centres.
 12. All Kerbing, Channels and Edge Beams shall have 4kg Black Oxide.
 13. All signage and pavement MARKINGS to be in accordance with NZTA MOTSAM standards.
 14. The minimum vertical and lateral clearances for signage shall be in accordance with MOTSAM standards.

Legend	
	SITE BDY
	STAGE BDY
	EX BDY
	PR CARRIAGEWAY
	PR FOOTPATH
	PR HARDSTAND
	PR VERTICAL K&C
	PR DISH CHANNEL
	FLUSH NIB KERB
	PR SW CATCHPIT
	CENTRELINE

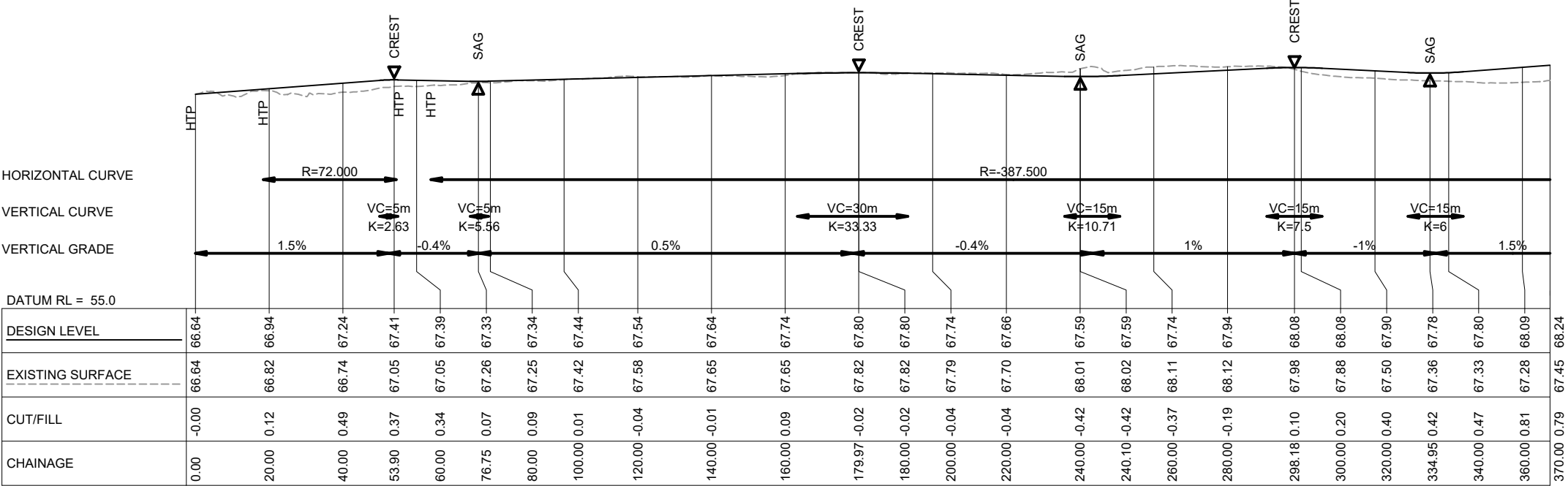
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A	FOR REVIEW	DP	01/25
Rev	Description	By	Date
		By	Date
Survey	MAVEN		10/2024
Design	KQ		04/2025
Drawn	KQ		04/2025
Checked	MK		04/2025



Project
**ASHBOURNE
RETIREMENT VILLAGE
MATAMATA
FOR
UNITY DEVELOPMENT LTD**

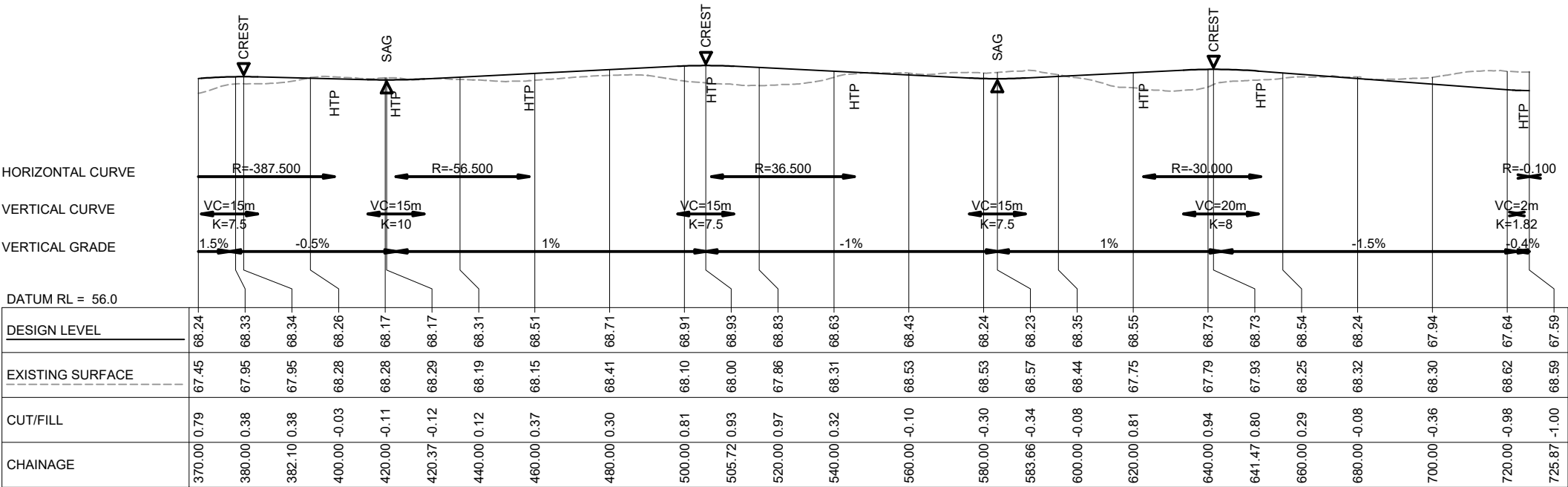
Title
**PROPOSED ROADING
LAYOUT
PLAN (3 OF 3)**

Project no.	J00606		
Scale	1:1000@A3		
Cad file	C3000 - RD.DWG		
Drawing no.	C3003	Rev	B



LONGITUDINAL SECTION - ROAD 1

SCALE HORI 1:1000 VERT 1:200



LONGITUDINAL SECTION - ROAD 1

SCALE HORI 1:1000 VERT 1:200

FOR CONSENT

- Notes
- Levels in terms of NZVD 2016.
 - Co-ordinates in terms of the Mount Eden 2000.
 - All works to be in accordance with RITS standards.
 - Existing services shown are from B4UDIG and are indicative only. Contractor to locate the existing services prior to construction.
 - Contractor to protect the existing infrastructure and any damage to existing infrastructure during construction is to be reinstated at the contractor's cost.
 - Final pavement design subject to CBR/Beam tests on subgrade material.
 - All concrete to be ordinary grade 20MPa at 28 days.
 - Refer to C3300 drawings for cross section details.

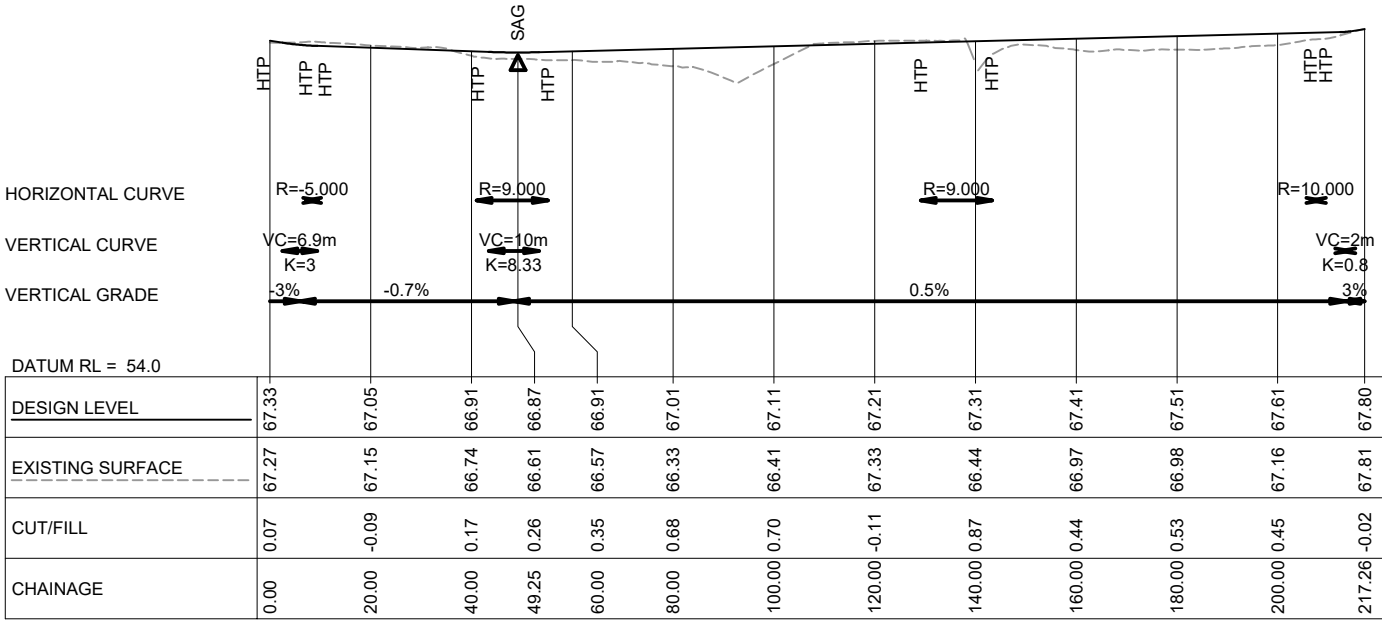
B	FOR CONSENT	KQ	04/25
A	FOR REVIEW	DP	01/25
Rev	Description	By	Date
	By	Date	
Survey	MAVEN	10/2024	
Design	KQ	04/2025	
Drawn	KQ	04/2025	
Checked	MK	04/2025	



Project
**ASHBOURNE
RETIREMENT VILLAGE
MATAMATA
FOR
UNITY DEVELOPMENT LTD**

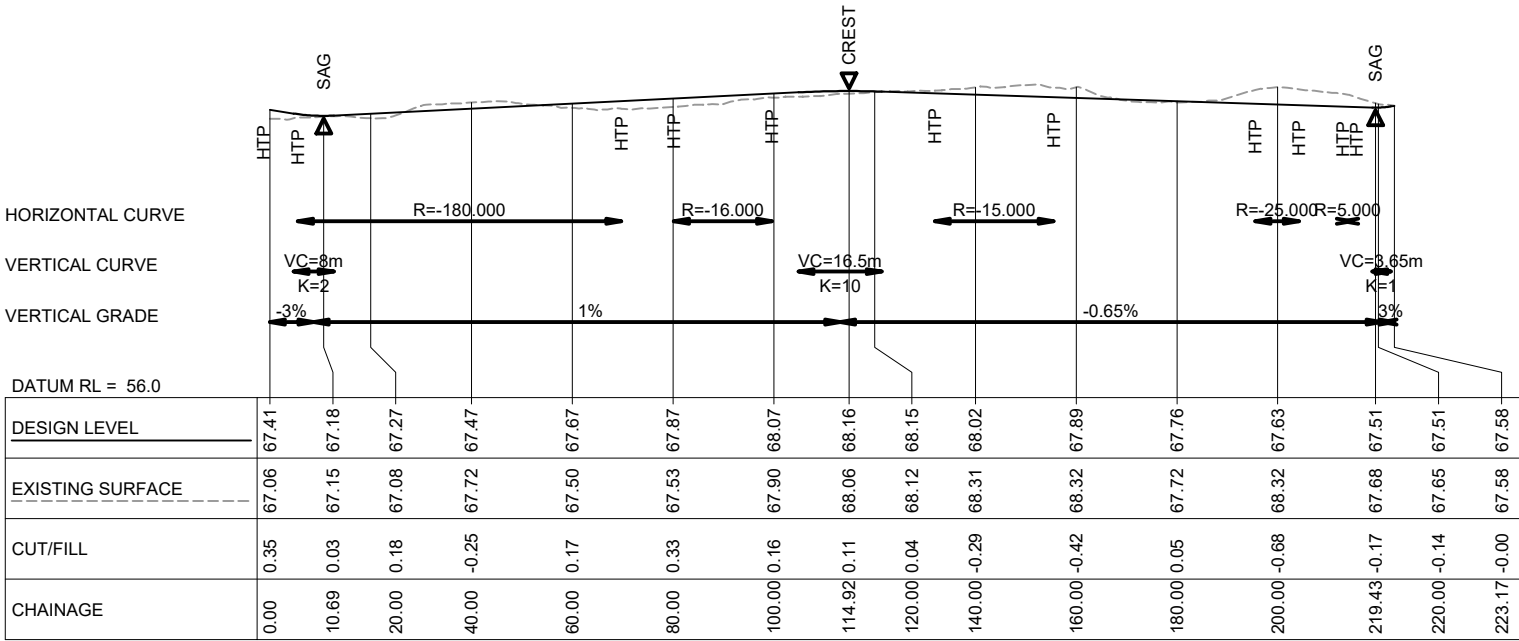
Title
**PROPOSED ROADING
LONG-SECTION
PLAN (1 OF 7)**

Project no.	J00606		
Scale	AS SHOWN @A3		
Cad file	C3000 - RD.DWG		
Drawing no.	C3004	Rev	B



LONGITUDINAL SECTION - ROAD 2

SCALE HORI 1:1000 VERT 1:200



LONGITUDINAL SECTION - ROAD 3

SCALE HORI 1:1000 VERT 1:200

FOR CONSENT

- Notes
1. Levels in terms of NZVD 2016.
 2. Co-ordinates in terms of the Mount Eden 2000.
 3. All works to be in accordance with RITS standards.
 4. Existing services shown are from B4UDIG and are indicative only. Contractor to locate the existing services prior to construction.
 5. Contractor to protect the existing infrastructure and any damage to existing infrastructure during construction is to be reinstated at the contractor's cost.
 6. Final pavement design subject to CBR/Beam tests on subgrade material.
 7. All concrete to be ordinary grade 20MPa at 28 days.
 8. Refer to C3300 drawings for cross section details.

B	FOR CONSENT	KQ	04/25
A	FOR REVIEW	DP	01/25
Rev	Description	By	Date
	By	Date	
Survey	MAVEN	10/2024	
Design	KQ	04/2025	
Drawn	KQ	04/2025	
Checked	MK	04/2025	

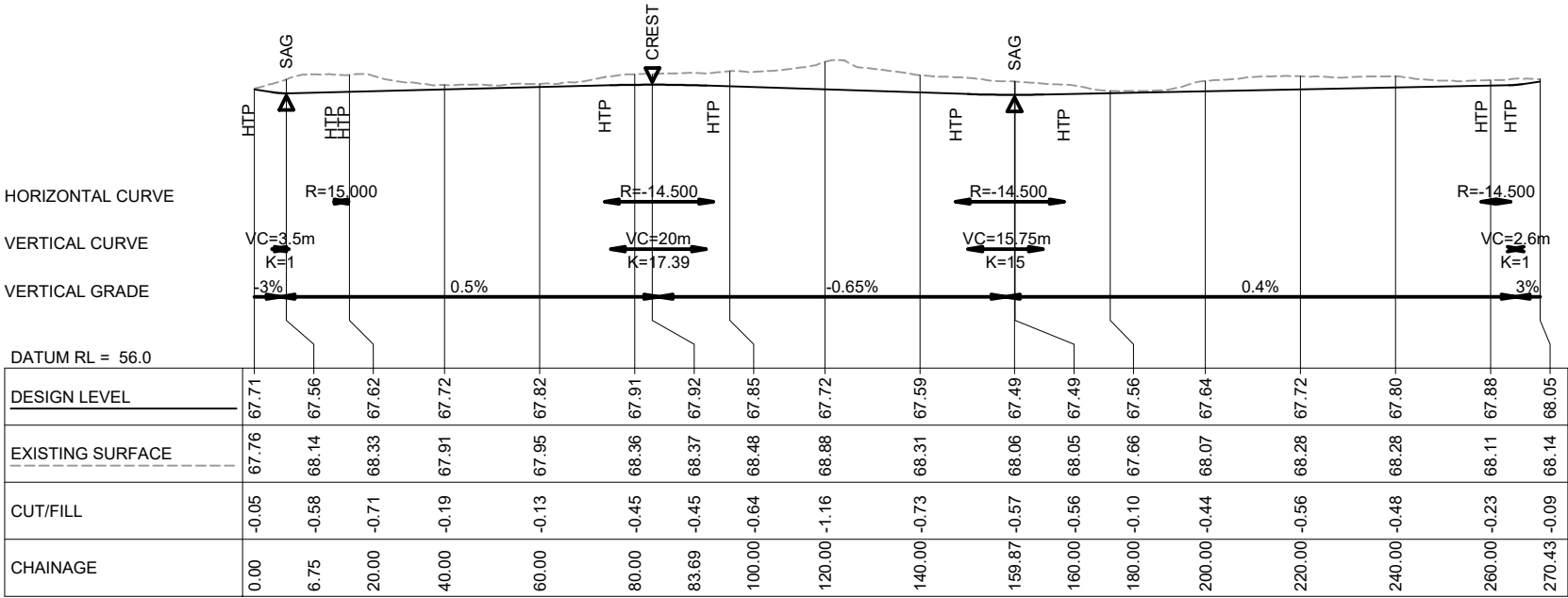


Project
**ASHBOURNE
RETIREMENT VILLAGE
MATAMATA
FOR
UNITY DEVELOPMENT LTD**

Title
**PROPOSED ROADING
LONG-SECTION
PLAN(2 OF 7)**

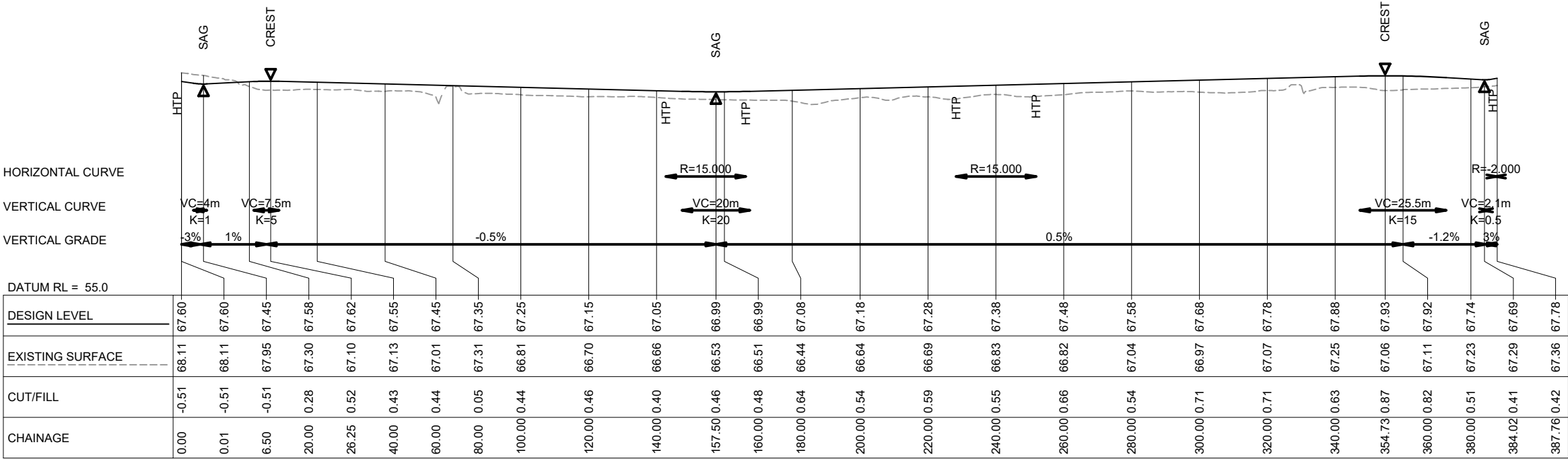
Project no.	J00606		
Scale	AS SHOWN@A3		
Cad file	C3000 - RD.DWG		
Drawing no.	C3005	Rev	B

DATE: 17/4/2025
FILE: F:\MAVEN MATAMATA\1. Projects\J00606 MDL - Hemmings Station Rd\6. Drawing\2. CAD\3. Design\C3000 - RD.dwg



LONGITUDINAL SECTION - ROAD 4

SCALE HORI 1:1000 VERT 1:200



LONGITUDINAL SECTION - ROAD 5

SCALE HORI 1:1000 VERT 1:200

FOR CONSENT

- Notes
- Levels in terms of NZVD 2016.
 - Co-ordinates in terms of the Mount Eden 2000.
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 - Existing services shown are from B4UDIG and are indicative only. Contractor to locate the existing services prior to construction.
 - Contractor to protect the existing infrastructure and any damage to existing infrastructure during construction is to be reinstated at the contractor's cost.
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 - All concrete to be ordinary grade 20MPa at 28 days.
 - Refer to C3300 drawings for cross section details.

B	FOR CONSENT	KQ	04/25
A	FOR REVIEW	DP	01/25
Rev	Description	By	Date
	By	Date	
Survey	MAVEN	10/2024	
Design	KQ	04/2025	
Drawn	KQ	04/2025	
Checked	MK	04/2025	

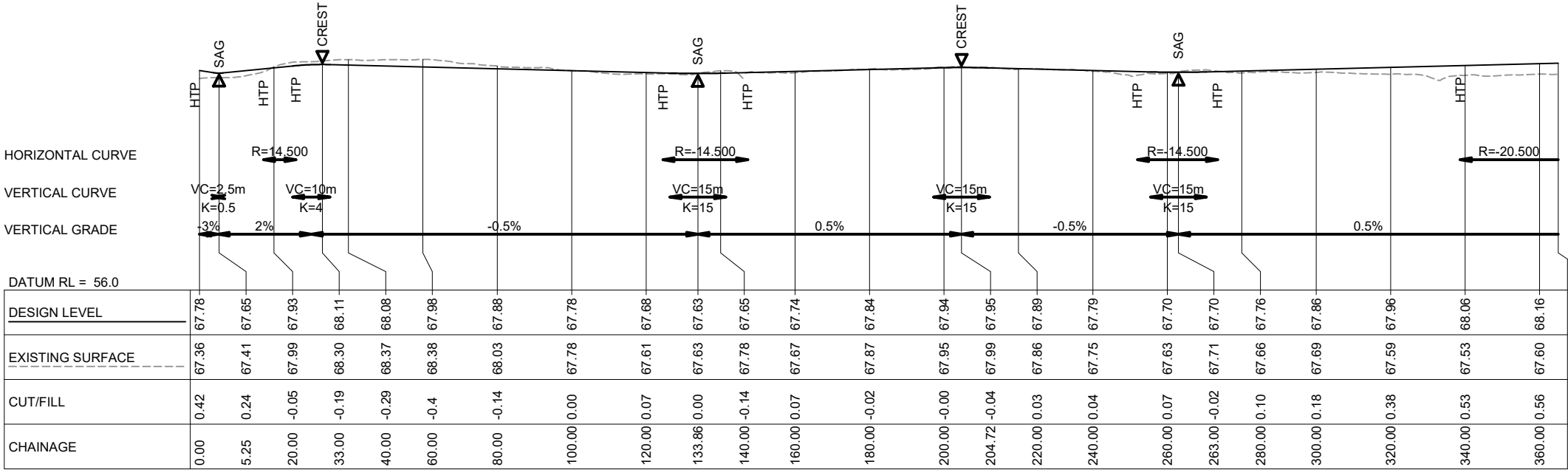


Project
**ASHBOURNE
RETIREMENT VILLAGE
MATAMATA
FOR
UNITY DEVELOPMENT LTD**

Title
**PROPOSED ROADING
LONG-SECTION
PLAN(3 OF 7)**

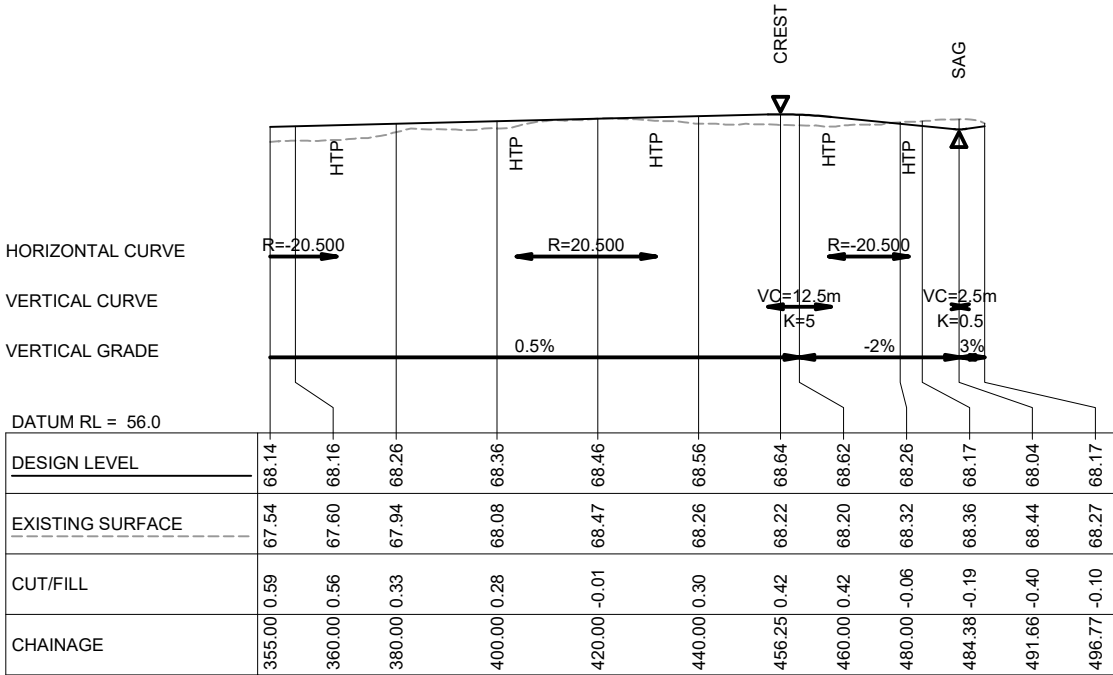
Project no.	J00606		
Scale	AS SHOWN@A3		
Cad file	C3000 - RD.DWG		
Drawing no.	C3006	Rev	B

DATE: 17/04/2025
FILE: F:\MAVEN MATAMATA\1. Projects\J00606 MDL - Hemmings Station Rd6. Drawing\2. CAD\3. Design\C3000 - RD.dwg
ORIGINAL SIZE: A3
150mm
100
80
60
40
20
0



LONGITUDINAL SECTION - ROAD 6

SCALE HORI 1:1000 VERT 1:200



LONGITUDINAL SECTION - ROAD 6

SCALE HORI 1:1000 VERT 1:200

FOR CONSENT

- Notes
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 4. Existing services shown are from B4UDIG and are indicative only. Contractor to locate the existing services prior to construction.
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 6. Final pavement design subject to CBR/Beam tests on subgrade material.
 7. All concrete to be ordinary grade 20MPa at 28 days.
 8. Refer to C3300 drawings for cross section details.

B	FOR CONSENT	KQ	04/25
A	FOR REVIEW	DP	01/25
Rev	Description	By	Date
	By	Date	
Survey	MAVEN	10/2024	
Design	KQ	04/2025	
Drawn	KQ	04/2025	
Checked	MK	04/2025	



Project

ASHBOURNE

RETIREMENT VILLAGE

MATAMATA

FOR

UNITY DEVELOPMENT LTD

Title

PROPOSED ROADING

LONG-SECTION

PLAN(4 OF 7)

Project no.	J00606		
Scale	AS SHOWN@A3		
Cad file	C3000 - RD.DWG		
Drawing no.	C3007	Rev	B

DATE: 17/4/2025
FILE: F:\MAVEN MATAMATA\1. Projects\J00606 MDL - Hemmings Station Rd\6. Drawing\2. CAD\3. Design\C3000 - RD.dwg
ORIGINAL SIZE: A3
150mm
100
80
60
40
20
0

HORIZONTAL CURVE

VERTICAL CURVE

VERTICAL GRADE

DATUM RL = 55.0

DESIGN LEVEL	68.22	67.92	67.74	67.56	67.38	67.20	67.02	66.87	66.86	66.93	67.06	67.19	67.32	67.38	67.36	67.26	67.20	67.21	67.43	67.67	67.91	68.23
EXISTING SURFACE	68.32	67.88	67.79	67.22	67.01	67.08	66.80	66.86	66.81	66.87	66.87	66.89	66.93	67.07	67.05	67.17	67.27	67.46	67.96	68.40	68.52	68.57
CUT/FILL	-0.10	0.04	-0.05	0.34	0.38	0.12	0.22	0.01	0.06	0.06	0.19	0.31	0.39	0.31	0.31	0.09	-0.08	-0.24	-0.53	-0.73	-0.61	-0.34
CHAINAGE	0.00	20.00	40.00	60.00	80.00	100.00	120.00	140.00	144.37	160.00	180.00	200.00	220.00	232.64	240.00	260.00	274.51	280.00	300.00	320.00	340.00	354.13

LONGITUDINAL SECTION - ROAD 7

SCALE HORI 1:1000 VERT 1:200

HORIZONTAL CURVE

VERTICAL CURVE

VERTICAL GRADE

DATUM RL = 54.0

DESIGN LEVEL	67.07	67.28	67.38	67.47
EXISTING SURFACE	65.70	67.29	67.14	67.40
CUT/FILL	-1.37	-0.01	0.24	0.07
CHAINAGE	0.00	20.00	40.00	57.01

LONGITUDINAL SECTION - ROAD 8

SCALE HORI 1:1000 VERT 1:200

FOR CONSENT

Notes

1. Levels in terms of NZVD 2016.
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7. All concrete to be ordinary grade 20MPa at 28 days.
8. Refer to C3300 drawings for cross section details.

B	FOR CONSENT	KQ	04/25
A	FOR REVIEW	DP	01/25
Rev	Description	By	Date
	By	Date	
Survey	MAVEN	10/2024	
Design	KQ	04/2025	
Drawn	KQ	04/2025	
Checked	MK	04/2025	

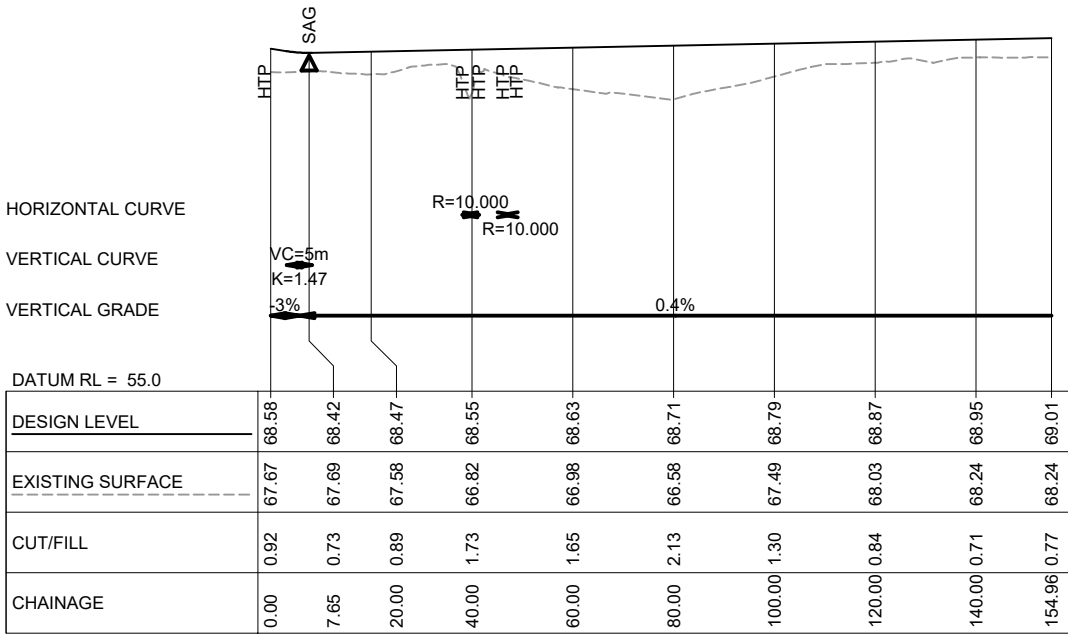


Project
**ASHBOURNE
RETIREMENT VILLAGE
MATAMATA
FOR
UNITY DEVELOPMENT LTD**

Title
**PROPOSED ROADING
LONG-SECTION
PLAN(5 OF 7)**

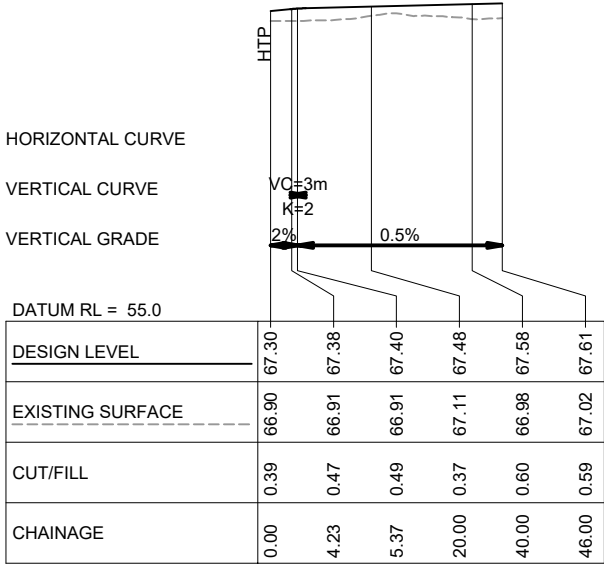
Project no.	J00606		
Scale	AS SHOWN@A3		
Cad file	C3000 - RD.DWG		
Drawing no.	C3008	Rev	B

DATE: 17/4/2025
FILE: F:\MAVEN MATAMATA\1. Projects\J00606 MDL - Hemmings Station Rd\6. Drawing\2. CAD\3. Design\C3000 - RD.dwg
ORIGINAL SIZE: A3



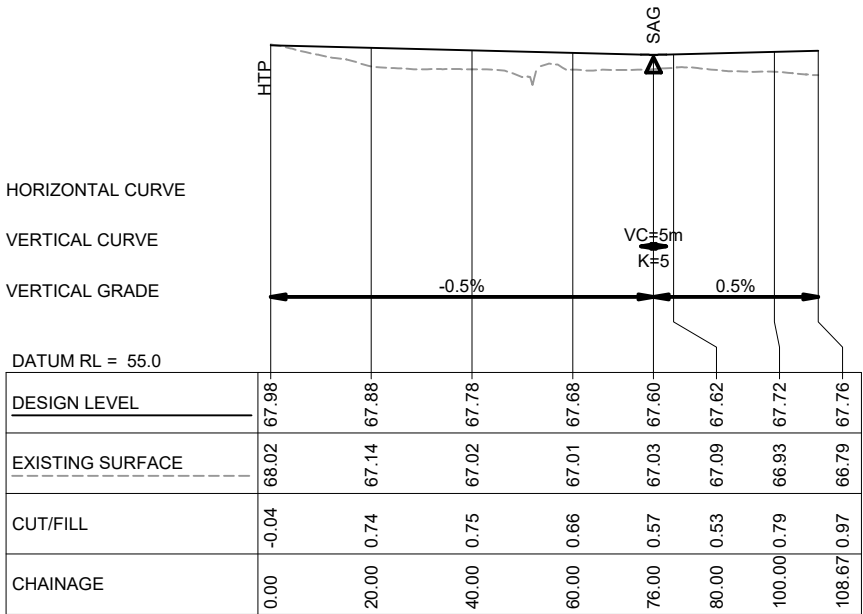
LONGITUDINAL SECTION - ROAD 9 (HOSPITAL PARKING)

SCALE HORI 1:1000 VERT 1:200



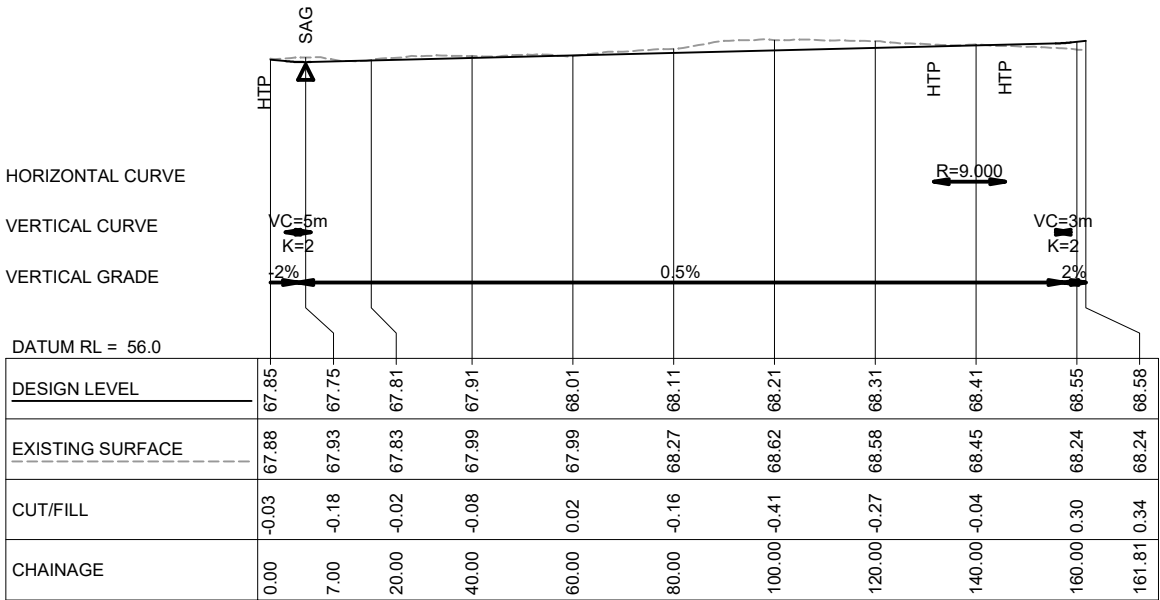
LONGITUDINAL SECTION - ROAD 10

SCALE HORI 1:1000 VERT 1:200



LONGITUDINAL SECTION - ROAD 11

SCALE HORI 1:1000 VERT 1:200



LONGITUDINAL SECTION - ROAD 12

SCALE HORI 1:1000 VERT 1:200

- Notes
1. Levels in terms of NZVD 2016.
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 8. Refer to C3300 drawings for cross section details.

B	FOR CONSENT	KQ	04/25
A	FOR REVIEW	DP	01/25
Rev	Description	By	Date
	By	Date	
Survey	MAVEN	10/2024	
Design	KQ	04/2025	
Drawn	KQ	04/2025	
Checked	MK	04/2025	

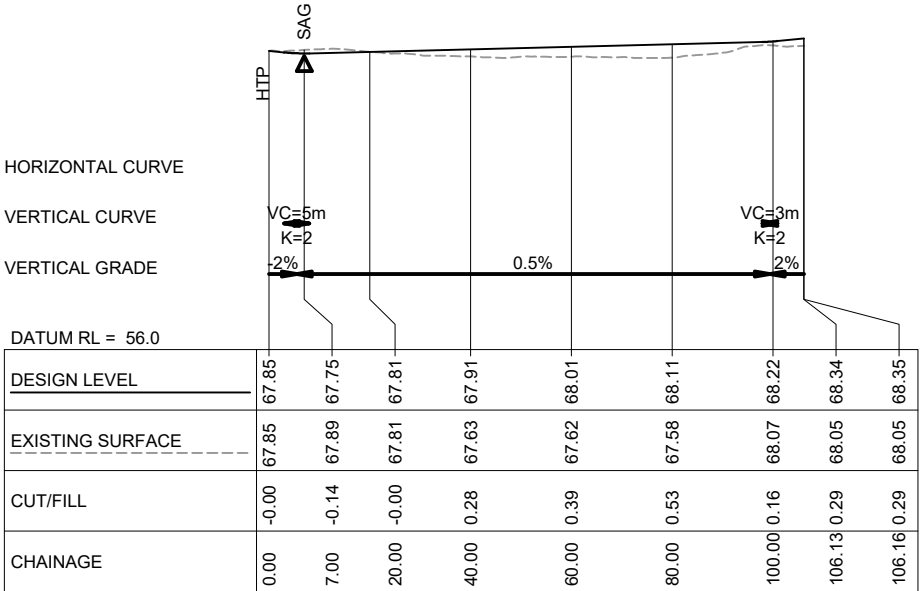


Project
**ASHBOURNE
RETIREMENT VILLAGE
MATAMATA
FOR
UNITY DEVELOPMENT LTD**

Title
**PROPOSED ROADING
LONG-SECTION
PLAN(6 OF 7)**

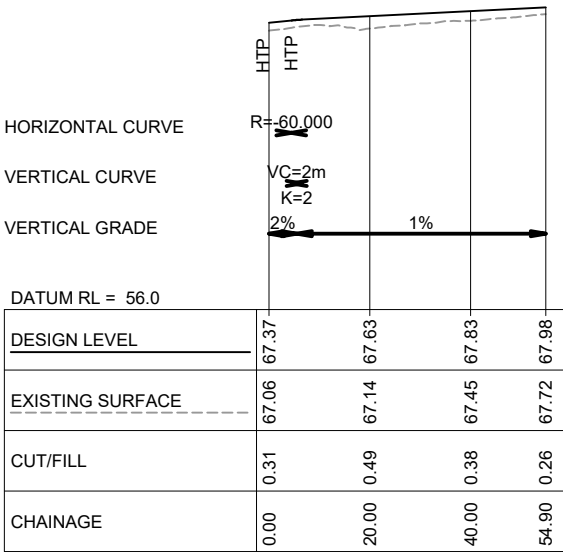
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Scale	AS SHOWN@A3		
Cad file	C3000 - RD.DWG		
Drawing no.	C3009	Rev	B

FOR CONSENT



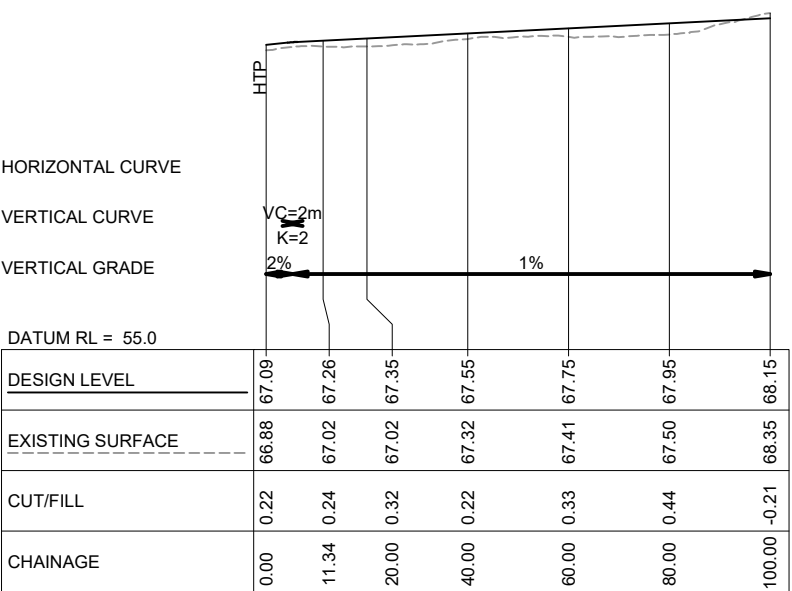
LONGITUDINAL SECTION - ROAD 13

SCALE HORI 1:1000 VERT 1:200



LONGITUDINAL SECTION - ROAD 15

SCALE HORI 1:1000 VERT 1:200



LONGITUDINAL SECTION - ROAD 14

SCALE HORI 1:1000 VERT 1:200

- Notes
1. Levels in terms of NZVD 2016.
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 8. Refer to C3300 drawings for cross section details.

B	FOR CONSENT	KQ	04/25
A	FOR REVIEW	DP	01/25
Rev	Description	By	Date
	By	Date	
Survey	MAVEN	10/2024	
Design	KQ	04/2025	
Drawn	KQ	04/2025	
Checked	MK	04/2025	



Project

ASHBOURNE

RETIREMENT VILLAGE

MATAMATA

FOR

UNITY DEVELOPMENT LTD

Title

PROPOSED ROADING

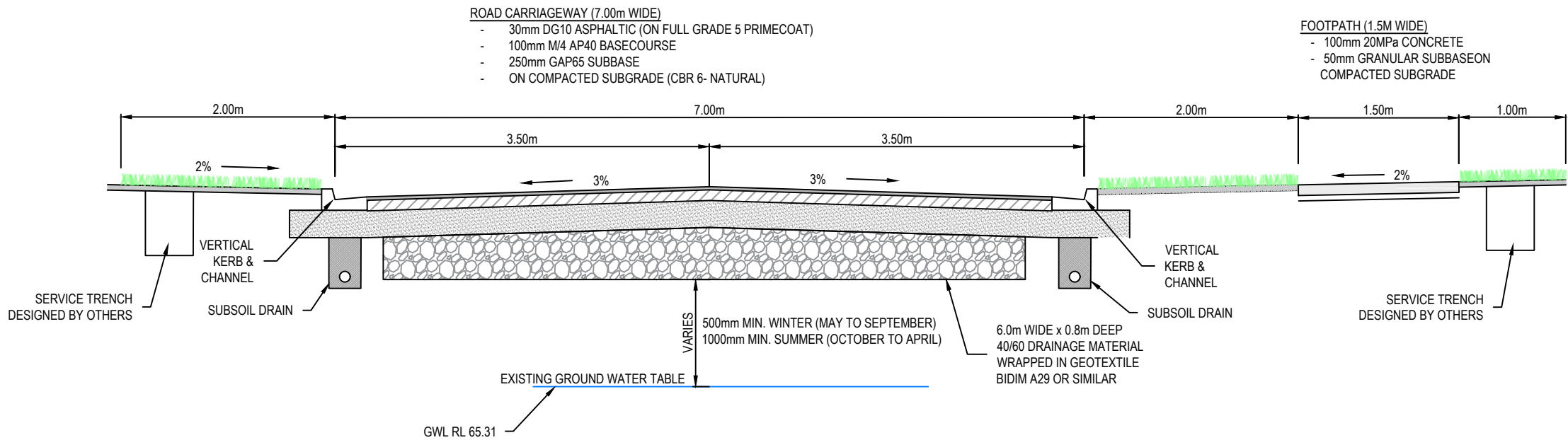
LONG-SECTION

PLAN(7 OF 7)

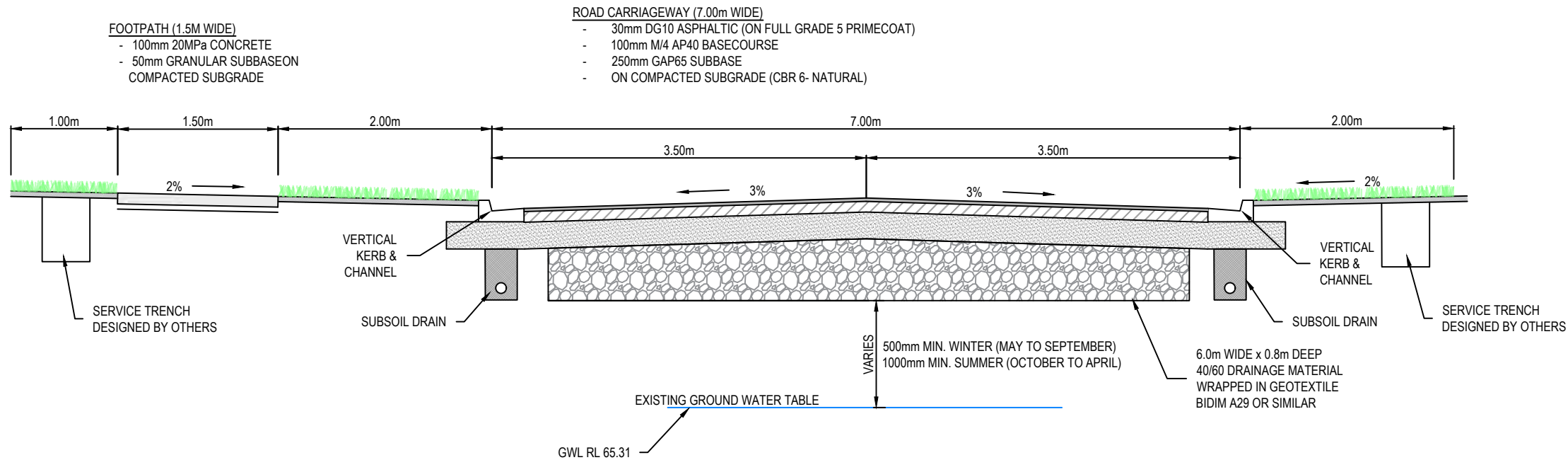
Project no.	J00606		
Scale	AS SHOWN@A3		
Cad file	C3000 - RD.DWG		
Drawing no.	C3010	Rev	B

FOR CONSENT

ORIGINAL SIZE: A3
150mm
100
80
60
40
20
0
DATE: 17/04/2025



SECTION A - ROAD 1 CROSS SECTION



SECTION B - ROAD 1 CROSS SECTION

FOR CONSENT

- Notes
1. Final pavement design subject to CBR/Beam tests on subgrade material.
 2. All concrete to be ordinary grade 20MPa at 28 days.

B	FOR CONSENT	KQ	04/25
A	FOR REVIEW	DP	01/25
Rev	Description	By	Date
	By	Date	
Survey	MAVEN	10/2024	
Design	KQ	04/2025	
Drawn	KQ	04/2025	
Checked	MK	04/2025	

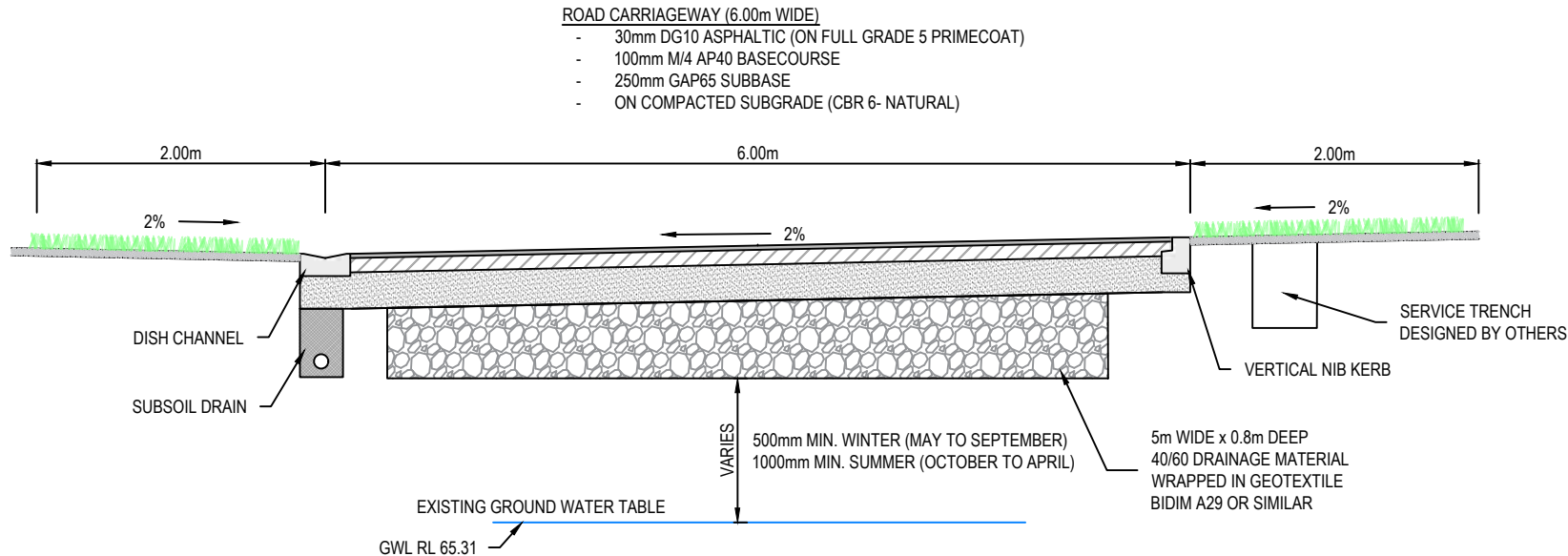


Project
**ASHBOURNE
RETIREMENT VILLAGE
MATAMATA
FOR
UNITY DEVELOPMENT LTD**

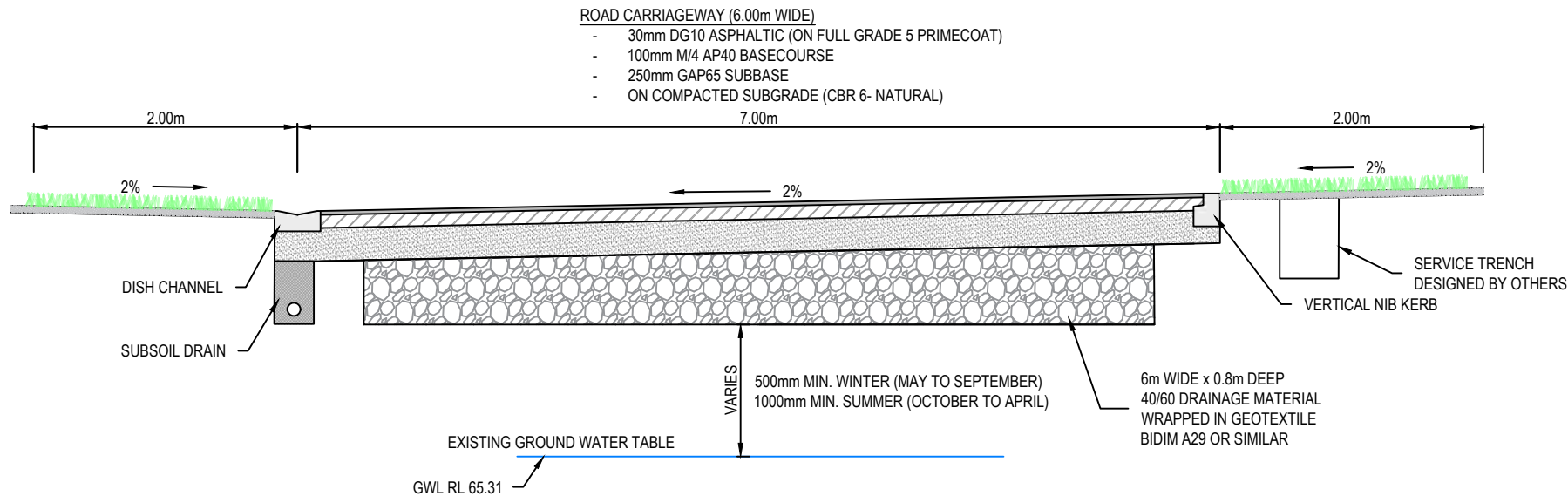
Title
**PROPOSED ROADING
TYPICAL CROSS-SECTION
(1 OF 2)**

Project no.	J00606
Scale	1:25@A3
Cad file	C3000 - RD.DWG
Drawing no.	C3300
Rev	B

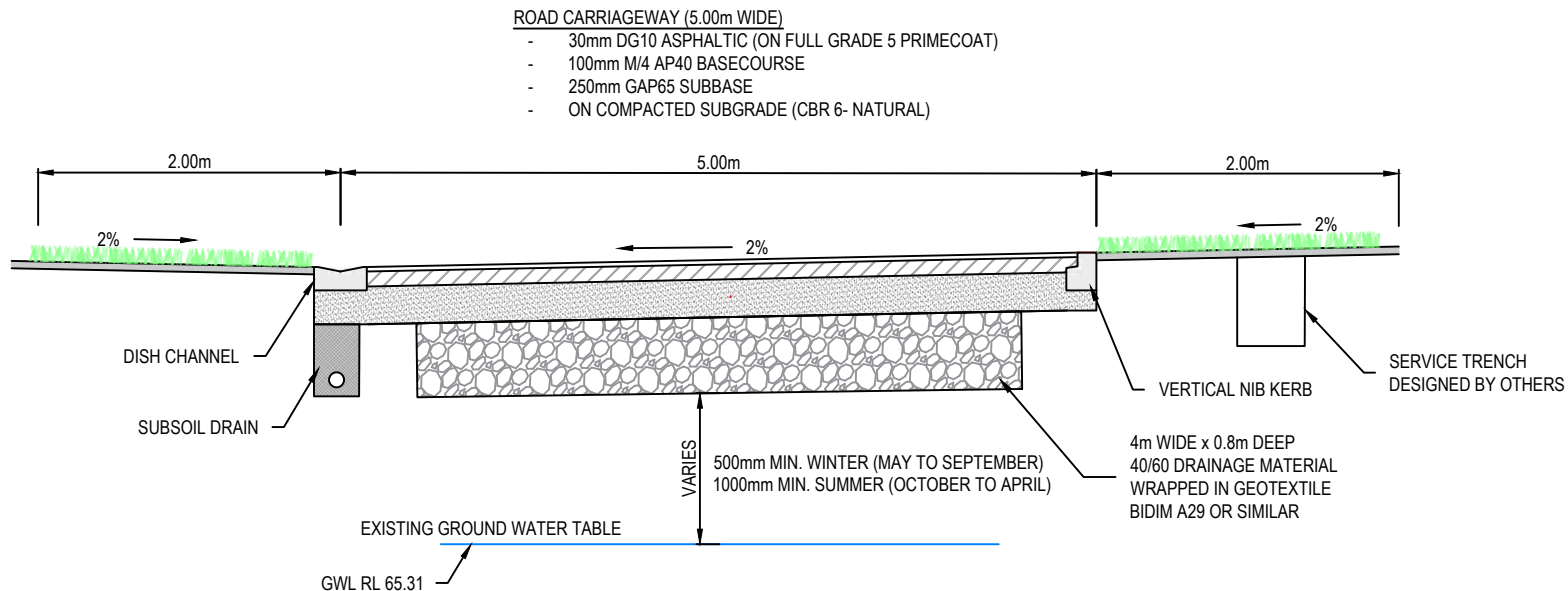
DATE: 17/04/2025
FILE: F:\MAVEN MATAMATA\1. Projects\J00606 MDL - Hemmings Station Rd\6. Drawing\2. CAD\3. Design\C3000 - RD.dwg



SECTION C - ROAD 2 - ROAD 3 - ROAD 7 AND ROAD 12 CROSS SECTION



SECTION D - ROAD 4 AND ROAD 6 CROSS SECTION



SECTION E - ROAD 14 CROSS SECTION

FOR CONSENT

- Notes
1. Final pavement design subject to CBR/Beam tests on subgrade material.
 2. All concrete to be ordinary grade 20MPa at 28 days.

B	FOR CONSENT	KQ	04/25
A	FOR REVIEW	DP	01/25
Rev	Description	By	Date
	By	Date	
Survey	MAVEN	10/2024	
Design	KQ	04/2025	
Drawn	KQ	04/2025	
Checked	MK	04/2025	



Project
**ASHBOURNE
RETIREMENT VILLAGE
MATAMATA
FOR
UNITY DEVELOPMENT LTD**

Title
**PROPOSED ROADING
TYPICAL CROSS-SECTION
(2 OF 2)**

Project no.	J00606
Scale	1:50@A3
Cad file	C3000 - RD.DWG
Drawing no.	C3301
Rev	B

Lot 5
DPS 74018Lot 1
DP 491699Lot 1
DPS 29613

STATION ROAD

Lot 34
DP 562902Lot 32
DP 562902Lot 33
DP 562902Lot 31
DP 562902Lot 29
DP 562902Lot 30
DP 562902Lot 28
DP 562902

OLIVE PLACE

Lot 27
DP 562902Lot 25
DP 562902Lot 24
DP 562902Lot 26
DP 562902Lot 23
DP 562902Lot 22
DP 562902Lot 21
DP 562902Lot 20
DP 562902Lot 19
DP 562902Lot 18
DP 562902Part Lot 1
DP 21055STORMWATER
POND 2STORMWATER
POND 1

STAGE 1

STAGE 2

STAGE 3

STAGE 4

STAGE 7

STAGE 5

STAGE 6

STAGE 8

STAGE 10

STAGE 9

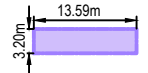
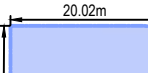
STAGE 10

C4002

C4004

C4003

SOAKAGE DEVICE's

GRAVEL SOAKAGE
UNDER ROAD
DEPTH=0.8mVILLA SOAKAGE DEVICE
DEPTH=0.44m
VOLUME=10.52m³
COUNT=220FACILITY SOAKAGE DEVICE
DEPTH=0.44m
VOLUME=18.17m³
COUNT=2AGE CARE SOAKAGE
DEPTH=0.44m
VOLUME=75.31m³
COUNT=2

Notes

- All works to be in accordance with RITS standards.
- Co-ordinates in terms of Mount Eden 2000.
- Reduced Levels are in terms of NZVD 2016.
- It is the contractors responsibility to locate all services that may be affected by his operations.
- Pipe bedding: 0 - 10% granular bedding, 10 - 20% weak concrete bedding, greater than 20% weak concrete bedding (7mpa plus anti scour blocks at 6m crs).
- Approved hardfill is to be used in backfilling of all road crossings and vehicle crossings to council standards.
- Heavy duty manhole lids and frames to be used in trafficked areas.
- All cesspit leads shall have min cover 0.9m.
- All lines to be abandoned shall be sealed at each end, timing of all sealing to be coordinated with council staff.
- Refer to C4700 for Soakage Trench details.
- Refer to C4703 for Soakage Device details.
- Preliminary Soakage design is based on the rate of 100mm/h for a 10 year event.

Legend

---	EX BDY
---	PROP BDY
---	STAGING BDY
---	EX STORMWATER
---	PR STORMWATER
---	EX SW SWALE
---	EX/PROP SWMH
---	PROP SWCP SINGLE
---	RAINGARDENS

B	FOR CONSENT	MS	04/25
A	FOR REVIEW	DP	01/25
Rev	Description	By	Date
Survey	MAVEN	10/2024	
Design	DP	12/2024	
Drawn	DP	12/2024	
Checked	SB	12/2024	



Project
**ASHBOURNE
RETIREMENT VILLAGE
MATAMATA
FOR
UNITY DEVELOPMENT LTD**

Title
**PROPOSED
STORMWATER OVERVIEW
PLAN**

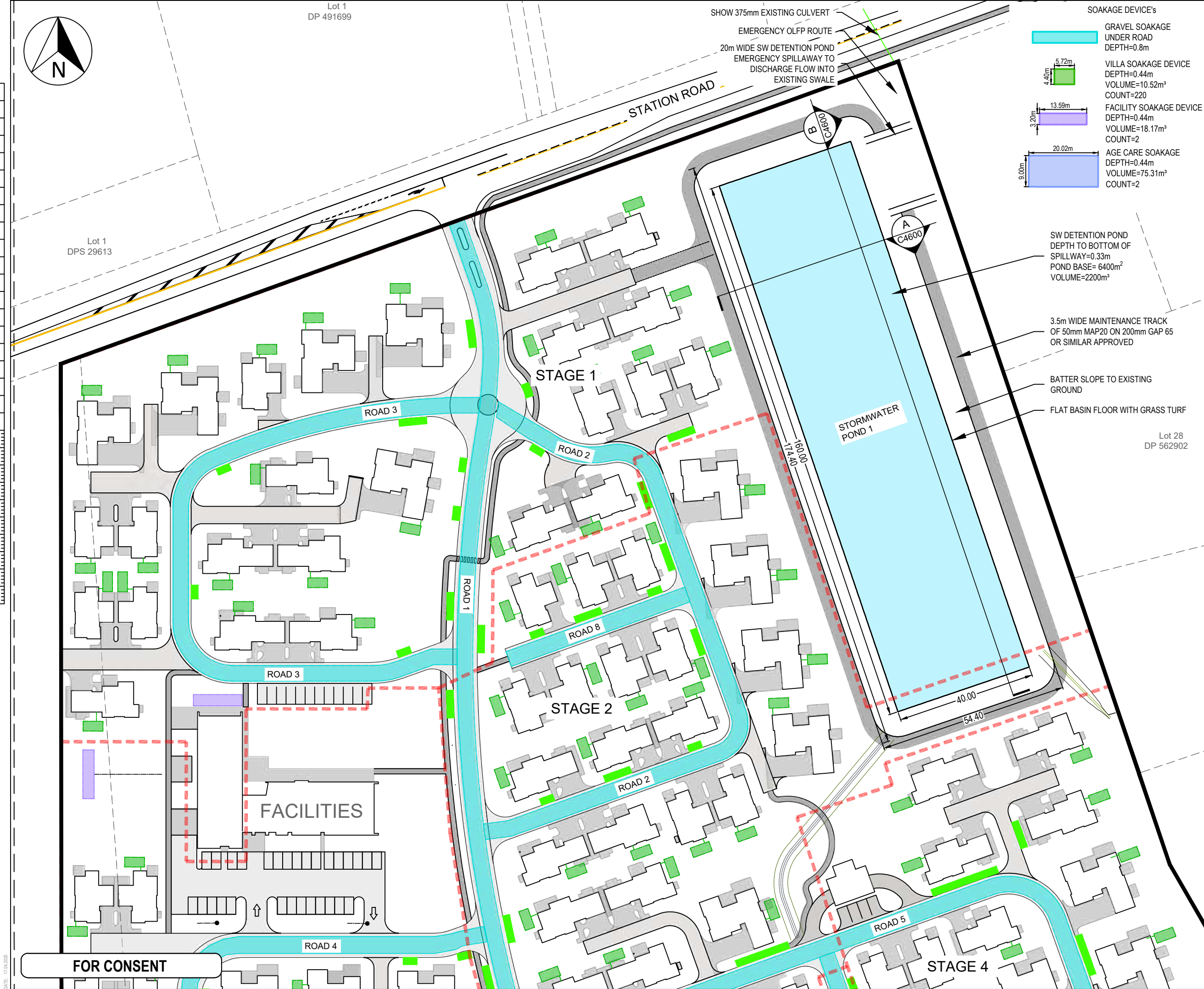
Project no.	J00606		
Scale	1:2500@A3		
Cad file	C4000 - SW.DWG		
Drawing no.	C4000	Rev	B

FOR CONSENT

ORIGINAL SIZE: A3

150mm
100
90
80
70
60
50
40
30
20
10
0

DATE: 17/04/2025



- SOAKAGE DEVICE's
- GRAVEL SOAKAGE UNDER ROAD DEPTH=0.8m
 - VILLA SOAKAGE DEVICE DEPTH=0.44m VOLUME=10.52m³ COUNT=220
 - FACILITY SOAKAGE DEVICE DEPTH=0.44m VOLUME=18.17m³ COUNT=2
 - AGE CARE SOAKAGE DEPTH=0.44m VOLUME=75.31m³ COUNT=2

SW DETENTION POND DEPTH TO BOTTOM OF SPILLWAY=0.33m POND BASE= 6400m² VOLUME=2200m³

3.5m WIDE MAINTENANCE TRACK OF 50mm MAP20 ON 200mm GAP 65 OR SIMILAR APPROVED

BATTER SLOPE TO EXISTING GROUND

FLAT BASIN FLOOR WITH GRASS TURF

Lot 28 DP 562902

- Notes
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 - Pipe bedding: 0 - 10% granular bedding, 10 - 20% weak concrete bedding, greater than 20% weak concrete bedding (7mpa plus anti scour blocks at 6m crs).
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 - Refer to C4703 for Soakage Device details.
 - Preliminary Soakage design is based on the rate of 100mm/h for a 10 year event.

- Legend
- EX BDY
 - PROP BDY
 - STAGING BDY
 - EX STORMWATER
 - PR STORMWATER
 - EX SW SWALE
 - EX/PROP SWMH
 - PROP SWCP SINGLE
 - RAINGARDENS

B	FOR CONSENT	MS	04/25
A	FOR REVIEW	DP	01/25
Rev	Description	By	Date
		By	Date
Survey	MAVEN		10/2024
Design	DP		12/2024
Drawn	DP		12/2024
Checked	SB		12/2024

M
M A V E N
Maven Matamata
matamatainfo@maven.co.nz
www.maven.co.nz
8 Tainui Street, Matamata
New Zealand

Project
**ASHBOURNE
RETIREMENT VILLAGE
MATAMATA
FOR
UNITY DEVELOPMENT LTD**

Title
**PROPOSED
STORMWATER LAYOUT
PLAN(1 OF 4)**

Project no.	J00606
Scale	1:1000@A3
Cad file	C4000 - SW.DWG
Drawing no.	C4001
Rev	B

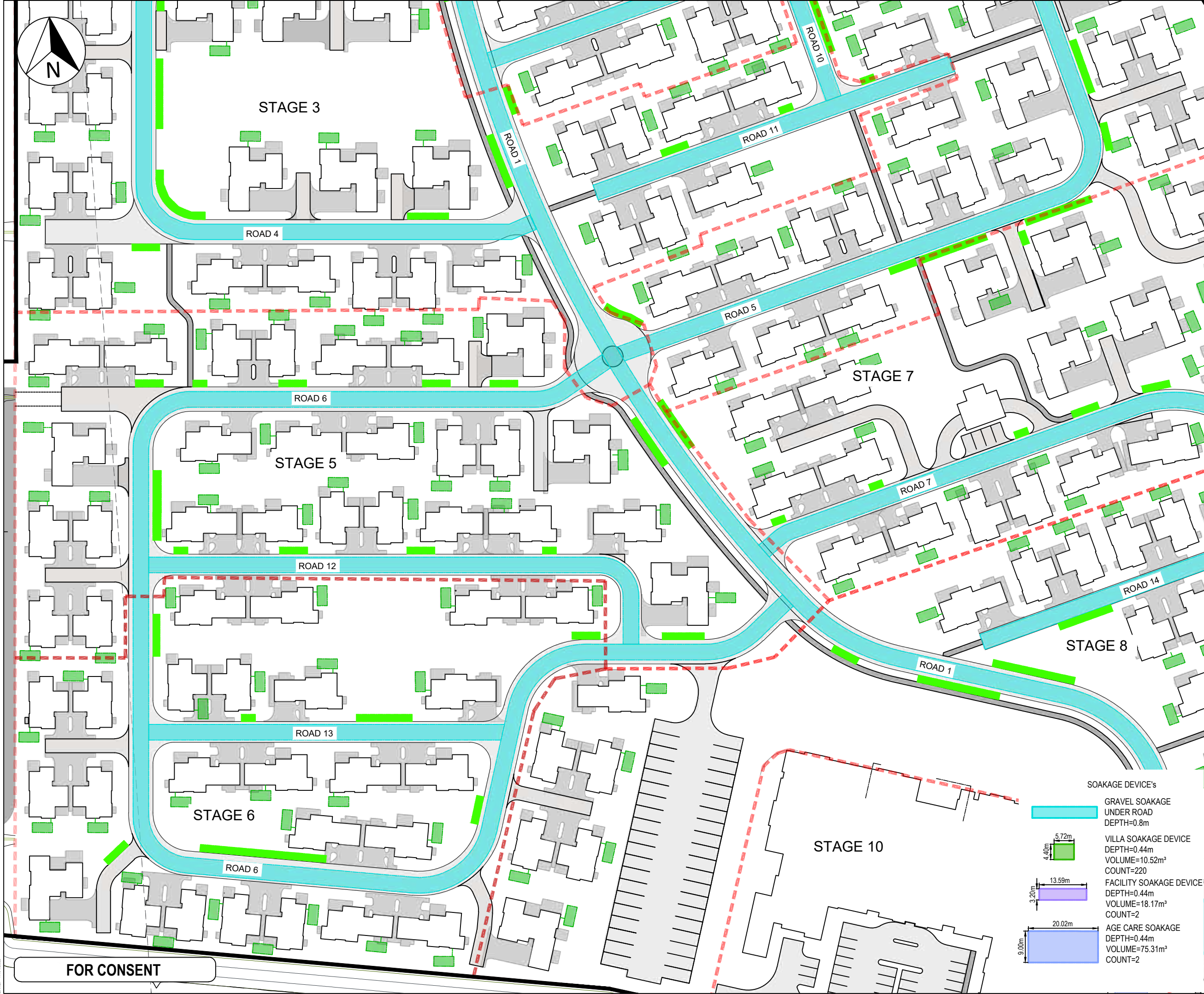
FOR CONSENT

1:500mm ORIGINAL SIZE: A3



0 10 20 30 40 50 60 70 80 90 100 150mm

DATE: 17/04/2025



FOR CONSENT

Notes

- All works to be in accordance with RITS standards.
- Co-ordinates in terms of Mount Eden 2000.
- Reduced Levels are in terms of NZVD 2016.
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- Pipe bedding: 0 - 10% granular bedding, 10 - 20% weak concrete bedding, greater than 20% weak concrete bedding (7mpa plus anti scour blocks at 6m crs).
- Approved hardfill is to be used in backfilling of all road crossings and vehicle crossings to council standards.
- Heavy duty manhole lids and frames to be used in trafficked areas.
- All cesspit leads shall have min cover 0.9m.
- All lines to be abandoned shall be sealed at each end, timing of all sealing to be coordinated with council staff.
- Refer to C4700 for Soakage Trench details.
- Refer to C4703 for Soakage Device details.
- Preliminary Soakage design is based on the rate of 100mm/h for a 10 year event.

Legend

---	EX BDY
---	PROP BDY
---	STAGING BDY
---	EX STORMWATER
---	PR STORMWATER
---	EX SW SWALE
---	EX/PROP SWMH
---	PROP SWCP SINGLE
---	RAINGARDENS

B	FOR CONSENT	MS	04/25
A	FOR REVIEW	DP	01/25
Rev	Description	By	Date
Survey	MAVEN		10/2024
Design	DP		12/2024
Drawn	DP		12/2024
Checked	SB		12/2024

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Project
**ASHBOURNE
RETIREMENT VILLAGE
MATAMATA
FOR
UNITY DEVELOPMENT LTD**

Title
**PROPOSED
STORMWATER LAYOUT
PLAN(2 OF 4)**

Project no.	J00606		
Scale	1:1000@A3		
Cad file	C4000 - SW.DWG		
Drawing no.	C4002	Rev	B

SOAKAGE DEVICE's

- GRAVEL SOAKAGE UNDER ROAD DEPTH=0.8m
- VILLA SOAKAGE DEVICE DEPTH=0.44m VOLUME=10.52m³ COUNT=220
- FACILITY SOAKAGE DEVICE DEPTH=0.44m VOLUME=18.17m³ COUNT=2
- AGE CARE SOAKAGE DEPTH=0.44m VOLUME=75.31m³ COUNT=2

5.72m
4.40m

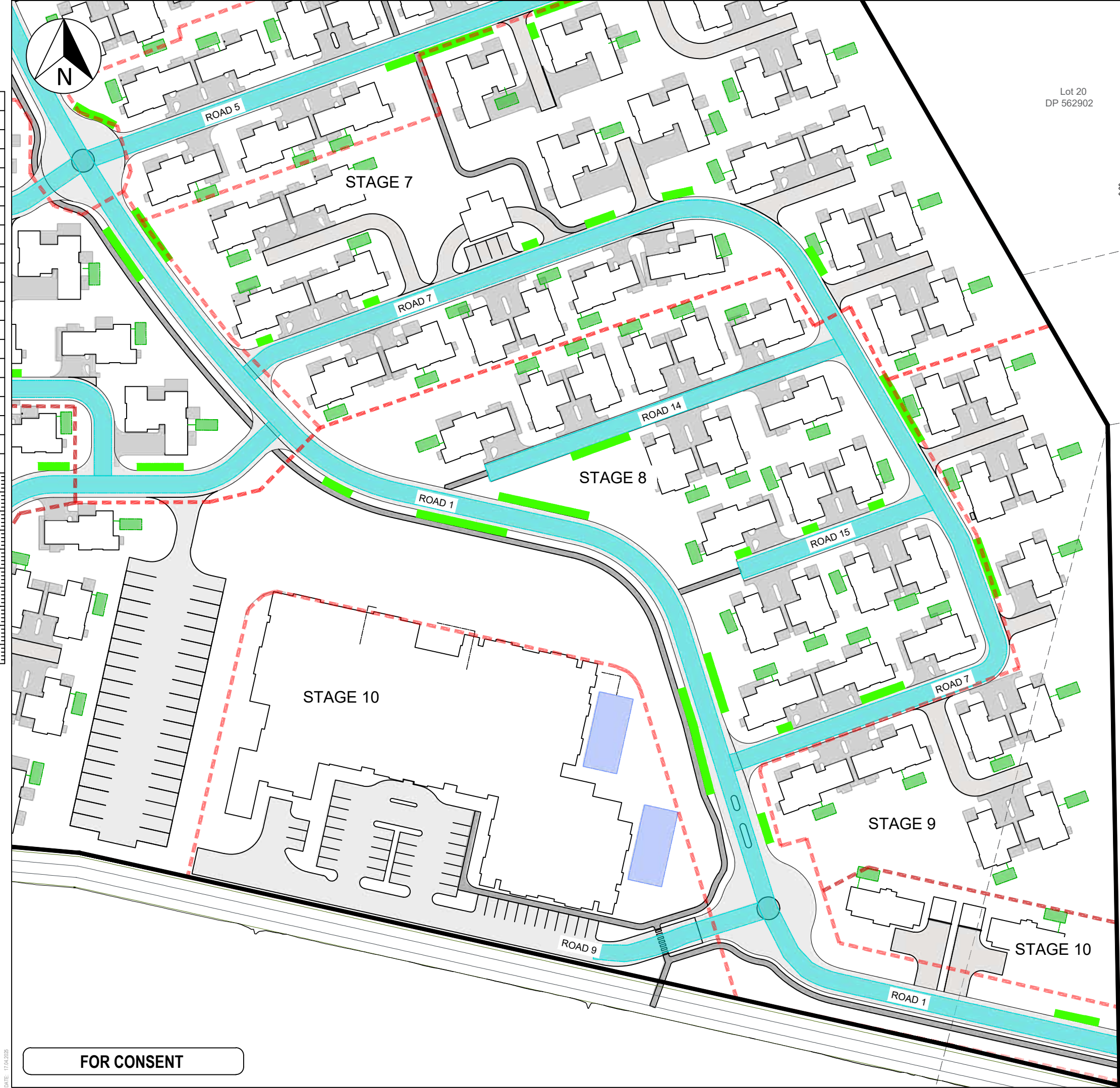
13.59m
3.20m

20.02m
9.00m

1:500mm
ORIGINAL SIZE: A3

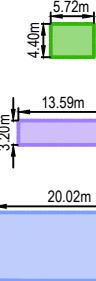
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DATE: 17/04/2025



SOAKAGE DEVICE's

- GRAVEL SOAKAGE UNDER ROAD DEPTH=0.8m
- VILLA SOAKAGE DEVICE DEPTH=0.44m VOLUME=10.52m³ COUNT=220
- FACILITY SOAKAGE DEVICE DEPTH=0.44m VOLUME=18.17m³ COUNT=2
- AGE CARE SOAKAGE DEPTH=0.44m VOLUME=75.31m³ COUNT=2



Notes

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- Refer to C4700 for Soakage Trench details.
- Refer to C4703 for Soakage Device details.
- Preliminary Soakage design is based on the rate of 100mm/h for a 10 year event.

Legend

- EX BDY
- PROP BDY
- STAGING BDY
- EX STORMWATER
- PR STORMWATER
- EX SW SWALE
- EX/PROP SWMH
- PROP SWCP SINGLE
- RAINGARDENS

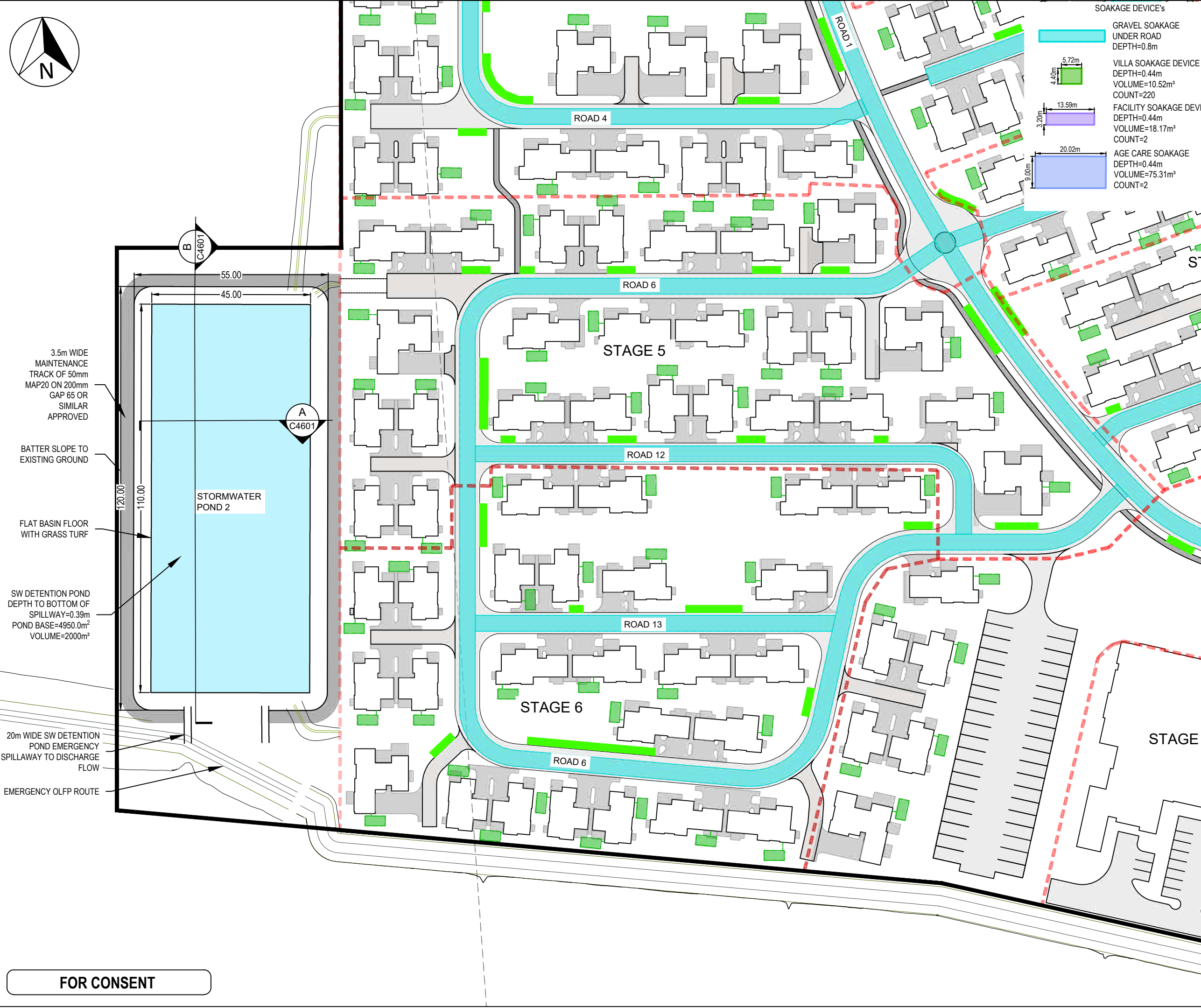
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A	FOR REVIEW	DP	01/25
Rev	Description	By	Date
	By	Date	
Survey	MAVEN	10/2024	
Design	DP	10/2024	
Drawn	DP	11/2024	
Checked	SB	11/2024	



Project
**ASHBOURNE
RETIREMENT VILLAGE
MATAMATA
FOR
UNITY DEVELOPMENT LTD**

Title
**PROPOSED
STORMWATER LAYOUT
PLAN(3 OF 4)**

Project no.	J00606
Scale	1:1000@A3
Cad file	C4000 - SW.DWG
Drawing no.	C4003
Rev	B



- SOAKAGE DEVICE's
- GRAVEL SOAKAGE UNDER ROAD DEPTH=0.8m
 - VILLA SOAKAGE DEVICE DEPTH=0.44m VOLUME=10.52m³ COUNT=220
 - FACILITY SOAKAGE DEVICE DEPTH=0.44m VOLUME=18.17m³ COUNT=2
 - AGE CARE SOAKAGE DEPTH=0.44m VOLUME=75.31m³ COUNT=2

- Notes
- All works to be in accordance with RITS standards.
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- Legend
- EX BDY
 - PROP BDY
 - STAGING BDY
 - EX STORMWATER
 - PR STORMWATER
 - EX SW SWALE
 - EX/PROP SWMH
 - PROP SWCP SINGLE
 - RAINGARDENS

B	FOR CONSENT	MS	04/25
A	FOR REVIEW	DP	01/25
Rev	Description	By	Date
Survey	MAVEN		10/2024
Design	DP		10/2024
Drawn	DP		11/2024
Checked	SB		11/2024



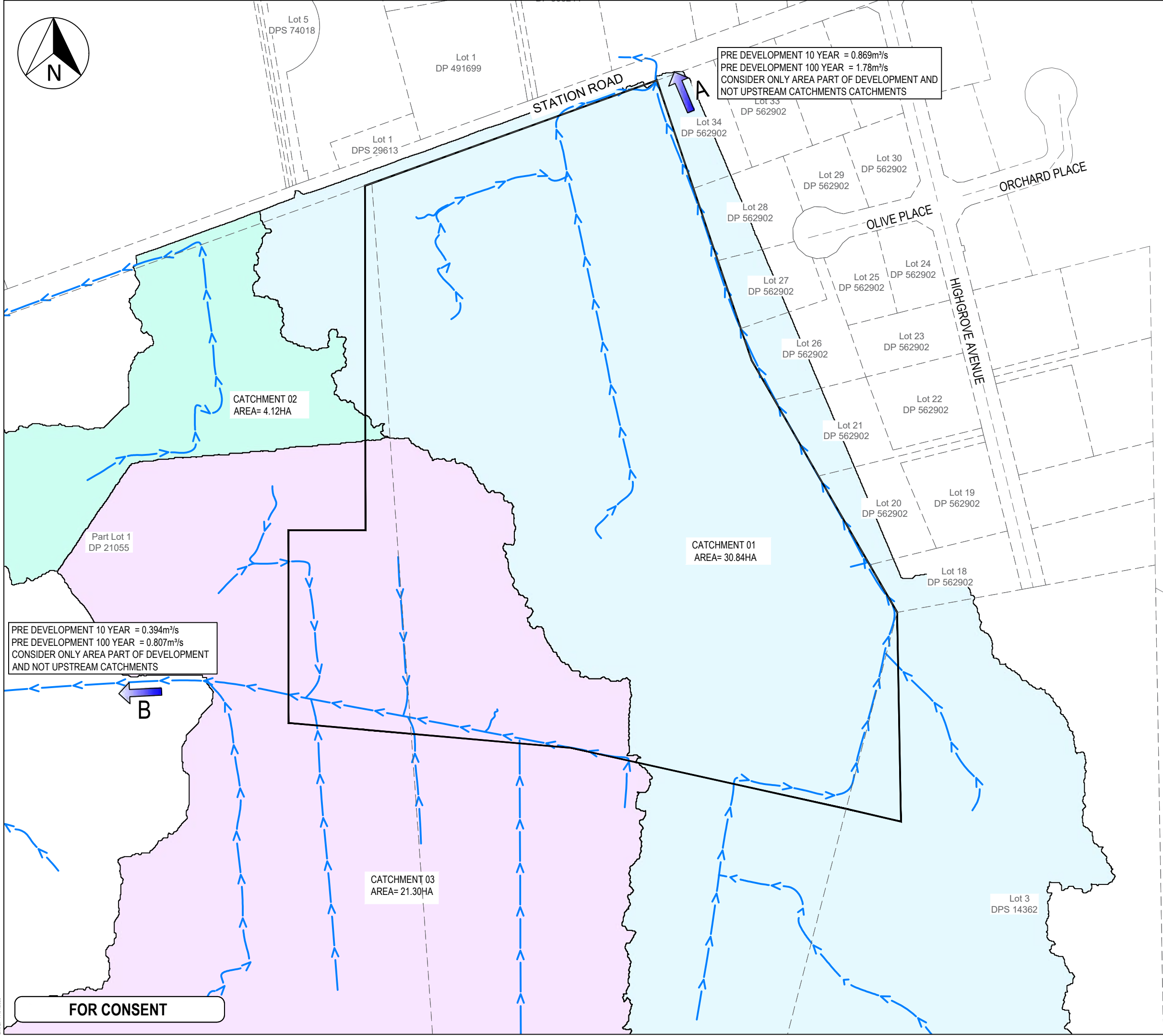
Project
ASHBOURNE RETIREMENT VILLAGE MATAMATA FOR UNITY DEVELOPMENT LTD

Title
PROPOSED STORMWATER LAYOUT PLAN(4 OF 4)

Project no.	J00606
Scale	1:1000@A3
Cad file	C4000 - SW.DWG
Drawing no.	C4004
Rev	B

FOR CONSENT

DATE: 17/04/2025
FILE: F:\MAVEN MATAMATA\1. Projects\J00606 MDL - Hemmings Station Rd6. Drawing\2. CAD\3. Design\C4050 - SW EX.CATCH.dwg



NOTES

- All works to be in accordance with Waikato Regional Infrastructure Technical Specifications (RITS)
- Refer to stormwater calculations within infrastructure reporting.

Legend

- EX BDY
- PROP BDY
- OVERLAND FLOW

B	FOR CONSENT	MS	04/25
A	FOR REVIEW	DP	01/25
Rev	Description	By	Date
	By	Date	
Survey	MAVEN	10/2024	
Design	DP	12/2024	
Drawn	DP	12/2024	
Checked	SB	12/2024	

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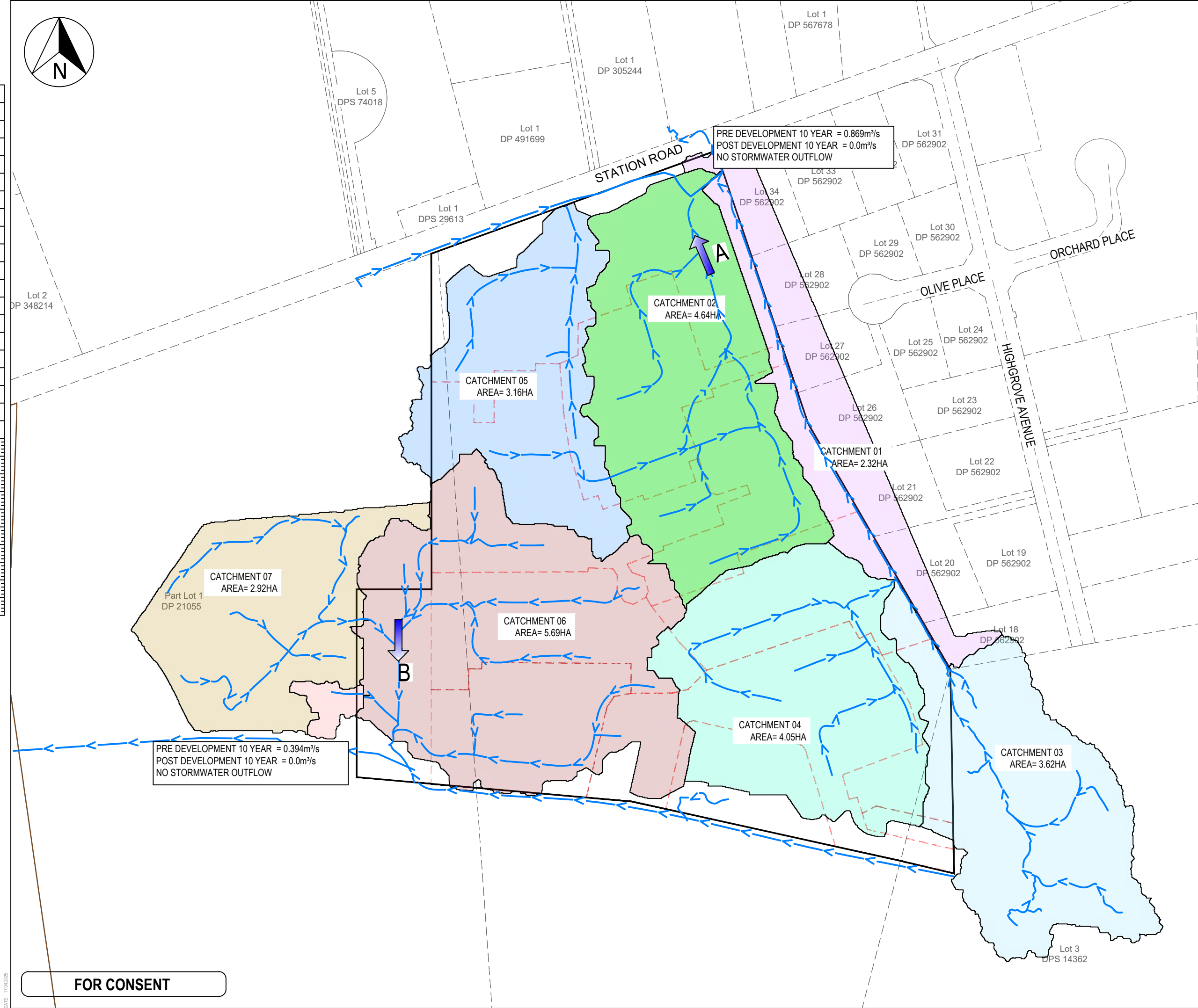
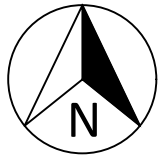
Project

**ASHBOURNE
RETIREMENT VILLAGE
MATAMATA
FOR
UNITY DEVELOPMENT LTD**

Title

**EXISTING STORMWATER
CATCHMENT
PLAN**

Project no.	J00606		
Scale	1:3000@A3		
Cad file	C4050 - SW EX.CATCH.DWG		
Drawing no.	C4050	Rev	B



- NOTES
1. All works to be in accordance with Waikato Regional Infrastructure Technical Specifications (RITS)
 2. refer to stormwater calculations within infrastructure reporting.

Legend	
	EX BDY
	PROP BDY
	STAGING BDY
	OVERLAND FLOW

B	FOR CONSENT	MS	04/25
A	FOR REVIEW	DP	01/25
Rev	Description	By	Date
	By	Date	
Survey	MAVEN	10/2024	
Design	DP	12/2024	
Drawn	DP	12/2024	
Checked	SB	12/2024	

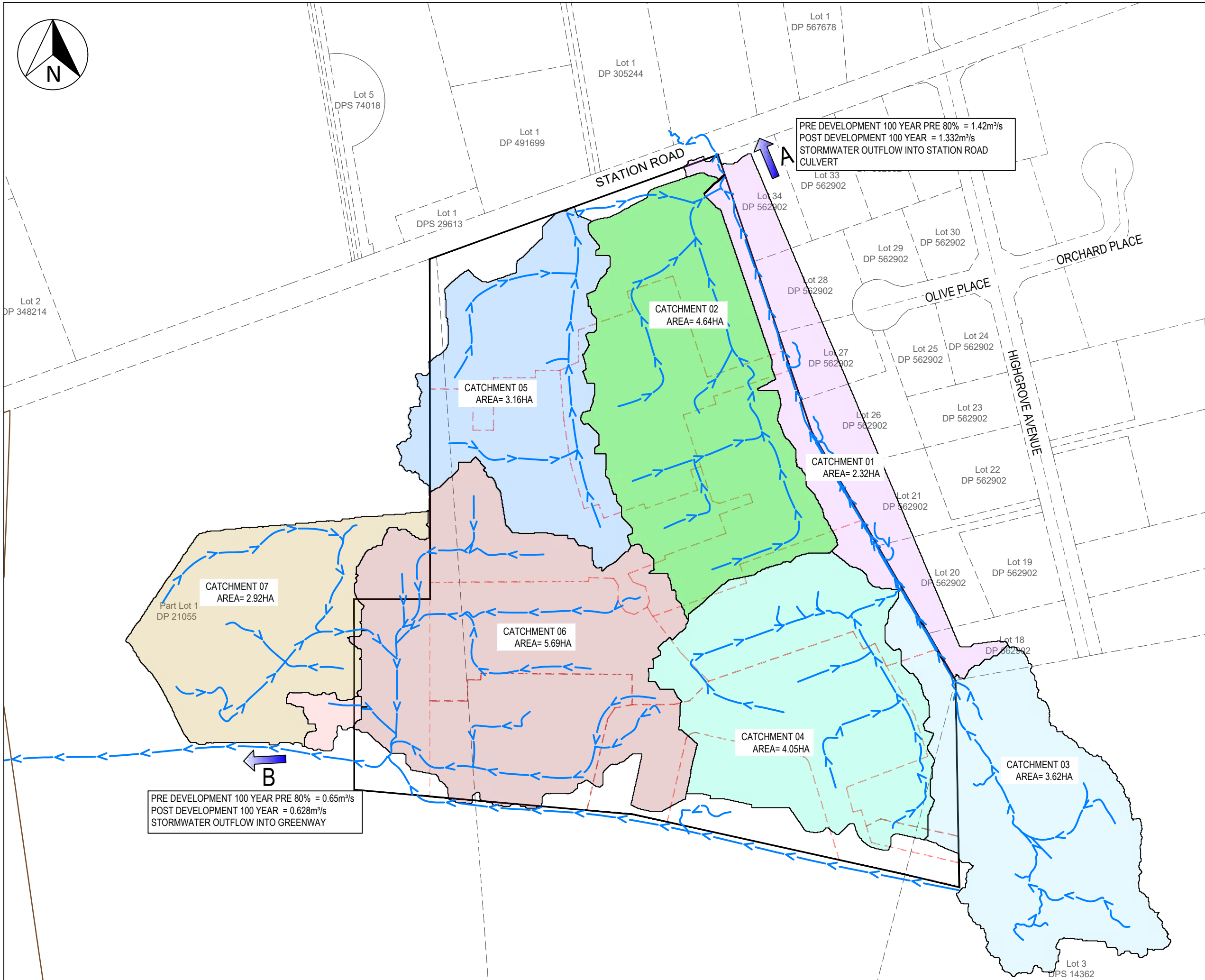
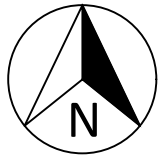


Project
**ASHBOURNE
RETIREMENT VILLAGE
MATAMATA
FOR
UNITY DEVELOPMENT LTD**

Title
**PROPOSED 10 YEAR
STORMWATER
CATCHMENT PLAN**

Project no.	J00606		
Scale	1:3000@A3		
Cad file	C4051 - SW PR.CATCH.DWG		
Drawing no.	C4051	Rev	B

ORIGINAL SIZE: A3
DATE: 17/04/2025
FILE: F:\MAVEN MATAMATA\1. Projects\J00606 MDL - Hemmings Station Rd\6. Drawing\2. CAD\3. Design\C4051 - SW PR.CATCH.dwg



PRE DEVELOPMENT 100 YEAR PRE 80% = 1.42m³/s
POST DEVELOPMENT 100 YEAR = 1.332m³/s
STORMWATER OUTFLOW INTO STATION ROAD
CULVERT

PRE DEVELOPMENT 100 YEAR PRE 80% = 0.65m³/s
POST DEVELOPMENT 100 YEAR = 0.628m³/s
STORMWATER OUTFLOW INTO GREENWAY

- NOTES
1. All works to be in accordance with Waikato Regional Infrastructure Technical Specifications (RITS)
 2. refer to stormwater calculations within infrastructure reporting.

Legend			
---			EX BDY
---			PROP BDY
---			STAGING BDY
---			OVERLAND FLOW

B	FOR CONSENT	MS	04/25
A	FOR REVIEW	DP	01/25
Rev	Description	By	Date
	By	Date	
Survey	MAVEN	10/2024	
Design	DP	12/2024	
Drawn	DP	12/2024	
Checked	SB	12/2024	



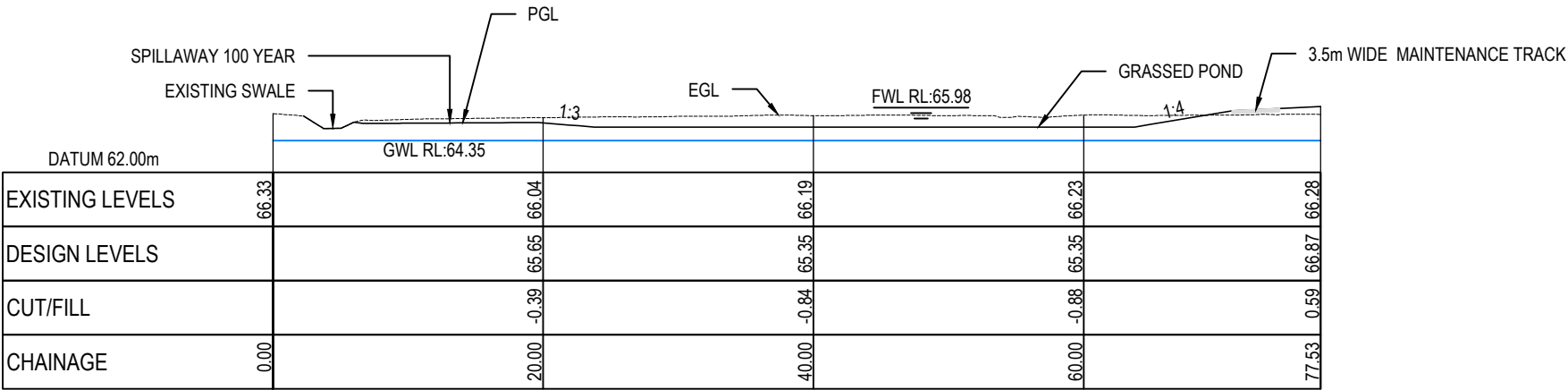
Project
**ASHBOURNE
RETIREMENT VILLAGE
MATAMATA
FOR
UNITY DEVELOPMENT LTD**

Title
**PROPOSED 100 YEAR
STORMWATER
CATCHMENT PLAN**

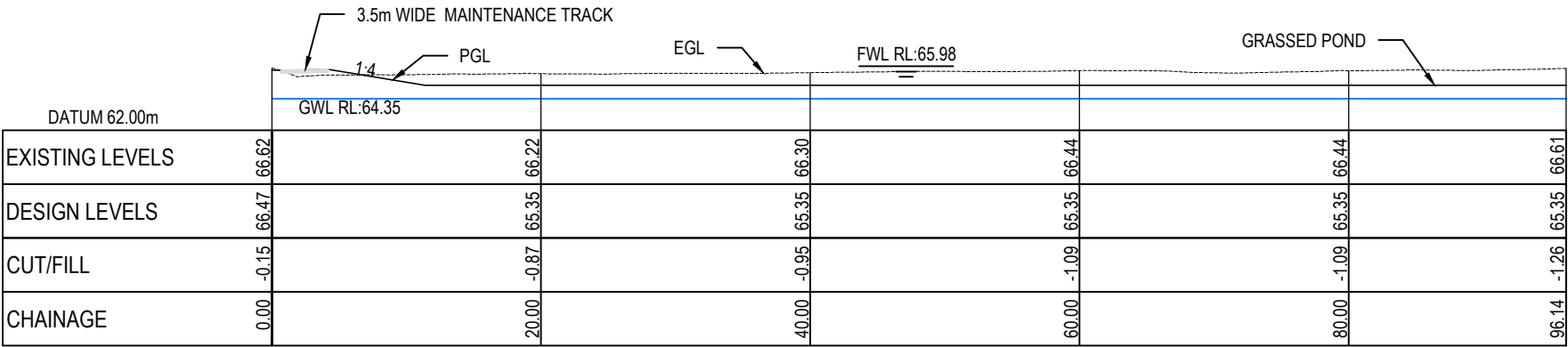
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Cad file	C4051 - SW PR.CATCH.DWG
Drawing no.	C4052
Rev	B

FOR CONSENT

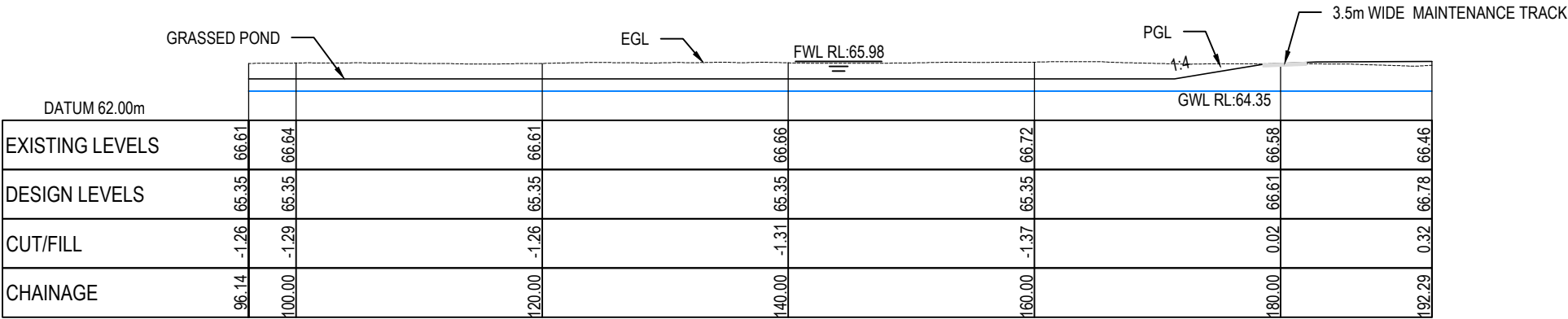
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ORIGINAL SIZE: A3
150mm
100
80
60
40
30
20
10
0



Pond 1 (North East) A-A
SCALE: HORI 1:100 VERT 1:100



Pond 1 (North East) B-B
SCALE: HORI 1:100 VERT 1:100



Pond 1 (North East) B-B
SCALE: HORI 1:100 VERT 1:100

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 8. All cesspit leads shall have min cover 0.9m.
 9. All lines to be abandoned shall be sealed at each end, timing of all sealing to be coordinated with council staff.
 10. Refer to C4700 for Soakage Tank details.

B	FOR CONSENT	MS	04/25
A	FOR REVIEW	DP	01/25
Rev	Description	By	Date
	By	Date	
Survey	MAVEN	10/2024	
Design	KQ	12/2024	
Drawn	DP	12/2024	
Checked	SB	12/2024	



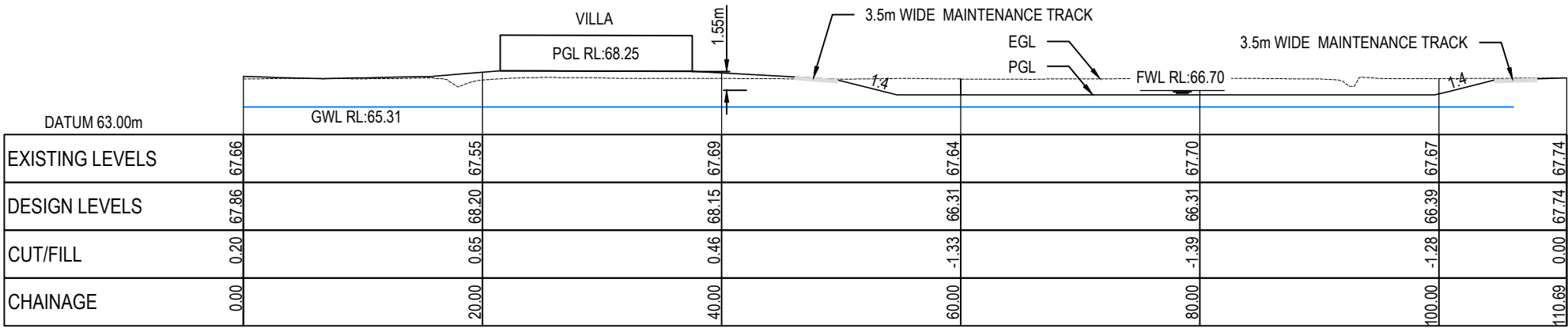
Project
**ASHBOURNE
RETIREMENT VILLAGE
MATAMATA
FOR
UNITY DEVELOPMENT LTD**

Title
**PROPOSED
STORMWATER POND 1
CROSS SECTION PLAN**

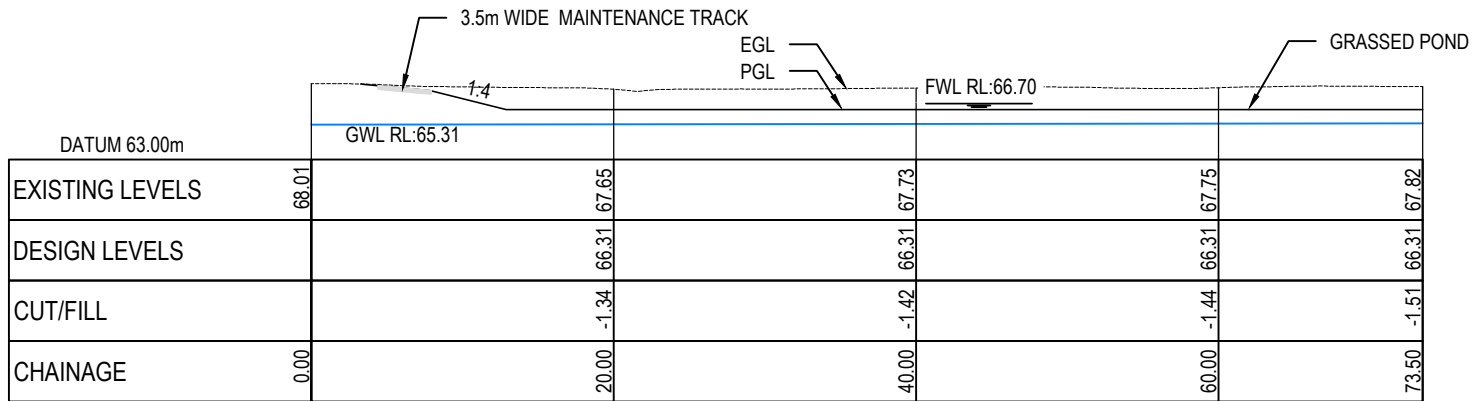
Project no.	J00606		
Scale	AS SHOWN		
Cad file	C4600 - SW POND.DWG		
Drawing no.	C4600	Rev	B

FOR CONSENT

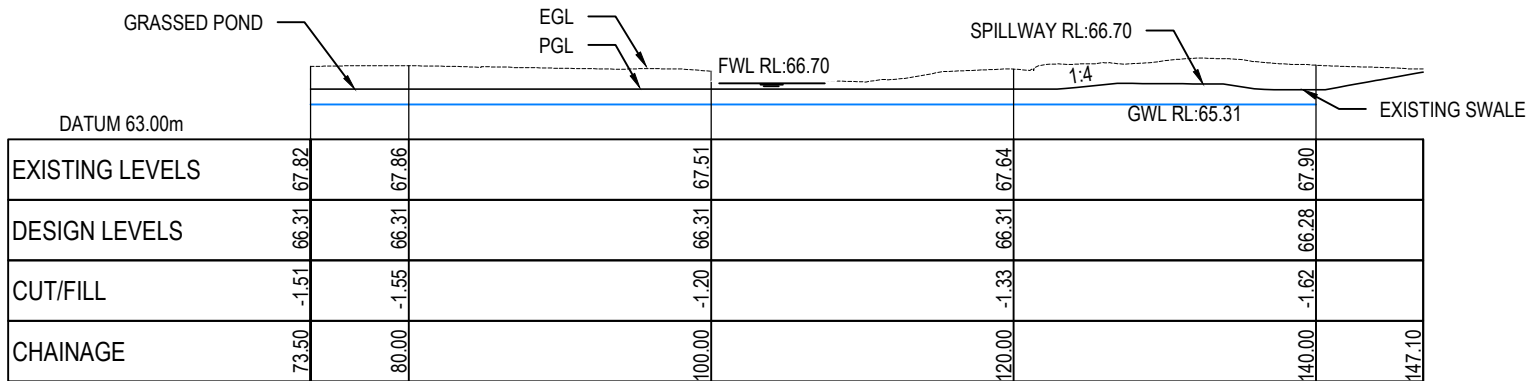
DATE: 17/4/2025
FILE: F:\MAVEN MATAMATA\1. Projects\J00606 MDL - Hemmings Station Rd\6. Drawing\2. CAD\3. Design\C4600 - SW POND.dwg



Pond 2 (South West) A-A
SCALE: HORI 1:100 VERT 1:100



Pond 2 (South West) B-B
SCALE: HORI 1:100 VERT 1:100



Pond 2 (South West) B-B (1)
SCALE: HORI 1:100 VERT 1:100

FOR CONSENT

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B	FOR CONSENT	MS	04/25
A	FOR REVIEW	DP	01/25
Rev	Description	By	Date
	By	Date	
Survey	MAVEN	10/2024	
Design	KQ	11/2024	
Drawn	DP	12/2024	
Checked	SB	12/2024	



Project
**ASHBOURNE
RETIREMENT VILLAGE
MATAMATA
FOR
UNITY DEVELOPMENT LTD**

Title
**PROPOSED
STORMWATER POND 2
CROSS SECTION PLAN**

Project no.	J00606
Scale	AS SHOWN
Cad file	C4600 - SW POND.DWG
Drawing no.	C4601
Rev	B



FOR CONSENT

Notes

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B	FOR CONSENT	MS	04/25
A	FOR REVIEW	DP	01/25
Rev	Description	By	Date
		By	Date
Survey	MAVEN		10/2024
Design	KQ		12/2024
Drawn	DP		12/2024
Checked	SB		12/2024

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Project

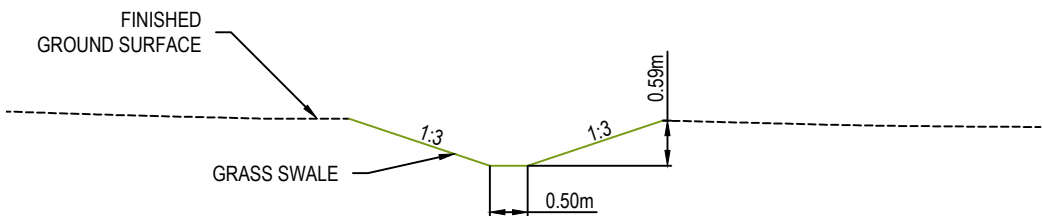
**ASHBOURNE
RETIREMENT VILLAGE
MATAMATA
FOR
UNITY DEVELOPMENT LTD**

Title

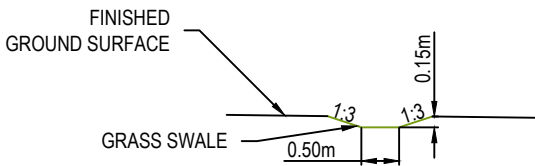
**PROPOSED
STORMWATER SWALES
LAYOUT PLAN**

Project no.	J00606		
Scale	1:2500		
Cad file	C4650 - SW SWALES.DWG		
Drawing no.	C4650	Rev	B

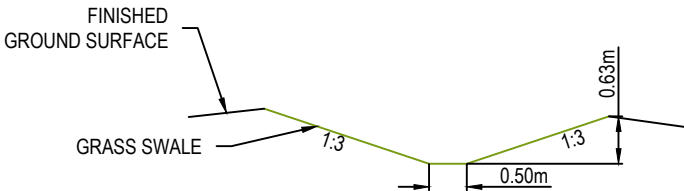
ORIGINAL SIZE: A3
150mm
100
80
60
40
30
20
10
0
DATE: 17/4/2025
FILE: \\maven.mavenc consulting.co.nz\share\Current\MAVEN MATAMATA\1. Projects\J00606 MDL - Hemmings Station Rd\6. Drawing\2. CAD\3. Design\C4650 - SW SWALES.dwg



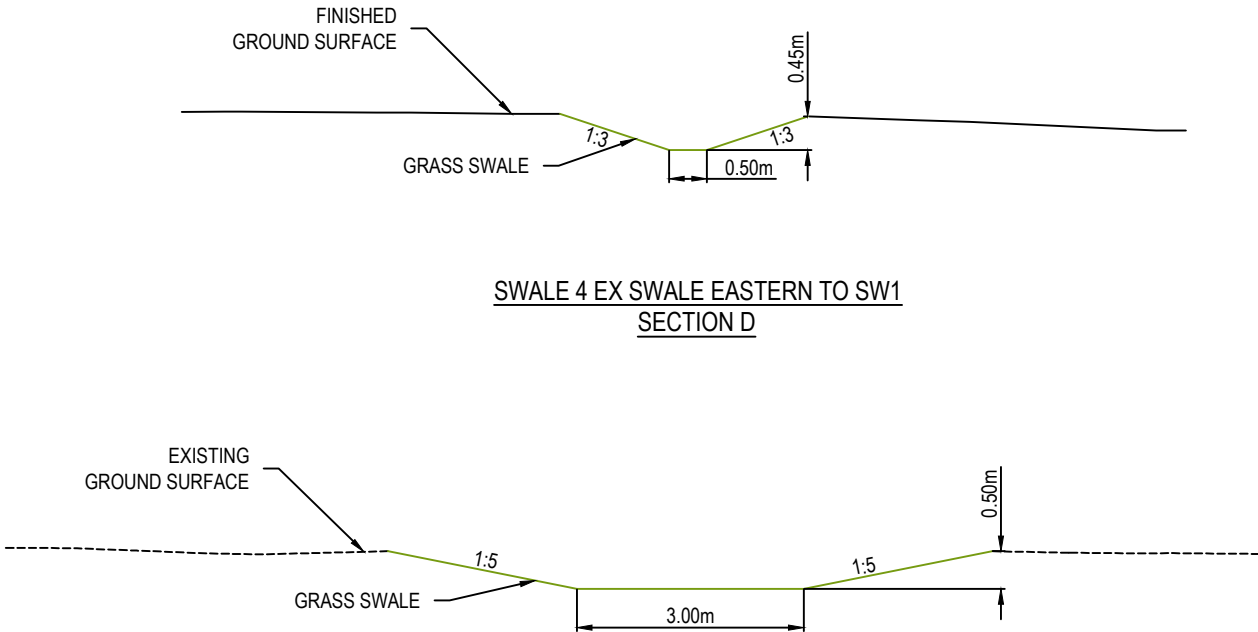
SWALE 1 ROAD 4 TO SW 2
SECTION A



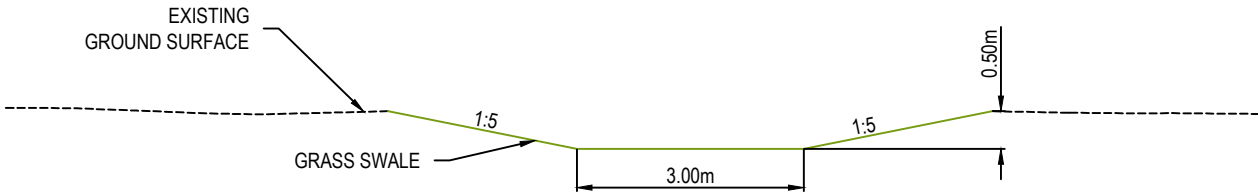
SWALE 2 ROAD 6 TO SW 2
SECTION B



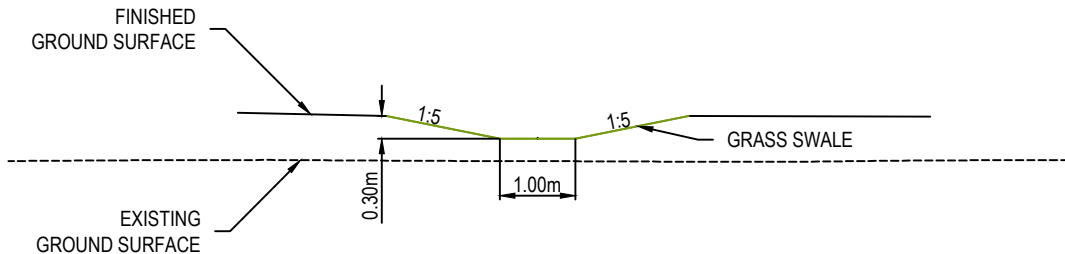
SWALE 3 ROAD 6 TO SW 2
SECTION C



SWALE 4 EX SWALE EASTERN TO SW1
SECTION D



SWALE 5 SOUTHERN CUT OFF DRAIN
SECTION E



SWALE 7 ROAD 5 TO SW1
SECTION G



SWALE 6 TO CREEK
SECTION F

FOR CONSENT

- Notes
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B	FOR CONSENT	MS	04/25
A	FOR REVIEW	DP	01/25
Rev	Description	By	Date
	By	Date	
Survey	MAVEN	10/2024	
Design	KQ	12/2024	
Drawn	DP	12/2024	
Checked	SB	12/2024	



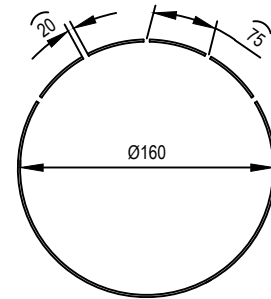
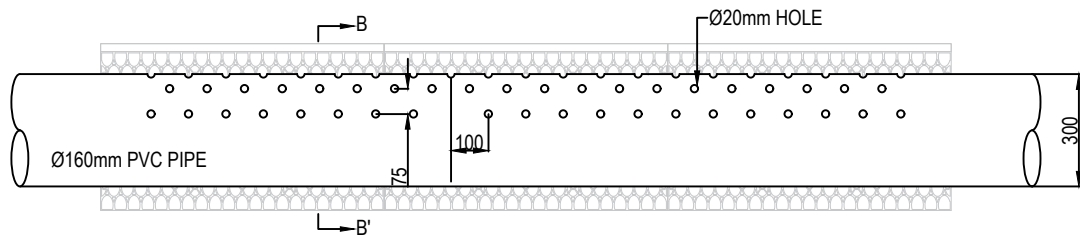
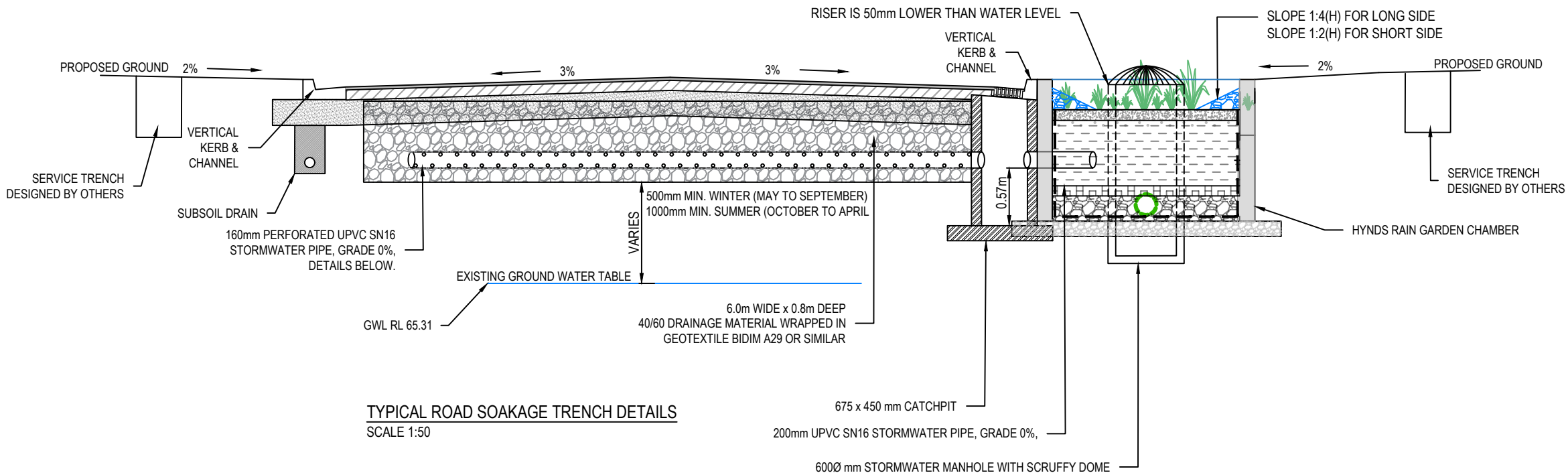
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New Zealand

Project
**ASHBOURNE
RETIREMENT VILLAGE
MATAMATA
FOR
UNITY DEVELOPMENT LTD**

Title
**PROPOSED
STORMWATER SWALES
CROSS SECTIONS**

Project no.	J00606		
Scale	1:100		
Cad file	C4650 - SW SWALES.DWG		
Drawing no.	C4651	Rev	B

ORIGINAL SIZE: A3



LINEAR ACCESS PIPE (160mm) DETAIL
NOT TO SCALE

SECTION B-B'
NOT TO SCALE

Notes

1. All works to be constructed in accordance with RITS.
2. Reduced Levels are in terms of NZVD 2016.
3. Site specific testing is required at building consent to determine the soakage rate and optimal soakage trench location.
4. Invert of soakage device must be 1m above the winter groundwater table.
5. Sizing is based on an assumed depth of 1m and or inside the sand layer
6. Soakage trench device is sized to cater for the 10year ARI event including climate change.
7. Soakage trench must maintain minimum 3m clearance from building footprint in accordance with NZBC and MPDC.
8. Soakage device to be either a soakage trench, soak hole or an approved alternative.
9. Soakage device must be constructed in accordance with the MPDC and BC requirements.

B	FOR CONSENT	MS	04/25
A	FOR REVIEW	DP	01/25
Rev	Description	By	Date
	By	Date	
Survey	MAVEN	10/2024	
Design	DP	12/2024	
Drawn	DP	12/2024	
Checked	SB	11/2024	



Project
**ASHBOURNE
RETIREMENT VILLAGE
MATAMATA
FOR
UNITY DEVELOPMENT LTD**

Title
**PROPOSED
SOAKAGE TRENCH
CROSS SECTION PLAN**

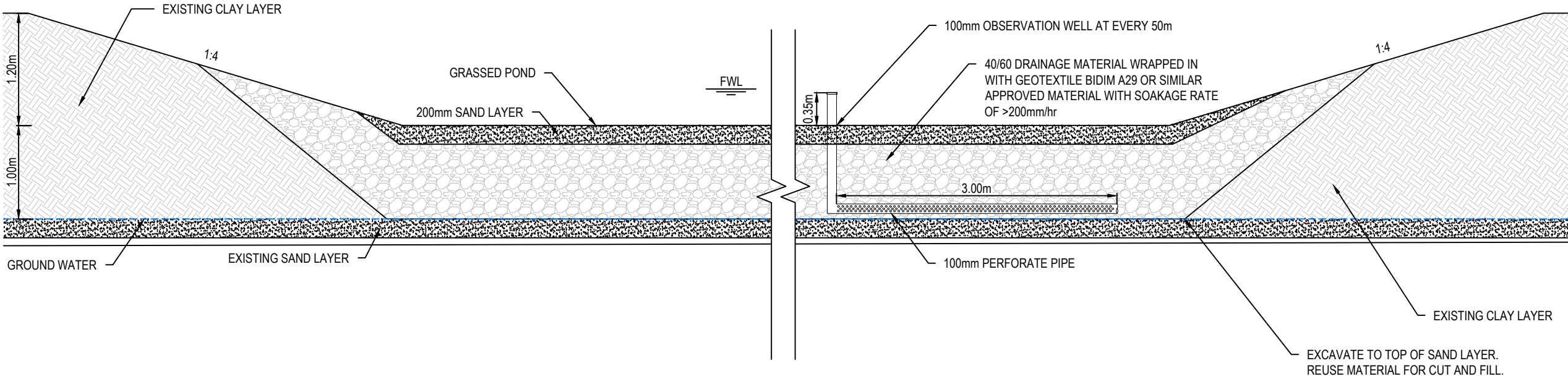
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Scale	AS SHOWN		
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Drawing no.	C4700	Rev	B

FOR CONSENT

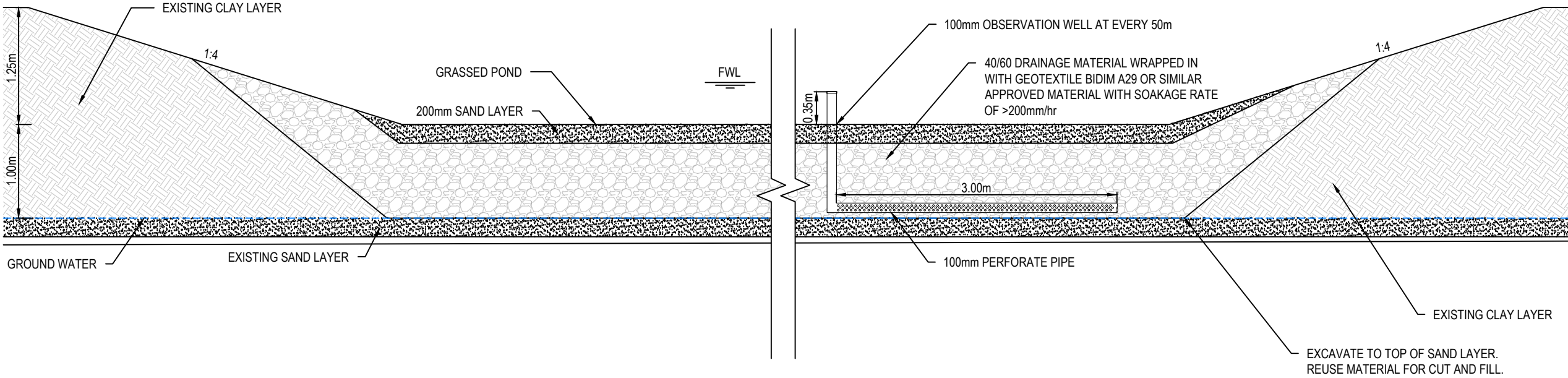
DATE: 17/4/2025

FILE: F:\MAVEN MATAMATA\1. Projects\J00606 MDL - Hemmings Station Rd\6. Drawing\2. CAD\3. Design\C4700 - SW DEVICE DETAILS.dwg

ORIGINAL SIZE: A3
DATE: 17/04/2025
FILE: I:\maven.mavenconsulting.co.nz\share\Current\MAVEN MATAMATA\1. Projects\J00606 MDL - Hemmings Station Rd\6. Drawing\2. CAD\3. Design\C4700 - SW DEVICE DETAILS.dwg



STORMWATER SOAKAGE POND 1 DETAIL
SCALE: 1:50 @ A3



STORMWATER SOAKAGE POND 2 DETAIL
SCALE: 1:50 @ A3

- Notes
1. All works to be constructed in accordance with RITS.
 2. Reduced Levels are in terms of NZVD 2016.
 3. Site specific testing is required at building consent to determine the soakage rate and optimal soakage trench location.
 4. Invert of soakage device must be 1m above the winter groundwater table.
 5. Sizing is based on an assumed depth of 1m and or inside the sand layer
 6. Soakage trench device is sized to cater for the 10year ARI event including climate change.
 7. Soakage trench must maintain minimum 3m clearance from building footprint in accordance with NZBC and MPDC.
 8. Soakage device to be either a soakage trench, soak hole or an approved alternative.
 9. Soakage device must be constructed in accordance with the MPDC and BC requirements.

B	FOR CONSENT	MS	04/25
A	FOR REVIEW	MS	01/25
Rev	Description	By	Date
		By	Date
Survey	MAVEN		10/2024
Design	SB		10/2024
Drawn	MS		11/2024
Checked	NP		11/2024



Project
**ASHBOURNE
RETIREMENT VILLAGE
MATAMATA
FOR
UNITY DEVELOPMENT LTD**

Title
**PROPOSED
STORMWATER POND
DETAIL PLAN**

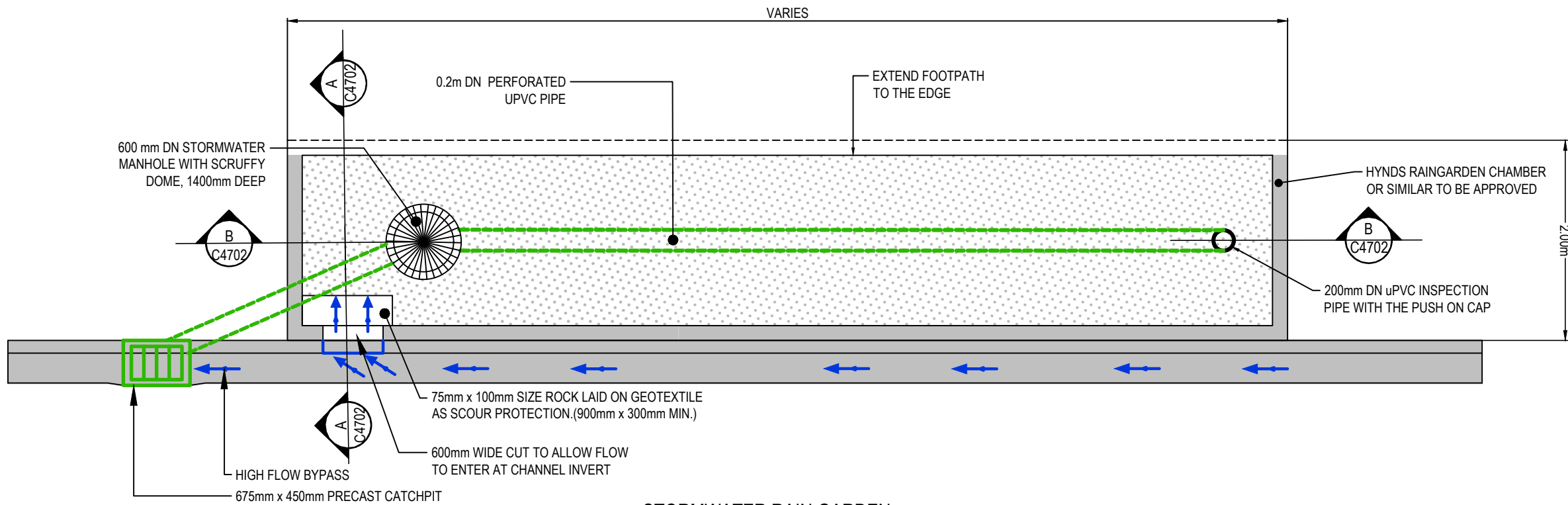
Project no.	J00606
Scale	1:50
Cad file	C4700 - SW DEVICE DETAILS.DWG
Drawing no.	C4701
Rev	B

FROM TR20-7 GUIDELINES

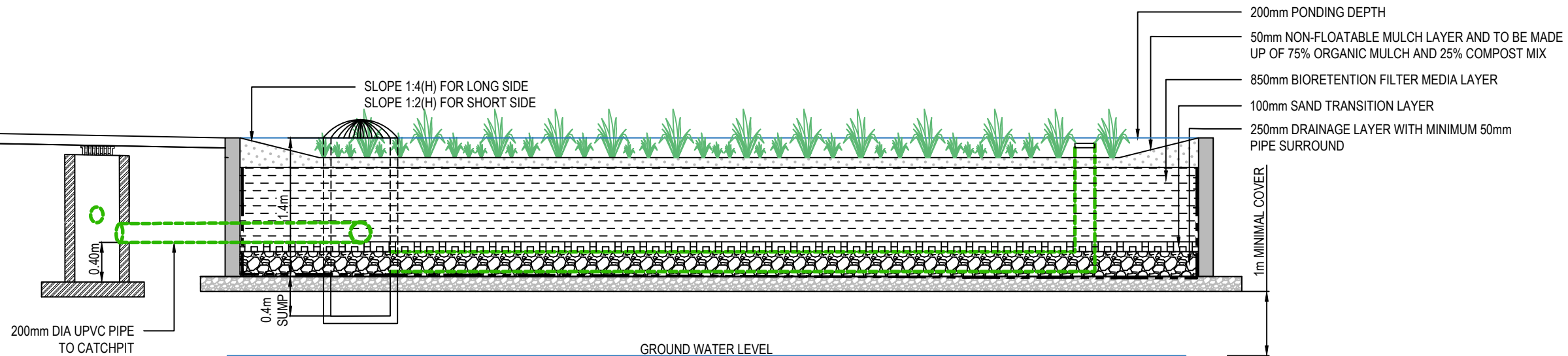
Soakage Class	Approximate Infiltration Rate (in mm/hr)
Sand	1.11
Sandy sand	0.5
Sandy silt	0.25
Silt	0.12
Silt loam	0.07
Sandy clay loam	0.05
Clay loam	0.03
Silty clay loam	0.02
Sandy clay	0.01
Silty clay	0.01
Clay	0.01

FOR CONSENT

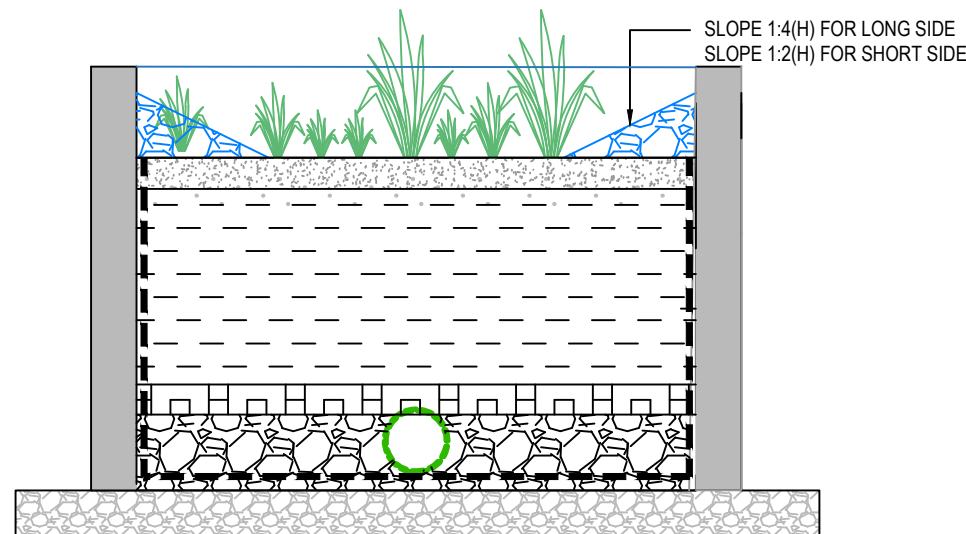
ORIGINAL SIZE: A3
150mm
100
80
60
40
30
20
10
0



STORMWATER RAIN GARDEN
SCALE: 1:50 @ A3



STORMWATER RAIN GARDEN : SECTION B-B
SCALE: 1:50 @ A3



STORMWATER RAIN GARDEN : SECTION A-A
SCALE: 1:50 @ A3

FOR CONSENT

- Notes**
1. All works to be constructed in accordance with RITS.
 2. Reduced Levels are in terms of NZVD 2016.
 3. Tank to be Cirtex Rainsmart Modular Tank or a similar approved product subject to Engineers Approval.
 4. Refer to the Rainsmart Installation Guide G015001 for installation requirements.
 5. Site specific testing is required at building consent to determine the soakage rate and optimal soakage trench location.
 6. Invert of soakage device must be 1m above the winter groundwater table.
 7. Sizing is based on an assumed depth of 1m and or inside the sand layer
 8. Soakage trench device is sized to cater for the 10year ARI event including climate change.
 9. Soakage trench must maintain minimum 3m clearance from building footprint in accordance with NZBC and MPDC.
 10. Soakage device to be either a soakage trench, soak hole or an approved alternative.
 11. Soakage device must be constructed in accordance with the MPDC and BC requirements.

B	FOR CONSENT	MS	04/25
A	FOR REVIEW	MS	01/25
Rev	Description	By	Date
		By	Date
Survey	MAVEN		10/2024
Design	SB		10/2024
Drawn	MS		11/2024
Checked	NP		11/2024



Project
**ASHBOURNE
RETIREMENT VILLAGE
MATAMATA
FOR
UNITY DEVELOPMENT LTD**

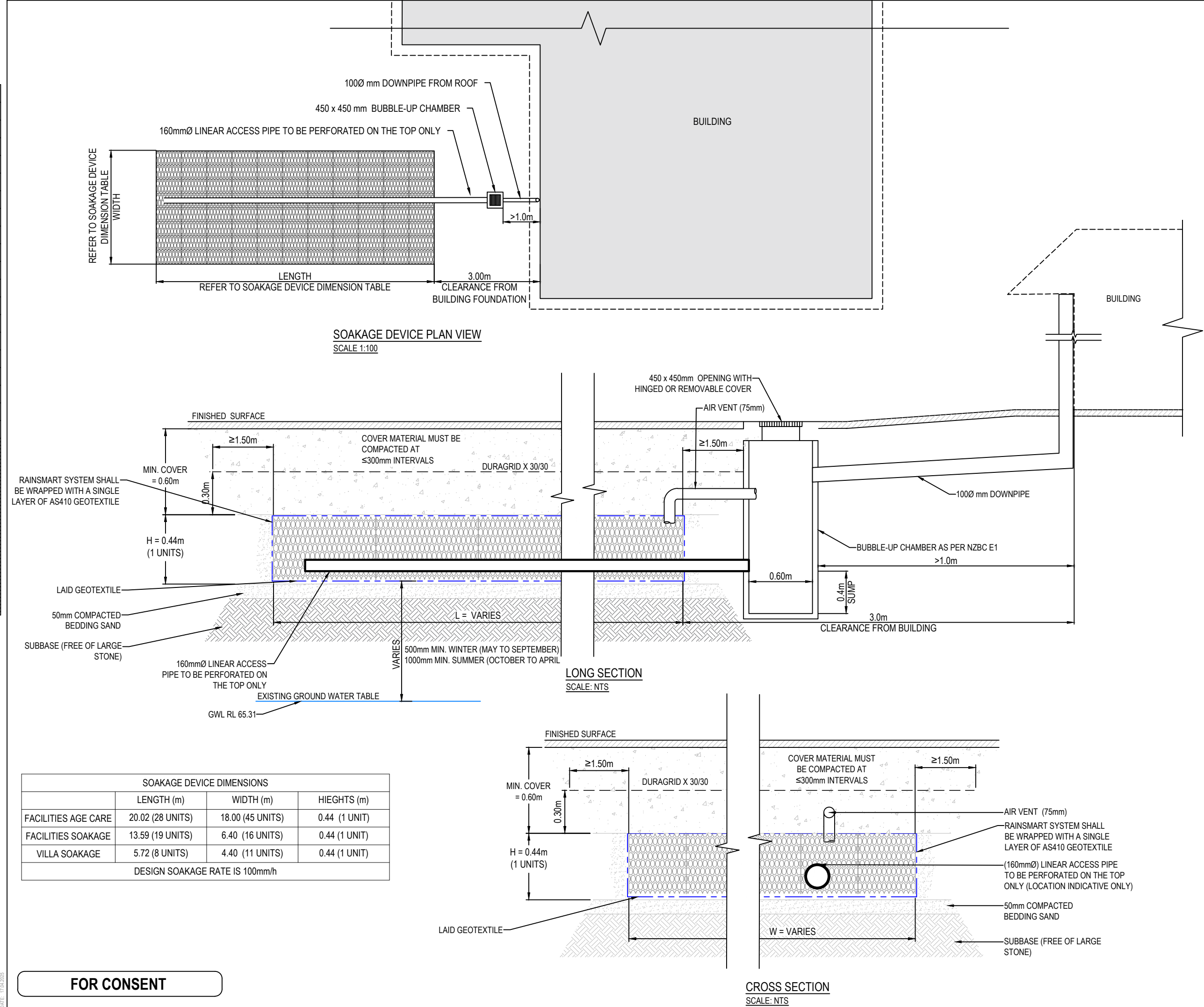
Title
**PROPOSED
STORMWATER RAIN
GARDEN DETAIL PLAN**

Project no.	J00606
Scale	1:50
Cad file	C4700 - SW DEVICE DETAILS.DWG
Drawing no.	C4702
Rev	B

DATE: 17/04/2025

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DATE: 17/04/2025
FILE: F:\MAVEN MATAMATA\1. Projects\J00606 MDL - Hemmings Station Rd\6. Drawing\2. CAD\3. Design\C4700 - SW DEVICE DETAILS.dwg



- Notes
1. All works to be constructed in accordance with RITS.
 2. Reduced Levels are in terms of NZVD 2016.
 3. Tank to be Cirtex Rainsmart Modular Tank or a similar approved product subject to Engineers Approval.
 4. Refer to the Rainsmart Installation Guide G015001 for installation requirements.
 5. Site specific testing is required at building consent to determine the soakage rate and optimal soakage trench location.
 6. Invert of soakage device must be 1m above the winter groundwater table.
 7. Sizing is based on an assumed depth of 1m and or inside the sand layer
 8. Soakage trench device is sized to cater for the 10year ARI event including climate change.
 9. Soakage trench must maintain minimum 3m clearance from building footprint in accordance with NZBC and MPDC.
 10. Soakage device to be either a soakage trench, soak hole or an approved alternative.
 11. Soakage device must be constructed in accordance with the MPDC and BC requirements.

B	FOR CONSENT	MS	04/25
A	FOR REVIEW	DP	01/25
Rev	Description	By	Date
		By	Date
Survey	MAVEN		10/2024
Design	DP		12/2024
Drawn	DP		12/2024
Checked	SB		11/2024



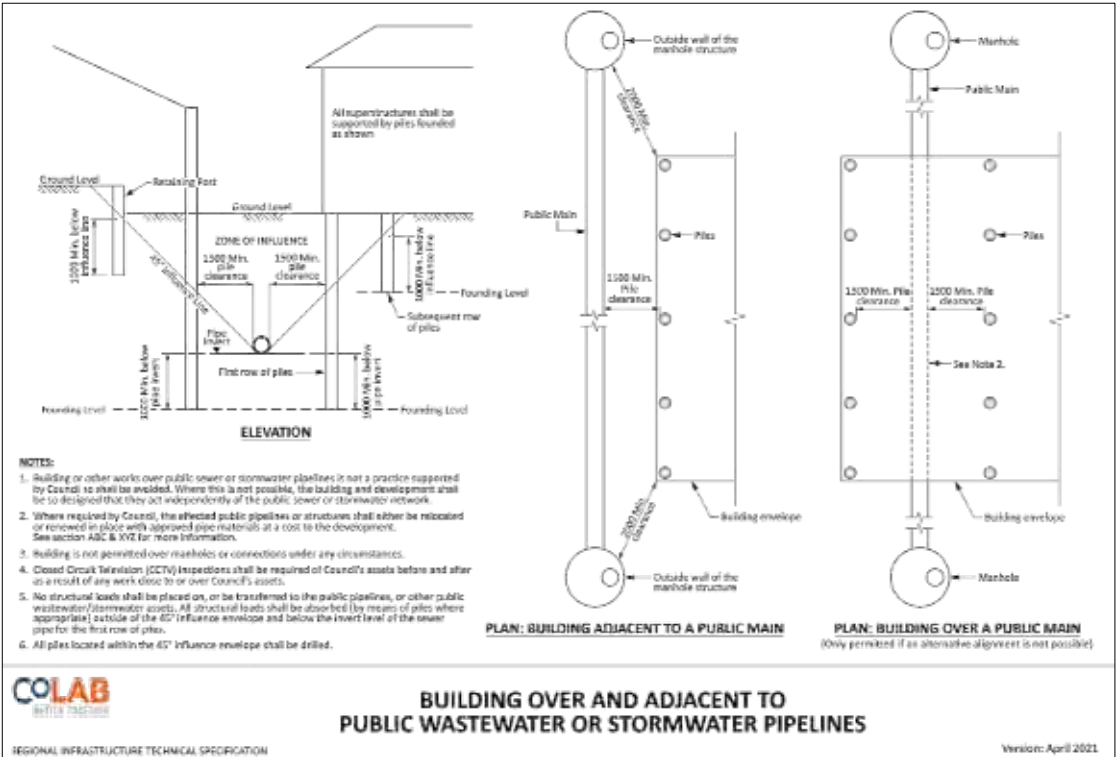
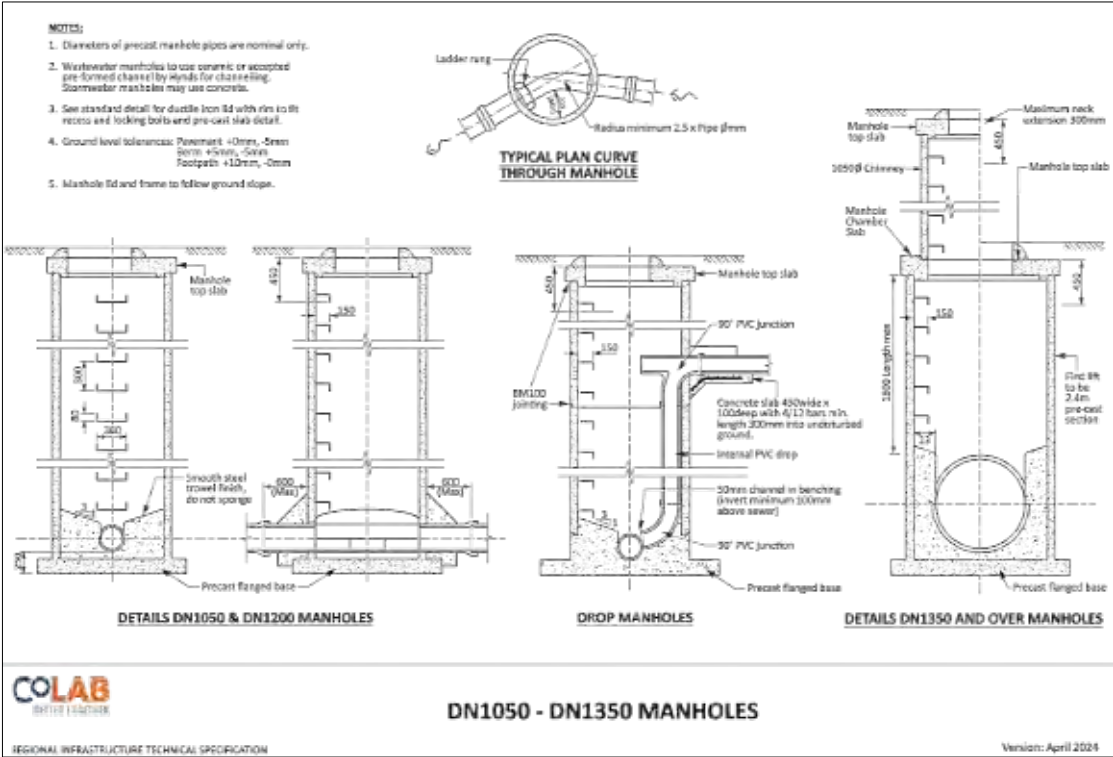
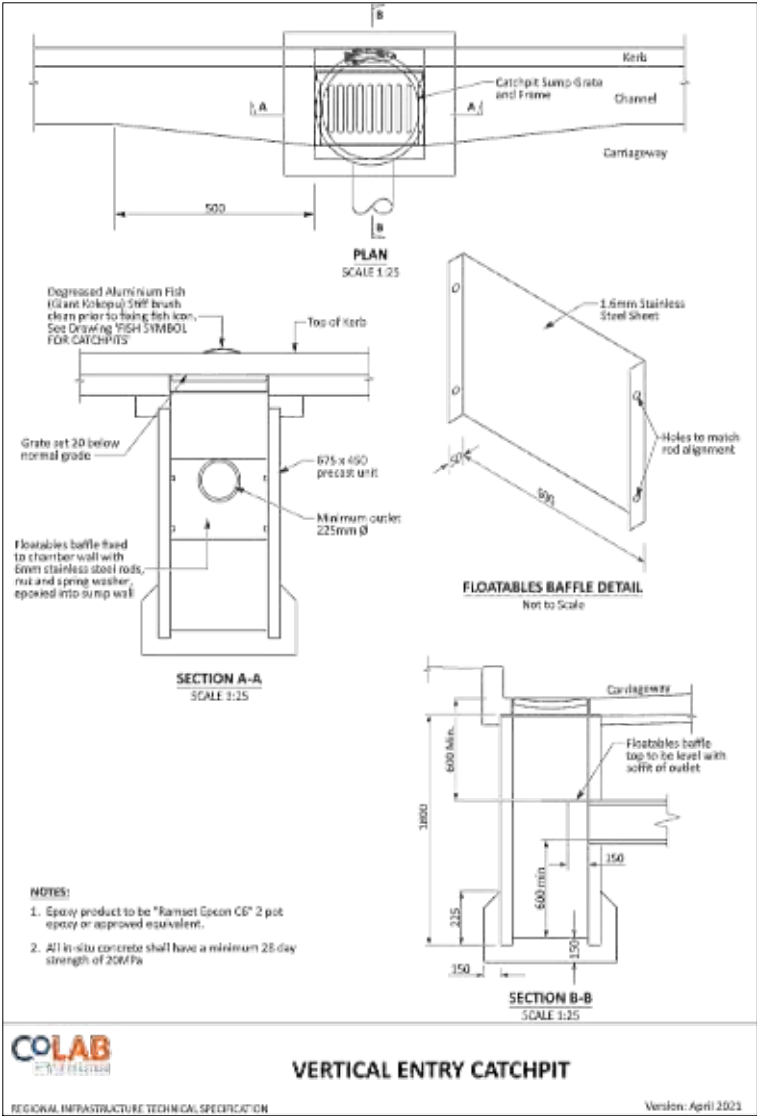
Project
**ASHBOURNE
RETIREMENT VILLAGE
MATAMATA
FOR
UNITY DEVELOPMENT LTD**

Title
**PROPOSED
SOAKAGE DEVICE
CROSS SECTION PLAN**

Project no.	J00606
Scale	AS SHOWN
Cad file	C4700 - SW DEVICE DETAILS.DWG
Drawing no.	C4703
Rev	B

150mm
100
80
60
40
20
0
DATE: 17/04/2025
FILE: F:\MAVEN MATAMATA\1. Projects\J00606 MDL - Hennings Station Rd6. Drawing\2. CAD\3. Design\C4800 - SW SD DETAILS.dwg

FOR CONSENT



- Notes
- All works to be in accordance WITH RITS standards.
 - All bends and connections to be no more than 45°
 - All connections to existing drains shall be carried out by a licensed Drainlayer/Plumber.
 - Drainage shall comply in full with E1/AS1 building code for storm water.
 - All cesspits shall have half syphons installed.
 - All sanitary waste drains shall be uPVC to AS/NZS 1260.
 - Sewer shall comply in full with AS/NZS 3500.2 - 2003 and/or G13 Building Code
 - Refer to Hydraulic engineers drawings for building plumbing beyond that shown including down pipe sizes.
 - All pipes shall be SN16 grade unless otherwise stated.
 - Drainlayer shall locate and confirm connection invert before starting building works.
 - Plans to be read in conjunction with Hydraulic Engineers and differences shall clarified be before contractor starts.
 - All chamber lids shall have a minimum 200mm maximum 300 throat to provide sufficient cover for landscape and pavement over the top.

B	FOR CONSENT	MS	04/25
A	FOR REVIEW	DP	01/25
Rev	Description	By	Date
		By	Date
Survey	MAVEN		10/2024
Design	DP		10/2024
Drawn	DP		11/2024
Checked	SB		11/2024



Project
**ASHBOURNE
RETIREMENT VILLAGE
MATAMATA
FOR
UNITY DEVELOPMENT LTD**

Title
**PROPOSED
STORMWATER STANDARD
DETAIL**

Project no.	J00606
Scale	1:1000@A3
Cad file	C4800 - SW SD DETAILS.DWG
Drawing no.	C4800
Rev	B

ORIGINAL SIZE: A3
DATE: 17/12/2024
FILE: F:\MAVEN MATAMATA\1. Projects\J00606 MDL - Hemmings Station Rd8. Drawing\2. CAD\3. Design\C4900 - SW overland flow path - dwg



- Notes
1. All works to be in accordance with RITS standards.
 2. Co-ordinates in terms of Mount Eden 2000.
 3. Reduced Levels are in terms of NZVD 2016.
 4. It is the contractors responsibility to locate all services that may be affected by his operations.
 5. Pipe bedding: 0 - 10% granular bedding, 10 - 20% weak concrete bedding, greater than 20% weak concrete bedding (7mpa plus anti scour blocks at 6m crs).
 6. Approved hardfill is to be used in backfilling of all road crossings and vehicle crossings to council standards.
 7. Heavy duty manhole lids and frames to be used in trafficked areas.
 8. All cesspit leads shall have min cover 0.9m.
 9. All lines to be abandoned shall be sealed at each end, timing of all sealing to be coordinated with council staff.
 10. Refer to C4700 for Soakage Tank details.

Legend

- EX BDY
- PROP BDY
- OVERLAND FLOW

A	FOR CONSENT	DP	04/25
Rev	Description	By	Date
Survey	MAVEN		10/2024
Design	KQ		12/2024
Drawn	DP		04/2024
Checked	SB		12/2024

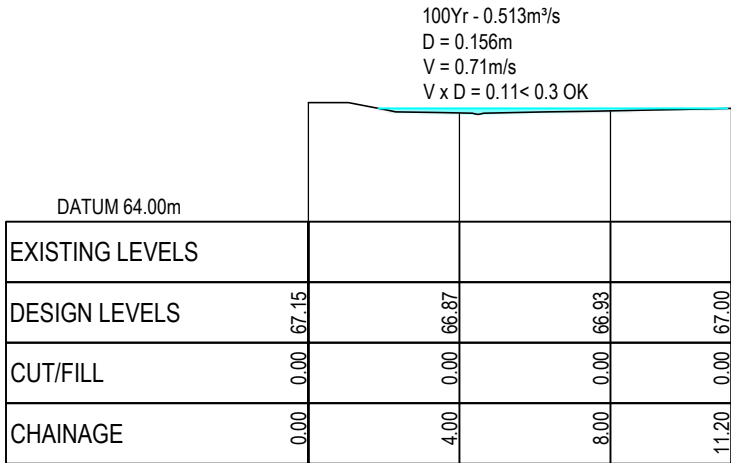


Project
**ASHBOURNE
RETIREMENT VILLAGE
MATAMATA
FOR
UNITY DEVELOPMENT LTD**

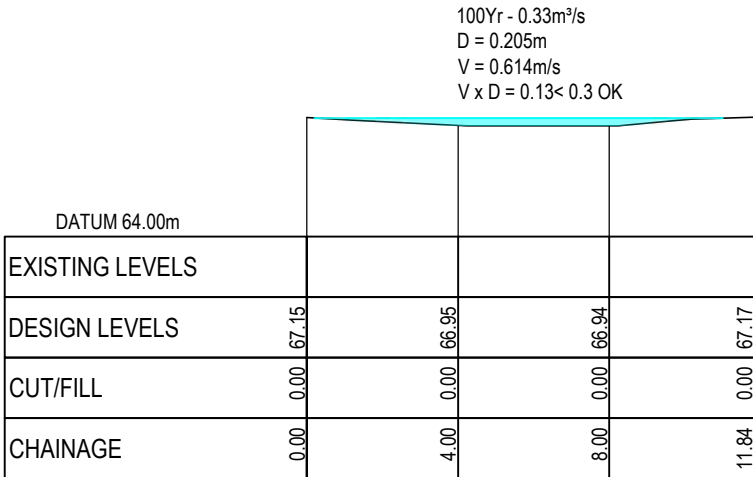
Title
**PROPOSED
OVERLAND FLOWPATH
LAYOUT PLAN**

Project no.	J00606
Scale	AS SHOWN
Cad file	C4900 - SW OVERLAND FLOW PATH - DWG
Drawing no.	C4900
Rev	A

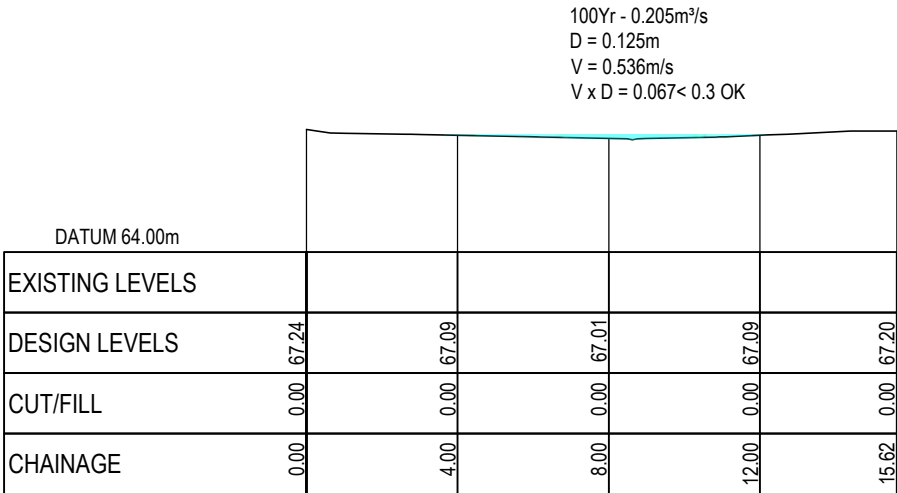
ORIGINAL SIZE: A3
150mm
100
80
60
40
30
20
10
0
DATE: 17/12/2025
FILE: \\maven.mavencoconsulting.co.nz\share\Current\MAVEN MATAMATA\1. Projects\J00606 MDL - Hermitage Station Rd\8. Drawing\2. CAD\3. Design\C4900 - SW overland flow path -.dwg



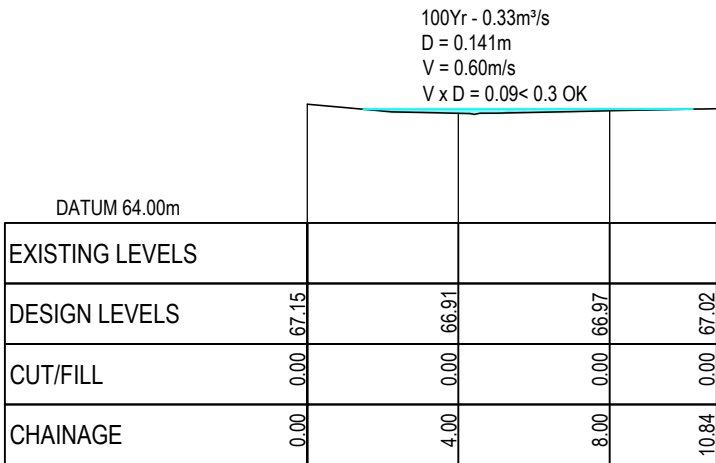
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SCALE: HORI 1:1000 VERT 1:1000



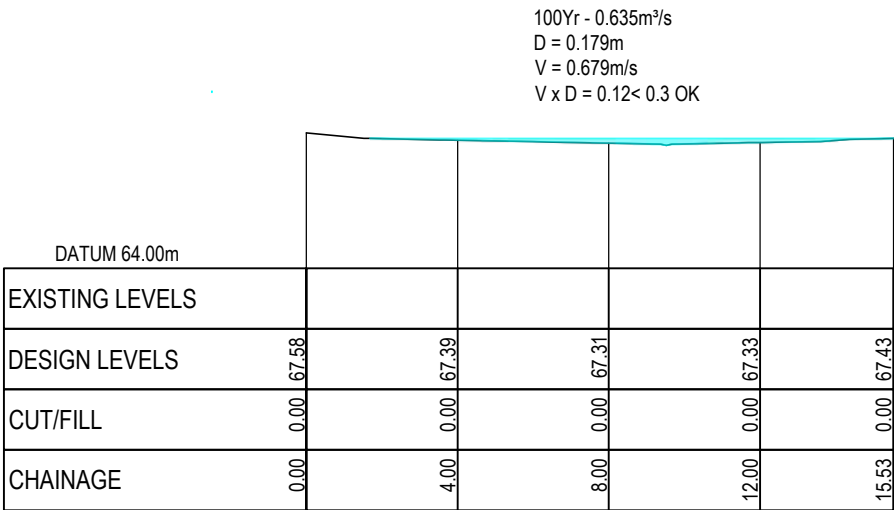
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SCALE: HORI 1:1000 VERT 1:1000



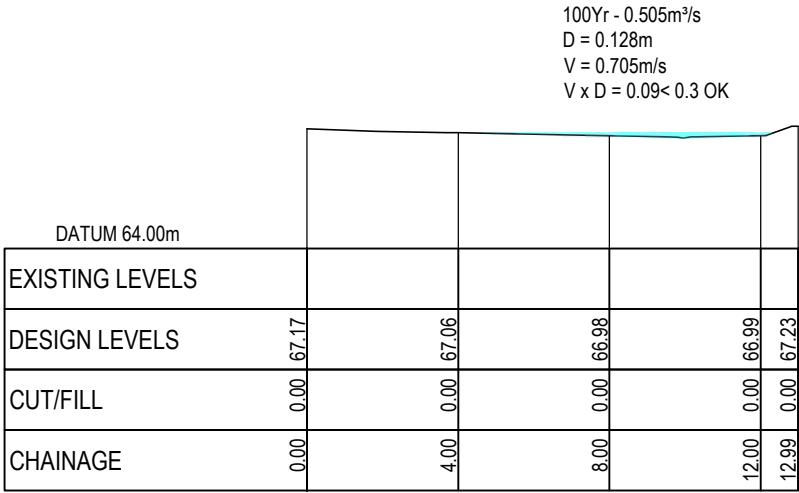
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SCALE: HORI 1:1000 VERT 1:1000



PV - OLF -CROSS-SECTION-B
SCALE: HORI 1:1000 VERT 1:1000



PV - OLF-CROSS-SECTION-D
SCALE: HORI 1:1000 VERT 1:1000



PV - OLF-CROSS-SECTION-F
SCALE: HORI 1:1000 VERT 1:1000

FOR CONSENT

- Notes
1. All works to be in accordance with RITS standards.
 2. Co-ordinates in terms of Mount Eden 2000.
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 8. All cesspit leads shall have min cover 0.9m.
 9. All lines to be abandoned shall be sealed at each end. timing of all sealing to be coordinated with council staff.
 10. Refer to C4700 for Soakage Tank details.

A	FOR CONSENT	DP	04/25
Rev	Description	By	Date
	By	Date	
Survey	MAVEN	10/2024	
Design	KQ	12/2024	
Drawn	DP	04/2025	
Checked	SB	12/2024	



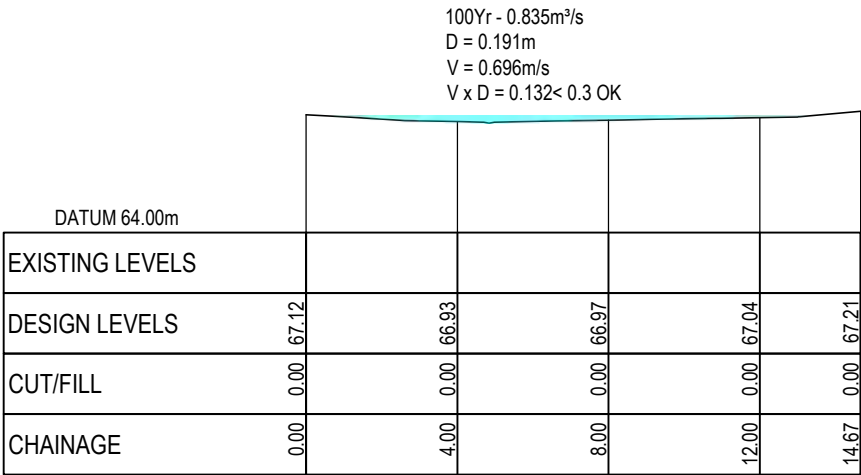
Maven Matamata
matamatainfo@maven.co.nz
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8 Tainui Street, Matamata
New Zealand

Project
**ASHBOURNE
RETIREMENT VILLAGE
MATAMATA
FOR
UNITY DEVELOPMENT LTD**

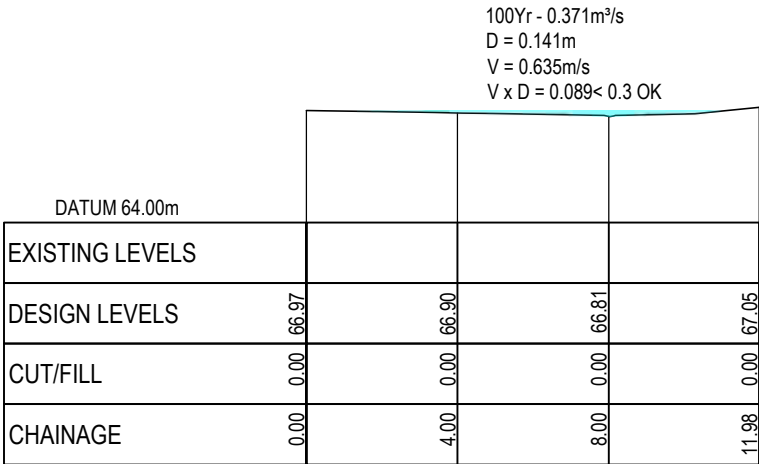
Title
**PROPOSED
OVERLAND FLOW
CROSS SECTION (1 OF 3)**

Project no.	J00606		
Scale	AS SHOWN		
Cad file	C4900 - SW OVERLAND FLOW PATH -		
Drawing no.	C4901	Rev	A

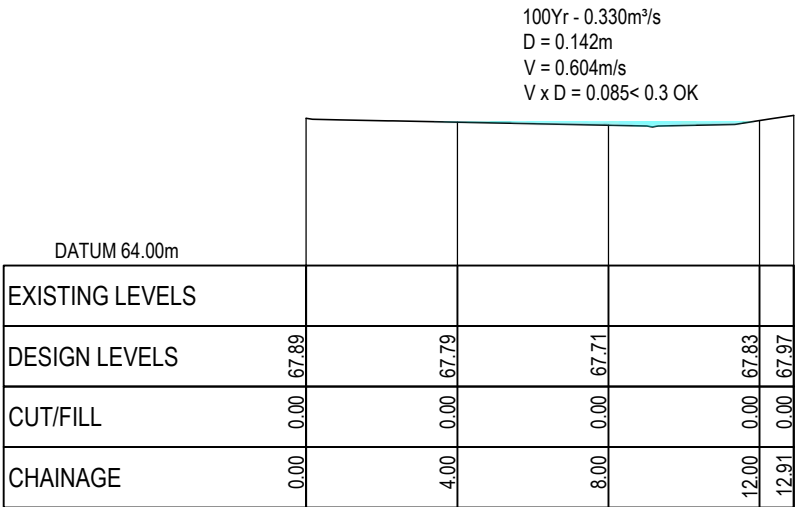
DATE: 17/12/2025
ORIGINAL SIZE: A3
150mm
100
80
60
40
30
20
10
0



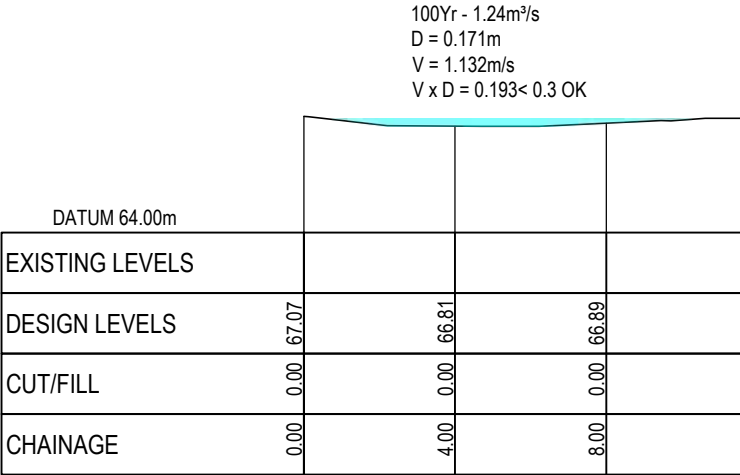
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SCALE: HORI 1:1000 VERT 1:1000



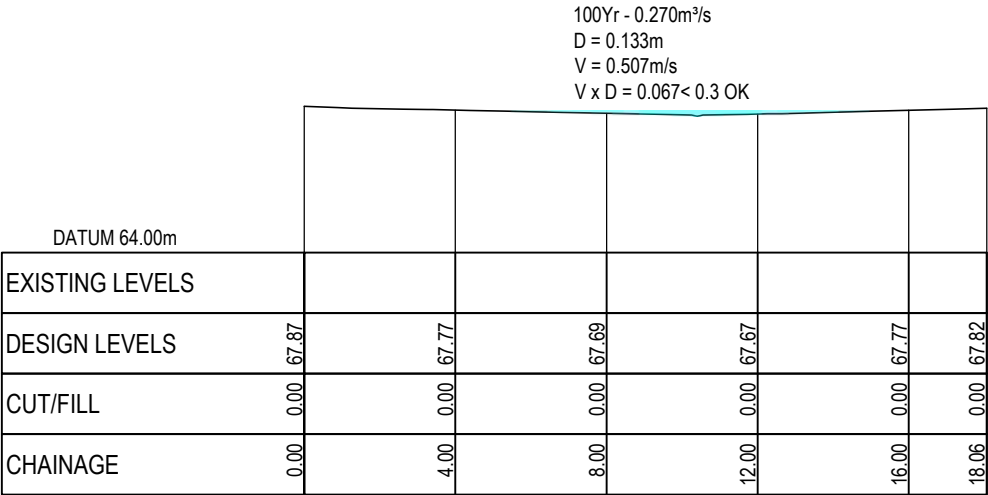
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SCALE: HORI 1:1000 VERT 1:1000



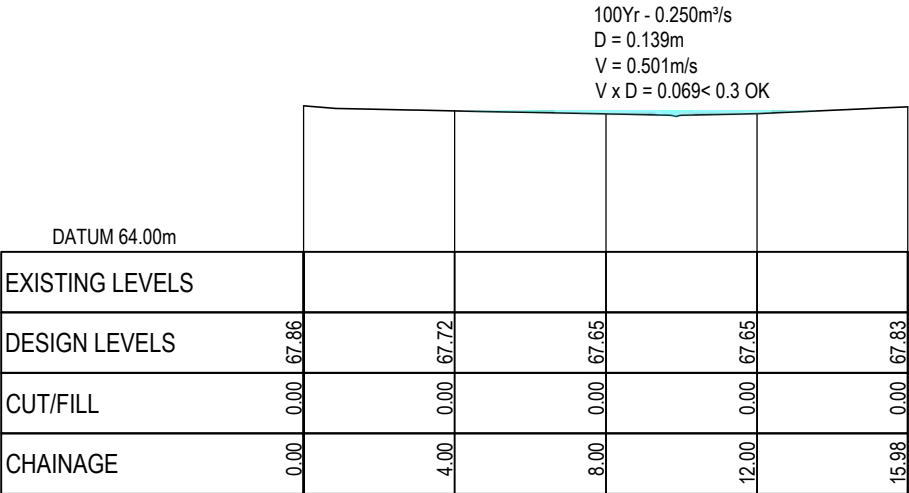
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SCALE: HORI 1:1000 VERT 1:1000



PV - OLF-CROSS-SECTION-H
SCALE: HORI 1:1000 VERT 1:1000



PV - OLF-CROSS-SECTION-J
SCALE: HORI 1:1000 VERT 1:1000



PV - OLF-CROSS-SECTION-L
SCALE: HORI 1:1000 VERT 1:1000

FOR CONSENT

- Notes
1. All works to be in accordance with RITS standards.
 2. Co-ordinates in terms of Mount Eden 2000.
 3. Reduced Levels are in terms of NZVD 2016.
 4. It is the contractors responsibility to locate all services that may be affected by his operations.
 5. Pipe bedding: 0 - 10% granular bedding, 10 - 20% weak concrete bedding, greater than 20% weak concrete bedding (7mpa plus anti scour blocks at 6m crs).
 6. Approved hardfill is to be used in backfilling of all road crossings and vehicle crossings to council standards.
 7. Heavy duty manhole lids and frames to be used in trafficked areas.
 8. All cesspit leads shall have min cover 0.9m.
 9. All lines to be abandoned shall be sealed at each end, timing of all sealing to be coordinated with council staff.
 10. Refer to C4700 for Soakage Tank details.

A	FOR CONSENT	DP	04/25
Rev	Description	By	Date
	By	Date	
Survey	MAVEN	10/2024	
Design	KQ	11/2024	
Drawn	DP	04/2024	
Checked	SB	12/2024	

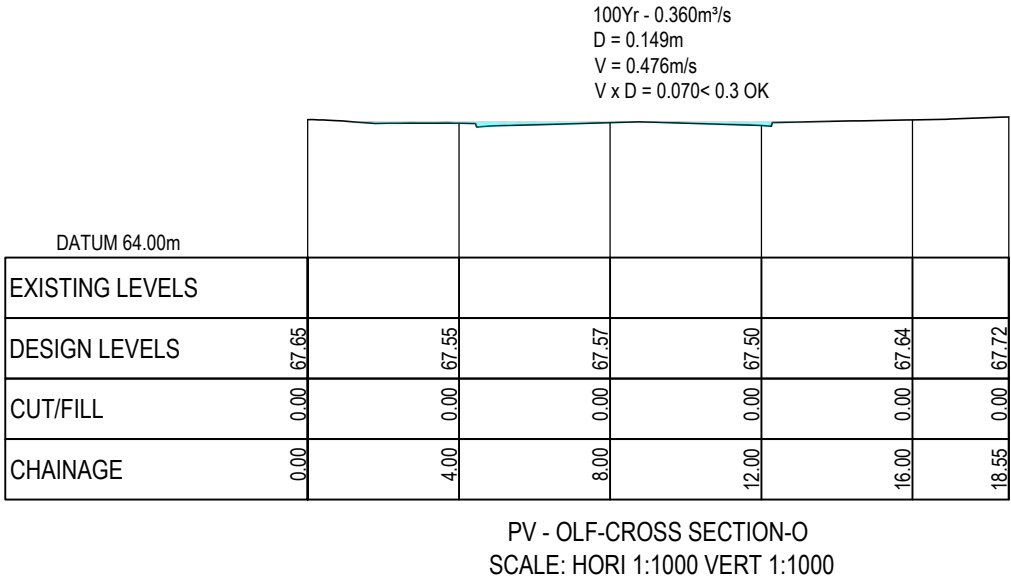
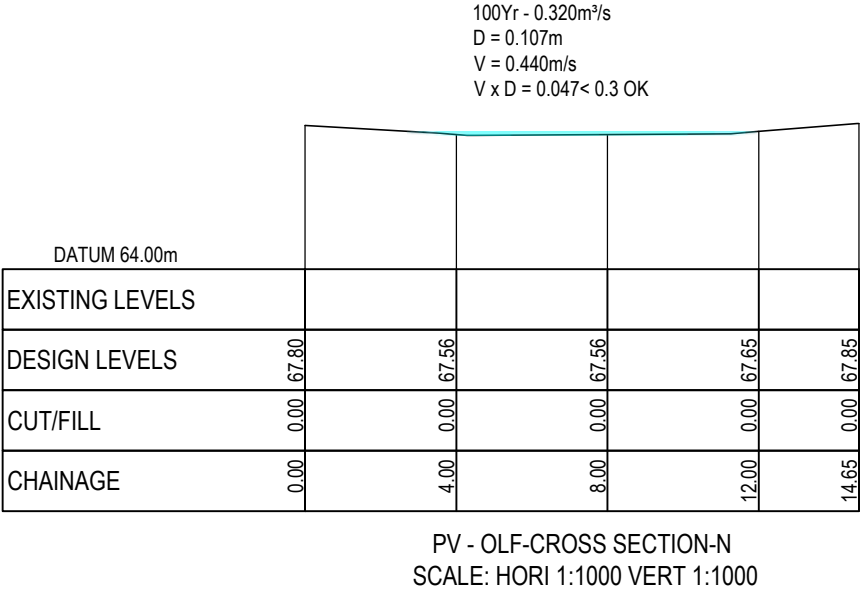
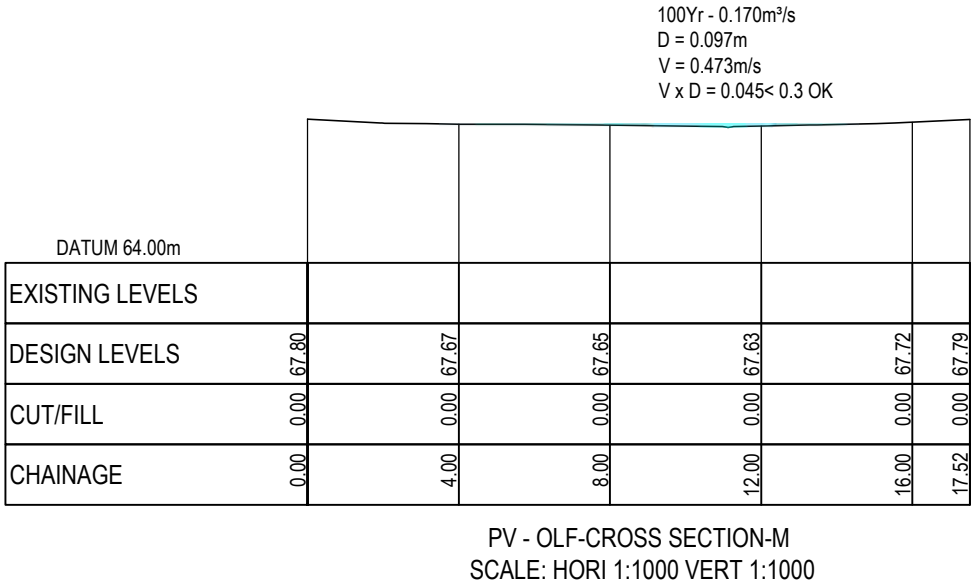


Project
**ASHBOURNE
RETIREMENT VILLAGE
MATAMATA
FOR
UNITY DEVELOPMENT LTD**

Title
**PROPOSED
OVERLAND FLOW
CROSS SECTION (2 OF 3)**

Project no.	J00606		
Scale	AS SHOWN		
Cad file	C4900 - SW OVERLAND FLOW PATH -		
Drawing no.	C4902	Rev	B

DATE: 17/12/2025 ORIGINAL SIZE: A3



FOR CONSENT

- Notes
1. All works to be in accordance with RITS standards.
 2. Co-ordinates in terms of Mount Eden 2000.
 3. Reduced Levels are in terms of NZVD 2016.
 4. It is the contractors responsibility to locate all services that may be affected by his operations.
 5. Pipe bedding: 0 - 10% granular bedding,10 - 20% weak concrete bedding.greater than 20% weak concrete bedding (7mpa plus anti scour blocks at 6m crs).
 6. Approved hardfill is to be used in backfilling of all road crossings and vehicle crossings to council standards.
 7. Heavy duty manhole lids and frames to be used in trafficked areas.
 8. All cesspit leads shall have min cover 0.9m.
 9. All lines to be abandoned shall be sealed at each end. timing of all sealing to be coordinated with council staff.
 10. Refer to C4700 for Soakage Tank details.

A	FOR COSENT	DP	01/25
Rev	Description	By	Date
	By	Date	
Survey	MAVEN	10/2024	
Design	KQ	11/2024	
Drawn	DP	04/2024	
Checked	SB	12/2024	

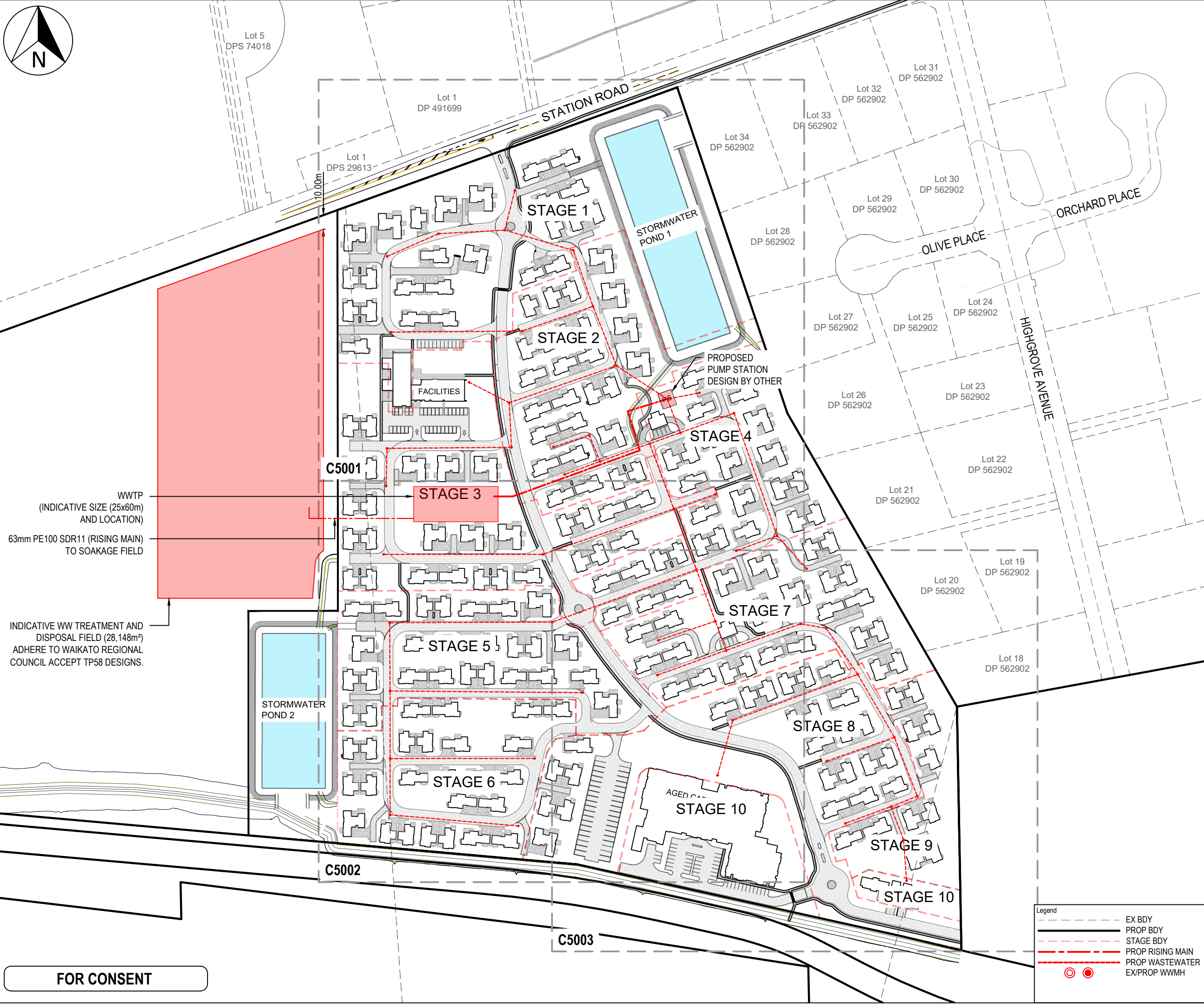
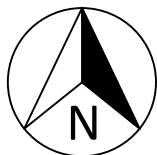


Maven Matamata
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8 Tainui Street, Matamata
New Zealand

Project

**ASHBOURNE
RETIREMENT VILLAGE
MATAMATA
FOR
UNITY DEVELOPMENT LTD**

Title			
PROPOSED OVERLAND FLOW CROSS SECTION (3 OF 3)			
Project no.	J00606		
Scale	AS SHOWN		
Cad file	C4900 - SW OVERLAND FLOW PATH -.DWG		
Drawing no.	C4903	Rev	A



WWTP
(INDICATIVE SIZE (25x60m)
AND LOCATION)

63mm PE100 SDR11 (RISING MAIN)
TO SOAKAGE FIELD

INDICATIVE WW TREATMENT AND
DISPOSAL FIELD (28,148m²)
ADHERE TO WAIKATO REGIONAL
COUNCIL ACCEPT TP58 DESIGNS.

FOR CONSENT

Legend	
---	EX BDY
---	PROP BDY
---	STAGE BDY
---	PROP RISING MAIN
---	PROP WASTEWATER
---	EX/PROP WWMH

- Notes
1. All works to be in accordance with Local Council standards.
 2. Co-ordinates in terms of Mount Eden 2000.
 3. Reduced Levels are in terms of NZVD 2016.
 4. It is the contractors responsibility to locate all services that may be affected by their operations.
 5. The contractor shall comply with all relevant OSH and Health & Safety requirements.
 6. The contractor shall obtain all necessary approval from utility operators before commencing work under or near their services.
 7. Minimum clearances & cover shall be in accordance with Local Council standards.
 8. Pipe bedding: 0 - 10% = granular bedding, 10 - 20% = weak concrete bedding, greater than 20% = weak concrete bedding (7mpa plus anti scour blocks at 6m crs).
 9. Approved hardfill to be used in backfilling of all road crossings and vehicle crossings to Local Council standards.
 10. Heavy duty manhole lids and frames to be used in trafficked areas.
 11. All lines are to be 150mmØ PVC SN16, unless shown otherwise.
 12. 150mmØ pipes that do not terminate in a manhole must be terminated with a 100mmØ on a 150mmØ london junction and blank cap.
 13. All lines to be abandoned shall be sealed at each end. Timing of all sealing to be co-ordinated with Local Council staff.

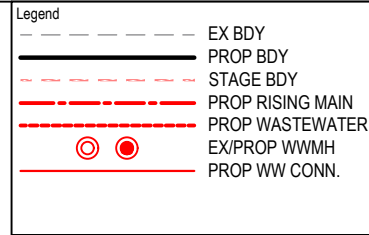
B	FOR CONSENT	MS	04/25
A	FOR REVIEW	MS	01/25
Rev	Description	By	Date
Survey	MAVEN		10/2024
Design	SB		12/2024
Drawn	MS		12/2024
Checked	NP		12/2024



Project
**ASHBOURNE
RETIREMENT VILLAGE
MATAMATA
FOR
UNITY DEVELOPMENT LTD**

Title
**PROPOSED
WASTEWATER OVERALL
LAYOUT PLAN OPTION A**

Project no.	J00606
Scale	1:2500 @ A3
Cad file	C5000 - WW.DWG
Drawing no.	C5000A
Rev	B



- | | | | |
|---------|-------------|---------|-------|
| | | | |
| | | | |
| B | FOR CONSENT | MS | 04/25 |
| A | FOR REVIEW | MS | 01/25 |
| Rev | Description | By | Date |
| | By | Date | |
| Survey | MAVEN | 10/2024 | |
| Design | SB | 12/2024 | |
| Drawn | MS | 12/2024 | |
| Checked | NP | 12/2024 | |



Project
**ASHBOURNE
RETIREMENT VILLAGE
MATAMATA
FOR
UNITY DEVELOPMENT LTD**

Title
**PROPOSED
WASTEWATER PLAN
SHEET 1 OF 3**

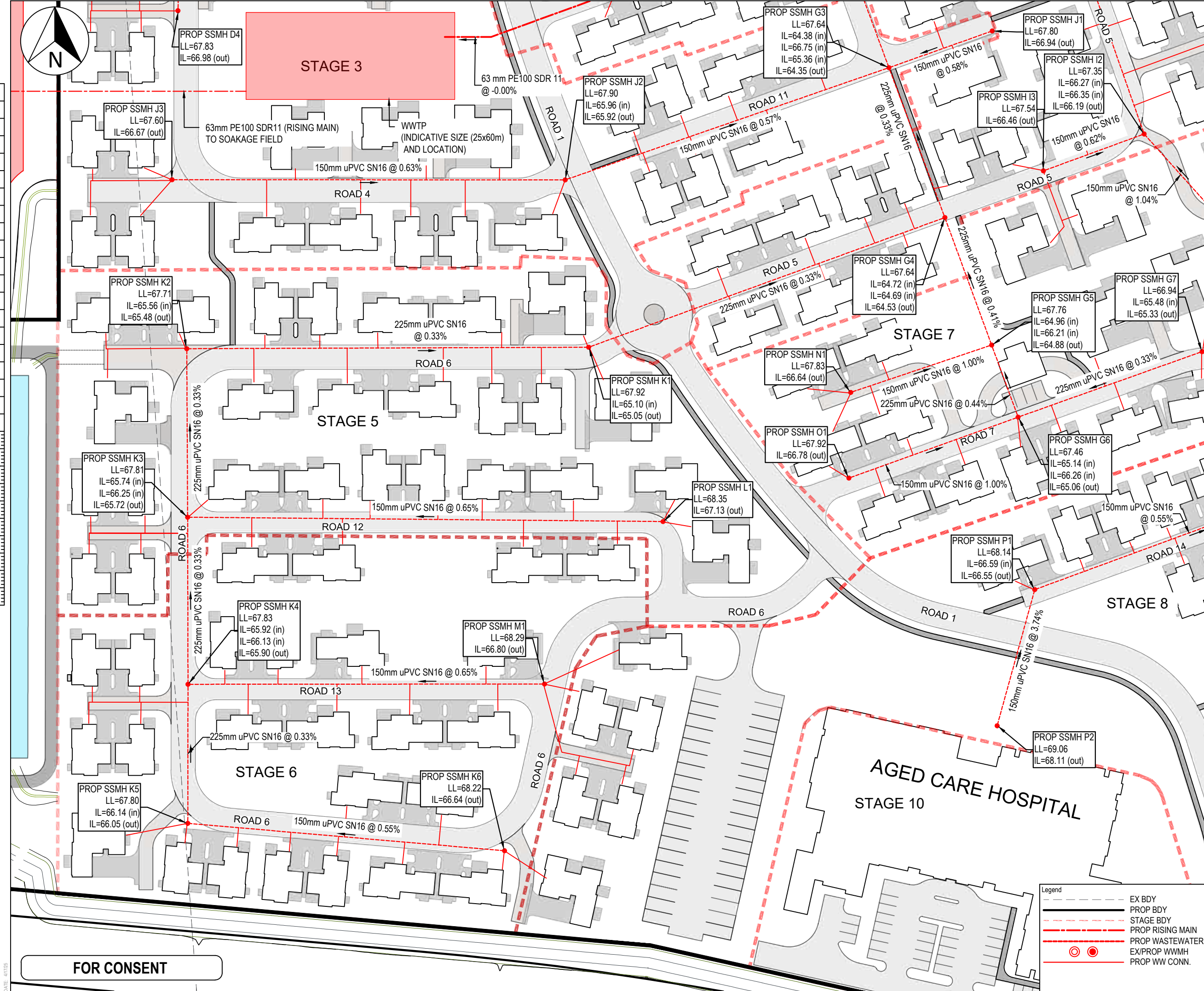
Project no.	J00606		
Scale	1:1000 @ A3		
Cad file	C5000 - WW.DWG		
Drawing no.	C5001	Rev	B

FOR CONSENT

150mm ORIGINAL SIZE: A3

150mm ORIGINAL SIZE: A3

150mm ORIGINAL SIZE: A3



Notes

- All works to be in accordance with Local Council standards.
- Co-ordinates in terms of Mount Eden 2000.
- Reduced Levels are in terms of NZVD 2016.
- It is the contractors responsibility to locate all services that may be affected by their operations.
- The contractor shall comply with all relevant OSH and Health & Safety requirements.
- The contractor shall obtain all necessary approval from utility operators before commencing work under or near their services.
- Minimum clearances & cover shall be in accordance with Local Council standards.
- Pipe bedding: 0 - 10% = granular bedding, 10 - 20% = weak concrete bedding, greater than 20% = weak concrete bedding (7mpa plus anti scour blocks at 6m crs).
- Each connection shall be marked by a 50mm x 50mm treated pine stake extending 600mm above ground level with the top painted. This marker post shall be placed alongside a timber marker installed at the time of pipelaying and extending from the connection to 150mm below finished ground level. Connections shall be accurately indicated on "as built" plans.
- Approved hardfill to be used in backfilling of all road crossings and vehicle crossings to Local Council standards.
- Heavy duty manhole lids and frames to be used in trafficked areas.
- All lines are to be 150mmØ PVC SN16, unless shown otherwise.
- 150mmØ pipes that do not terminate in a manhole must be terminated with a 100mmØ on a 150mmØ london junction and blank cap.
- All lines to be abandoned shall be sealed at each end. Timing of all sealing to be co-ordinated with Local Council staff.

B	FOR CONSENT	MS	04/25
A	FOR REVIEW	MS	01/25
Rev	Description	By	Date
Survey	MAVEN		10/2024
Design	SB		12/2024
Drawn	MS		12/2024
Checked	NP		12/2024

Maven Matamata
matamatainfo@maven.co.nz
www.maven.co.nz
8 Tainui Street, Matamata
New Zealand

Project

**ASHBOURNE
RETIREMENT VILLAGE
MATAMATA
FOR
UNITY DEVELOPMENT LTD**

Title

**PROPOSED
WASTEWATER PLAN
SHEET 2 OF 3**

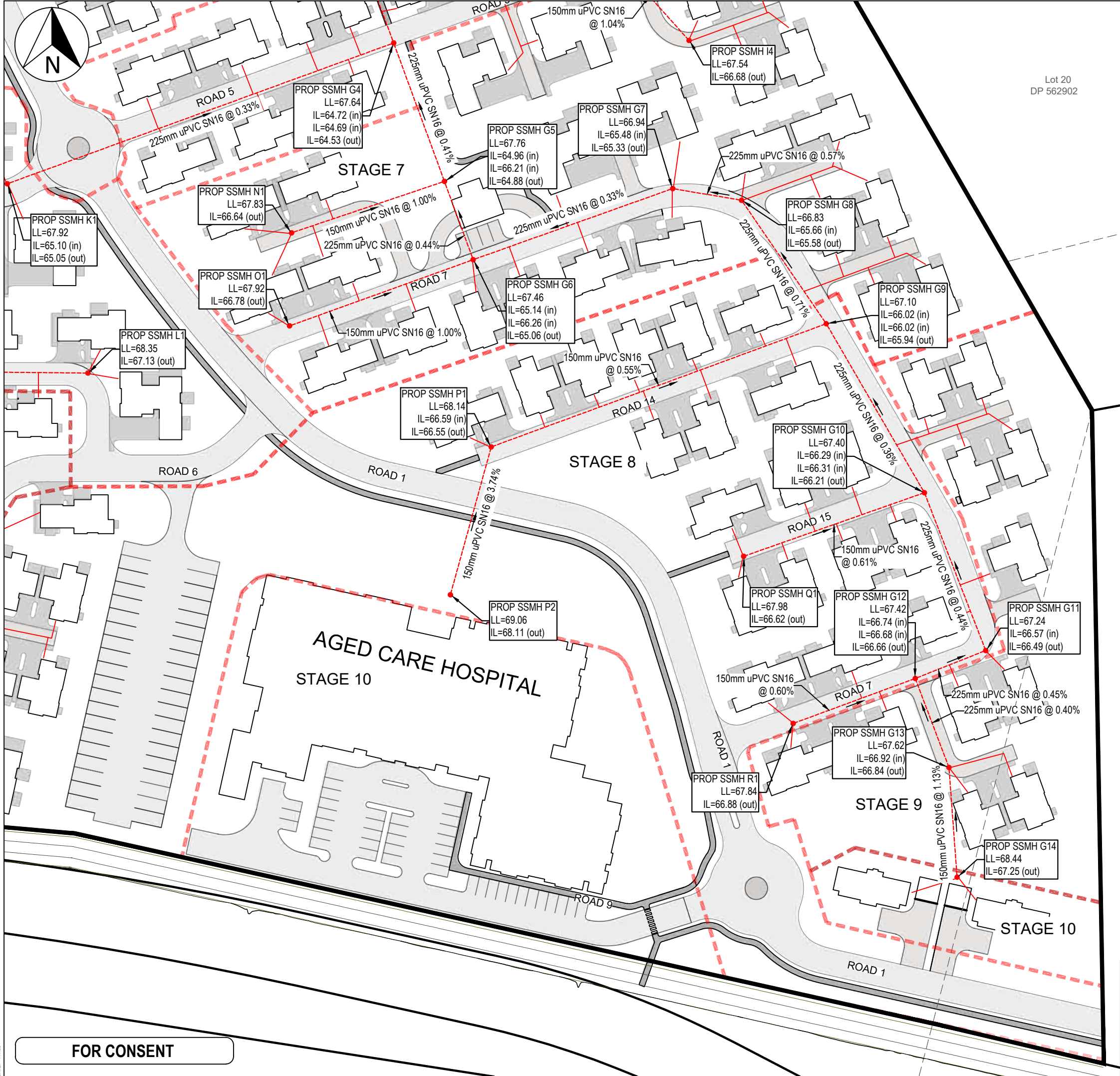
Project no.	J00606
Scale	1:1000 @ A3
Cad file	C5000 - WW.DWG
Drawing no.	C5002
Rev	B

FOR CONSENT

DATE: 4/1/25

FILE PATH: F:\MAVEN MATAMATA\1. PROJECTS\J00606 MDL - HEMMINGS STATION RD\8. DRAWING\2. CAD\3. DESIGN\C5000 - WW.DWG

DATE: 4/1/25 ORIGINAL SIZE: A3



FOR CONSENT

Lot 19
DP 562902

Lot 20
DP 562902

Lot 18
DP 562902

- Notes
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 - All lines to be abandoned shall be sealed at each end. Timing of all sealing to be co-ordinated with Local Council staff.

B	FOR CONSENT	MS	04/25
A	FOR REVIEW	MS	01/25
Rev	Description	By	Date
		By	Date
Survey	MAVEN		10/2024
Design	SB		12/2024
Drawn	MS		12/2024
Checked	NP		12/2024



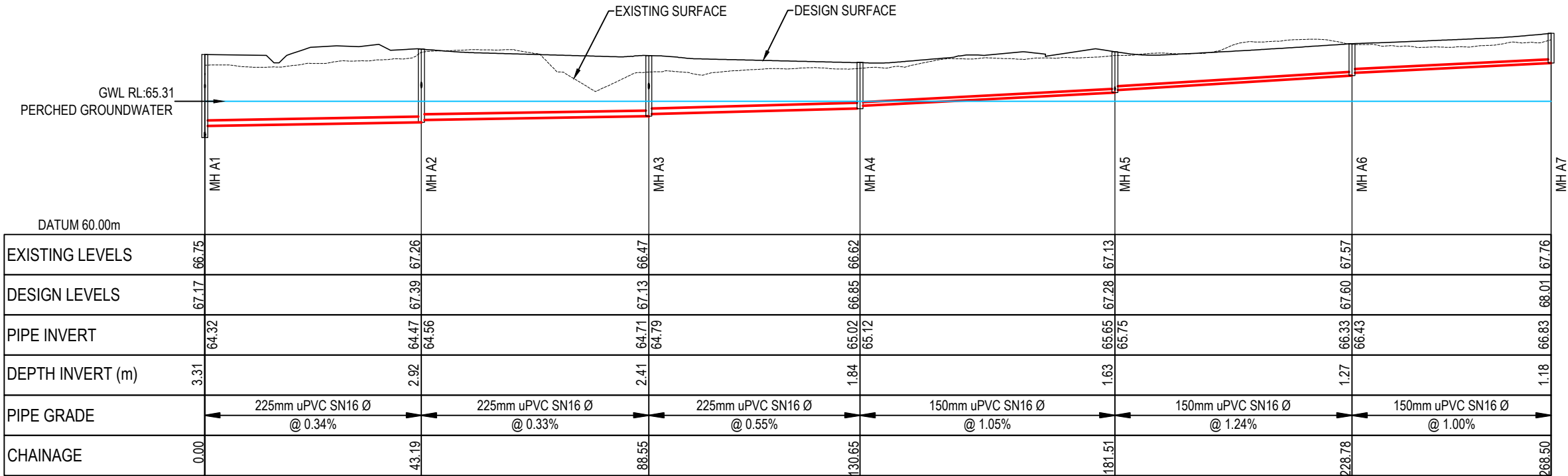
Project
**ASHBOURNE
 RETIREMENT VILLAGE
 MATAMATA
 FOR
 UNITY DEVELOPMENT LTD**

Title
**PROPOSED
 WASTEWATER PLAN
 SHEET 3 OF 3**

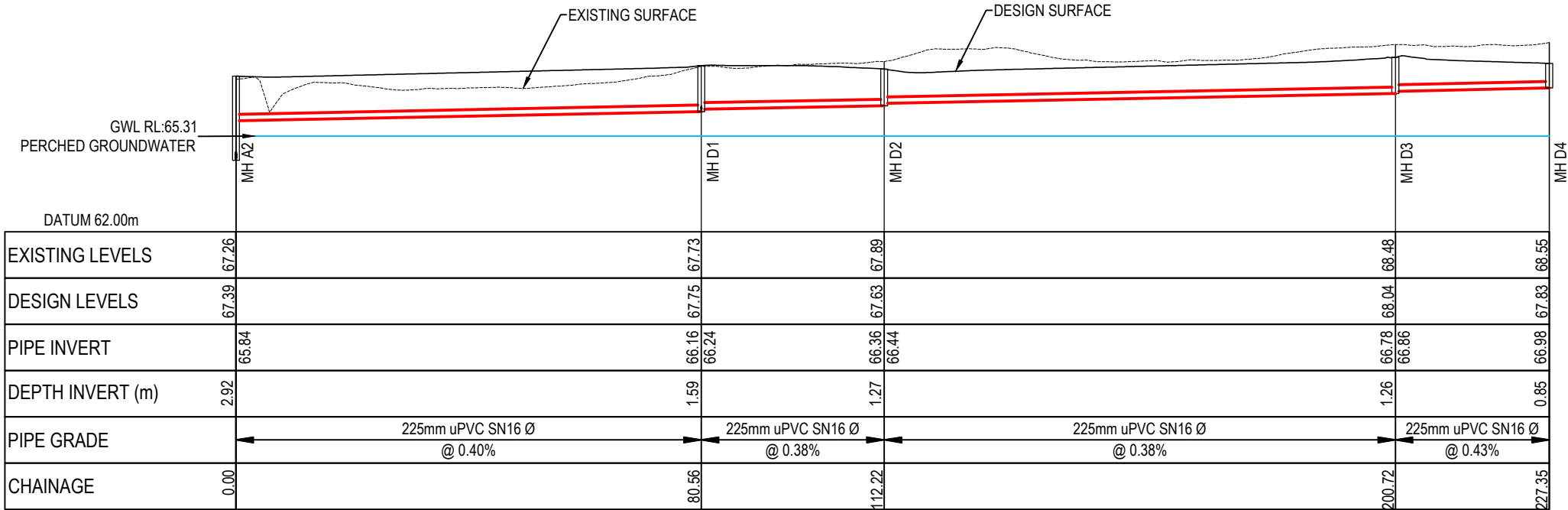
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Scale	1:1000 @A3
Cad file	C5000 - WW.DWG
Drawing no.	C5003
Rev	B

Legend	
---	EX BDY
---	PROP BDY
---	STAGE BDY
---	PROP RISING MAIN
---	PROP WASTEWATER
---	EX/PROP WWMH
---	PROP WW CONN.

DATE: 17/04/2025
FILE: F:\MAVEN MATAMATA\1. Projects\J00606 MDL - Hemmings Station Rd\8. Drawing\2. CAD\3. Design\C5200 - WW LS.dwg



LINE A1-A7
SCALE: HORI 1:1000 VERT 1:200



LINE A2-D4
SCALE: HORI 1:1000 VERT 1:200

FOR CONSENT

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B	FOR CONSENT	MS	04/25
A	FOR REVIEW	MS	01/25
Rev	Description	By	Date
	By	Date	
Survey	MAVEN	10/2024	
Design	SB	12/2024	
Drawn	MS	12/2024	
Checked	NP	12/2024	

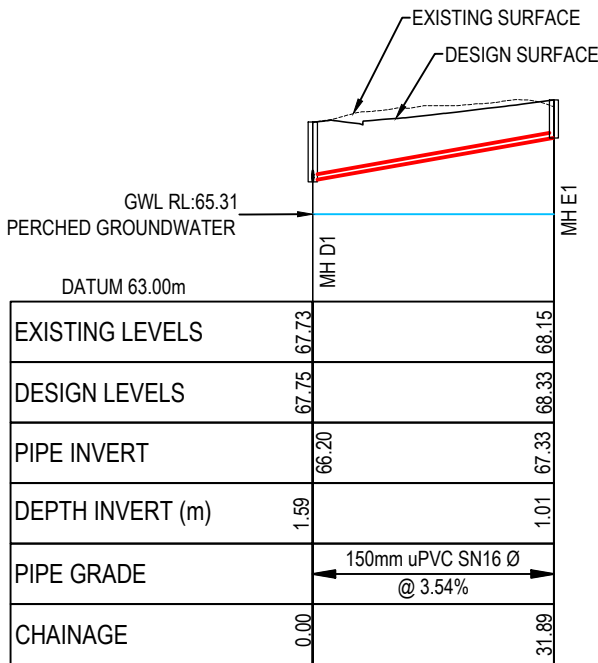


Project
**ASHBOURNE
RETIREMENT VILLAGE
MATAMATA
FOR
UNITY DEVELOPMENT LTD**

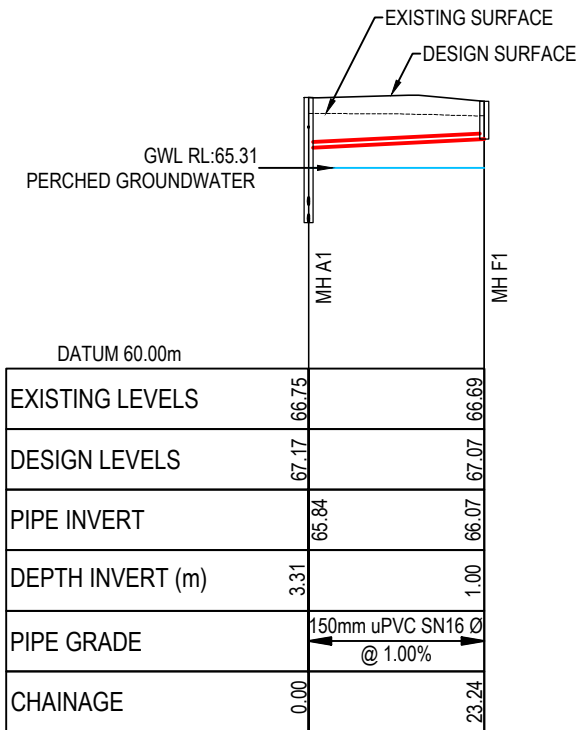
Title
**PROPOSED
WW LONGSECTION
PLAN SHEET 1 OF 9**

Project no.	J00606		
Scale	AS SHOWN		
Cad file	C5200 - WW LS.DWG		
Drawing no.	C5200	Rev	B

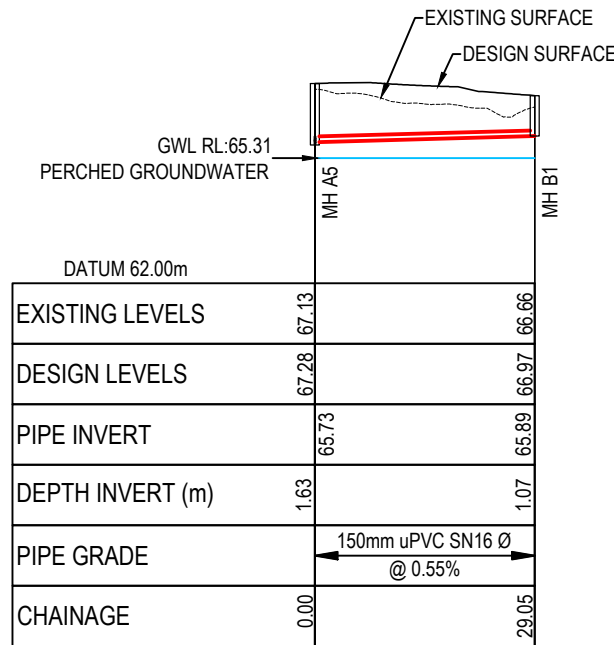
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150mm
100
90
80
70
60
50
40
30
20
10
0



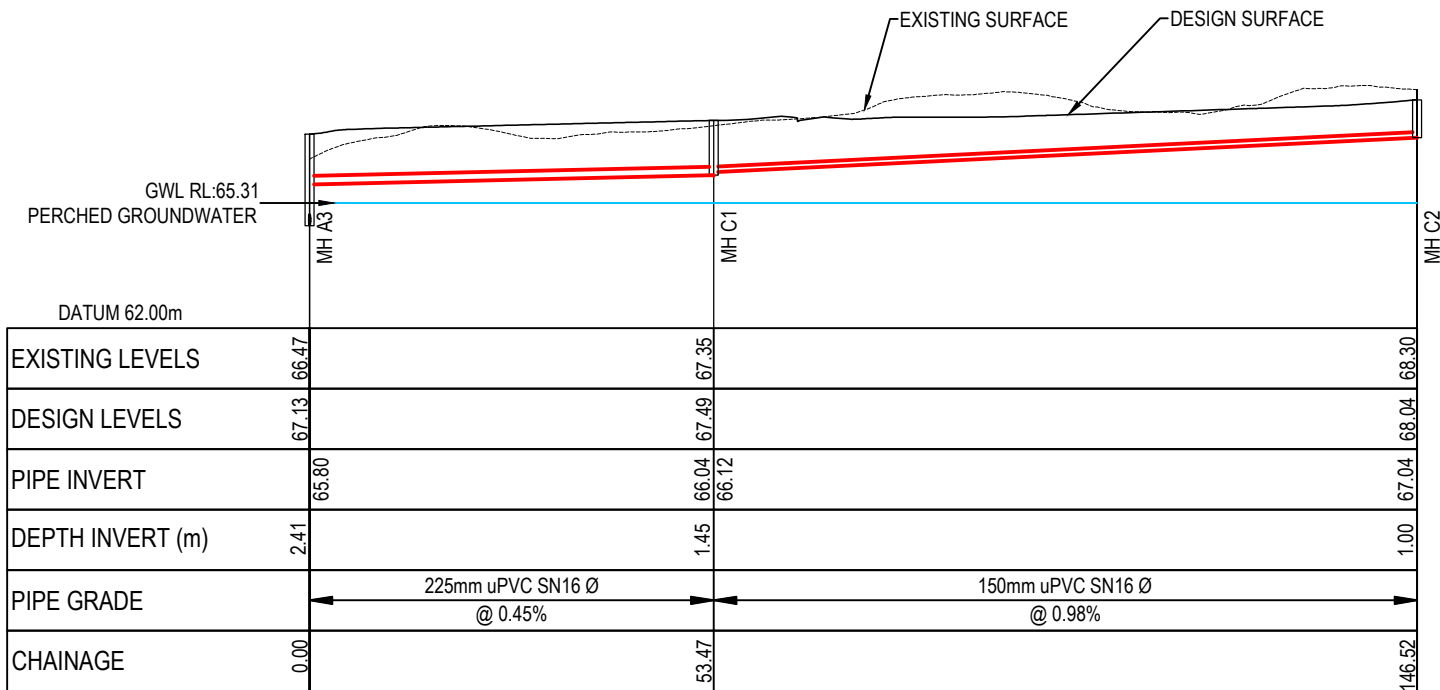
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SCALE: HORI 1:1000 VERT 1:200



LINE A1-F1
SCALE: HORI 1:1000 VERT 1:200



LINE A6-B1
SCALE: HORI 1:1000 VERT 1:200



LINE A3-C2
SCALE: HORI 1:1000 VERT 1:200

FOR CONSENT

Notes

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B	FOR CONSENT	MS	04/25
A	FOR REVIEW	MS	01/25
Rev	Description	By	Date
	By	Date	
Survey	MAVEN	10/2024	
Design	SB	12/2024	
Drawn	MS	12/2024	
Checked	NP	12/2024	



Project
**ASHBOURNE
RETIREMENT VILLAGE
MATAMATA
FOR
UNITY DEVELOPMENT LTD**

Title
**PROPOSED
WW LONGSECTION
PLAN SHEET 2 OF 9**

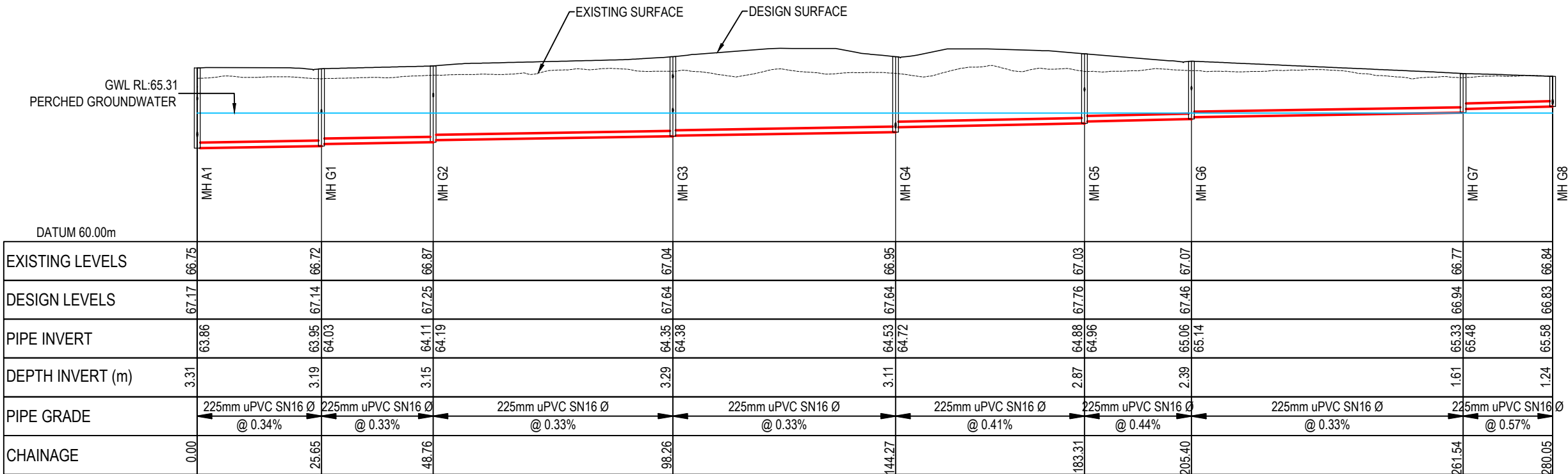
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Scale	AS SHOWN		
Cad file	C5200 - WW LS.DWG		
Drawing no.	C5201	Rev	B

DATE: 17/04/2025

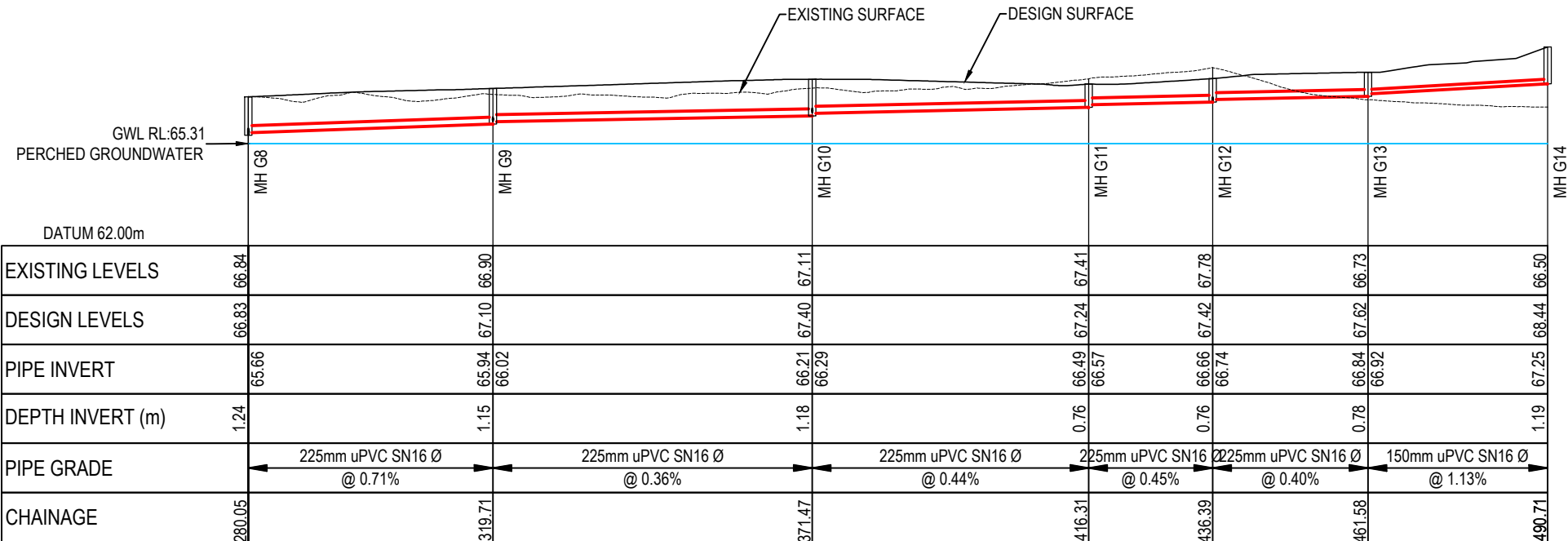
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DATE: 17/04/2025
FILE: F:\MAVEN MATAMATA\1. Projects\J00606 MDL - Hemmings Station Rd\8. Drawing\2. CAD\3. Design\C5200 - WW LS.dwg

ORIGINAL SIZE: A3
150mm
100
90
80
70
60
50
40
30
20
10
0



LINE A1-G8
SCALE: HORI 1:1000 VERT 1:200



LINE G8-G14
SCALE: HORI 1:1000 VERT 1:200

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B	FOR CONSENT	MS	04/25
A	FOR REVIEW	MS	01/25
Rev	Description	By	Date
	By	Date	
Survey	MAVEN	10/2024	
Design	SB	12/2024	
Drawn	MS	12/2024	
Checked	NP	12/2024	



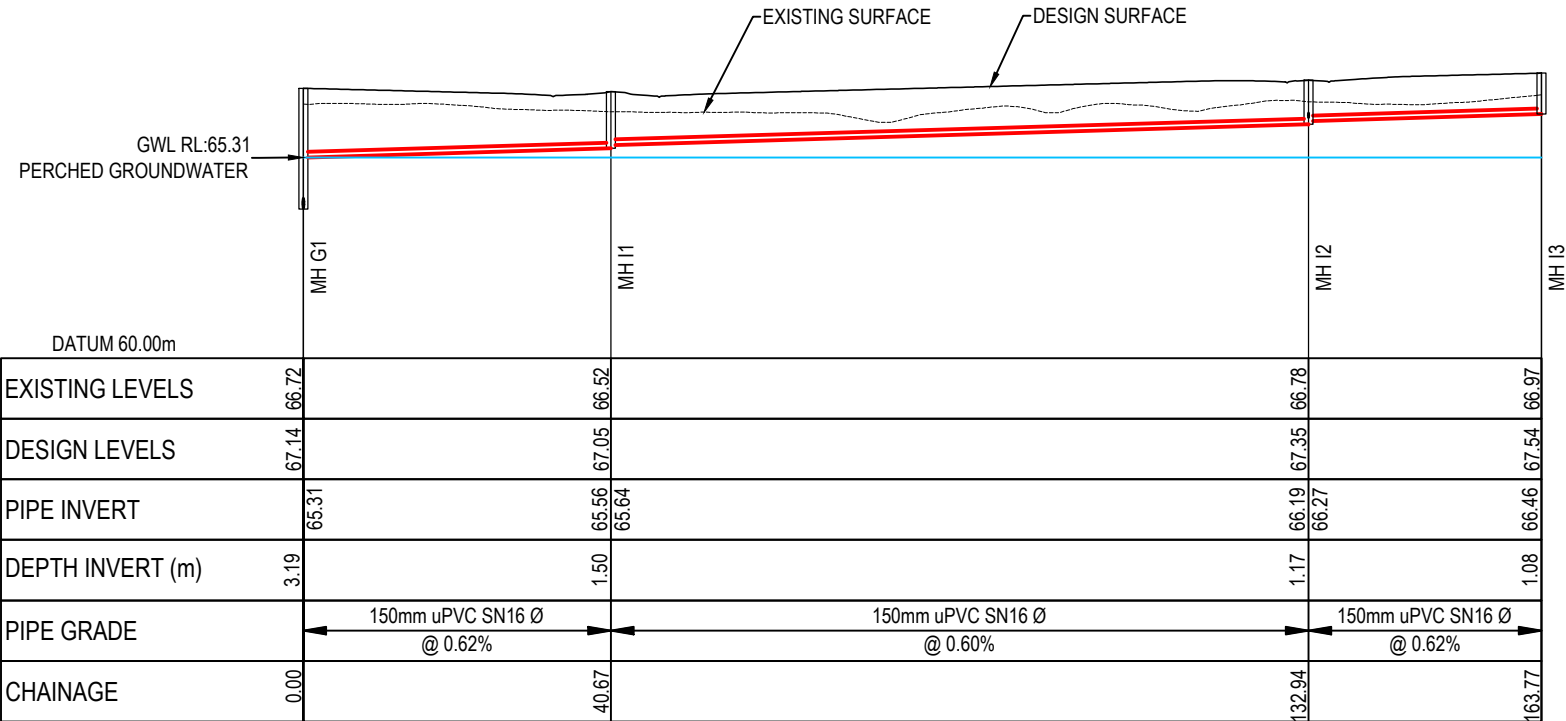
Project
**ASHBOURNE
RETIREMENT VILLAGE
MATAMATA
FOR
UNITY DEVELOPMENT LTD**

Title
**PROPOSED
WW LONGSECTION
PLAN SHEET 3 OF 9**

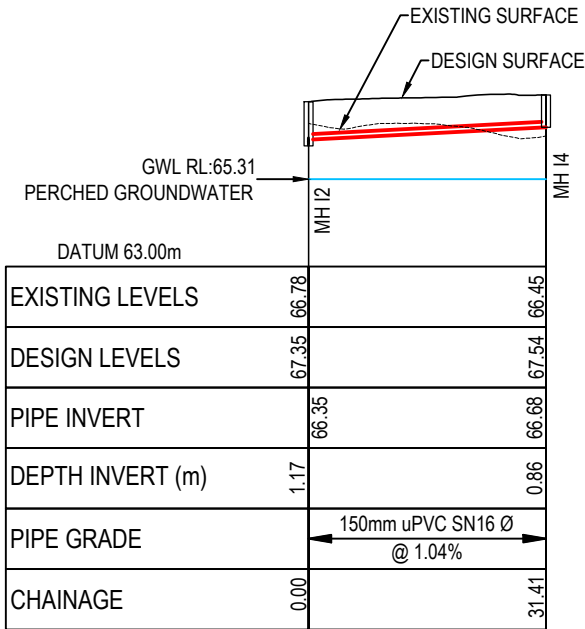
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Scale	AS SHOWN		
Cad file	C5200 - WW LS.DWG		
Drawing no.	C5202	Rev	B

FOR CONSENT

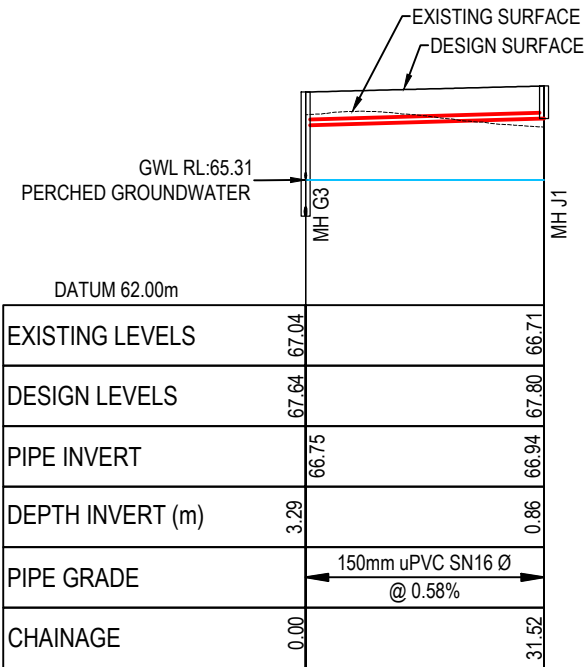
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DATE: 17/04/2025
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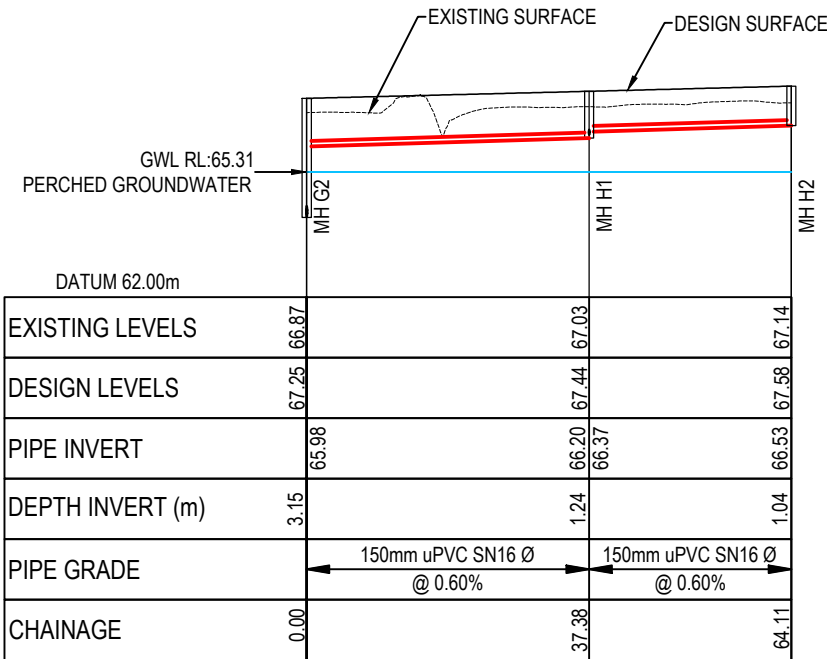
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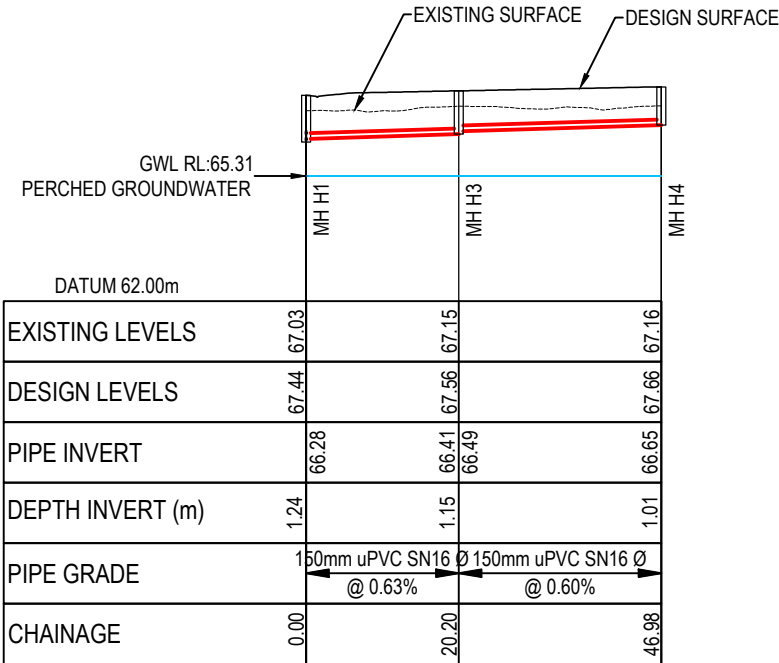
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SCALE: HORI 1:1000 VERT 1:200



LINE G3-J1
SCALE: HORI 1:1000 VERT 1:200



LINE G2-H2
SCALE: HORI 1:1000 VERT 1:200



LINE H1-H4
SCALE: HORI 1:1000 VERT 1:200

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B	FOR CONSENT	MS	04/25
A	FOR REVIEW	MS	01/25
Rev	Description	By	Date
	By	Date	
Survey	MAVEN	10/2024	
Design	SB	12/2024	
Drawn	MS	12/2024	
Checked	NP	12/2024	

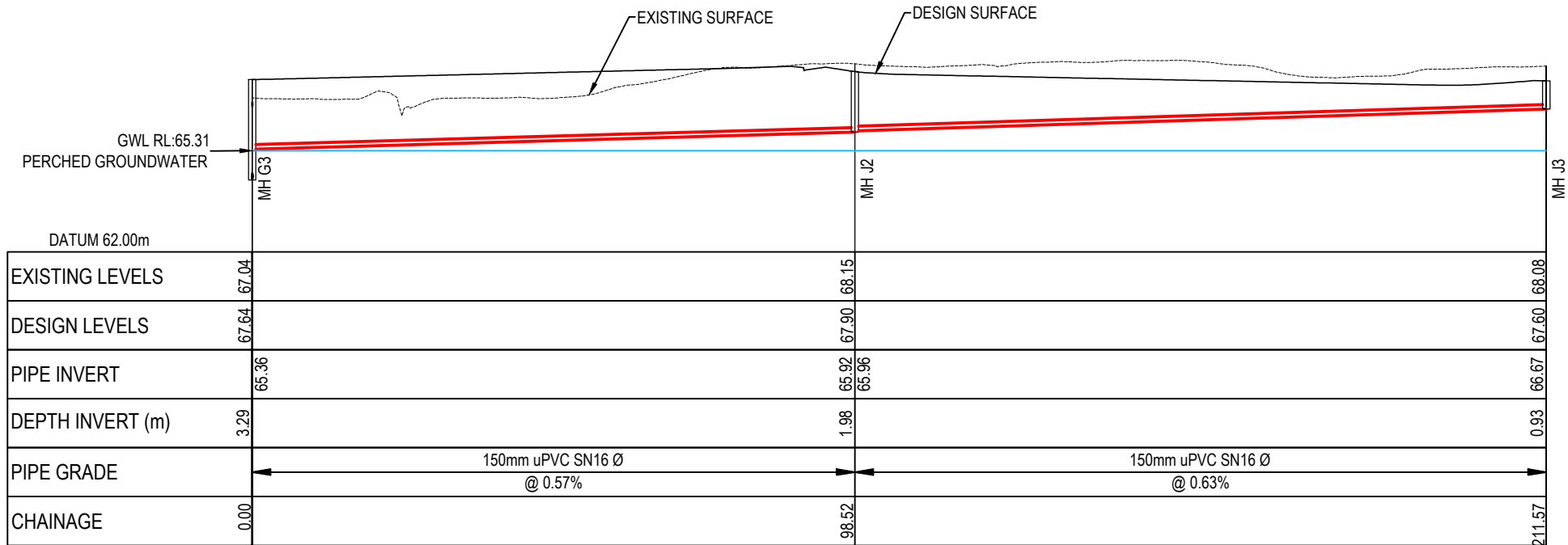


Project
**ASHBOURNE
RETIREMENT VILLAGE
MATAMATA
FOR
UNITY DEVELOPMENT LTD**

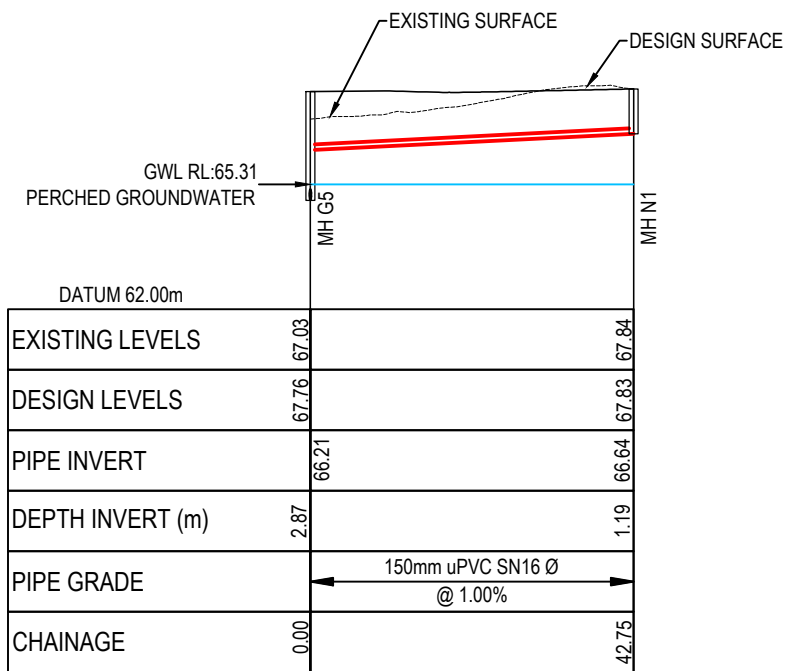
Title PROPOSED WW LONGSECTION PLAN SHEET 4 OF 9			
Project no.	J00606		
Scale	AS SHOWN		
Cad file	C5200 - WW LS.DWG		
Drawing no.	C5203	Rev	B

FOR CONSENT

ORIGINAL SIZE: A3
150mm
100
90
80
70
60
50
40
30
20
10
0



LINE G3-J3
SCALE: HORI 1:1000 VERT 1:200



LINE G5-N1
SCALE: HORI 1:1000 VERT 1:200

FOR CONSENT

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B	FOR CONSENT	MS	04/25
A	FOR REVIEW	MS	01/25
Rev	Description	By	Date
	By	Date	
Survey	MAVEN	10/2024	
Design	SB	12/2024	
Drawn	MS	12/2024	
Checked	NP	12/2024	



Project
**ASHBOURNE
RETIREMENT VILLAGE
MATAMATA
FOR
UNITY DEVELOPMENT LTD**

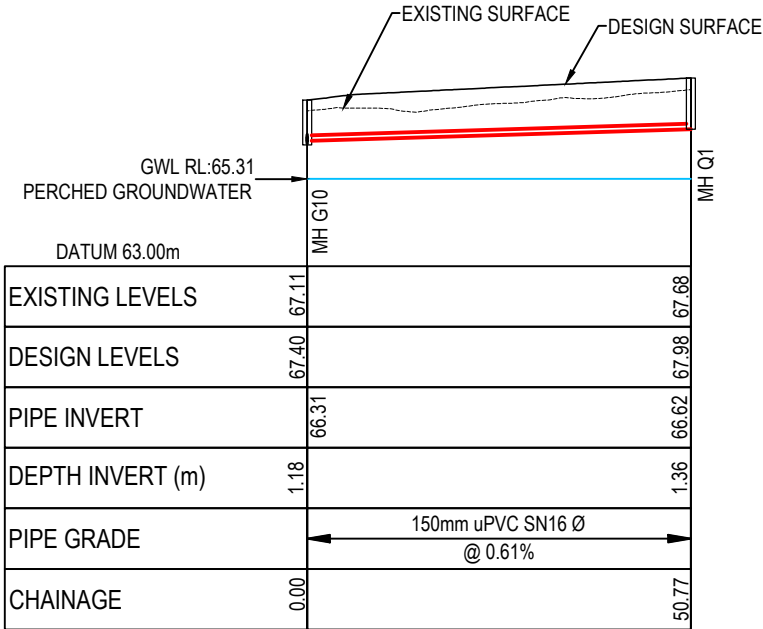
Title
**PROPOSED
WW LONGSECTION
PLAN SHEET 5 OF 9**

Project no.	J00606		
Scale	AS SHOWN		
Cad file	C5200 - WW LS.DWG		
Drawing no.	C5204	Rev	B

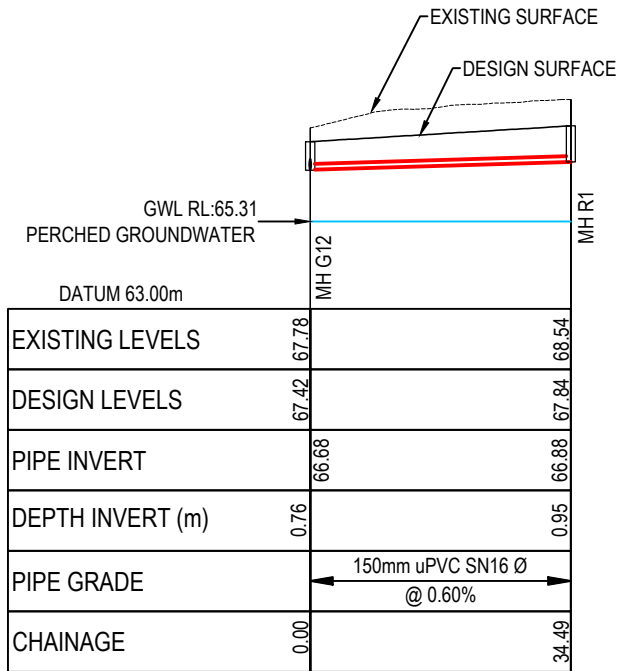
DATE: 17/04/2025

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100
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60
50
40
30
20
10
0

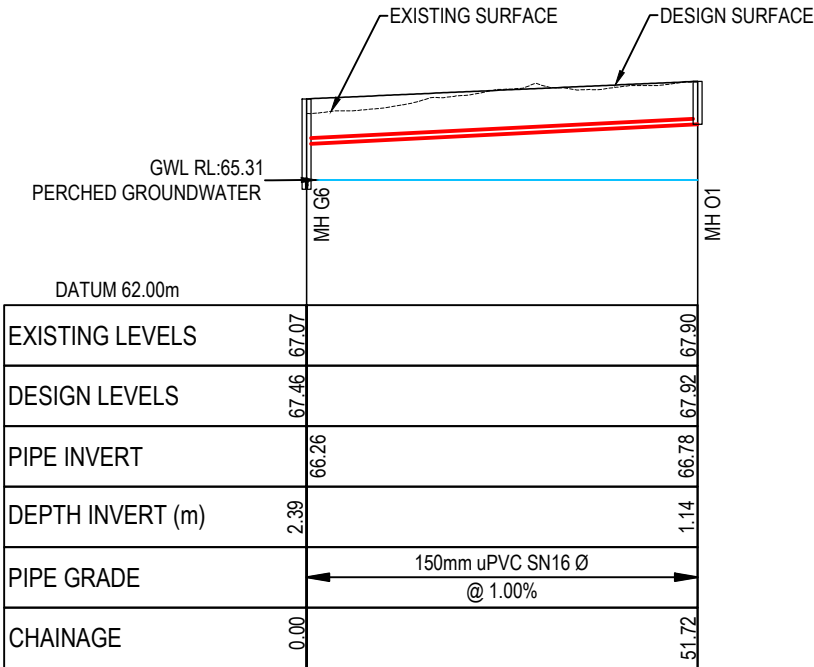
DATE: 17/04/2025



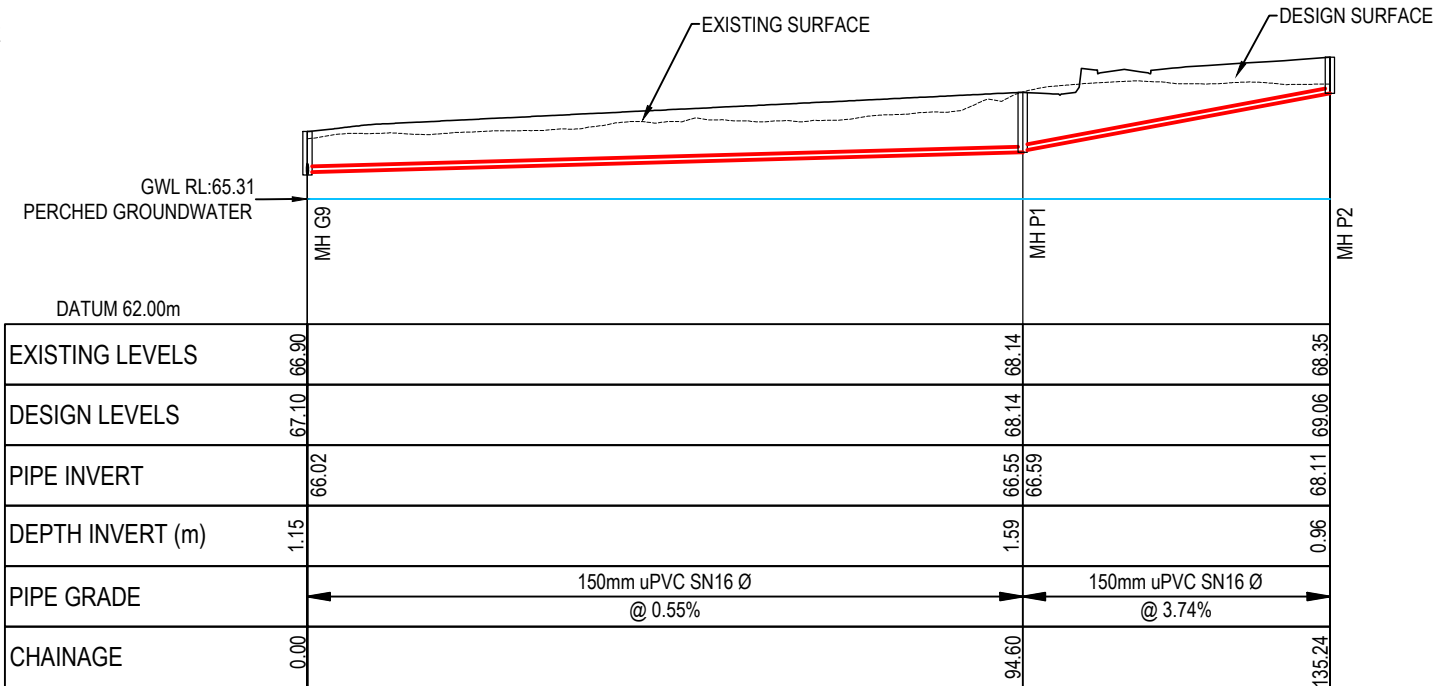
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LINE G12-R1
SCALE: HORI 1:1000 VERT 1:200



LINE G6-O1
SCALE: HORI 1:1000 VERT 1:200



LINE G9-P2
SCALE: HORI 1:1000 VERT 1:200

FOR CONSENT

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B	FOR CONSENT	MS	04/25
A	FOR REVIEW	MS	01/25
Rev	Description	By	Date
	By	Date	
Survey	MAVEN	10/2024	
Design	SB	12/2024	
Drawn	MS	12/2024	
Checked	NP	12/2024	

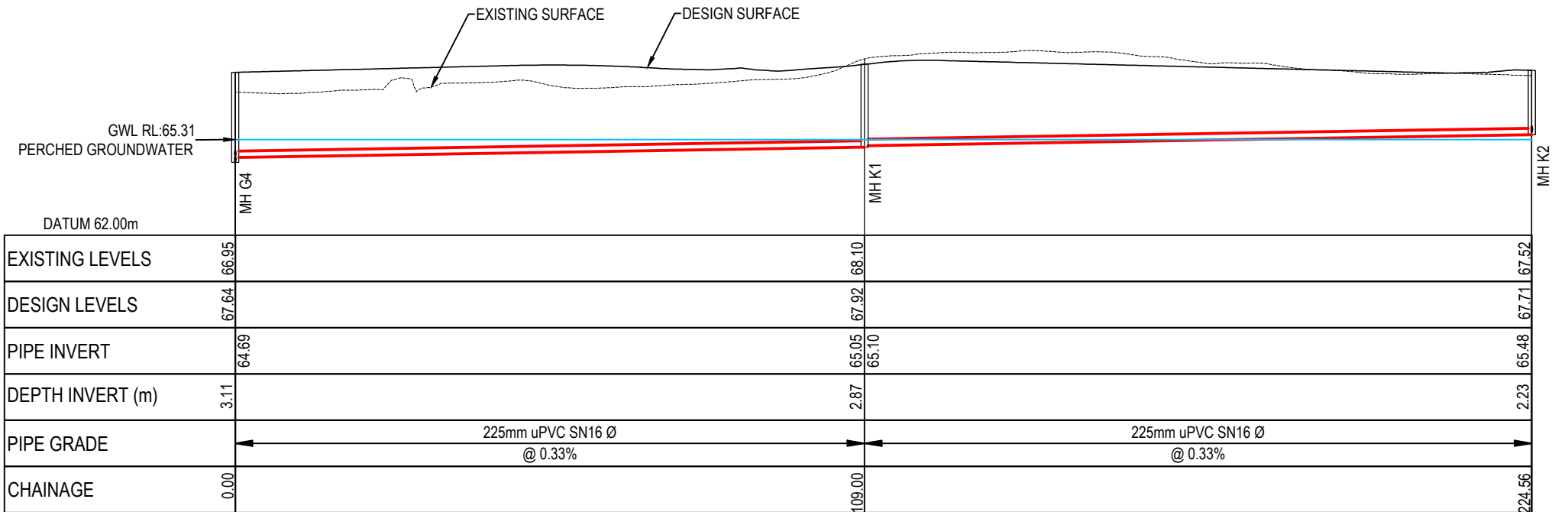


Project
**ASHBOURNE
RETIREMENT VILLAGE
MATAMATA
FOR
UNITY DEVELOPMENT LTD**

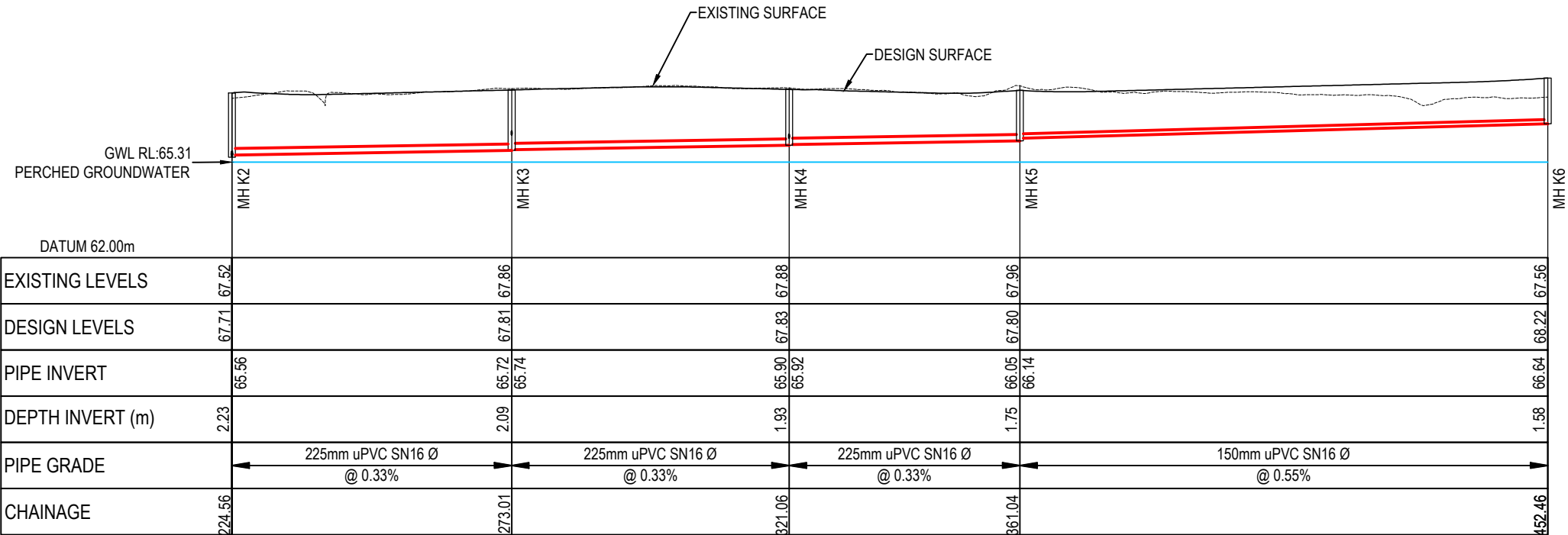
Title
**PROPOSED
WW LONGSECTION
PLAN SHEET 6 OF 9**

Project no.	J00606		
Scale	AS SHOWN		
Cad file	C5200 - WW LS.DWG		
Drawing no.	C5205	Rev	B

ORIGINAL SIZE: A3
DATE: 17/04/2025
FILE: F:\MAVEN MATAMATA\1. Projects\J00606 MDL - Hemmings Station Rd\8. Drawing\2. CAD\3. Design\C5200 - WW LS.dwg



LINE G4-K2
SCALE: HORI 1:1000 VERT 1:200



LINE K2-K6
SCALE: HORI 1:1000 VERT 1:200

- Notes
1. All works to be in accordance with Local Council standards.
 2. Co-ordinates in terms of Mount Eden 2000.
 3. Reduced Levels are in terms of NZVD 2016.
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B	FOR CONSENT	MS	04/25
A	FOR REVIEW	MS	01/25
Rev	Description	By	Date
	By	Date	
Survey	MAVEN	10/2024	
Design	SB	12/2024	
Drawn	MS	12/2024	
Checked	NP	12/2024	



Project
**ASHBOURNE
RETIREMENT VILLAGE
MATAMATA
FOR
UNITY DEVELOPMENT LTD**

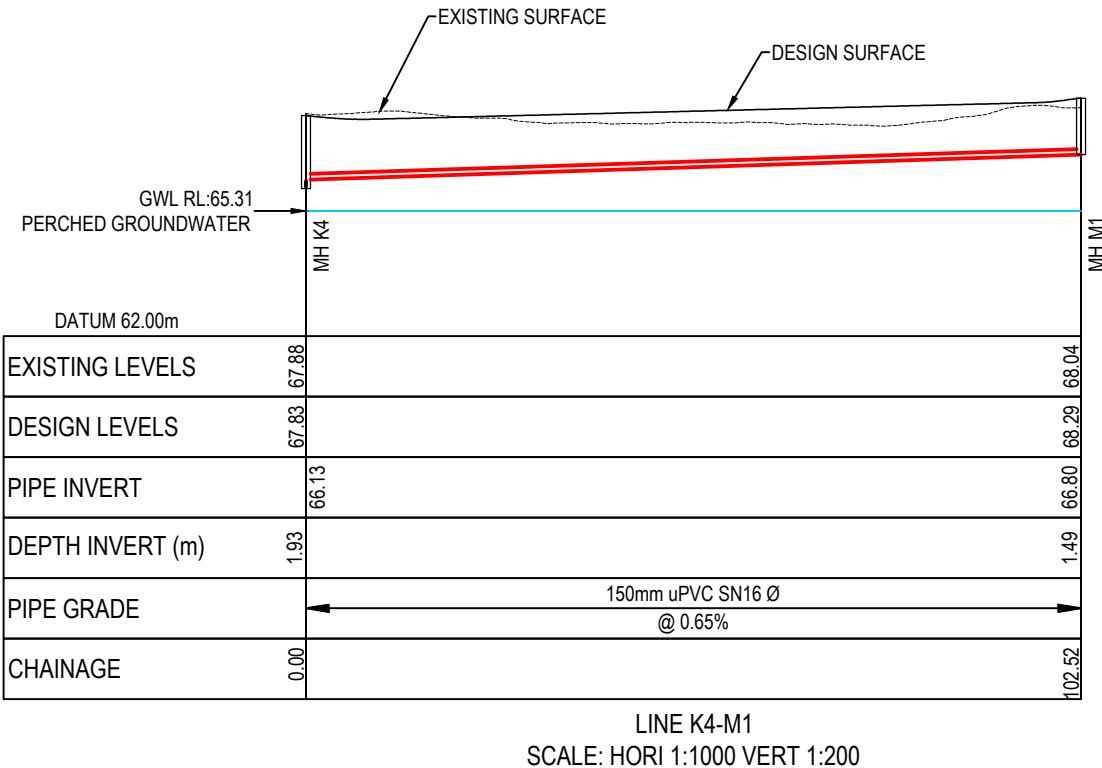
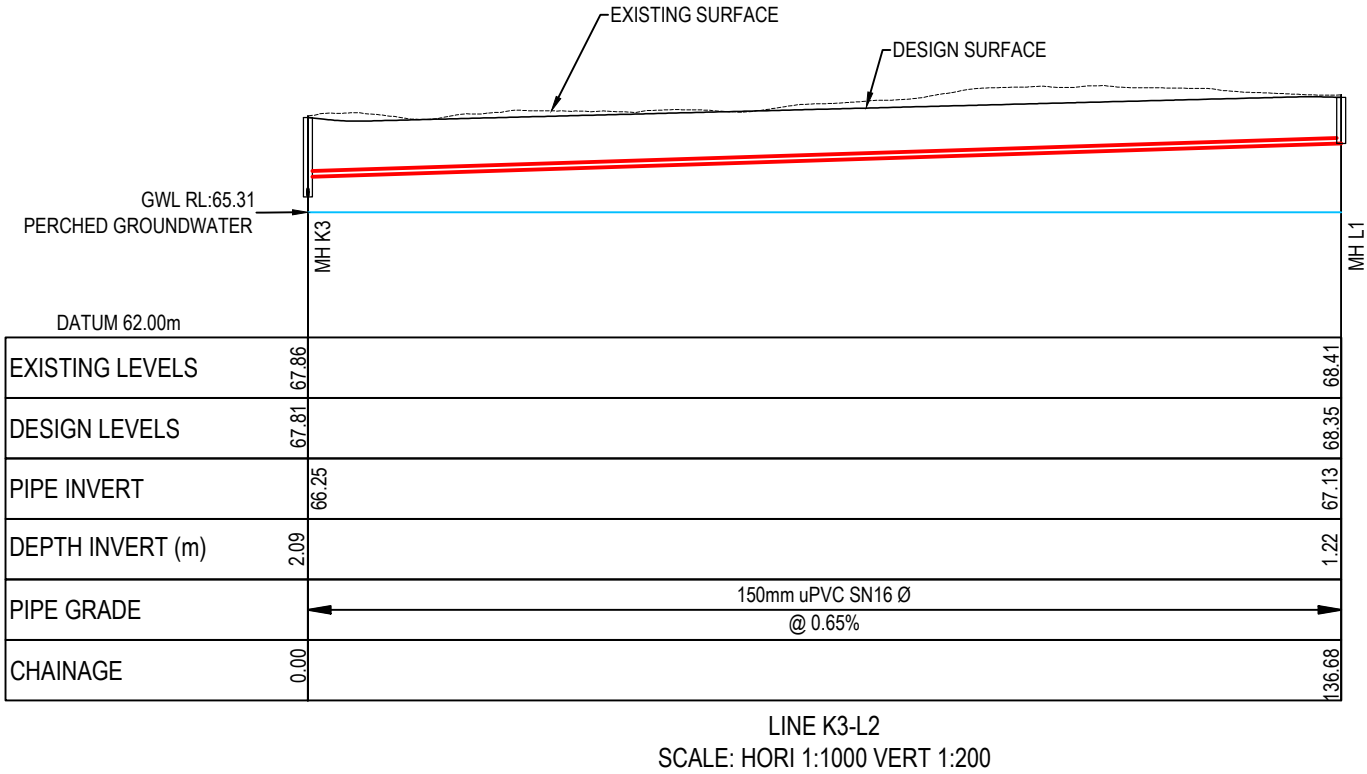
Title
**PROPOSED
WW LONGSECTION
PLAN SHEET 7 OF 9**

Project no.	J00606		
Scale	AS SHOWN		
Cad file	C5200 - WW LS.DWG		
Drawing no.	C5206	Rev	B

FOR CONSENT

150mm
100
90
80
70
60
50
40
30
20
10
0

DATE: 17/04/2025



FOR CONSENT

- Notes
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 3. Reduced Levels are in terms of NZVD 2016.
 4. It is the contractors responsibility to locate all services that may be affected by their operations.
 5. The contractor shall comply with all relevant OSH and Health & Safety requirements.
 6. The contractor shall obtain all necessary approval from utility operators before commencing work under or near their services.
 7. Minimum clearances & cover shall be in accordance with Local Council standards.
 8. Pipe bedding: 0 - 10% = granular bedding,10 - 20% = weak concrete bedding, greater than 20% = weak concrete bedding (7mpa plus anti scour blocks at 6m crs).
 9. Each connection shall be marked by a 50mm x 50mm treated pine stake extending 600mm above ground level with the top painted. This marker post shall be placed alongside a timber marker installed at the time of pipelaying and extending from the connection to 150mm below finished ground level. Connections shall be accurately indicated on "as built" plans.
 10. Approved hardfill to be used in backfilling of all road crossings and vehicle crossings to Local Council standards.
 11. Heavy duty manhole lids and frames to be used in trafficked areas.
 12. All lines are to be 150mmØ PVC SN16, unless shown otherwise.
 13. 150mmØ pipes that do not terminate in a manhole must be terminated with a 100mmØ on a 150mmØ london junction and blank cap.
 14. All lines to be abandoned shall be sealed at each end. Timing of all sealing to be co-ordinated with Local Council staff.

B	FOR CONSENT	MS	04/25
A	FOR REVIEW	MS	01/25
Rev	Description	By	Date
	By	Date	
Survey	MAVEN	10/2024	
Design	SB	12/2024	
Drawn	MS	12/2024	
Checked	NP	12/2024	

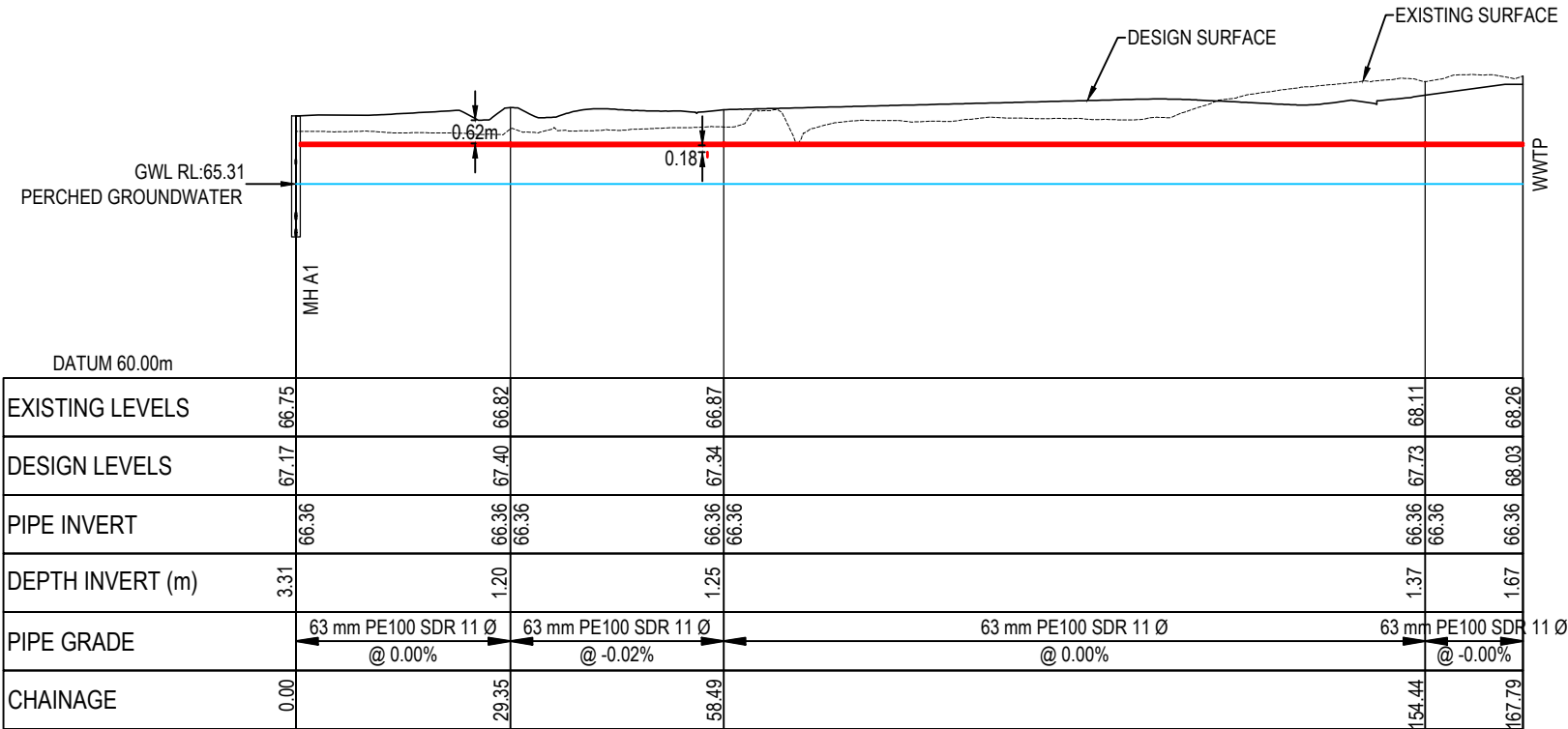


Project
**ASHBOURNE
RETIREMENT VILLAGE
MATAMATA
FOR
UNITY DEVELOPMENT LTD**

Title
**PROPOSED
WW LONGSECTION
PLAN SHEET 8 OF 9**

Project no.	J00606		
Scale	AS SHOWN		
Cad file	C5200 - WW LS.DWG		
Drawing no.	C5207	Rev	B

DATE: 17/04/2025
FILE: F:\MAVEN MATAMATA\1. Projects\J00606 MDL - Hemmings Station Rd\8. Drawing\2. CAD\3. Design\C5200 - WW LS.dwg
ORIGINAL SIZE: A3
150mm
100
90
80
70
60
50
40
30
20
10
0



PV - RISING MAIN
SCALE: HORI 1:1000 VERT 1:200

- Notes
1. All works to be in accordance with Local Council standards.
 2. Co-ordinates in terms of Mount Eden 2000.
 3. Reduced Levels are in terms of NZVD 2016.
 4. It is the contractors responsibility to locate all services that may be affected by their operations.
 5. The contractor shall comply with all relevant OSH and Health & Safety requirements.
 6. The contractor shall obtain all necessary approval from utility operators before commencing work under or near their services.
 7. Minimum clearances & cover shall be in accordance with Local Council standards.
 8. Pipe bedding: 0 - 10% = granular bedding, 10 - 20% = weak concrete bedding, greater than 20% = weak concrete bedding (7mpa plus anti scour blocks at 6m crs).
 9. Each connection shall be marked by a 50mm x 50mm treated pine stake extending 600mm above ground level with the top painted. This marker post shall be placed alongside a timber marker installed at the time of pipelaying and extending from the connection to 150mm below finished ground level. Connections shall be accurately indicated on "as built" plans.
 10. Approved hardfill to be used in backfilling of all road crossings and vehicle crossings to Local Council standards.
 11. Heavy duty manhole lids and frames to be used in trafficked areas.
 12. All lines are to be 150mmØ PVC SN16, unless shown otherwise.
 13. 150mmØ pipes that do not terminate in a manhole must be terminated with a 100mmØ on a 150mmØ london junction and blank cap.
 14. All lines to be abandoned shall be sealed at each end. Timing of all sealing to be co-ordinated with Local Council staff.

B	FOR CONSENT	MS	04/25
A	FOR REVIEW	MS	01/25
Rev	Description	By	Date
	By	Date	
Survey	MAVEN	10/2024	
Design	SB	12/2024	
Drawn	MS	12/2024	
Checked	NP	12/2024	

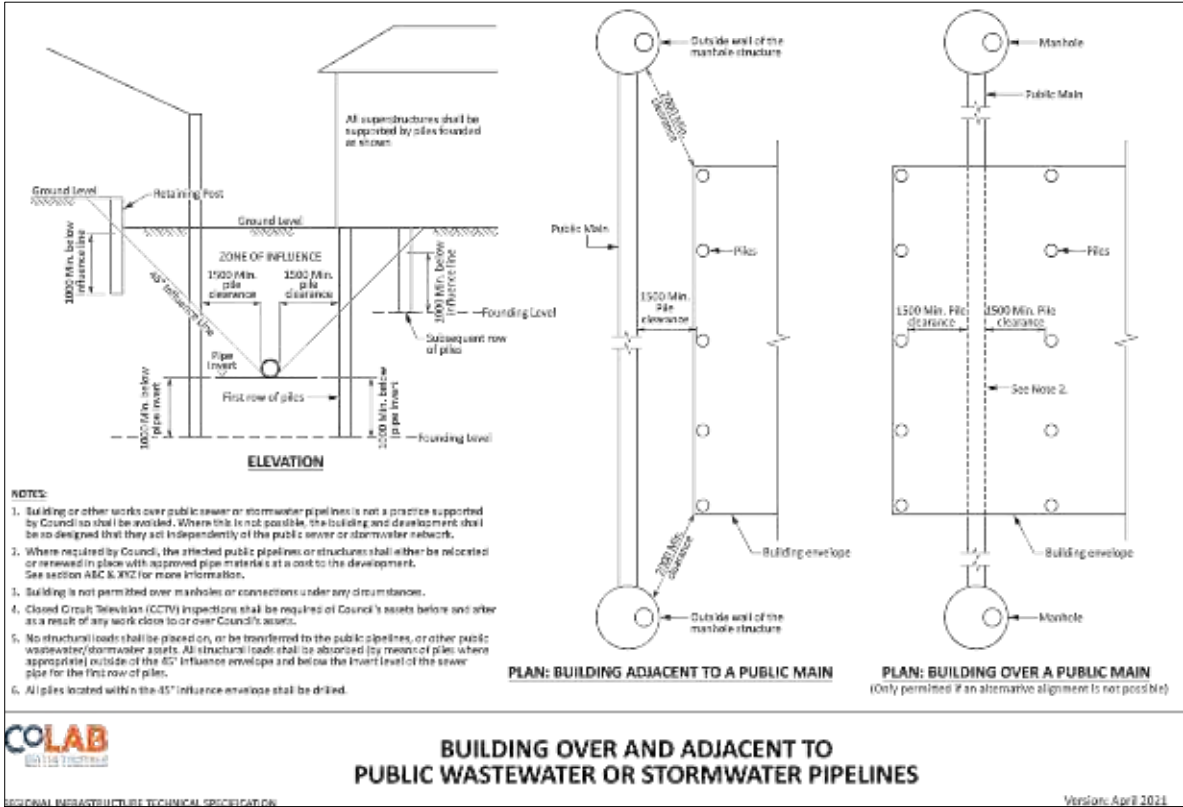
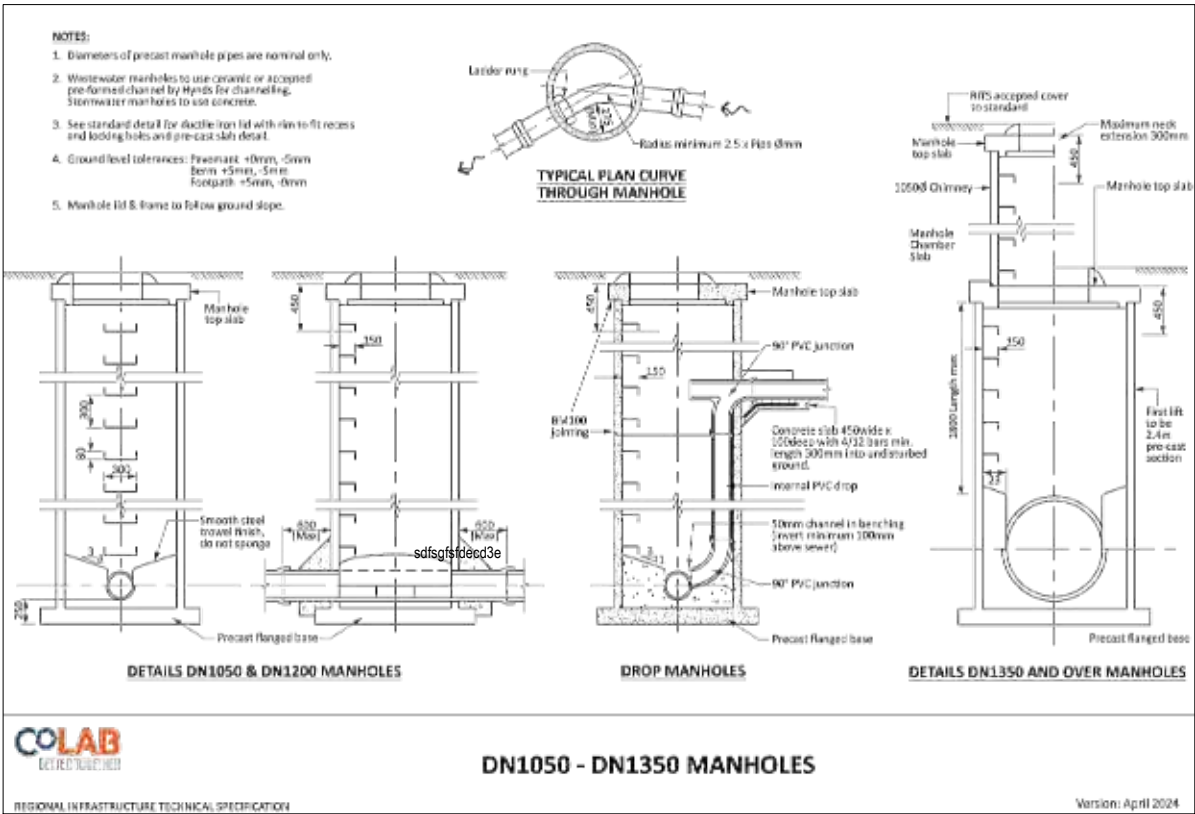


Project
**ASHBOURNE
RETIREMENT VILLAGE
MATAMATA
FOR
UNITY DEVELOPMENT LTD**

Title
**PROPOSED
WW LONGSECTION
PLAN SHEET 9 OF 9**

Project no.	J00606		
Scale	AS SHOWN		
Cad file	C5200 - WW LS.DWG		
Drawing no.	C5208	Rev	B

FOR CONSENT



- Notes
1. All works to be in accordance with local council standards.
 2. All bends and connections to be no more than 45°
 3. All connections to existing drains shall be carried out by a licensed Drainlayer/Plumber.
 4. Drainage shall comply in full with E1/AS1 building code for storm water.
 5. All cesspits shall have half syphons installed.
 6. All sanitary waste drains shall be uPVC to AS/NZS 1260.
 7. Sewer shall comply in full with AS/NZS 3500.2 - 2003 and/or G13 Building Code
 8. Refer to Hydraulic engineers drawings for building plumbing beyond that shown including down pipe sizes.
 9. All pipes shall be SN16 grade unless otherwise stated.
 10. Drainlayer shall locate and confirm connection invert before starting building works.
 11. Plans to be read in conjunction with Hydraulic Engineers and differences shall clarified be before contractor starts.
 12. All chamber lids shall have a minimum 200mm maximum 300 throat to provide sufficient cover for landscape and pavement over the top.

B	FOR CONSENT	MS	04/25
A	FOR REVIEW	MS	01/25
Rev	Description	By	Date
		By	Date
Survey	MAVEN		10/2024
Design	MS		12/2024
Drawn	MS		12/2024
Checked	SB		12/2024

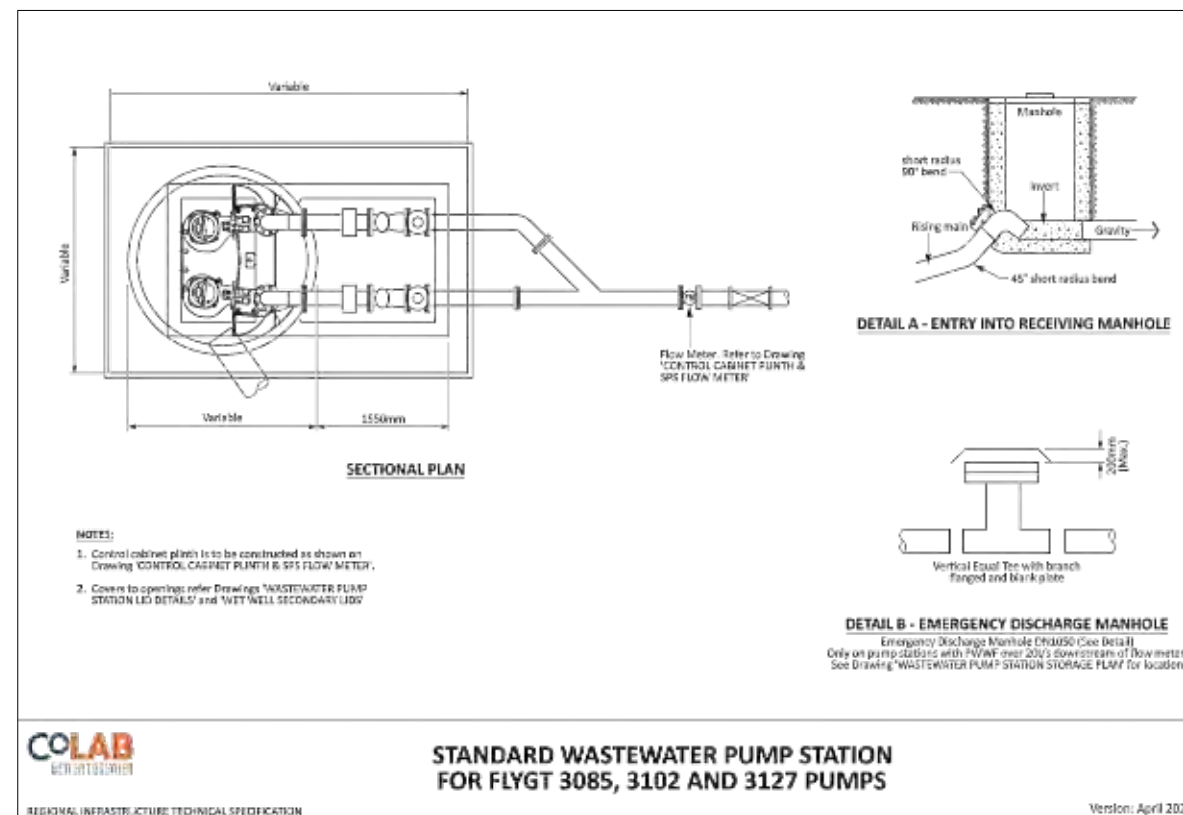
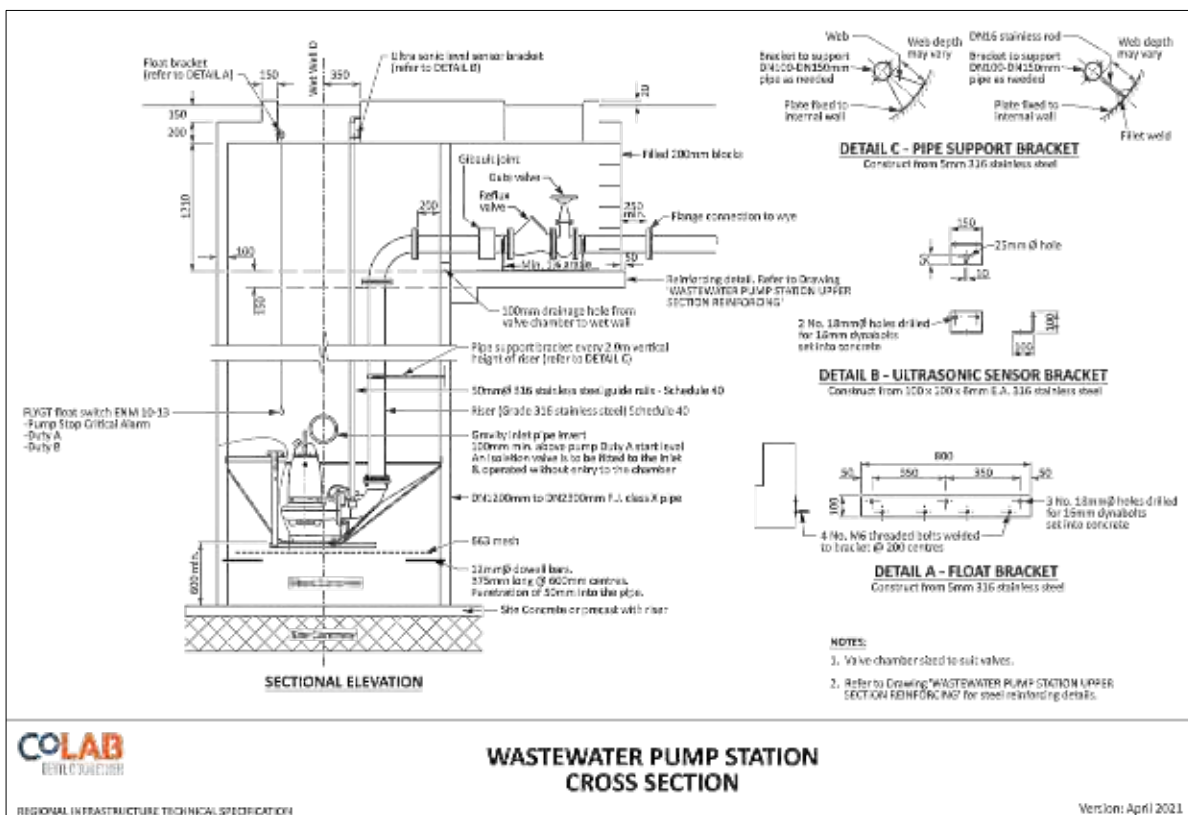
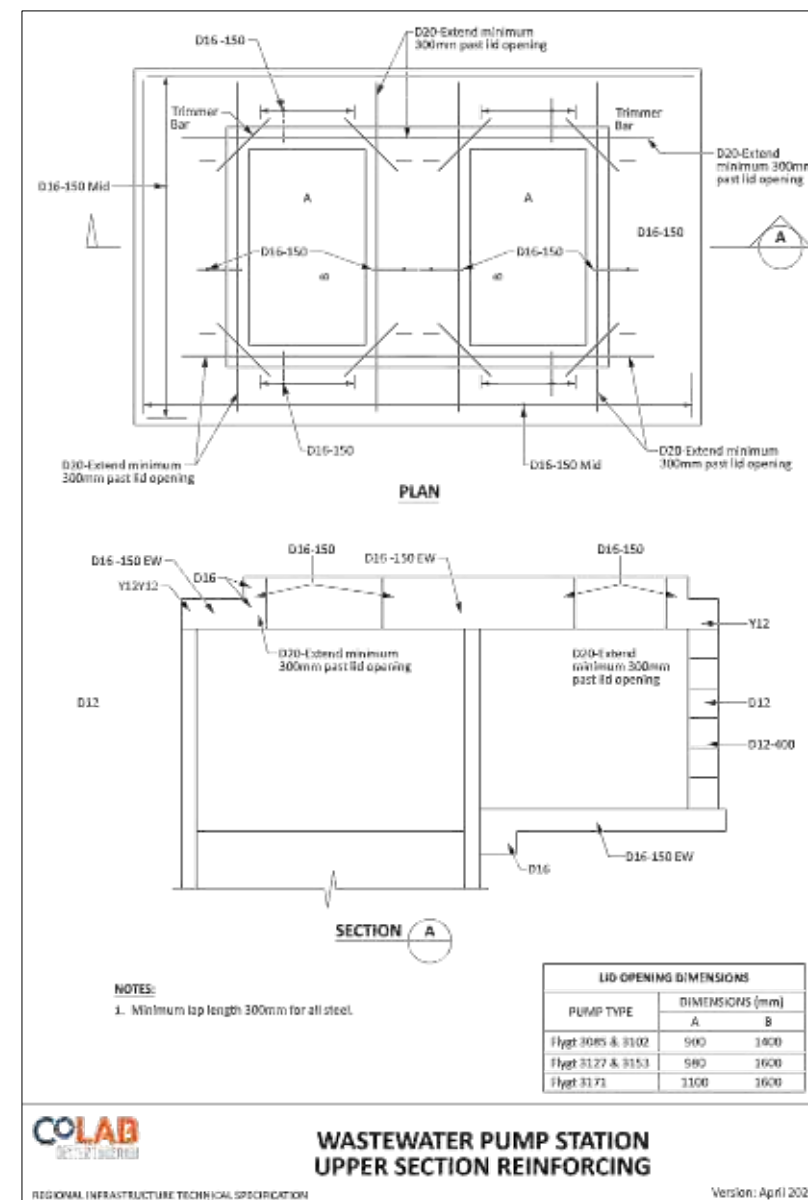
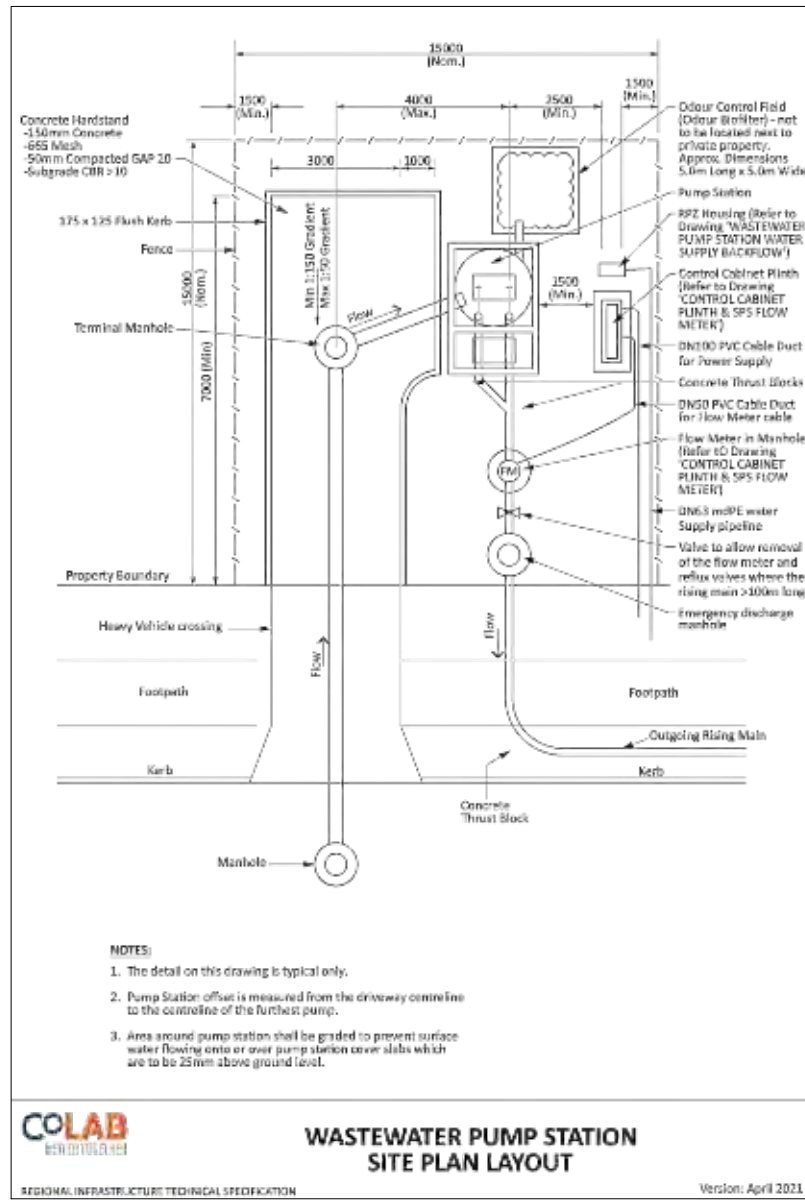
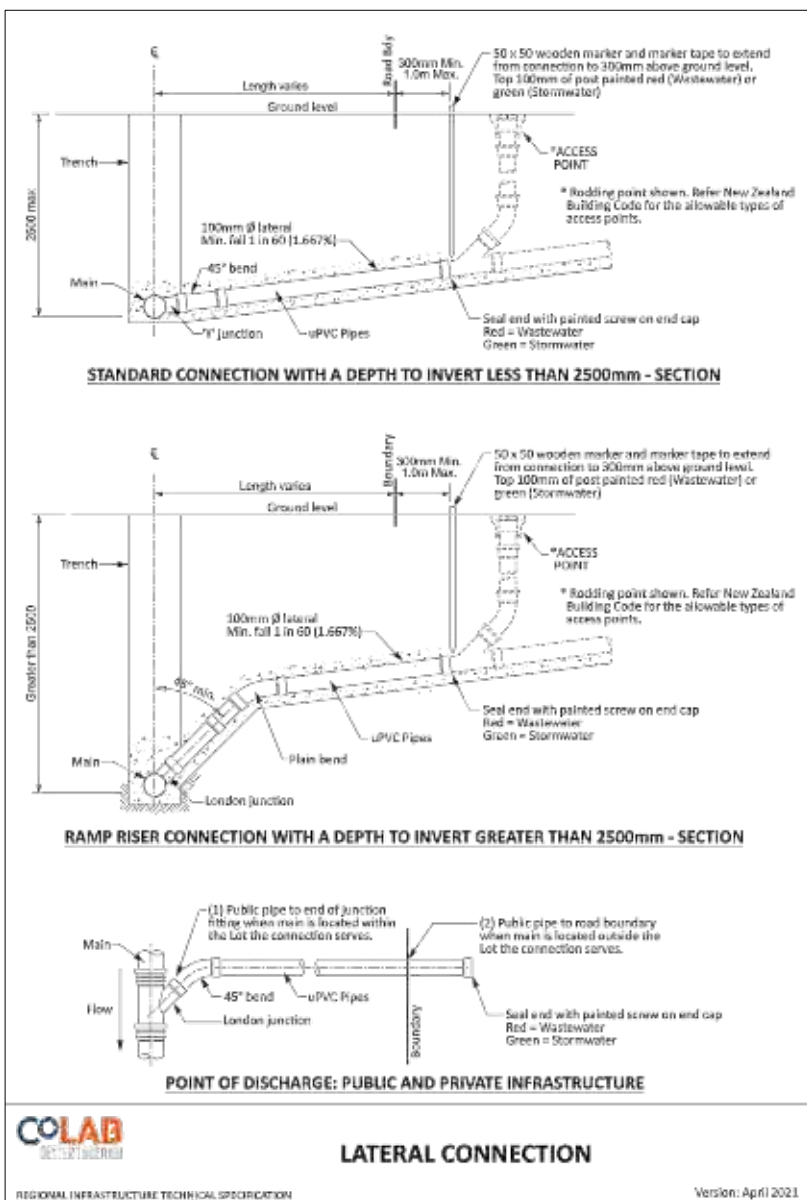


Project
**ASHBOURNE
RETIREMENT VILLAGE
MATAMATA
FOR
UNITY DEVELOPMENT LTD**

Title
**PROPOSED WW
STANDARD DETAIL PLAN
SHEET 1 OF 5**

Project no.	J00606		
Scale	NTS		
Cad file	C5800 -WW SD DETAILS.DWG		
Drawing no.	C5800	Rev	B

FOR CONSENT



- Notes
- All works to be in accordance with local council standards.
 - All bends and connections to be no more than 45°
 - All connections to existing drains shall be carried out by a licensed Drainlayer/Plumber.
 - Drainage shall comply in full with E1/AS1 building code for storm water.
 - All cesspits shall have half syphons installed.
 - All sanitary waste drains shall be uPVC to AS/NZS 1260.
 - Sewer shall comply in full with AS/NZS 3500.2 - 2003 and/or G13 Building Code
 - Refer to Hydraulic engineers drawings for building plumbing beyond that shown including down pipe sizes.
 - All pipes shall be SN16 grade unless otherwise stated.
 - Drainlayer shall locate and confirm connection invert before starting building works.
 - Plans to be read in conjunction with Hydraulic Engineers and differences shall be clarified before contractor starts.
 - All chamber lids shall have a minimum 200mm maximum 300 throat to provide sufficient cover for landscape and pavement over the top.

B	FOR CONSENT	MS	04/25
A	FOR REVIEW	MS	01/25
Rev	Description	By	Date
		By	Date
Survey	MAVEN		10/2024
Design	MS		12/2024
Drawn	MS		12/2024
Checked	SB		12/2024



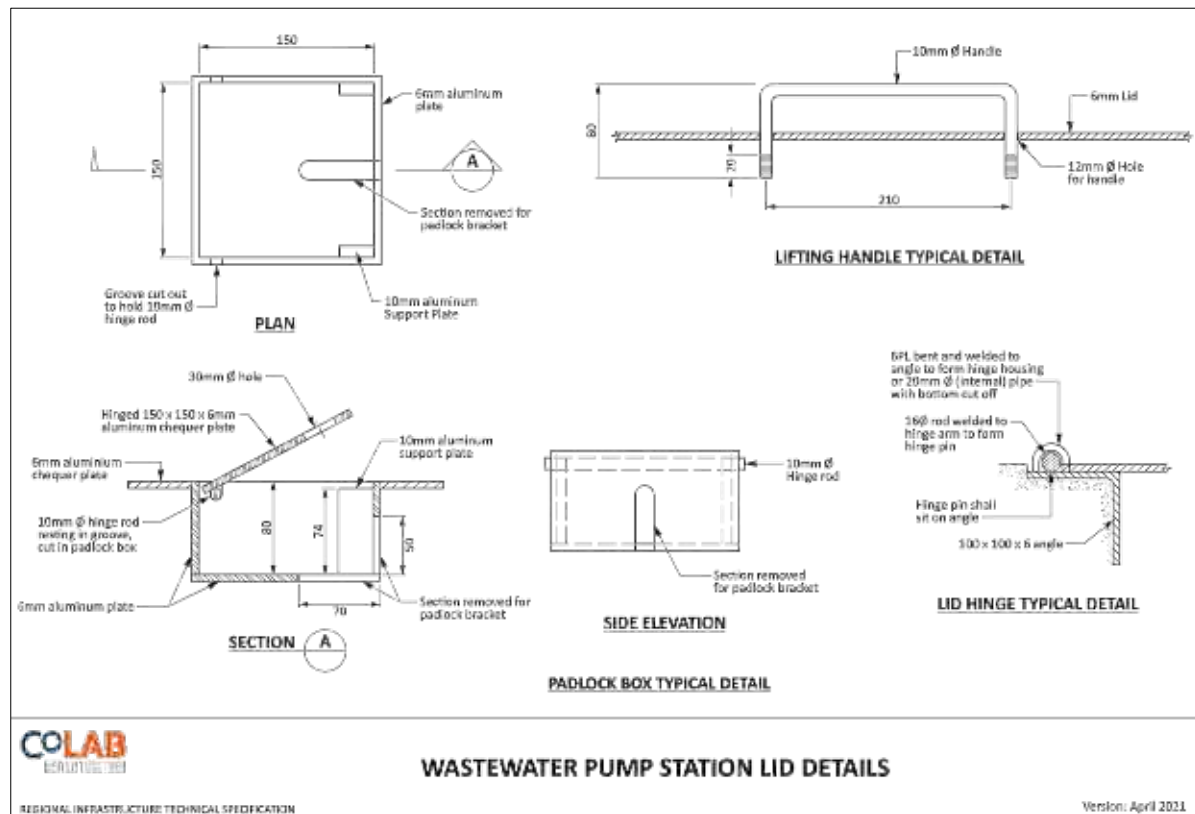
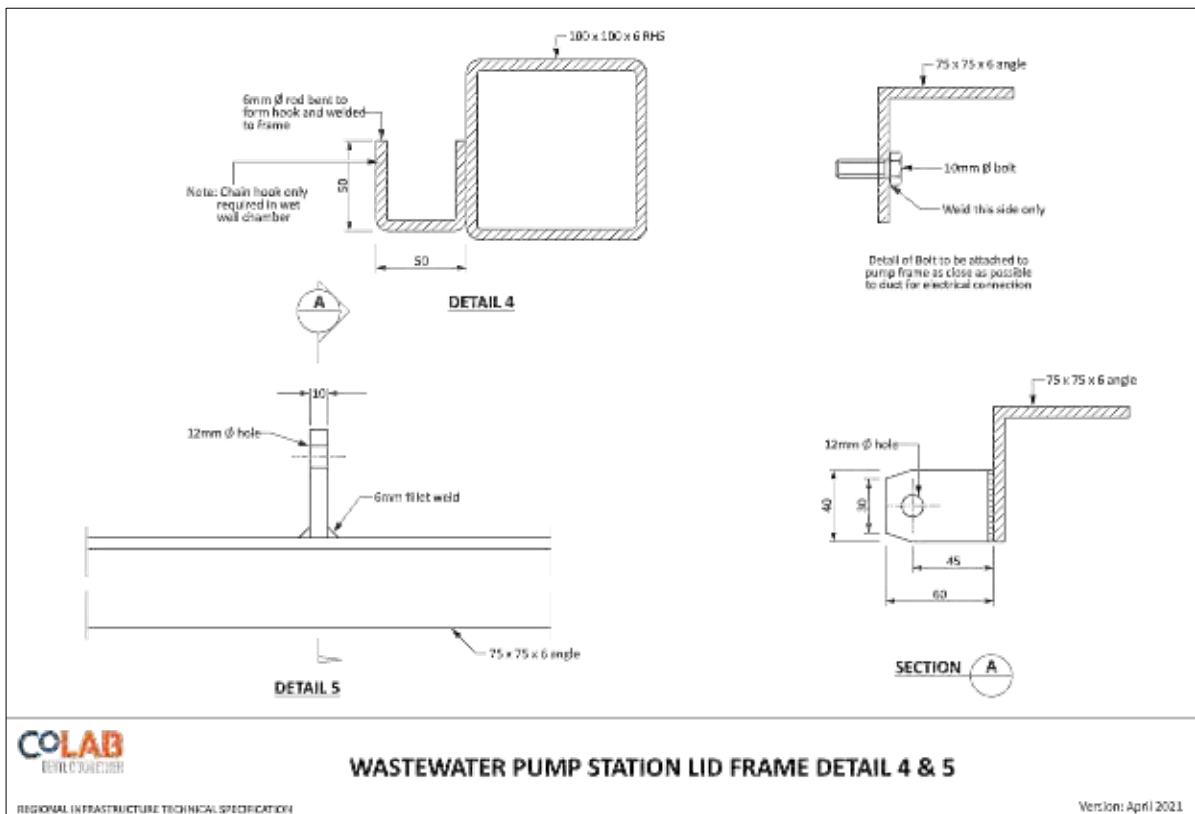
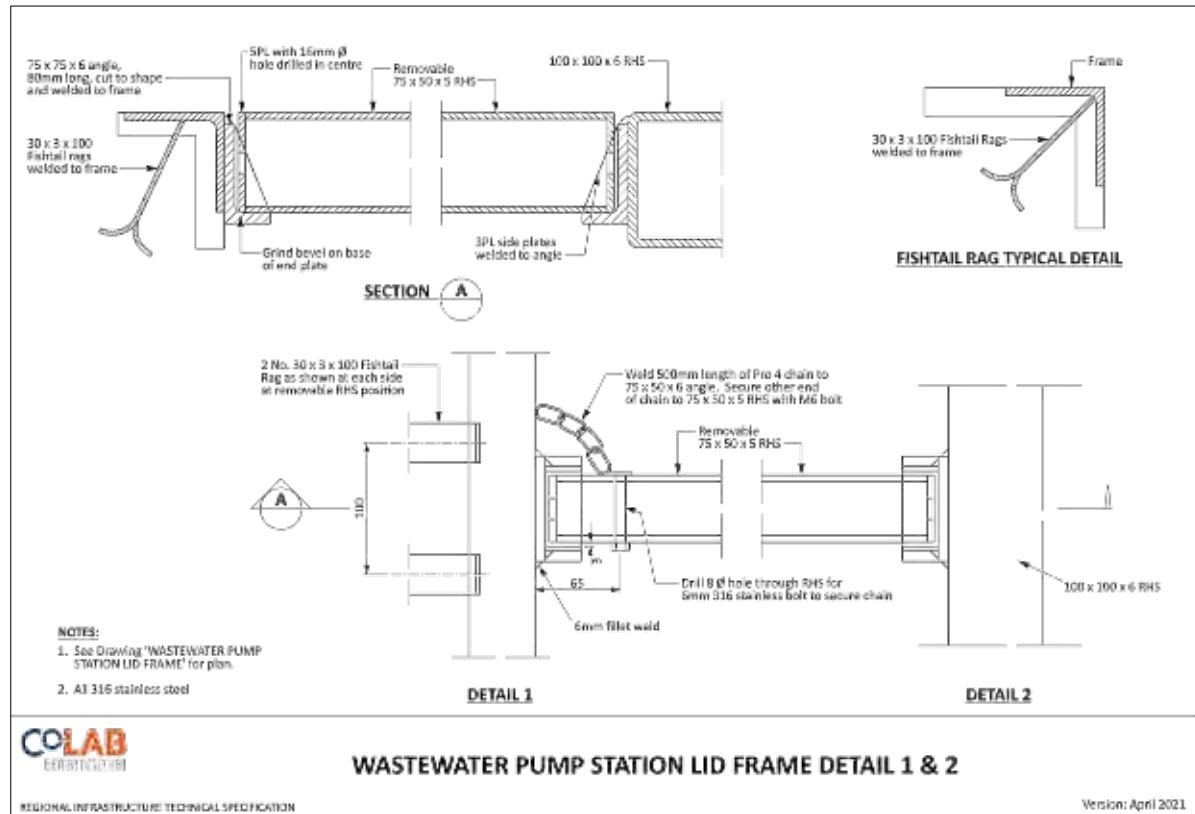
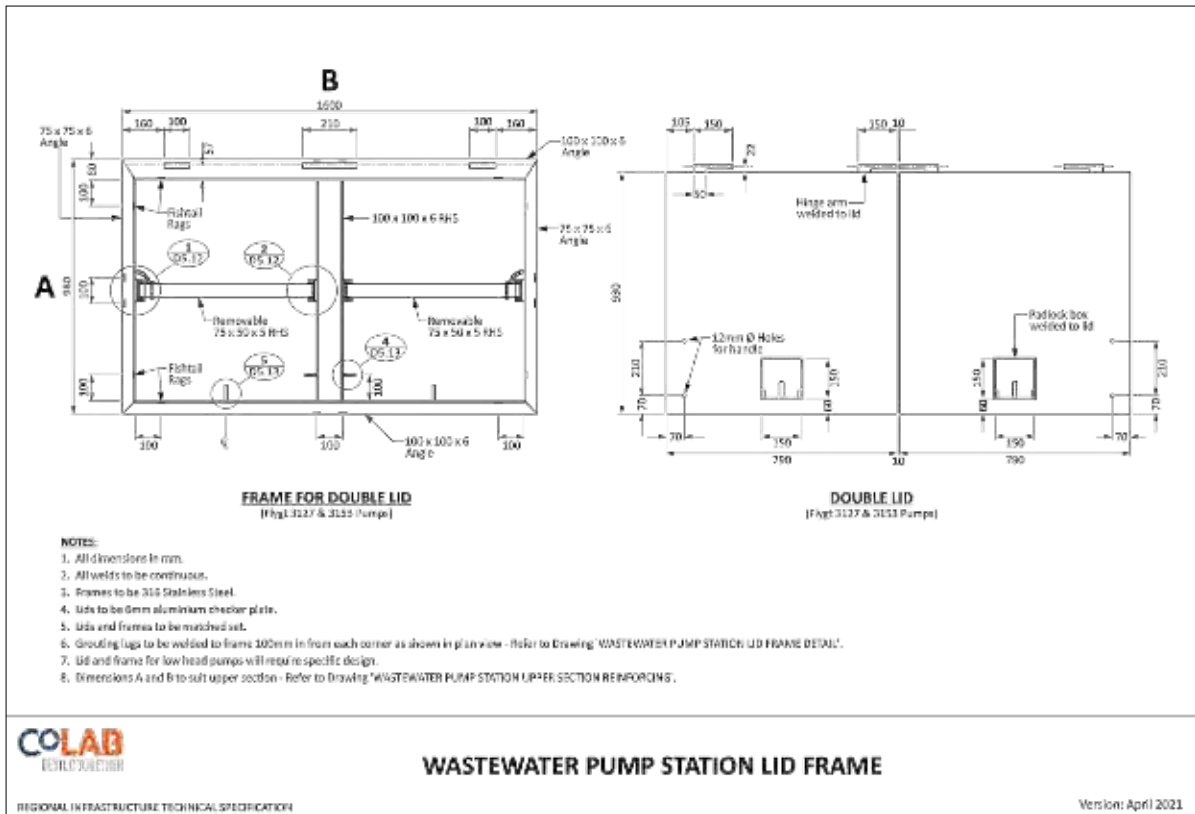
Project
**ASHBOURNE
RETIREMENT VILLAGE
MATAMATA
FOR
UNITY DEVELOPMENT LTD**

Title
**PROPOSED WW
STANDARD DETAIL PLAN
SHEET 2 OF 5**

Project no.	J00606
Scale	NTS
Cad file	C5800 -WW SD DETAILS.DWG
Drawing no.	C5801
Rev	B

FOR CONSENT

150mm
100
80
60
40
20
0
DATE: 17/04/2025



- Notes
- All works to be in accordance with local council standards.
 - All bends and connections to be no more than 45°
 - All connections to existing drains shall be carried out by a licensed Drainlayer/Plumber.
 - Drainage shall comply in full with E1/AS1 building code for storm water.
 - All cesspits shall have half syphons installed.
 - All sanitary waste drains shall be uPVC to AS/NZS 1260.
 - Sewer shall comply in full with AS/NZS 3500.2 - 2003 and/or G13 Building Code
 - Refer to Hydraulic engineers drawings for building plumbing beyond that shown including down pipe sizes.
 - All pipes shall be SN16 grade unless otherwise stated.
 - Drainlayer shall locate and confirm connection invert before starting building works.
 - Plans to be read in conjunction with Hydraulic Engineers and differences shall clarified be before contractor starts.
 - All chamber lids shall have a minimum 200mm maximum 300 throat to provide sufficient cover for landscape and pavement over the top.

B	FOR CONSENT	MS	04/25
A	FOR REVIEW	MS	01/25
Rev	Description	By	Date
		By	Date
Survey	MAVEN		10/2024
Design	MS		12/2024
Drawn	MS		12/2024
Checked	SB		12/2024

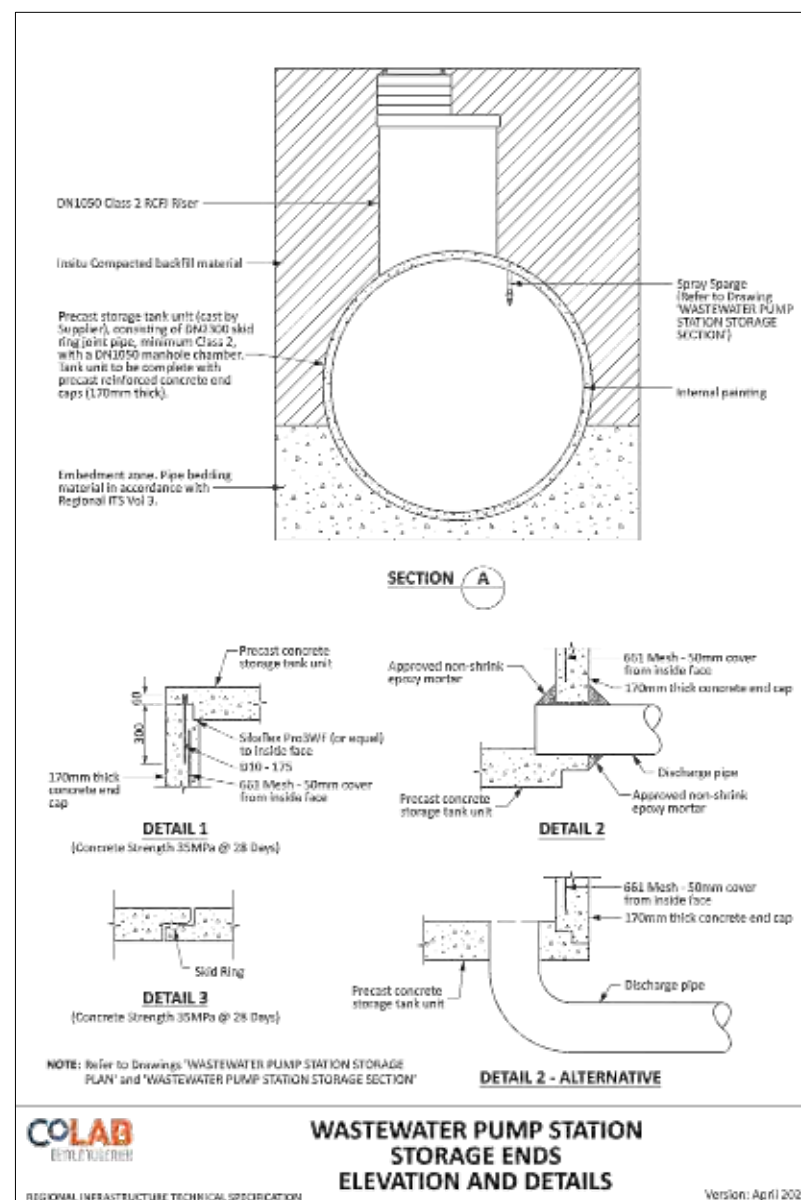
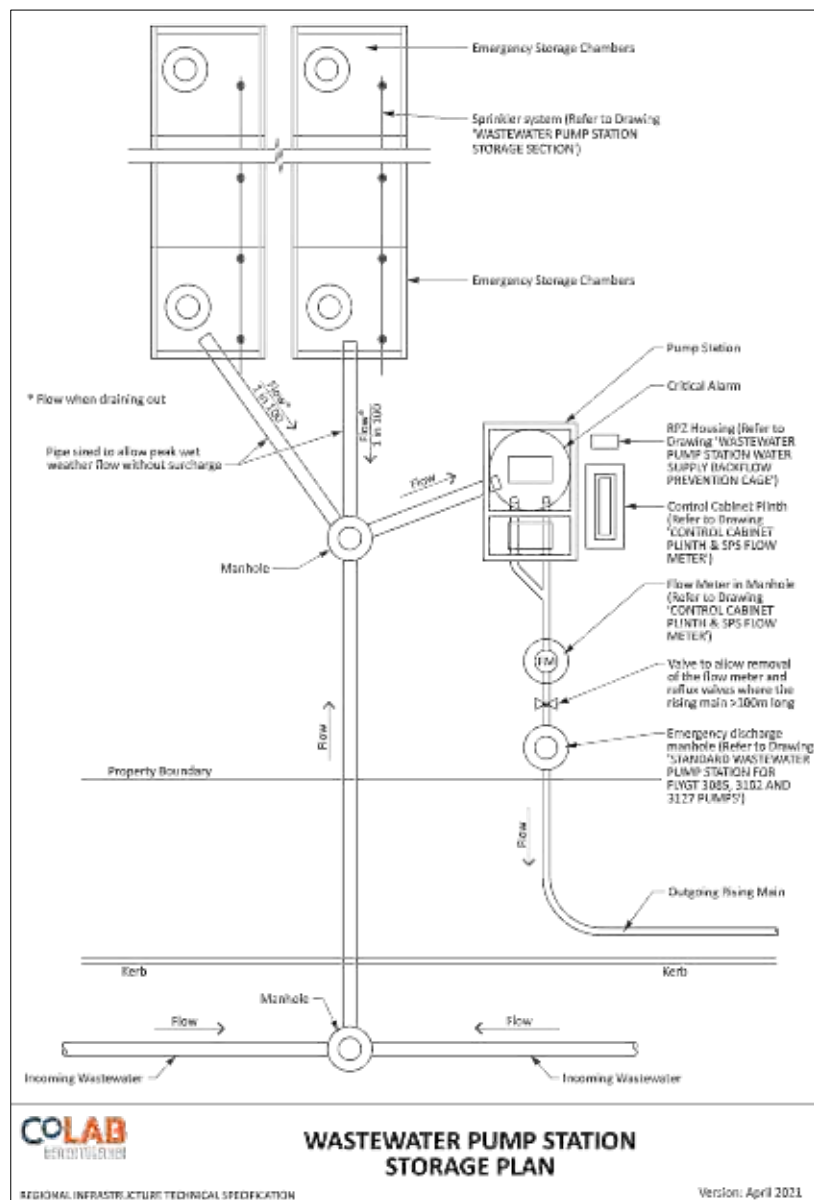


Project
**ASHBOURNE
RETIREMENT VILLAGE
MATAMATA
FOR
UNITY DEVELOPMENT LTD**

Title
**PROPOSED WW
STANDARD DETAIL PLAN
SHEET 3 OF 5**

Project no.	J00606
Scale	NTS
Cad file	C5800 -WW SD DETAILS.DWG
Drawing no.	C5802
Rev	B

FOR CONSENT



- Notes**
1. All works to be in accordance with local council standards.
 2. All bends and connections to be no more than 45°
 3. All connections to existing drains shall be carried out by a licensed Drainlayer/Plumber.
 4. Drainage shall comply in full with E1/AS1 building code for storm water.
 5. All cesspits shall have half syphons installed.
 6. All sanitary waste drains shall be uPVC to AS/NZS 1260.
 7. Sewer shall comply in full with AS/NZS 3500.2 - 2003 and/or G13 Building Code
 8. Refer to Hydraulic engineers drawings for building plumbing beyond that shown including down pipe sizes.
 9. All pipes shall be SN16 grade unless otherwise stated.
 10. Drainlayer shall locate and confirm connection invert before starting building works.
 11. Plans to be read in conjunction with Hydraulic Engineers and differences shall clarified be before contractor starts.
 12. All chamber lids shall have a minimum 200mm maximum 300 throat to provide sufficient cover for landscape and pavement over the top.

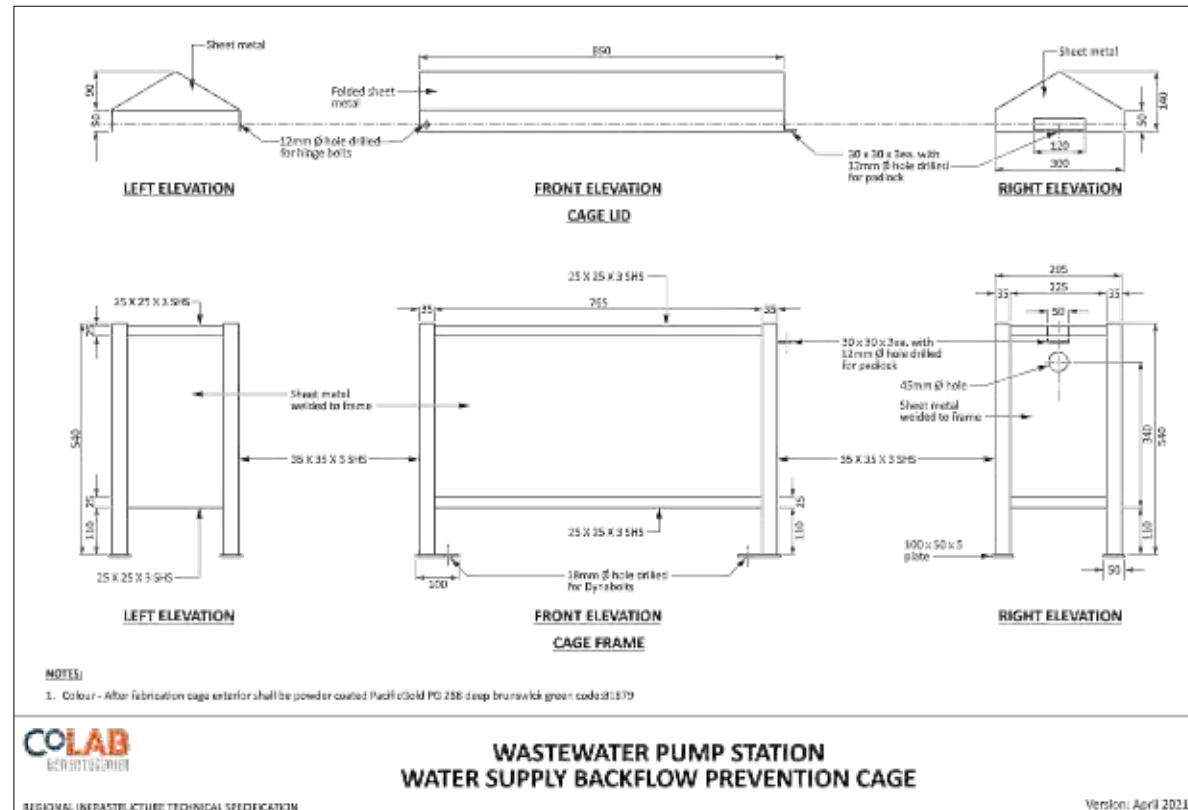
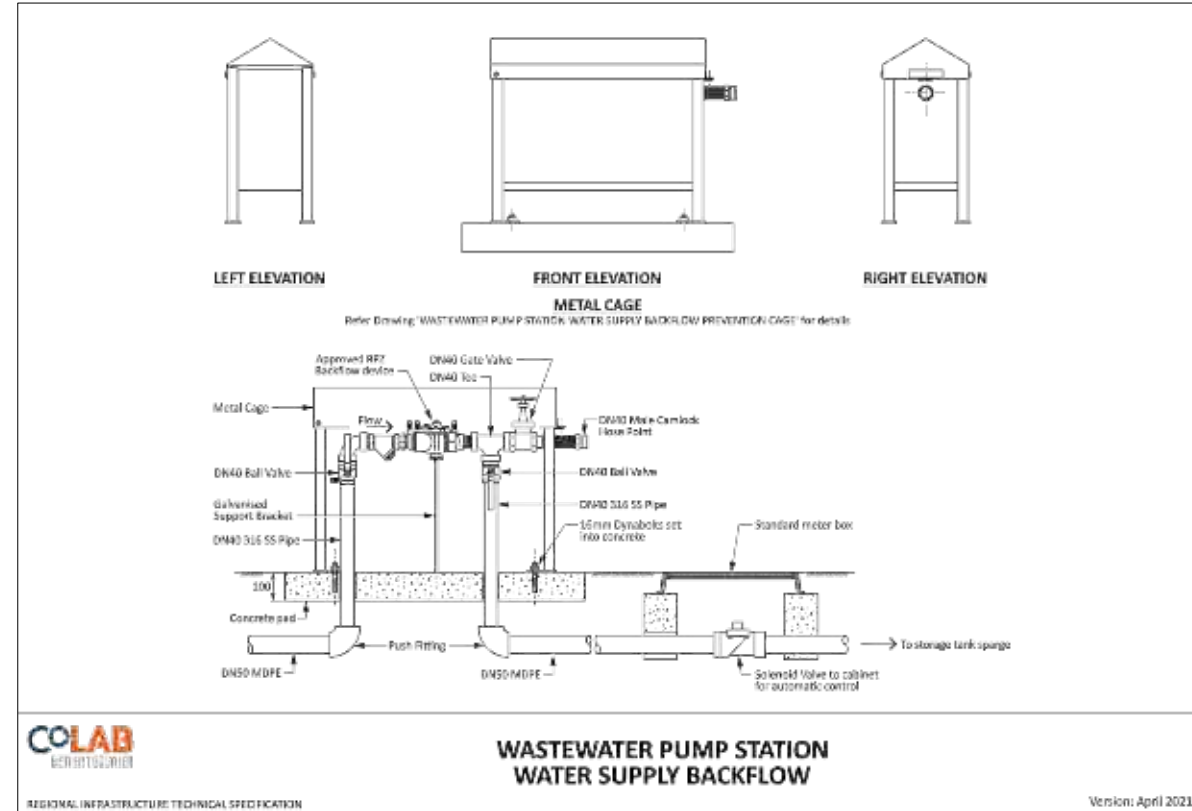
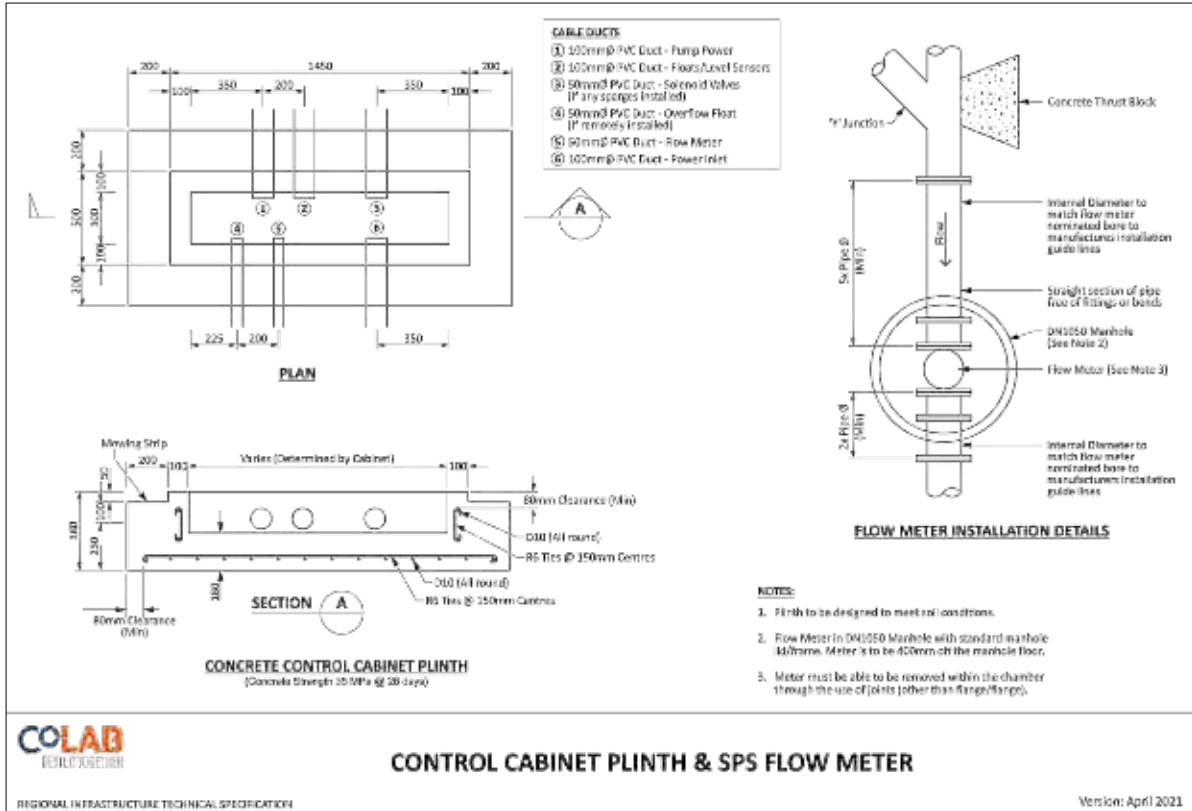
B	FOR CONSENT	MS	04/25
A	FOR REVIEW	MS	01/25
Rev	Description	By	Date
	By	Date	
Survey	MAVEN	10/2024	
Design	MS	12/2024	
Drawn	MS	12/2024	
Checked	SB	12/2024	



Project
**ASHBOURNE
RETIREMENT VILLAGE
MATAMATA
FOR
UNITY DEVELOPMENT LTD**

Title
**PROPOSED WW
STANDARD DETAIL PLAN
SHEET 4 OF 5**

Project no.	J00606		
Scale	NTS		
Cad file	C5800 -WW SD DETAILS.DWG		
Drawing no.	C5803	Rev	B



- Notes
- All works to be in accordance with local council standards.
 - All bends and connections to be no more than 45°
 - All connections to existing drains shall be carried out by a licensed Drainlayer/Plumber.
 - Drainage shall comply in full with E1/AS1 building code for storm water.
 - All cesspits shall have half syphons installed.
 - All sanitary waste drains shall be uPVC to AS/NZS 1260.
 - Sewer shall comply in full with AS/NZS 3500.2 - 2003 and/or G13 Building Code
 - Refer to Hydraulic engineers drawings for building plumbing beyond that shown including down pipe sizes.
 - All pipes shall be SN16 grade unless otherwise stated.
 - Drainlayer shall locate and confirm connection invert before starting building works.
 - Plans to be read in conjunction with Hydraulic Engineers and differences shall clarified be before contractor starts.
 - All chamber lids shall have a minimum 200mm maximum 300 throat to provide sufficient cover for landscape and pavement over the top.

B	FOR CONSENT	MS	04/25
A	FOR REVIEW	MS	01/25
Rev	Description	By	Date
		By	Date
Survey	MAVEN		10/2024
Design	MS		12/2024
Drawn	MS		12/2024
Checked	SB		12/2024



Project
**ASHBOURNE
 RETIREMENT VILLAGE
 MATAMATA
 FOR
 UNITY DEVELOPMENT LTD**

Title
**PROPOSED WW
 STANDARD DETAIL PLAN
 SHEET 5 OF 5**

Project no.	J00606
Scale	NTS
Cad file	C5800 -WW SD DETAILS.DWG
Drawing no.	C5804
Rev	B

FOR CONSENT

DATE: 4/1/25
FILE PATH: F:\MAVEN MATAMATA\1. PROJECTS\J00606 MDL - HEMMINGS STATION RD\8. DRAWING\2. CAD\3. DESIGN\CR000 - WS.DWG



ORIGINAL SIZE: A3
150mm
100
80
60
40
20
0

Part Lot 1
DP 21055

Lot 5
DPS 74018

Lot 1
DP 491699

Lot 1
DPS 29613

Lot 34
DP 562902

Lot 33
DP 562902

Lot 32
DP 562902

Lot 31
DP 562902

Lot 28
DP 562902

Lot 29
DP 562902

Lot 30
DP 562902

Lot 27
DP 562902

Lot 25
DP 562902

Lot 24
DP 562902

Lot 26
DP 562902

Lot 23
DP 562902

Lot 21
DP 562902

Lot 22
DP 562902

Lot 20
DP 562902

Lot 19
DP 562902

Lot 18
DP 562902

STATION ROAD

ORCHARD PLACE

OLIVE PLACE

HIGHGROVE AVENUE

C6001

C6002

C6003

STAGE 1

STAGE 2

STAGE 3

STAGE 4

STAGE 7

STAGE 5

STAGE 6

STAGE 8

STAGE 9

STAGE 10

STAGE 10

STORMWATER
POND 1

STORMWATER
POND 2

Notes

1. All works to be in accordance with RITS standards.
2. Co-ordinates in terms of Mount Eden 2000.
3. Reduced Levels are in terms of NZVD 2016.
4. It is the contractors responsibility to locate all services that may be affected by their operations.
5. The contractor shall comply with all relevant OSH and Health & Safety requirements.
6. The contractor shall obtain all necessary approval from utility operators before commencing work under or near their services.
7. Minimum clearances & cover shall be in accordance with Local Council standards.
8. Approved hardfill to be used in backfilling of all road crossings and vehicle crossings to Local Council standards.
9. Watermains laid across roads shall be backfilled and compacted in 200mm layers above the embedment material.
10. All uPVC pipe shall be PN12 minimum pressure rated with spigot and socket rubber ring joints.
11. All PE pipe shall be PN12.5 minimum pressure rated and butt-welded. Weld beads shall be removed to provide a smooth bore.
12. All non-metalic pipes are to have tracer wire fitted according to Local Council standards.

Legend

- EX BDY
- PROP BDY
- STAGGING BDY
- EX WATERMAIN
- PROP WATERMAIN
- EX/PROP HYDRANT
- EX/PROP METER
- EX SLUICE VALVE
- EX PEAT VALVE
- PROP SLUICE VALVE
- PROP PEAT VALVE

B	FOR CONSENT	MS	04/25
A	FOR REVIEW	DP	01/25
Rev	Description	By	Date
		By	Date
Survey	MAVEN		10/2024
Design	DP		10/2024
Drawn	DP		10/2024
Checked	SB		10/2024



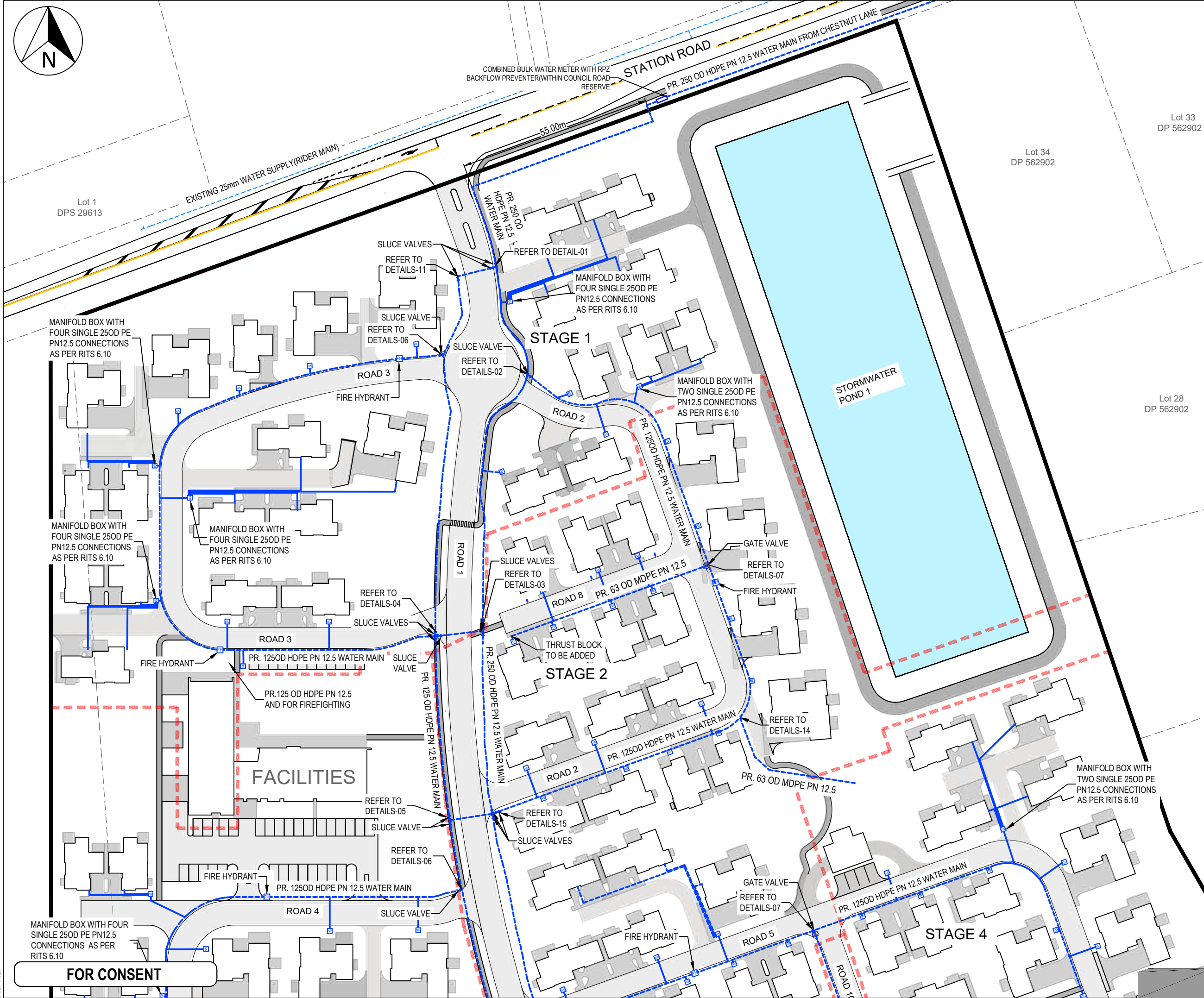
Project
**ASHBOURNE
RETIREMENT VILLAGE
MATAMATA
FOR
UNITY DEVELOPMENT LTD**

Title
**PROPOSED WATER
SUPPLY OVERVIEW
PLAN**

Project no.	J00606		
Scale	1:2500@A3		
Cad file	C6000 - WS.DWG		
Drawing no.	C6000	Rev	B

FOR CONSENT

DATE: 4/17/25
FILE PATH: F:\MAVEN MATAMATA\1. PROJECTS\J00606 MDL - HEMMINGS STATION RD18. DRAWING\2. CAD\3. DESIGN\06000 - WS.DWG



- Notes
1. All works to be in accordance with RITS standards.
 2. Co-ordinates in terms of Mount Eden 2000.
 3. Reduced Levels are in terms of NZVD 2016.
 4. It is the contractors responsibility to locate all services that may be affected by their operations.
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 6. The contractor shall obtain all necessary approval from utility operators before commencing work under or near their services.
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 10. All uPVC pipe shall be PN12 minimum pressure rated with spigot and socket rubber ring joints.
 11. All PE pipe shall be PN12.5 minimum pressure rated and butt-welded. Weld beads shall be removed to provide a smooth bore.
 12. All non-metallic pipes are to have tracer wire fitted according to Local Council standards.

Legend

---	EX BDY
---	PROP BDY
---	STAGING BDY
---	EX WATERMAIN
---	PROP WATERMAIN
---	OVERHEAD POWER
FH	EX/PROP HYDRANT
MM	EX/PROP METER
X	EX SLUICE VALVE
X	EX PEAT VALVE
X	PROP SLUICE VALVE
X	PROP PEAT VALVE

B	FOR CONSENT	MS	04/25
A	FOR REVIEW	DP	01/25
Rev	Description	By	Date
Survey	MAVEN	10/2024	
Design	DP	10/2024	
Drawn	DP	10/2024	
Checked	SB	10/2024	



Project
**ASHBOURNE
RETIREMENT VILLAGE
MATAMATA
FOR
UNITY DEVELOPMENT LTD**

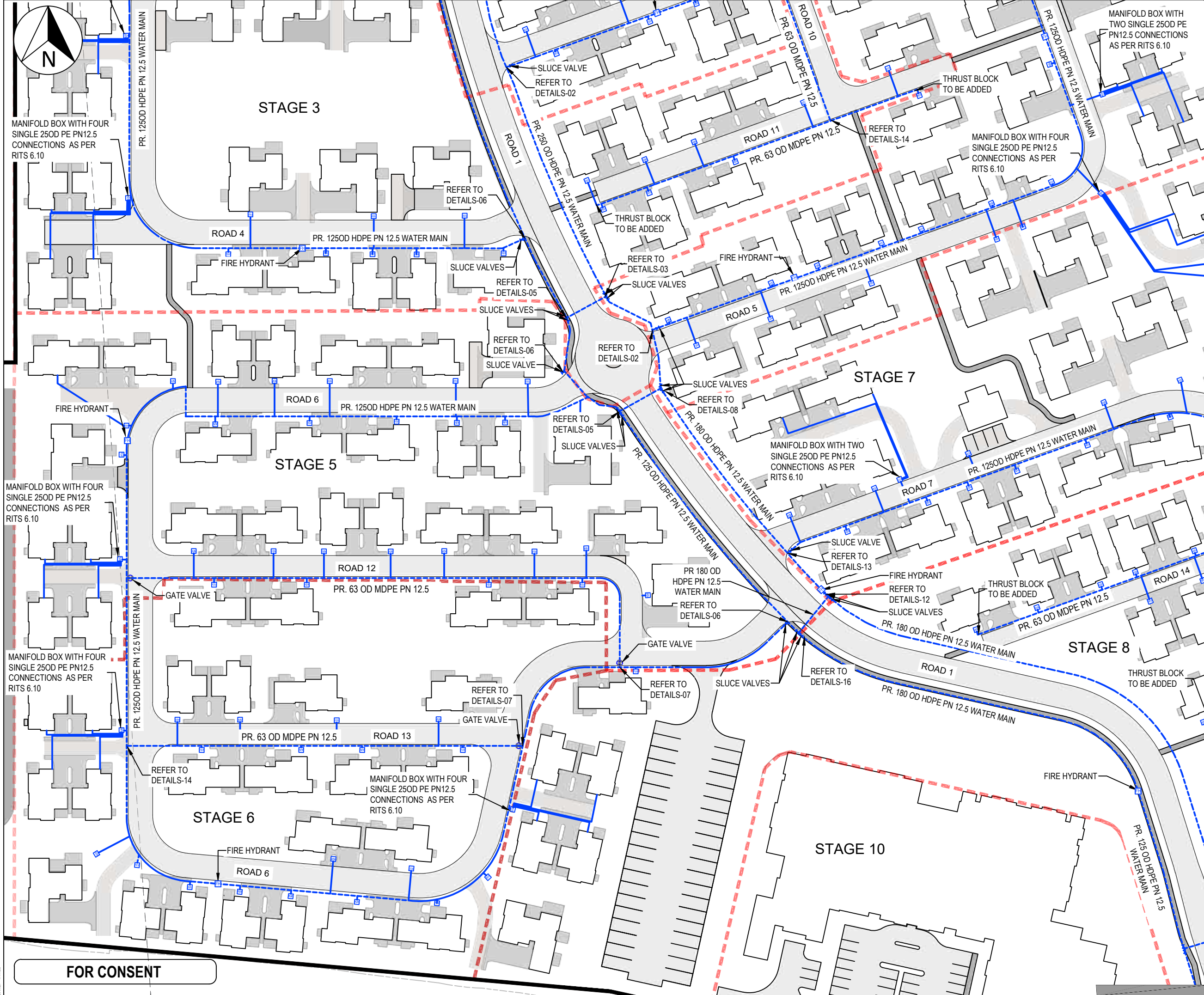
Title
**PROPOSED
WATER SUPPLY PLAN
SHEET 1 OF 4**

Project no.	J00606
Scale	1:1000@A3
Cad file	C6000 - WS.DWG
Drawing no.	C6001
Rev	B

ORIGINAL SIZE: A3

150mm
100
80
60
40
20
0

DATE: 4/1/25



- Notes
1. All works to be in accordance with RITS standards.
 2. Co-ordinates in terms of Mount Eden 2000.
 3. Reduced Levels are in terms of NZVD 2016.
 4. It is the contractors responsibility to locate all services that may be affected by their operations.
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Legend

---	EX BDY
---	PROP BDY
---	STAGING BDY
---	EX WATERMAIN
---	PROP WATERMAIN
---	OVERHEAD POWER
FH	EX/PROP HYDRANT
MM	EX/PROP METER
X	EX SLUCE VALVE
X	EX PEAT VALVE
+	PROP SLUCE VALVE
+	PROP PEAT VALVE

B	FOR CONSENT	MS	04/25
A	FOR REVIEW	DP	01/25
Rev	Description	By	Date
Survey	MAVEN		10/2024
Design	MAVEN		10/2024
Drawn	DP		10/2024
Checked	SB		10/2024



**ASHBOURNE
RETIREMENT VILLAGE
MATAMATA
FOR
UNITY DEVELOPMENT LTD**

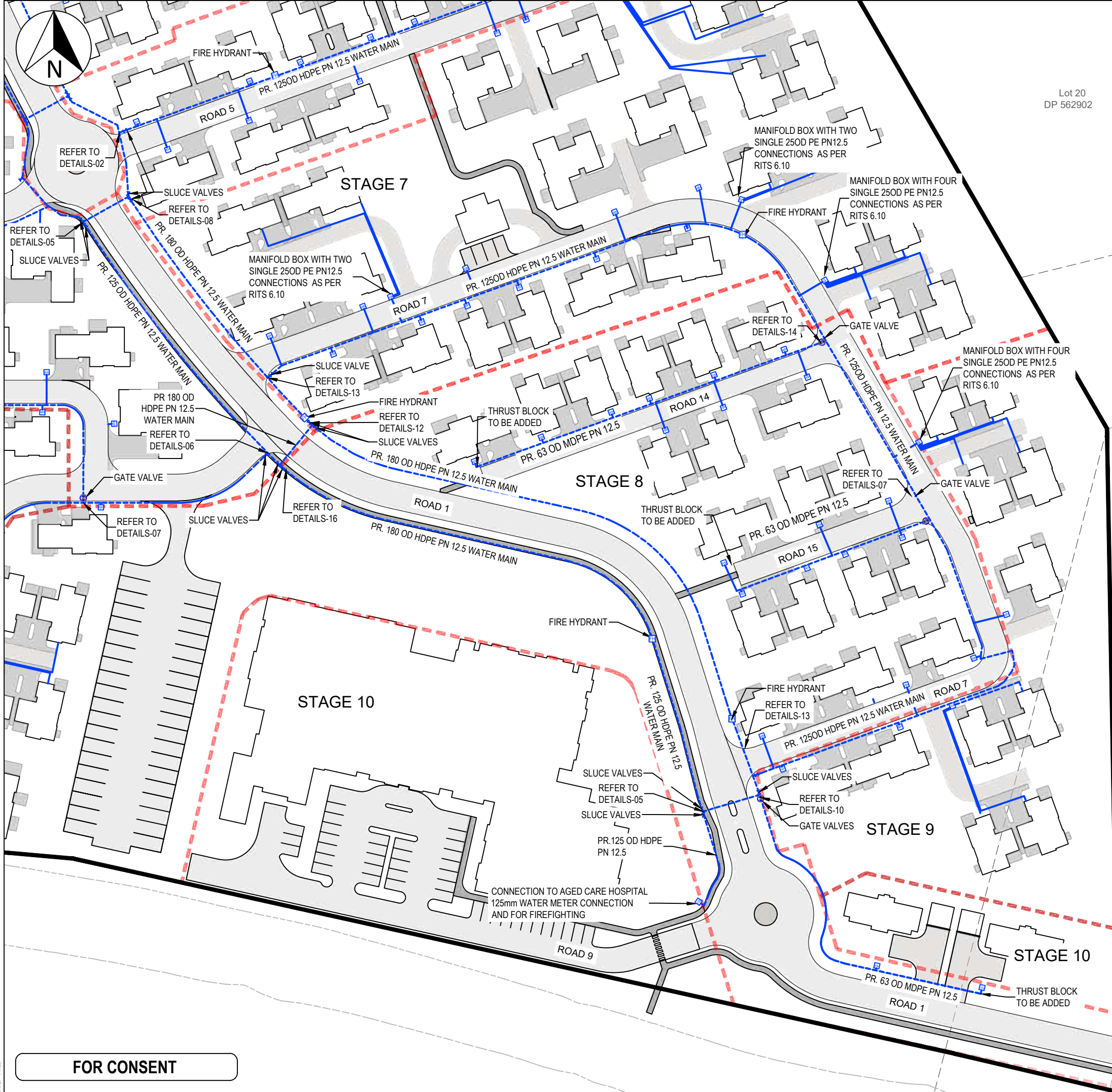
**PROPOSED
WATER SUPPLY PLAN
SHEET 2 OF 4**

Project no.	J00606
Scale	1:1000@A3
Cad file	C6000 - WS.DWG
Drawing no.	C6002
Rev	B

FOR CONSENT

FILE PATH: F:\MAVEN MATAMATA\1. PROJECTS\J00606 MDL - HEMMINGS STATION RD\8. DRAWING\2. CAD\3. DESIGN\06000 - WS.DWG

DATE: 4/1/25 ORIGINAL SIZE: A3



FOR CONSENT

- Notes
1. All works to be in accordance with RITS standards.
 2. Co-ordinates in terms of Mount Eden 2000.
 3. Reduced Levels are in terms of NZVD 2016.
 4. It is the contractors responsibility to locate all services that may be affected by their operations.
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Legend

---	EX BDY
---	PROP BDY
---	STAGING BDY
---	EX WATERMAIN
---	PROP WATERMAIN
---	OVERHEAD POWER
FH	EX/PROP HYDRANT
WM	EX/PROP METER
SV	EX SLUCE VALVE
GV	EX PEAT VALVE
SV	PROP SLUCE VALVE
GV	PROP PEAT VALVE

B	FOR CONSENT	MS	04/25
A	FOR REVIEW	DP	01/25
Rev	Description	By	Date
Survey	MAVEN		10/2024
Design	DP		11/2024
Drawn	DP		11/2024
Checked	SB		11/2024

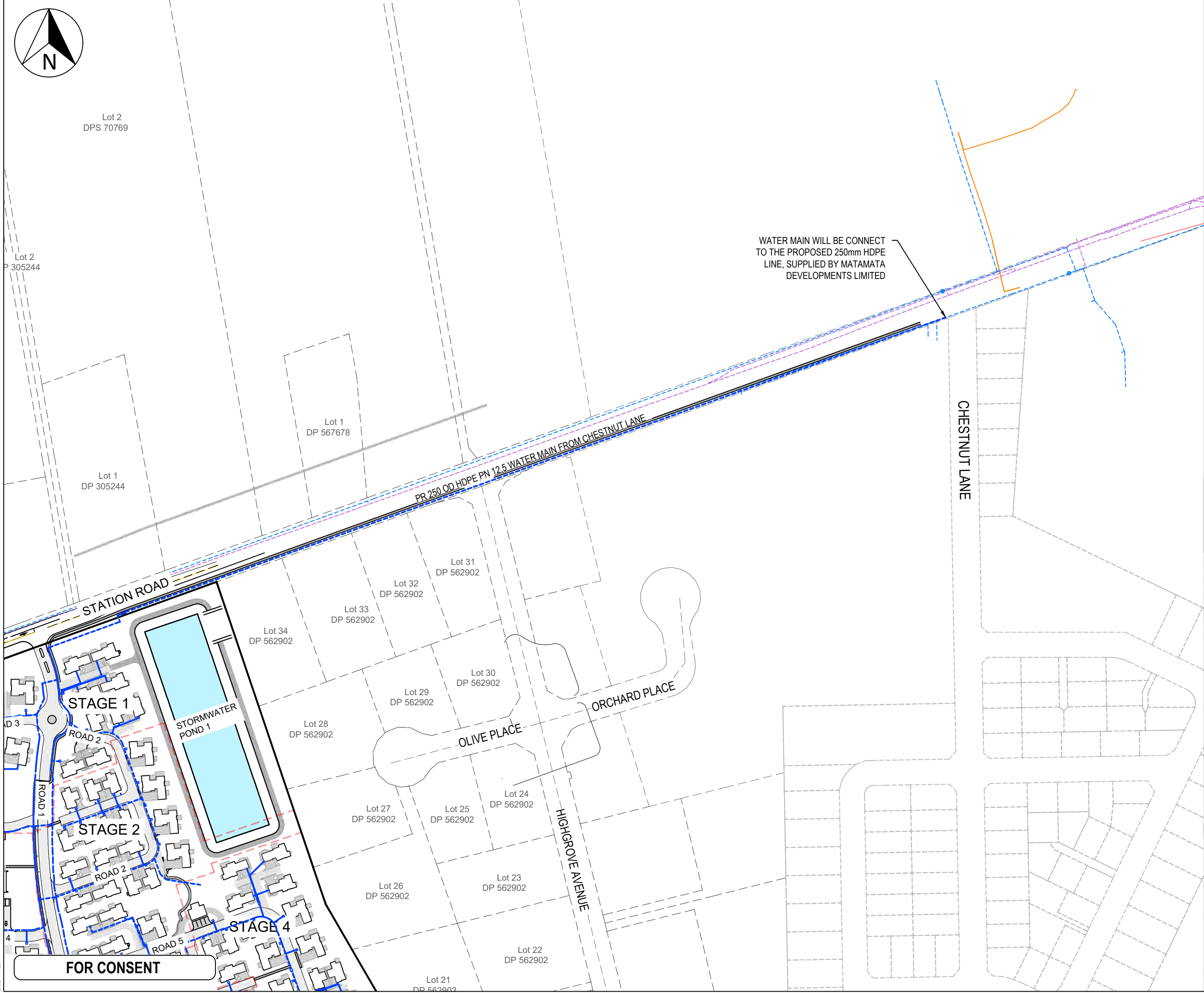


Project
**ASHBOURNE
RETIREMENT VILLAGE
MATAMATA
FOR
UNITY DEVELOPMENT LTD**

Title
**PROPOSED
WATER SUPPLY PLAN
SHEET 3 OF 4**

Project no.	J00606
Scale	1:1000@A3
Cad file	C6000 - WS.DWG
Drawing no.	C6003
Rev	B

ORIGINAL SIZE: A3
DATE: 4/12/24
FILE PATH: F:\MAVEN MATAMATA\1. PROJECTS\J00606 MDL - HEMMINGS STATION RD\8. DRAWING\2. CAD\3. DESIGN\6000 - WS.DWG



- Notes
1. All works to be in accordance with RITS standards.
 2. Co-ordinates in terms of Mount Eden 2000.
 3. Reduced Levels are in terms of NZVD 2016.
 4. It is the contractors responsibility to locate all services that may be affected by their operations.
 5. The contractor shall comply with all relevant OSH and Health & Safety requirements.
 6. The contractor shall obtain all necessary approval from utility operators before commencing work under or near their services.
 7. Minimum clearances & cover shall be in accordance with Local Council standards.
 8. Approved hardfill to be used in backfilling of all road crossings and vehicle crossings to Local Council standards.
 9. Watermains laid across roads shall be backfilled and compacted in 200mm layers above the embedment material.
 10. All uPVC pipe shall be PN12 minimum pressure rated with spigot and socket rubber ring joints.
 11. All PE pipe shall be PN12.5 minimum pressure rated and butt-welded. Weld beads shall be removed to provide a smooth bore.
 12. All non-metallic pipes are to have tracer wire fitted according to Local Council standards.

Legend	
	EX BDY
	PROP BDY
	STAGING BDY
	EX WATERMAIN
	PROP WATERMAIN
	OVERHEAD POWER
	EX/PROP HYDRANT
	EX/PROP METER
	EX SLUICE VALVE
	EX PEAT VALVE
	PROP SLUICE VALVE
	PROP PEAT VALVE

B	FOR CONSENT	MS	04/25
A	FOR REVIEW	DP	01/25
Rev	Description	By	Date
		By	Date
Survey	MAVEN		10/2024
Design	DP		11/2024
Drawn	DP		11/2024
Checked	SB		11/2024

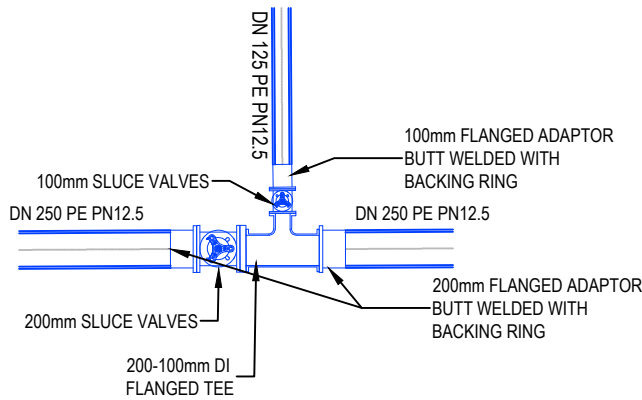


Project
**ASHBOURNE
RETIREMENT VILLAGE
MATAMATA
FOR
UNITY DEVELOPMENT LTD**

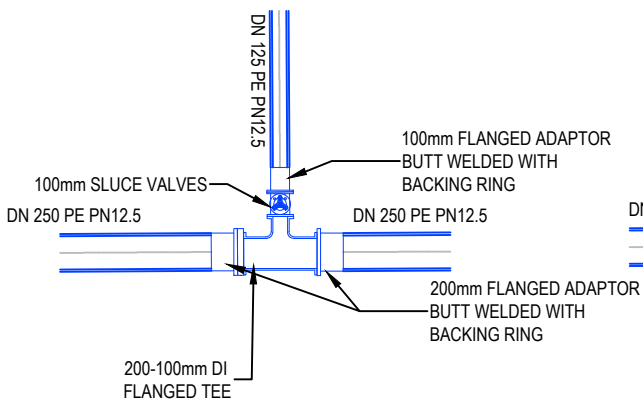
Title
**PROPOSED
WATER SUPPLY PLAN
SHEET 4 OF 4**

Project no.	J00606		
Scale	1:2500@A3		
Cad file	C6000 - WS.DWG		
Drawing no.	C6004	Rev	B

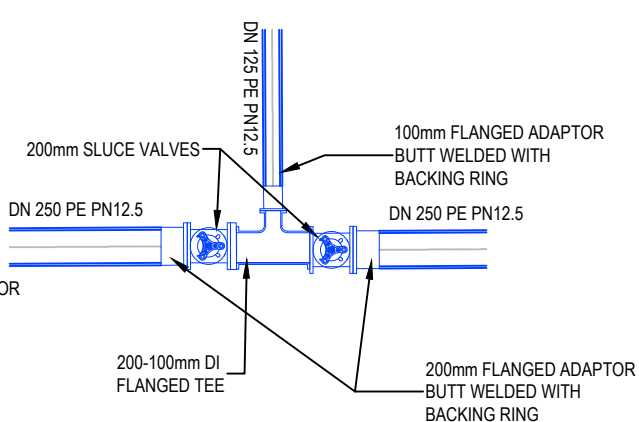
ORIGINAL SIZE: A3
DATE: 17/04/2025
FILE: F:\MAVEN MATAMATA\1. Projects\J00606 MDL - Hemmings Station Rd16. Drawing\2. CAD\3. Design\C6800 - WSSDDwg.dwg



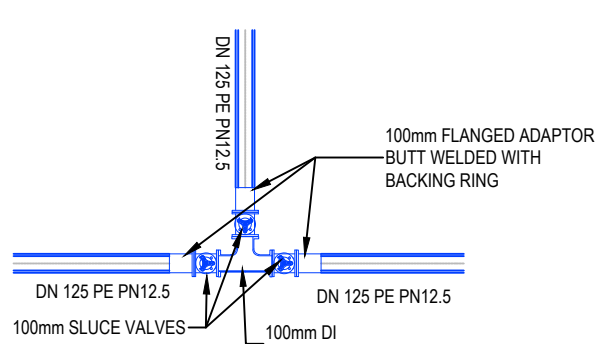
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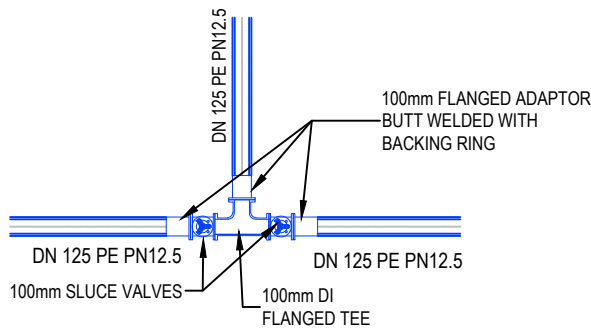
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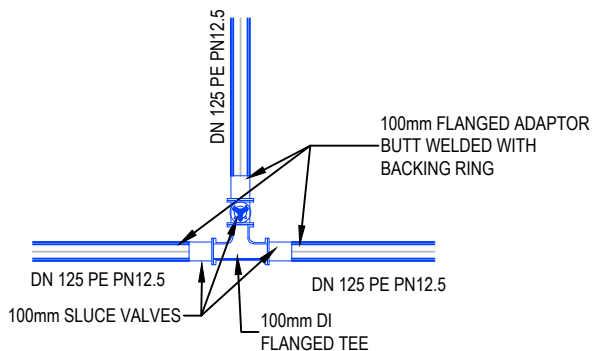
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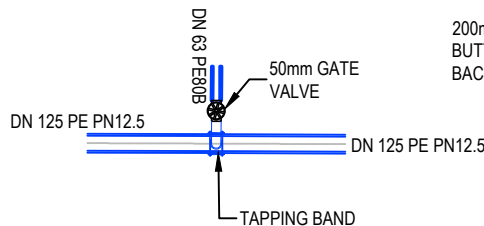
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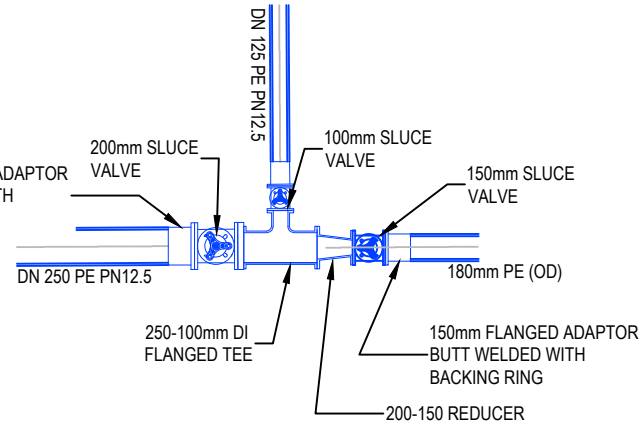
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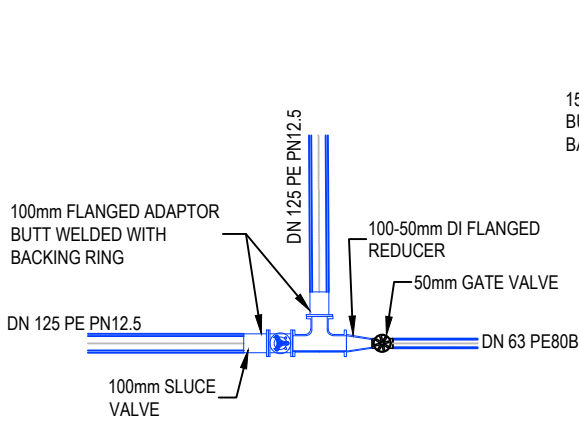
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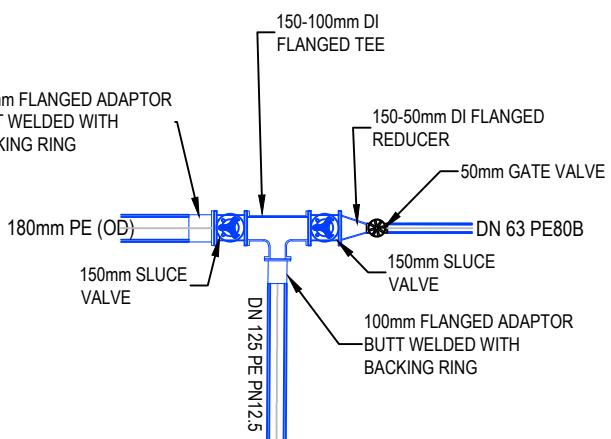
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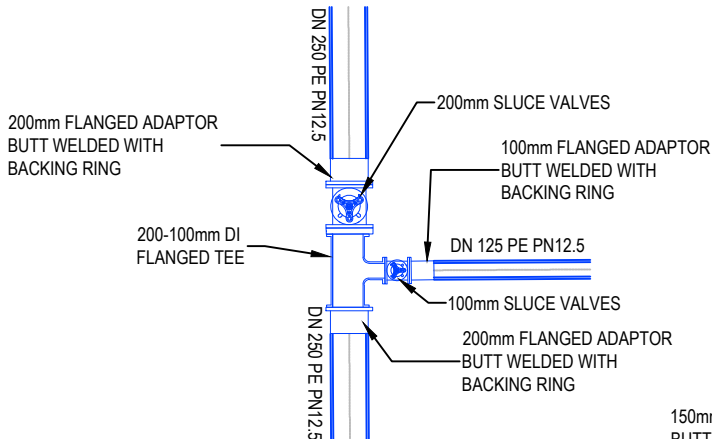
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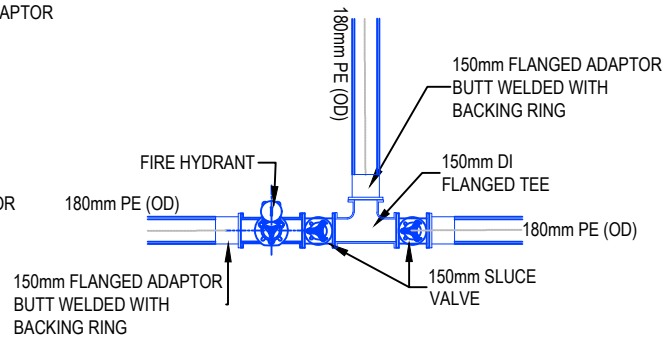
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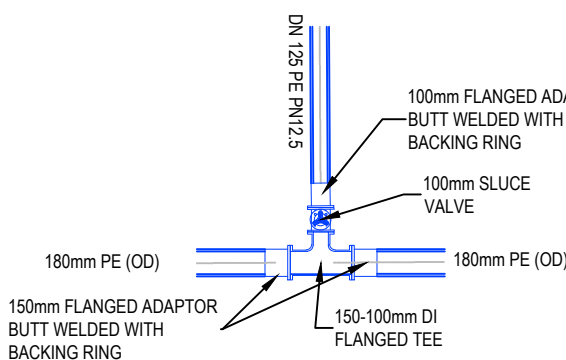
CONNECTION DETAILS - 10



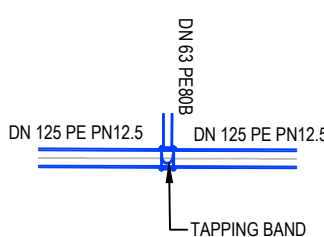
CONNECTION DETAILS - 11



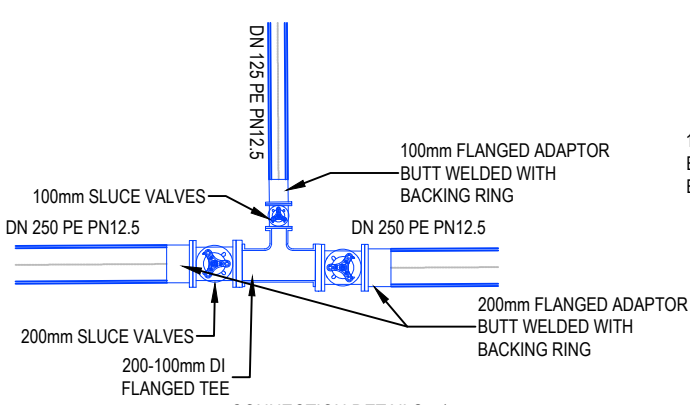
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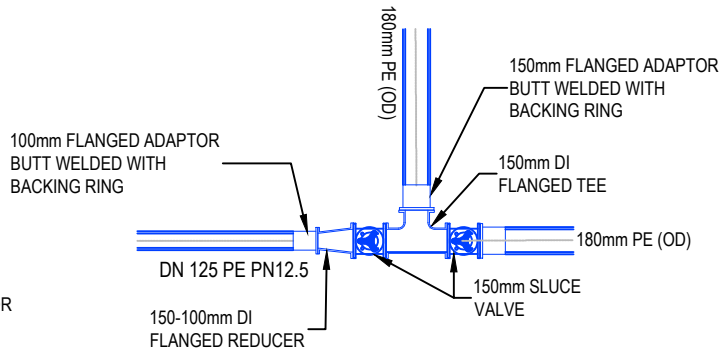
CONNECTION DETAILS - 13



CONNECTION DETAILS - 14



CONNECTION DETAILS - 15



CONNECTION DETAILS - 16

FOR CONSENT

- Notes
- All works to be in accordance with RITS council standards.
 - It is the contractors responsibility to locate any underground services prior to the commencement of works.
 - Minimum cover shall be:
Roads, footpaths, crossings: 1000mm
Berms 600mm
Service connections: 550-650mm
 - Watermains laid across roads shall be backfilled with hardfill compacted in 200mm layers above the embedment material.
 - All uPVC pipe shall be PN12 minimum pressure rated with spigot and socket rubber ring joints.
 - All PE pipe shall be PN12.5 minimum pressure rated with butt-welded. Weld beads shall be removed to provide a smooth bore.
 - All non-metallic pipes are to have tracer wire fitted to council standards.
 - Pipes shall be bedded and surrounded to 150mm above the pipe soffit with sand or ap20.
 - Metal detector tape printed with 'water pipe below' shall be laid 150mm above all watermains.
 - A yellow isosceles triangle with cats eye pointing to FH shall be painted in the centre of all sealed roads.
 - All valves to be marked with sawcut kerb and blue paint.
 - All flange joints to be protected with denso tape or similar approved by the engineer.

B	FOR CONSENT	MS	04/25
A	FOR REVIEW	DP	01/25
Rev	Description	By	Date
Survey	MAVEN		10/2024
Design	DP		11/2024
Drawn	DP		11/2024
Checked	SB		11/2024

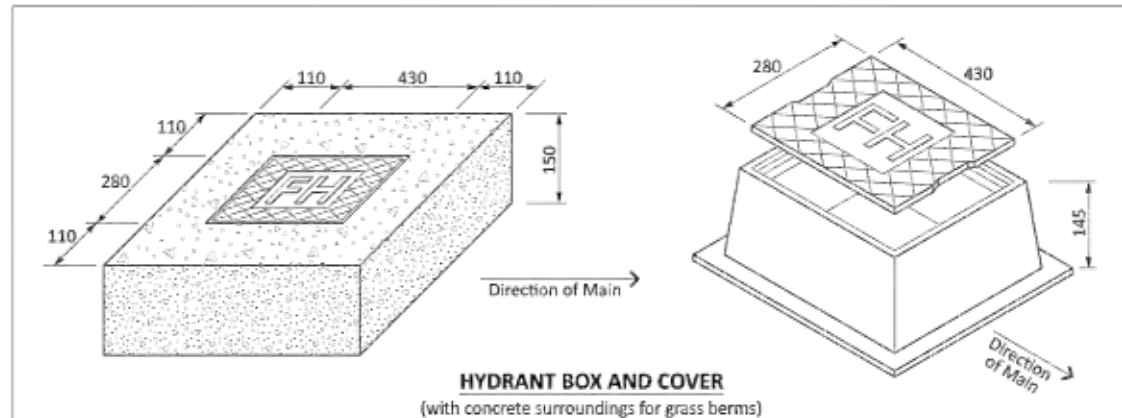
M
M A V E N
Maven Matamata
matamatainfo@maven.co.nz
www.maven.co.nz
8 Tainui Street, Matamata
New Zealand

Project
**ASHBOURNE
RETIREMENT VILLAGE
MATAMATA
FOR
UNITY DEVELOPMENT LTD**

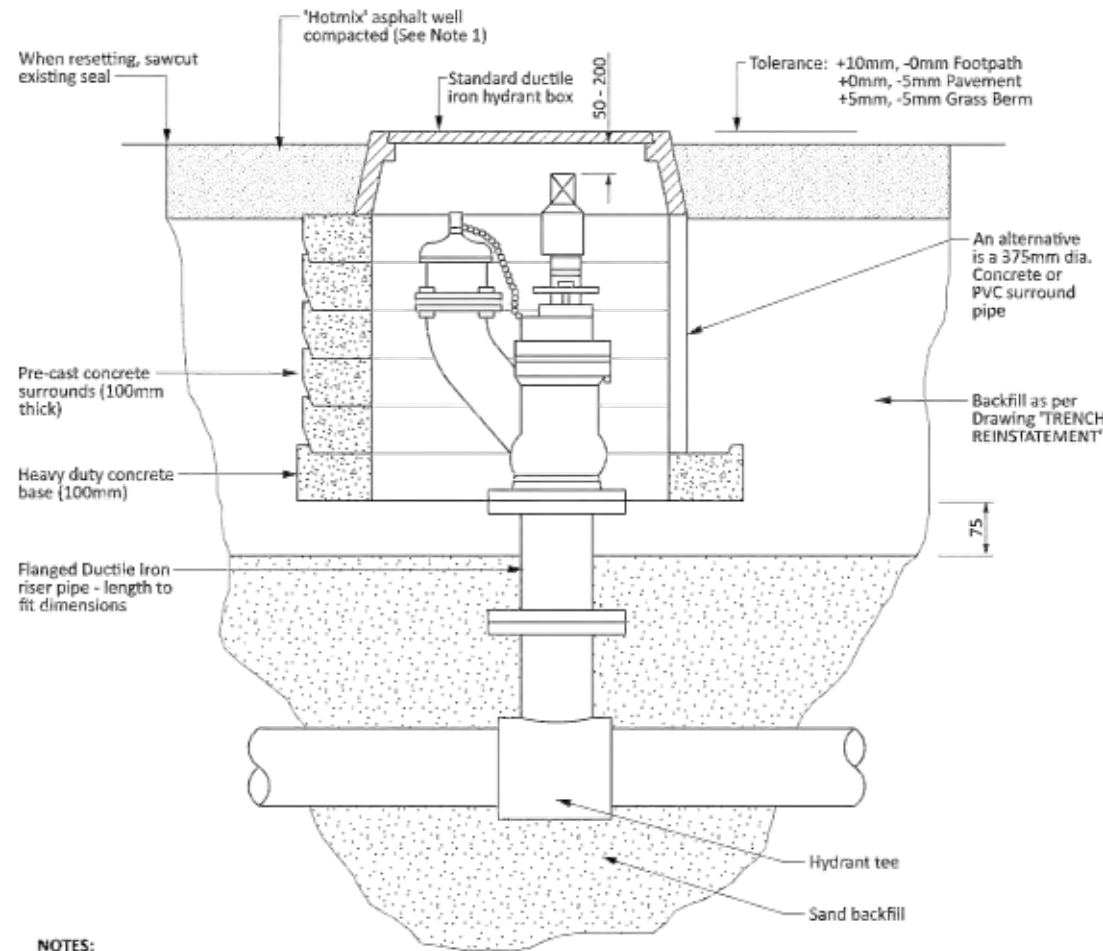
Title
**WATER SUPPLY
CONNECTION
DETAILS**

Project no.	J00606
Scale	1:50 @A3
Cad file	C6800 - WSSDDWG.DWG
Drawing no.	C6500
Rev	B

150mm
100
80
60
40
30
20
10
0
DATE: 17/04/2025
FILE: F:\MAVEN MATAMATA\1. Projects\J00606 MDL - Hemmings Station Rd6. Drawing\2. CAD\3. Design\C6800 - WSSDDwg.dwg



HYDRANT BOX AND COVER
(with concrete surroundings for grass berms)



NOTES:
In Berm Areas
a) the TNZ backfill can be replaced with pitsand
b) the finished surface shall match the surrounding

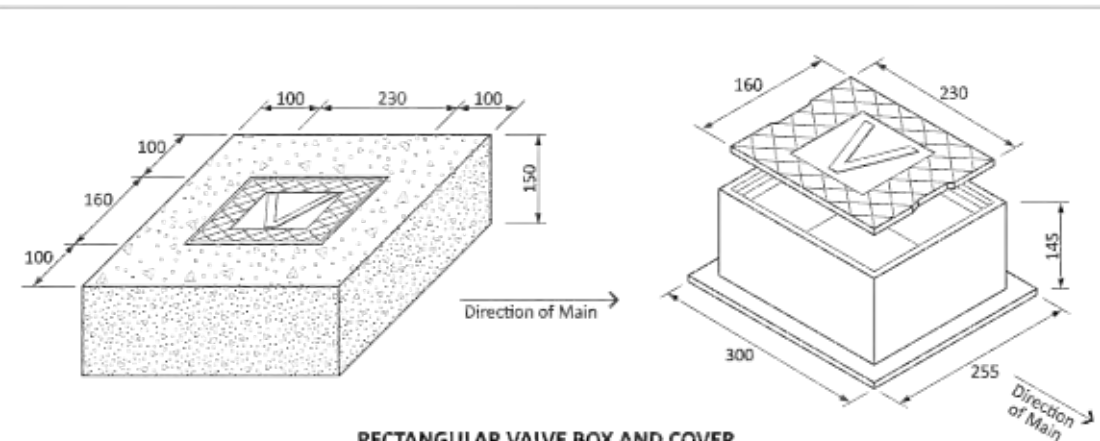
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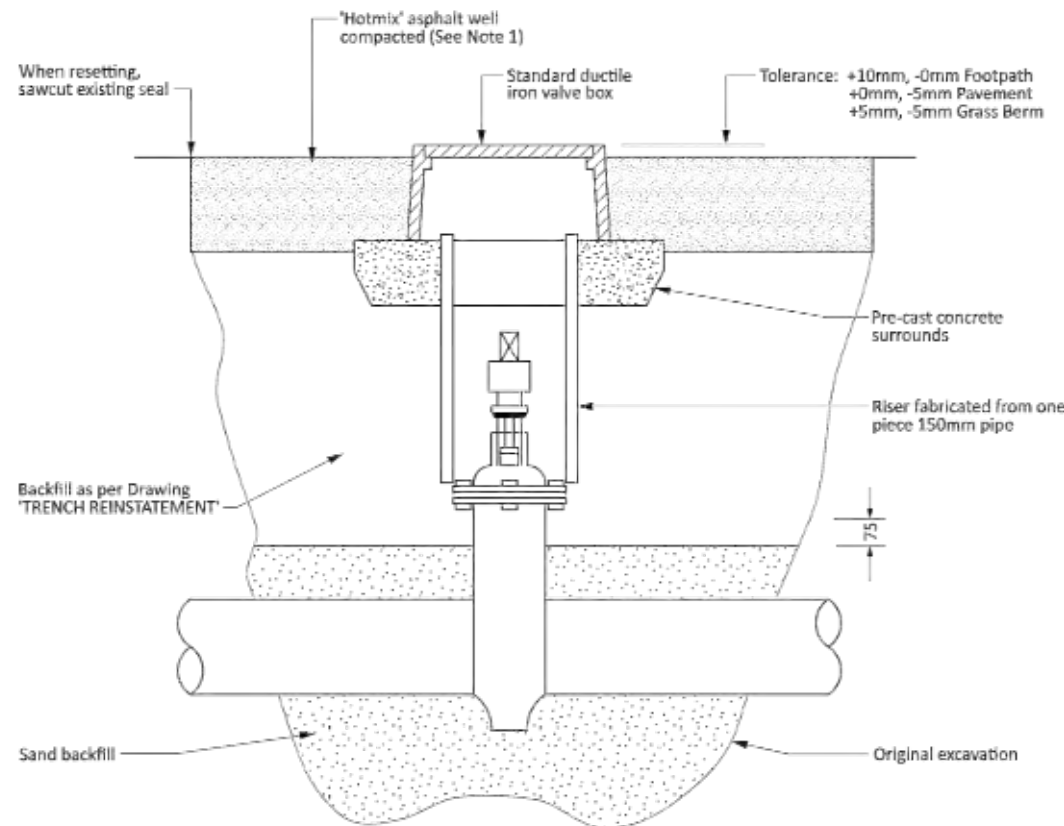
FIRE HYDRANT DETAILS

REGIONAL INFRASTRUCTURE TECHNICAL SPECIFICATION

Version: April 2021



RECTANGULAR VALVE BOX AND COVER
(with concrete surroundings for grass berms)



NOTES:
1. In Berm Areas
a) the TNZ backfill can be replaced with pitsand
b) the finished surface shall match the surrounding

NOT TO SCALE



SLUICE VALVE DETAILS

REGIONAL INFRASTRUCTURE TECHNICAL SPECIFICATION

Version: April 2021

- Notes
- All works to be in accordance with RITS standards.
 - It is the contractors responsibility to locate any underground services prior to the commencement of works.
 - Minimum cover shall be:
Roads, footpaths, crossings: 1000mm
Berms 600mm
Service connections: 550-650mm
 - Watermains laid across roads shall be backfilled with hardfill compacted in 200mm layers above the embedment material.
 - All uPVC pipe shall be PN12 minimum pressure rated with spigot and socket rubber ring joints.
 - All PE pipe shall be PN12.5 minimum pressure rated with butt-welded. Weld beads shall be removed to provide a smooth bore.
 - All non-metallic pipes are to have tracer wire fitted to council standards.
 - Pipes shall be bedded and surrounded to 150mm above the pipe soffit with sand or ap20.
 - Metal detector tape printed with 'water pipe below' shall be laid 150mm above all watermains.
 - A yellow isosceles triangle with cats eye pointing to FH shall be painted in the centre of all sealed roads.
 - All valves to be marked with sawcut kerb and blue paint.
 - All flange joints to be protected with denso tape or similar approved by the engineer.

B	FOR CONSENT	MS	04/25
A	FOR REVIEW	DP	01/25
Rev	Description	By	Date
		By	Date
Survey	MAVEN		10/2024
Design	DP		11/2024
Drawn	DP		11/2024
Checked	SB		11/2024

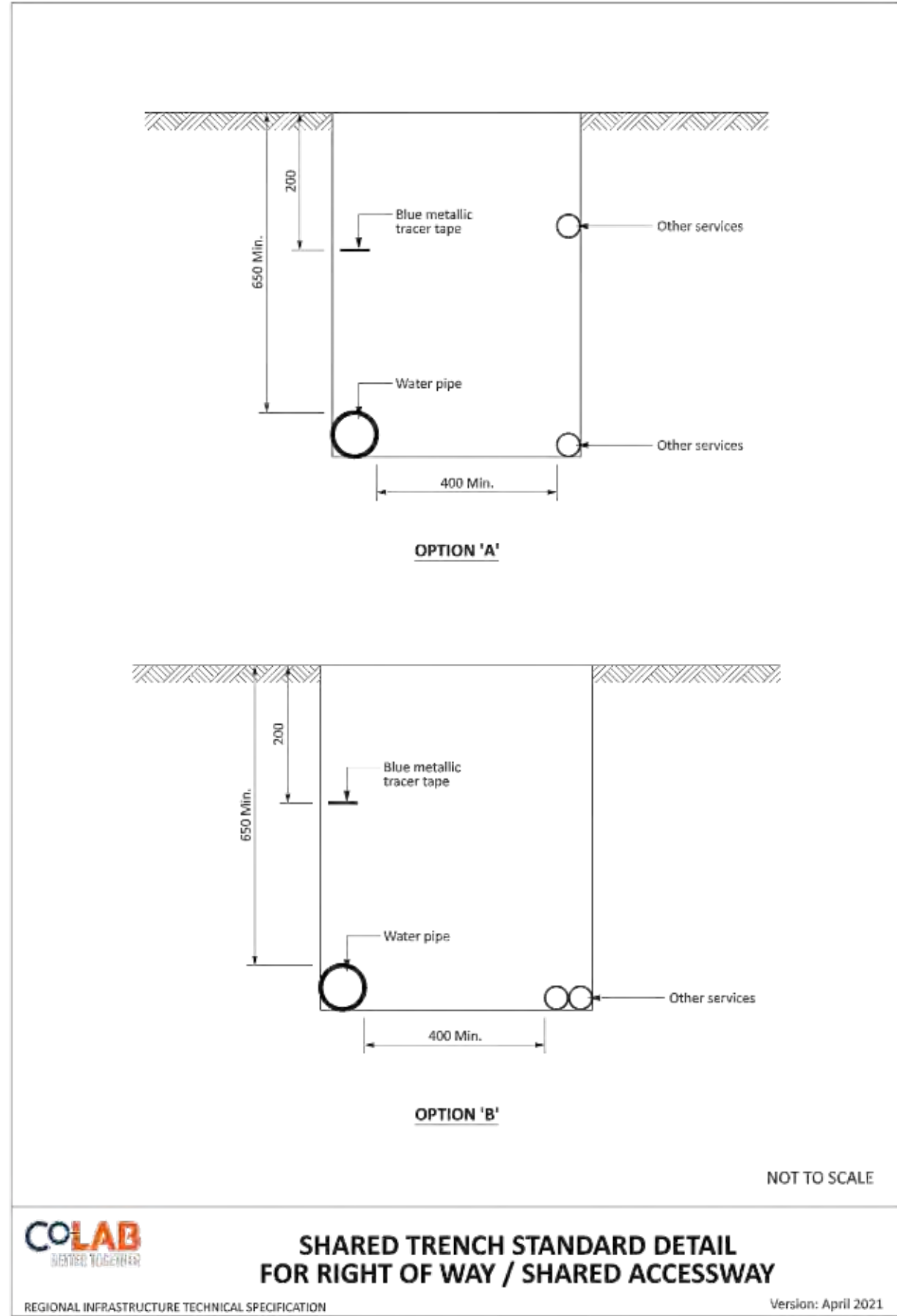
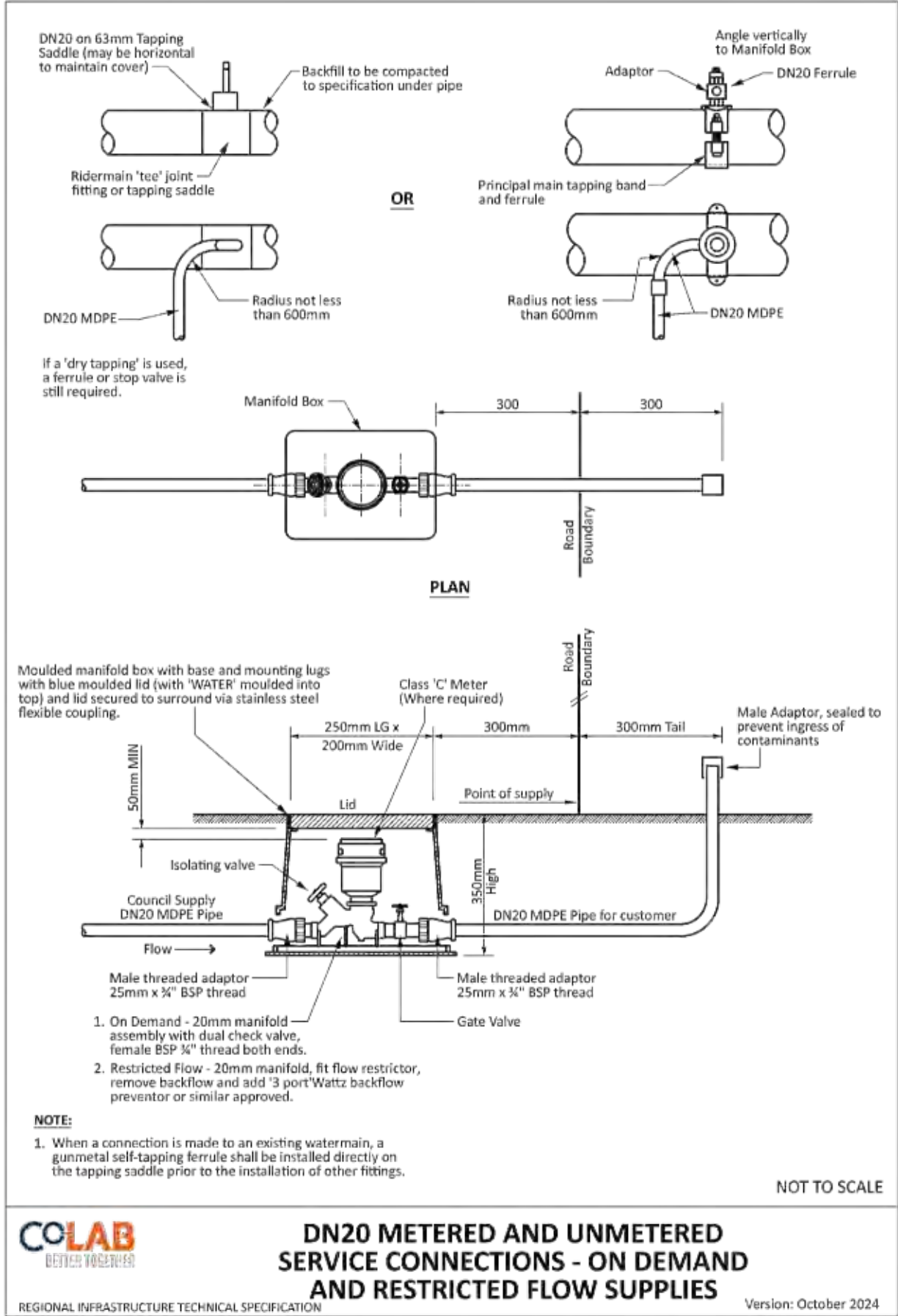


Project
**ASHBOURNE
RETIREMENT VILLAGE
MATAMATA
FOR
UNITY DEVELOPMENT LTD**

Title
**WATER SUPPLY
STANDARD DETAILS
1 OF 2**

Project no.	J00606
Scale	1:1000@A3
Cad file	C6800 - WSSDDWG.DWG
Drawing no.	C6800
Rev	B

FOR CONSENT



- Notes
- All works to be in accordance with RITS council standards.
 - It is the contractors responsibility to locate any underground services prior to the commencement of works.
 - Minimum cover shall be:

Roads, footpaths, crossings:	1000mm
Berms	600mm
Service connections:	550-650mm
 - Watermains laid across roads shall be backfilled with hardfill compacted in 200mm layers above the embedment material.
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 - Pipes shall be bedded and surrounded to 150mm above the pipe soffit with sand or ap20.
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 - All valves to be marked with sawcut kerb and blue paint.
 - All flange joints to be protected with denso tape or similar approved by the engineer.

B	FOR CONSENT	MS	04/25
A	FOR REVIEW	DP	01/25
Rev	Description	By	Date
Survey	MAVEN		10/2024
Design	DP		11/2024
Drawn	DP		11/2024
Checked	SB		11/2024



Project
**ASHBOURNE
 RETIREMENT VILLAGE
 MATAMATA
 FOR
 UNITY DEVELOPMENT LTD**

Title
**WATER SUPPLY
 STANDARD DETAILS
 2 OF 2**

Project no.	J00606
Scale	1:1000@A3
Cad file	C6800 - WSSDDWG.DWG
Drawing no.	C6801
Rev	B

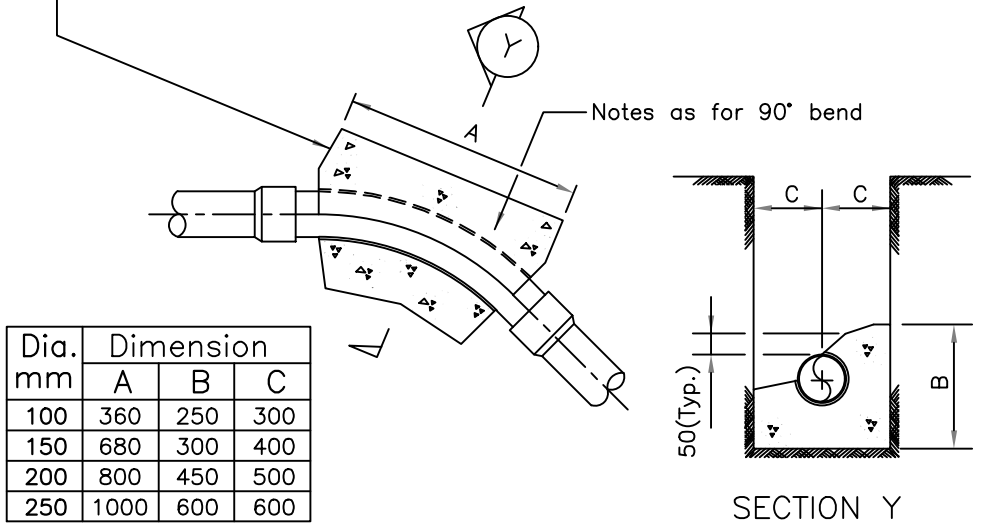
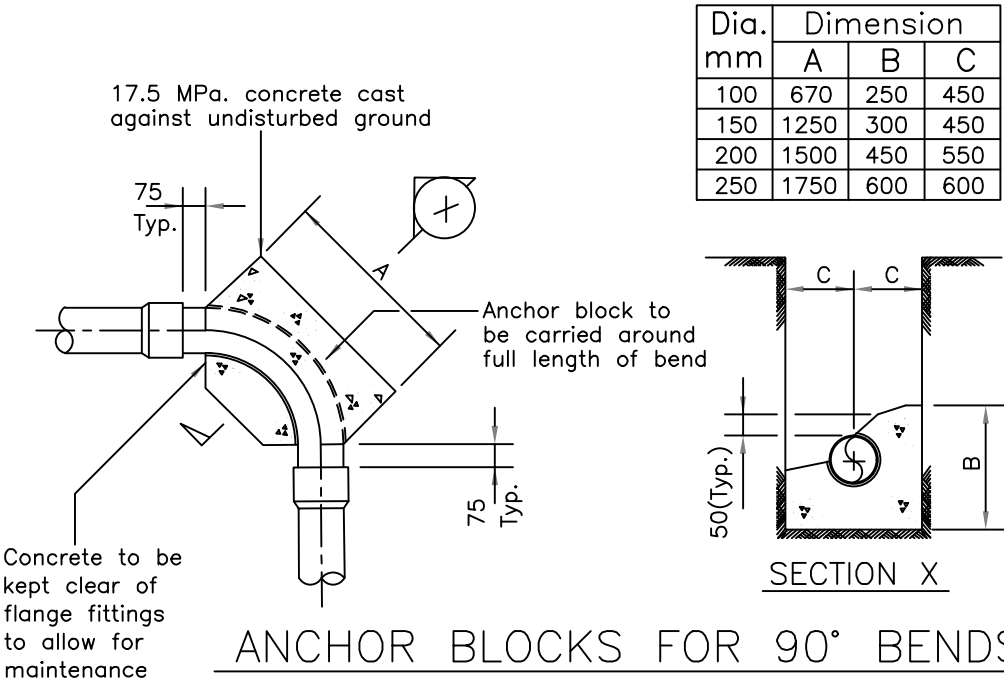
FOR CONSENT

ORIGINAL SIZE: A3
DATE: 17/04/2025
FILE: F:\MAVEN MATAMATA\1. Projects\J00606 MDL - Hemmings Station Rd\6. Drawing\2. CAD\3. Design\C6800 - WSSDDwg.dwg

ANCHOR BLOCK STANDARD DETAILS DELIVERED FROM WATERCARE LIMITED-STANDARD DRAWING INDEX-REFERENCING NO WS15 & WS16

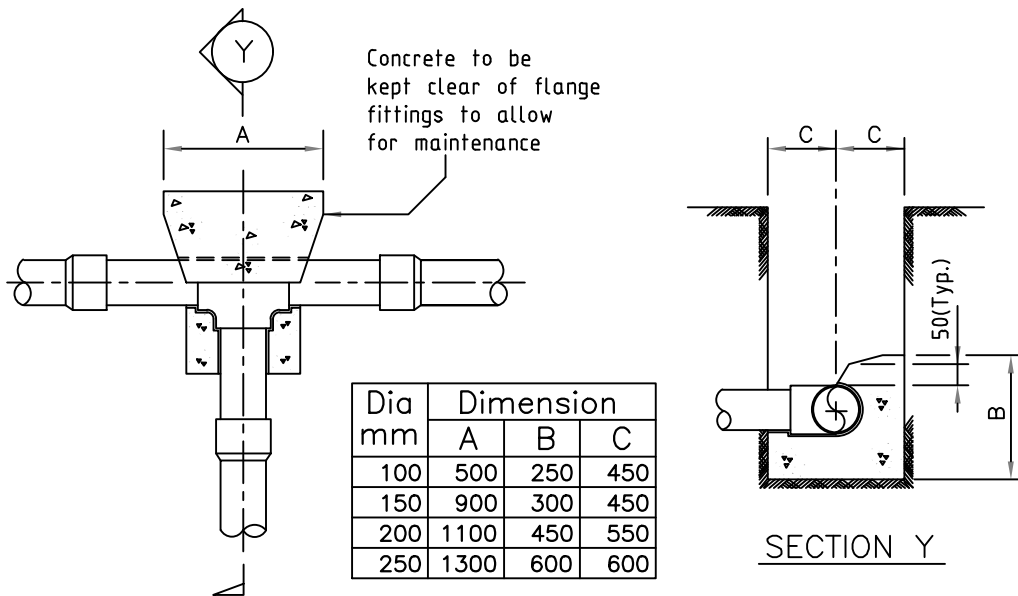
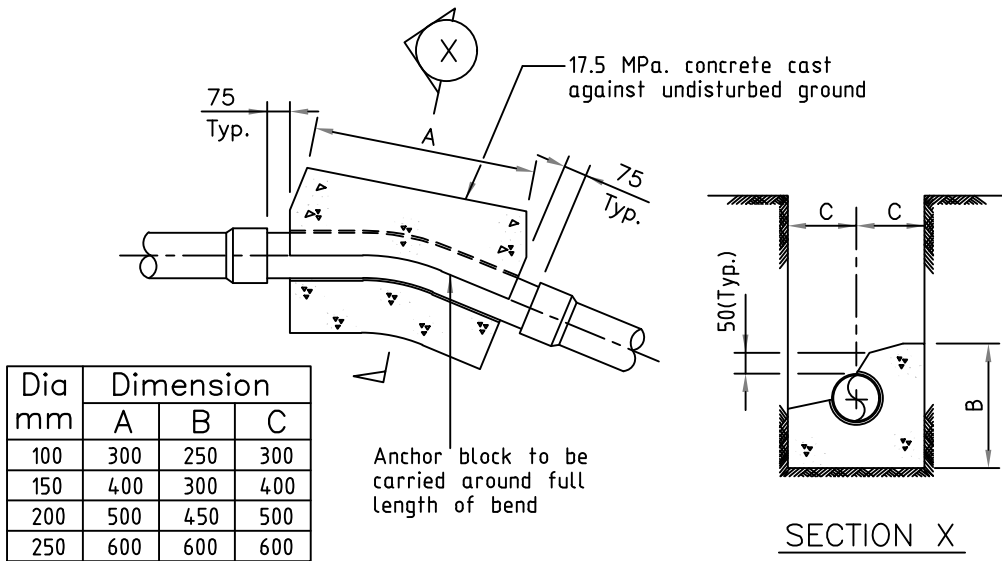
Notes :

1. Thrust block dimensions for firm soil conditions.
2. The dimensions to be increased or decreased for variation in soil conditions.
3. Allowable bearing stress used – 100KPa.
4. Internal pipe test pressure up to 1400KPa.
5. As built locations to be obtained prior to backfill.
6. Protective membrane (Polythene) between concrete & pipe.
7. 75mm clearance between fittings/flanges and concrete casting.
8. All fittings to be Denso wrapped to the product specification. (Butyl system for Plastic pipes)



Notes :

1. Thrust block dimensions for firm soil conditions.
2. The dimensions to be increased or decreased for variation in soil conditions.
3. Allowable bearing stress used - 100KPa.
4. Internal pipe test pressure up to 1400KPa.
5. As built locations to be obtained prior to backfill.
6. Protective membrane (Polythene) between concrete & pipe.
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Notes

1. All works to be in accordance with RITS council standards.
2. It is the contractors responsibility to locate any underground services prior to the commencement of works.
3. Minimum cover shall be:
Roads, footpaths, crossings: 1000mm
Berms 600mm
Service connections: 550-650mm
4. Watermains laid across roads shall be backfilled with hardfill compacted in 200mm layers above the embedment material.
5. All uPVC pipe shall be PN12 minimum pressure rated with spigot and socket rubber ring joints.
6. All PE pipe shall be PN12.5 minimum pressure rated with butt-welded. Weld beads shall be removed to provide a smooth bore.
7. All non-metalic pipes are to have tracer wire fitted to council standards.
8. Pipes shall be bedded and surrounded to 150mm above the pipe soffit with sand or ap20.
9. Metal detector tape printed with 'water pipe below' shall be laid 150mm above all watermains.
10. A yellow isosceles triangle with cats eye pointing to FH shall be painted in the centre of all sealed roads.
11. All valves to be marked with sawcut kerb and blue paint.
12. All flange joints to be protected with denso tape or similar approved by the engineer.

B	FOR CONSENT	MS	04/25
A	FOR REVIEW	DP	01/25
Rev	Description	By	Date
	By	Date	
Survey	MAVEN	10/2024	
Design	DP	11/2024	
Drawn	DP	11/2024	
Checked	SB	11/2024	



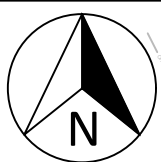
Project
**ASHBOURNE
RETIREMENT VILLAGE
MATAMATA
FOR
UNITY DEVELOPMENT LTD**

Title
**WATER SUPPLY
ANCHOR BLOCK
DETAILS**

Project no.	J00606
Scale	AS SHOWN @A3
Cad file	C6800 - WSSDDWG.DWG
Drawing no.	C6802
Rev	B

FOR CONSENT

DATE: 4/17/25
FILE PATH: F:\MAVEN MATAMATA\1. PROJECTS\J00606 MDL - HEMMINGS STATION RD18. DRAWING\2. CAD\3. DESIGN\C7000 - SERV.DWG



150mm
100
80
60
40
20
0

Part Lot 1
DP 21055

Lot 5
DPS 74018

Lot 1
DP 491699

Lot/1
DPS 29613

Lot 34
DP 562902

Lot 32
DP 562902

Lot 31
DP 562902

Lot 33
DP 562902

Lot 30
DP 562902

Lot 29
DP 562902

Lot 28
DP 562902

Lot 25
DP 562902

Lot 27
DP 562902

Lot 24
DP 562902

Lot 26
DP 562902

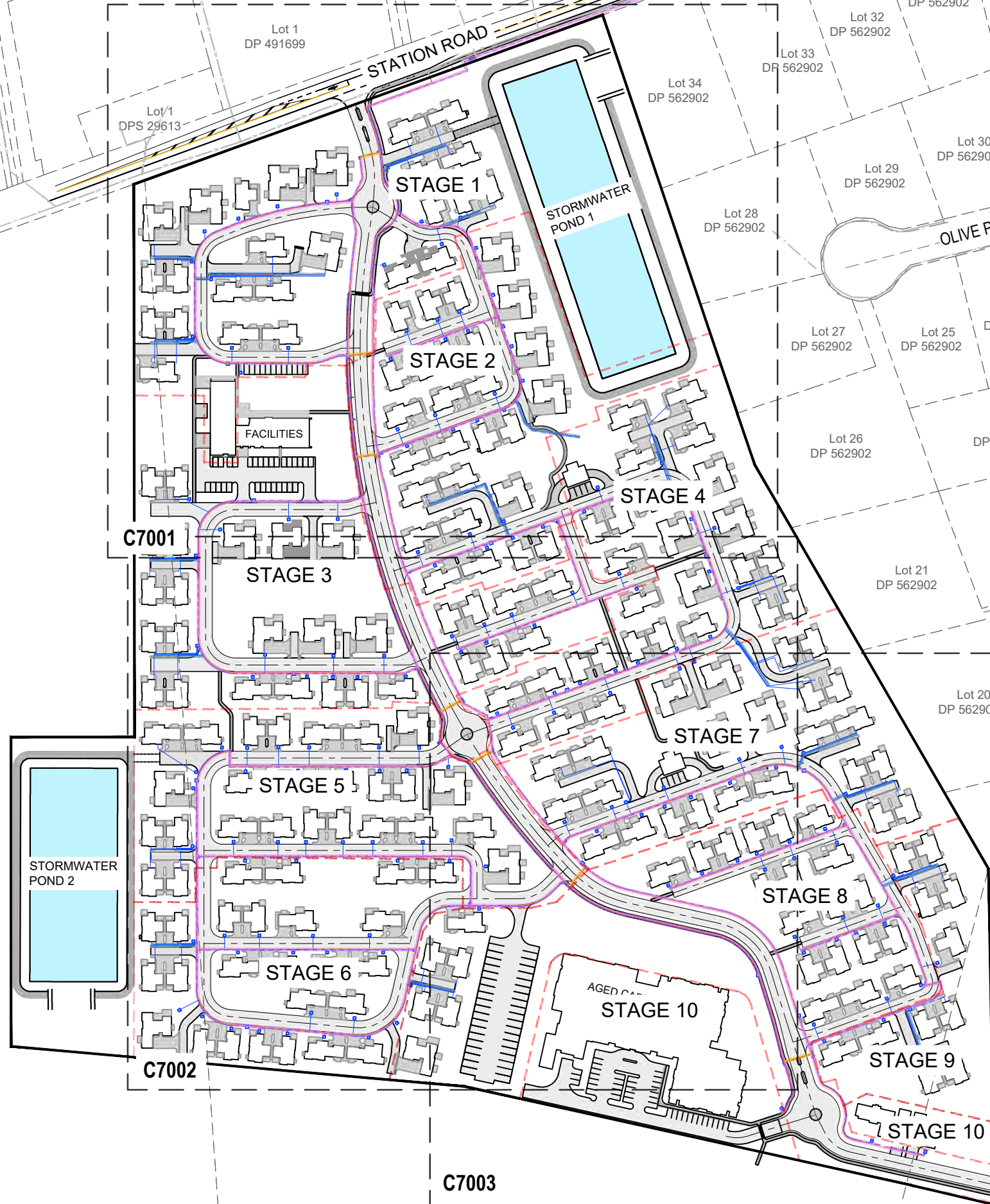
Lot 23
DP 562902

Lot 21
DP 562902

Lot 19
DP 562902

Lot 20
DP 562902

Lot 18
DP 562902



- Notes
1. All works to be in accordance with RITS standards.
 2. It is the contractors responsibility to locate any underground services prior to the commencement of works.
 3. Minimum cover shall be:
Roads, footpaths, crossings: 1000mm
Berms 600mm
 4. Utility services shall be installed in accordance with providers specification.
 5. Service trenches under roads, accessways and paths shall be hardfilled backfilled and compacted in 200mm layers.
 6. Work areas shall be reinstated to an equal standard before work started.
 7. Utility Services shall maintain minimum clearances to stormwater and wastewater assets.

Legend

---	EX BDY
---	PROP BDY
---	STAGING BDY
---	EX UNDERGROUND
---	POWER
---	EX OVERHEAD POWER
---	EX FIBRE
---	PROP WATERMAIN
---	PROP POWER
---	PROP FIBRE
---	BULK WATER METER
---	PROP HYDRANT
---	PROP METER
---	PROP SLUICE VALVE
---	PROP PEAT VALVE
---	PROP TRENCH
---	CROSSING
---	PROP BERM TRENCH
---	TYPE 1
---	PROP BERM TRENCH
---	TYPE 2

A	FOR CONSENT	KQ	04/25
Rev	Description	By	Date
		By	Date
Survey	MAVEN		10/2024
Design	MAVEN		04/2025
Drawn	KQ		04/2025
Checked	SB		04/2025

M
MAVEN

Maven Matamata
matamatainfo@maven.co.nz
www.maven.co.nz
8 Tainui Street, Matamata
New Zealand

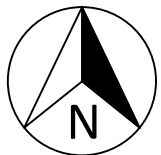
Project
**ASHBOURNE
RETIREMENT VILLAGE
MATAMATA
FOR
UNITY DEVELOPMENT LTD**

Title
**PROPOSED
COMBINED SERVICES
OVERVIEW PLAN**

Project no.	J00606		
Scale	1:2500@A3		
Cad file	C7000 - SERV.DWG		
Drawing no.	C7000	Rev	A

FOR CONSENT

ORIGINAL SIZE: A3
DATE: 4/17/25
FILE PATH: \\MAVEN\MAVENCONSULTING\CO NZ\SHARE\CURRENT\MAVEN MATAMATA\1. PROJECTS\J00606 MDL - HEMMINGS STATION RD\8. DRAWING\2. CAD\3. DESIGN\7000 - SERV.DWG



Lot 1
DP 491699

PROPOSED RURAL METELED FOOT
PATH, 1.5m WIDE, CONNECT TO
CHESTNUT LANE

STATION ROAD

CONNECTION TO EXISTING
FIBRE TO BE CONFIRMED BY
SERVICE PROVIDERS

Lot 33
DP 562902

Lot 34
DP 562902

Lot 28
DP 562902

PROPOSED SERVICE TRENCH.
FIBRE AND POWER INDICATIVE
LOCATION, TO BE DESIGNED BY
OTHERS.

STAGE 1

STORMWATER
POND 1

ROAD 3

ROAD 2

ROAD 1

STAGE 2

FACILITIES

ROAD 2

ROAD 4

ROAD 5

STAGE 4

FOR CONSENT

Notes

- All works to be in accordance with RITS standards.
- It is the contractors responsibility to locate any underground services prior to the commencement of works.
- Minimum cover shall be:
Roads, footpaths, crossings: 1000mm
Berms 600mm
- Utility services shall be installed in accordance with providers specification.
- Service trenches under roads, accessways and paths shall be hardfilled backfilled and compacted in 200mm layers.
- Work areas shall be reinstated to an equal standard before work started.
- Utility Services shall maintain minimum clearances to stormwater and wastewater assets.

Legend

---	EX BDY
---	PROP BDY
---	STAGING BDY
---	EX UNDERGROUND POWER
---	EX OVERHEAD POWER
---	EX FIBRE
---	PROP WATERMAIN
---	PROP POWER
---	PROP FIBRE
---	BULK WATER METER
---	PROP HYDRANT
---	PROP METER
---	PROP SLUICE VALVE
---	PROP PEAT VALVE
---	PROP TRENCH CROSSING
---	PROP BERM TRENCH TYPE 1
---	PROP BERM TRENCH TYPE 2

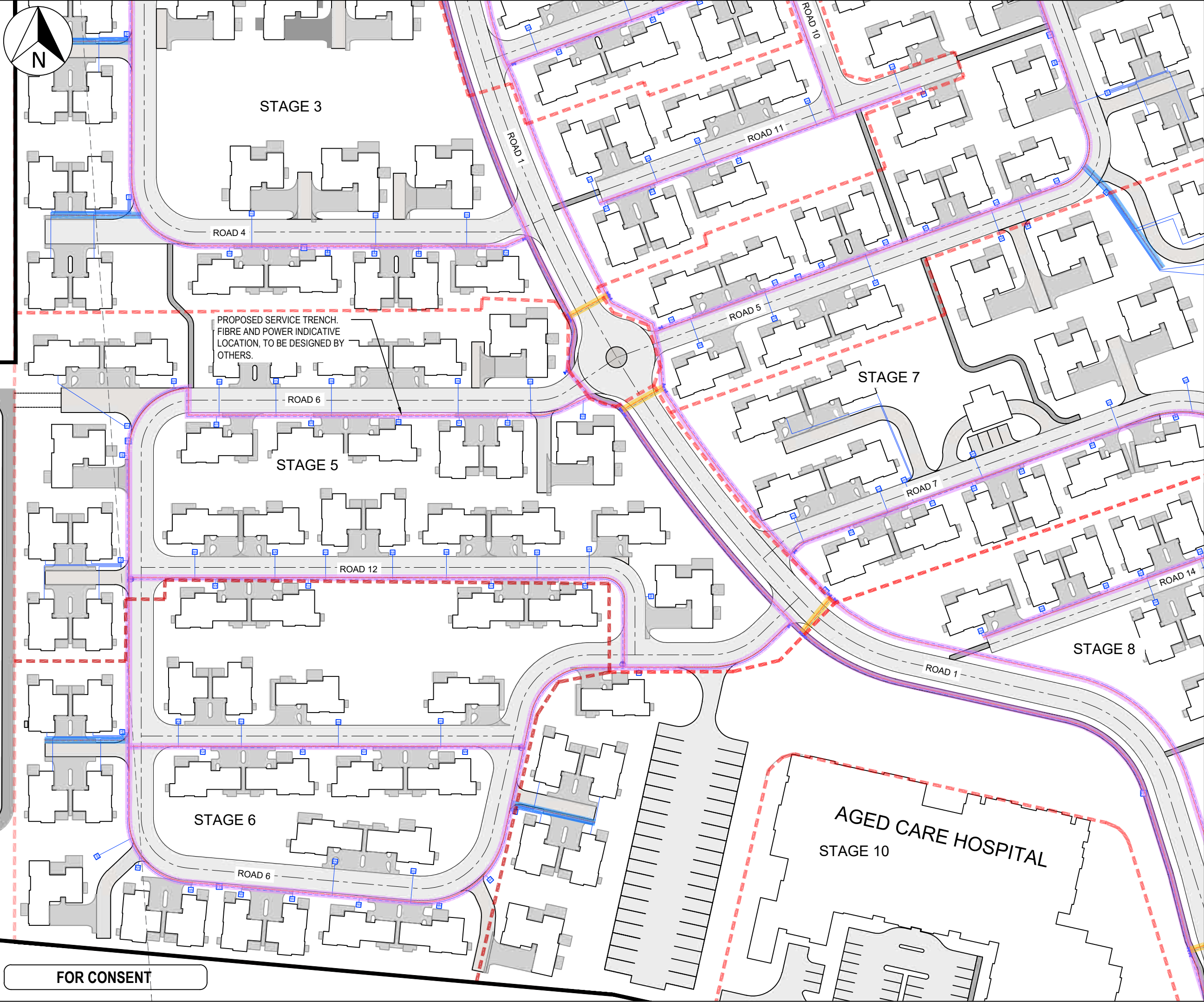
A	FOR CONSENT	KQ	04/25
Rev	Description	By	Date
	Survey	MAVEN	10/2024
	Design	MAVEN	04/2025
	Drawn	KQ	04/2025
	Checked	SB	04/2025



Project
**ASHBOURNE
RETIREMENT VILLAGE
MATAMATA
FOR
UNITY DEVELOPMENT LTD**

Title
**PROPOSED
COMBINED SERVICES
PLAN (1 OF 3)**

Project no.	J00606
Scale	1:1000@A3
Cad file	C7000 - SERV.DWG
Drawing no.	C7001
Rev	A



- Notes
1. All works to be in accordance with RITS standards.
 2. It is the contractors responsibility to locate any underground services prior to the commencement of works.
 3. Minimum cover shall be:
Roads, footpaths, crossings: 1000mm
Berms 600mm
 4. Utility services shall be installed in accordance with providers specification.
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 6. Work areas shall be reinstated to an equal standard before work started.
 7. Utility Services shall maintain minimum clearances to stormwater and wastewater assets.

Legend

---	EX BDY
---	PROP BDY
---	STAGING BDY
---	EX UNDERGROUND POWER
---	EX OVERHEAD POWER
---	EX FIBRE
---	PROP WATERMAIN
---	PROP POWER
---	PROP FIBRE
---	BULK WATER METER
---	PROP HYDRANT
---	PROP METER
---	PROP SLUICE VALVE
---	PROP PEAT VALVE
---	PROP TRENCH CROSSING
---	PROP BERM TRENCH TYPE 1
---	PROP BERM TRENCH TYPE 2

Rev	Description	By	Date
A	FOR CONSENT	KQ	04/25
Survey	MAVEN		10/2024
Design	MAVEN		04/2025
Drawn	KQ		04/2025
Checked	SB		10/2024



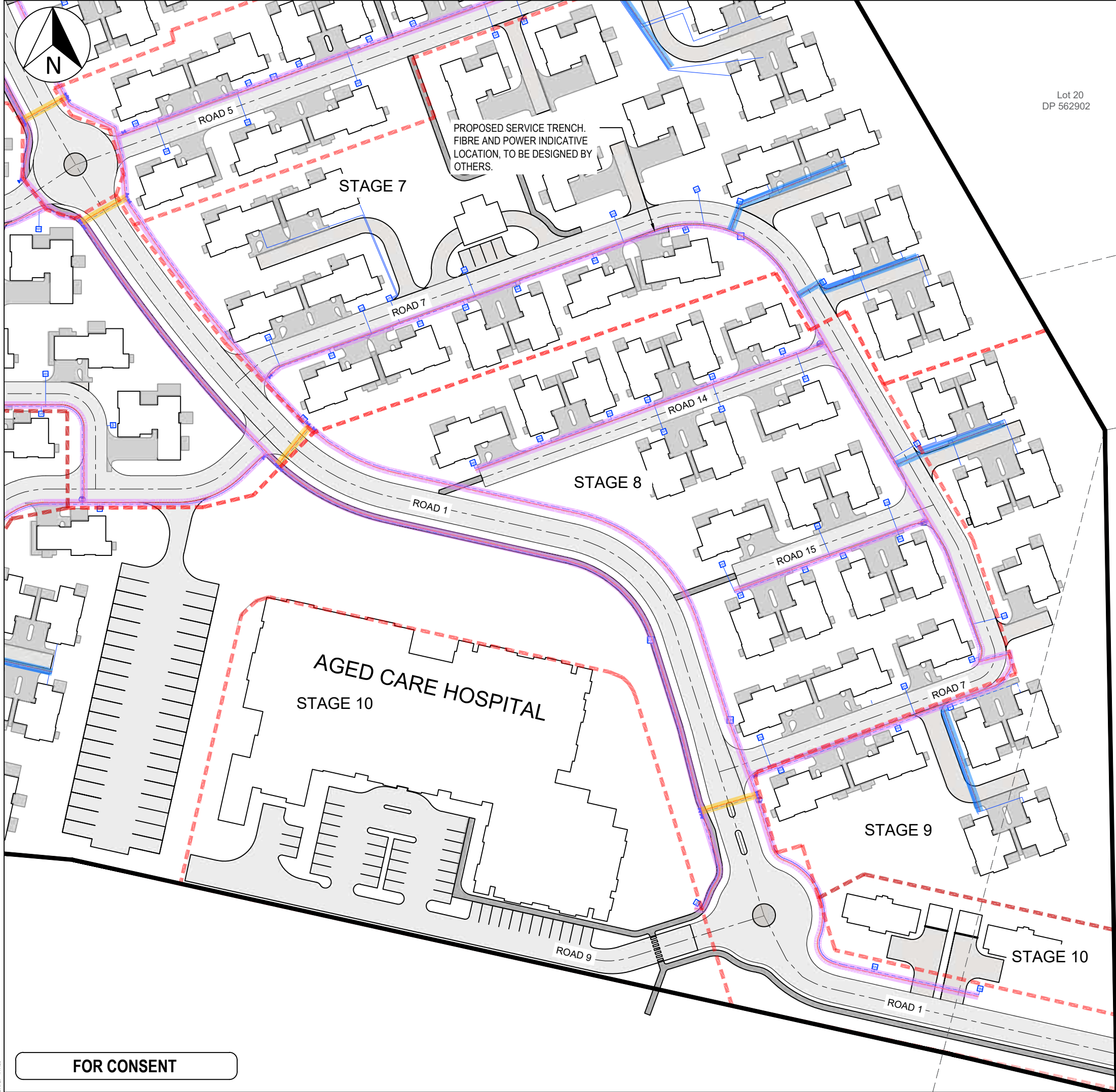
Project
**ASHBOURNE
RETIREMENT VILLAGE
MATAMATA
FOR
UNITY DEVELOPMENT LTD**

Title
**PROPOSED
COMBINED SERVICES
PLAN (2 OF 3)**

Project no.	J00606
Scale	1:1000@A3
Cad file	C7000 - SERV.DWG
Drawing no.	C7002
Rev	A

FOR CONSENT

DATE: 4/17/25 ORIGINAL SIZE: A3



FOR CONSENT

- Notes
1. All works to be in accordance with RITS standards.
 2. It is the contractors responsibility to locate any underground services prior to the commencement of works.
 3. Minimum cover shall be:
Roads, footpaths, crossings: 1000mm
Berms 600mm
 4. Utility services shall be installed in accordance with providers specification.
 5. Service trenches under roads, accessways and paths shall be hardfilled backfilled and compacted in 200mm layers.
 6. Work areas shall be reinstated to an equal standard before work started.
 7. Utility Services shall maintain minimum clearances to stormwater and wastewater assets.

Legend

---	EX BDY
---	PROP BDY
---	STAGING BDY
---	EX UNDERGROUND
---	POWER
---	EX OVERHEAD POWER
---	EX FIBRE
---	PROP WATERMAIN
---	PROP POWER
---	PROP FIBRE
---	BULK WATER METER
---	PROP HYDRANT
---	PROP METER
---	PROP SLUICE VALVE
---	PROP PEAT VALVE
---	PROP TRENCH
---	CROSSING
---	PROP BERM TRENCH
---	TYPE 1
---	PROP BERM TRENCH
---	TYPE 2

A	FOR CONSENT	KQ	04/25
Rev	Description	By	Date
		By	Date
Survey	MAVEN		10/2024
Design	MAVEN		04/2025
Drawn	KQ		04/2025
Checked	SB		04/2025



Project
**ASHBOURNE
RETIREMENT VILLAGE
MATAMATA
FOR
UNITY DEVELOPMENT LTD**

Title
**PROPOSED
COMBINED SERVICES
PLAN (3 OF 3)**

Project no.	J00606
Scale	1:1000@A3
Cad file	C7000 - SERV.DWG
Drawing no.	C7003
Rev	A



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LOCALITY PLAN

ASHBOURNE RESIDENTIAL FOR MATAMATA DEVELOPMENTS LTD

Drawing	Description
C050	TOPOGRAPHICAL
C050	Existing topographical Key Plan
C050-1	Existing topographical Plan Sheet 1 of 10
C050-2	Existing topographical Plan Sheet 2 of 10
C050-3	Existing topographical Plan Sheet 3 of 10
C050-4	Existing topographical Plan Sheet 4 of 10
C050-5	Existing topographical Plan Sheet 5 of 10
C050-6	Existing topographical Plan Sheet 6 of 10
C050-7	Existing topographical Plan Sheet 7 of 10
C050-8	Existing topographical Plan Sheet 8 of 10
C050-9	Eisting topographical Plan Sheet 9 of 10
C050-10	Existing topographical Plan Sheet 10 of 10
C060	EXISTING FEATURES AND REMOVAL
C060	Existing Features And Removal Key plan
C060-1	Existing Features And Removal Plan Sheet 1 of 10
C060-2	Existing Features And Removal Plan Sheet 2 of 10
C060-3	Existing Features And Removal Plan Sheet 3 of 10
C060-4	Existing Features And Removal Plan Sheet 4 of 10
C060-5	Existing Features And Removal Plan Sheet 5 of 10
C060-6	Existing Features And Removal Plan Sheet 6 of 10
C060-7	Existing Features And Removal Plan Sheet 7 of 10
C060-8	Existing Features And Removal Plan Sheet 8 of 10
C060-9	Existing Features And Removal Plan Sheet 9 of 10
C060-10	Existing Features And Removal Plan Sheet 10 of 10
C120	MASTER PLAN
C120	Proposed Overview Master Plan
C120-1	Proposed Master Plan
C120-2	Proposed Master Plan
C120-3	Proposed Master Plan
C120-4	Proposed Master Plan
C120-5	Proposed Master Plan
C120-6	Proposed Master Plan
C120-7	Proposed Master Plan
C120-8	Proposed Master Plan
C120-9	Proposed Master Plan
C120-10	Proposed Master Plan

C130	STAGING PLAN
C130	Proposed Staging Overview Plan
C130-1	Proposed Staging Plan Stage 1
C130-2	Proposed Staging Plan Stage 2
C130-3	Proposed Staging Plan Stage 3
C130-4	Proposed Staging Plan Stage 4
C130-5	Proposed Staging Plan Stage 5
C130-6	Proposed Staging Plan Stage 6
C130-7	Proposed Staging Plan Stage 7
C130-8	Proposed Staging Plan Stage 8
C150	SCHEME
C150	Proposed Scheme Overview Plan
C150-1	Proposed Scheme Plan Sheet 1 of 11
C150-2	Proposed Scheme Plan Sheet 2 of 11
C150-3	Proposed Scheme Plan Sheet 3 of 11
C150-4	Proposed Scheme Plan Sheet 4 of 11
C150-5	Proposed Scheme Plan Sheet 5 of 11
C150-6	Proposed Scheme Plan Sheet 6 of 11
C150-7	Proposed Scheme Plan Sheet 7 of 11
C150-8	Proposed Scheme Plan Sheet 8 of 11
C150-9	Proposed Scheme Plan Sheet 9 of 11
C150-10	Proposed Scheme Plan Sheet 10 of 11
C150-11	Proposed Scheme Plan Sheet 11 of 11
C200	EARTHWORKS
C200	Proposed Contour Plan
C220	Proposed Cut/Fill Plan
C240-1	Proposed Erosion & Sediment Control Details
C240-2	Proposed Erosion & Sediment Control Details
C240-3	Proposed Erosion & Sediment Control Details
C240-4	Proposed Erosion & Sediment Control Details
C220	Proposed Cut/Fill Overview Plan
C220-1	Proposed Cut/Fill Plan Stage 1
C220-2	Proposed Cut/Fill Plan Stage 2
C220-3	Proposed Cut/Fill Plan Stage 3

PROJECT NUMBER : 289001

ISSUED DATE : APR 2025

FOR : RESOURCE CONSENT



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Level 1 286 Victoria Street, Hamilton
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C300	ROADING
C300	Proposed Roding Overview Plan
C300-1	Proposed Roding Plan
C300-2	Proposed Roding Plan
C300-3	Proposed Roding Plan
C300-4	Proposed Roding Plan
C300-5	Proposed Roding Plan
C300-6	Proposed Roding Plan
C300-7	Proposed Roding Plan
C300-8	Proposed Roding Plan
C300-9	Proposed Roding Plan
C300-10	Proposed Roding Plan
C320-1	Proposed Roding Longsection
C320-2	Proposed Roding Longsection
C320-3	Proposed Roding Longsection
C320-4	Proposed Roding Longsection
C320-5	Proposed Roding Longsection
C320-6	Proposed Roding Longsection
C320-7	Proposed Roding Longsection
C320-8	Proposed Roding Longsection
C320-9	Proposed Roding Longsection
C320-10	Proposed Roding Longsection
C320-11	Proposed Roding Longsection
C320-12	Proposed Roding Longsection
C320-13	Proposed Roding Longsection
C320-14	Proposed Roding Longsection
C320-15	Proposed Roding Longsection
C320-16	Proposed Roding Longsection
C320-17	Proposed Roding Longsection
C320-18	Proposed Roding Longsection
C320-19	Proposed Roding Longsection
C340-1	Typical Road Cross Section Sheet 1 of 7
C340-2	Typical Road Cross Section Sheet 2 of 7
C340-3	Typical Road Cross Section Sheet 3 of 7
C340-4	Typical Road Cross Section Sheet 4 of 7
C340-5	Typical Road Cross Section Sheet 5 of 7
C340-6	Typical Road Cross Section Sheet 6 of 7
C340-7	Typical Road Cross Section Sheet 7 of 7
C360	Proposed Roding Marking Overview Plan
C360-1	Proposed Roding Marking Plan

C360-2	Proposed Roding Marking Plan
C360-3	Proposed Roding Marking Plan
C360-4	Proposed Roding Marking Plan
C360-5	Proposed Roding Marking Plan
C360-6	Proposed Roding Marking Plan
C360-7	Proposed Roding Marking Plan
C360-8	Proposed Roding Marking Plan
C360-9	Proposed Roding Marking Plan
C360-10	Proposed Roding Marking Plan
C400	STORMWATER
C400	Proposed Stormwater Overview Plan
C400-1	Proposed Stormwater Drainage Plan
C400-2	Proposed Stormwater Drainage Plan
C400-3	Proposed Stormwater Drainage Plan
C400-4	Proposed Stormwater Drainage Plan
C400-5	Proposed Stormwater Drainage Plan
C400-6	Proposed Stormwater Drainage Plan
C400-7	Proposed Stormwater Drainage Plan
C400-8	Proposed Stormwater Drainage Plan
C400-9	Proposed Stormwater Drainage Plan
C400-10	Proposed Stormwater Drainage Plan
C410-1	Pre Development Catchment Discharge Plan - Res/Rv & S.SF
C410-2	Post Development Discharge Points Plan - Res
C410-3	Pre & Post Catchment & Discharge Plan - North Solar Farm
C420	Proposed Stormwater Basin Catchm
C420-1	Proposed Stormwater Basin Plan A
C420-2	Proposed Stormwater Basin Plan A
C420-3	Proposed Stormwater Basin Plan A
C420-4	Proposed Stormwater Basin Plan A
C430-1	Proposed Soakage Device Crossection
C430-2	Proposed Soakage Device Crossection
C430-3	Proposed Soakage Trench Detail Plan
C430-4	RoadSide Typical Soakage Trench Details
C430-5	Typical Raingarden Details
C440	Proposed Stormwater Basin Overview Plan
C440-1	Proposed Stormwater Basin A Plan
C440-2	Proposed Stormwater Basin A Details
C440-3	Proposed Stormwater Basin C Plan
C440-4	Proposed Stormwater Basin C Details
C440-5	Proposed Stormwater Basin D Plan

C440-6	Proposed Stormwater Basin D Details
C460-1	Proposed Overland Flowpath Catchment Plan
C460-2	Proposed Overland Flowpath Catchment Plan
C460-3	Proposed Overland Flowpath Sections 1 of 3
C460-4	Proposed Overland Flowpath Sections 2 of 3
C460-5	Proposed Overland Flowpath Sections 3 of 3
C470-1	Proposed Stormwater On-Lot Typical Plan
C470-2	Proposed Stormwater On-Lot Typical Plan
C470-3	Proposed Stormwater On-Lot Cross section
C480-1	Proposed Stormwater Standard Details
C480-2	Proposed Stormwater Standard Details
C480-3	Proposed Stormwater Standard Details
C490	Proposed Stormwater Greenway Overview
C490-1	Proposed Stormwater Greenway Plan
C490-2	Proposed Stormwater Greenway Plan
C490-3	Proposed Stormwater Greenway Plan
C490-4	Proposed Stormwater Greenway Plan
C490-10	Proposed Stormwater Greenway Sections
C490-11	Proposed Stormwater Greenway Sections
C490-12	Proposed Stormwater Greenway Sections
C490-13	Proposed Stormwater Greenway Sections
C490-14	Proposed Stormwater Greenway Sections
C490-15	Proposed Stormwater Greenway Sections
C490-16	Proposed Stormwater Greenway Sections
C490-17	Proposed Stormwater Greenway Sections
C500	WASTEWATER
C500	Proposed Wastewater Drainage Overview Plan
C500-1	Proposed Wastewater Drainage Plan
C500-2	Proposed Wastewater Drainage Plan
C500-3	Proposed Wastewater Drainage Plan
C500-4	Proposed Wastewater Drainage Plan
C500-5	Proposed Wastewater Drainage Plan
C500-6	Proposed Wastewater Drainage Plan
C500-7	Proposed Wastewater Drainage Plan
C500-8	Proposed Wastewater Drainage Plan
C500-9	Proposed Wastewater Drainage Plan
C500-10	Proposed Wastewater Drainage Plan
C501	Proposed Wasterwater Overview Connection Point Plan
C501-1	Proposed WW Connection Point Longsection

RESOURCE CONSENT



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Level 1 286 Victoria Street, Hamilton
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C501-2	Proposed WW Connection Point Longsection
C501-3	Proposed WW Connection Point Longsection
C530	Proposed Wastewater Pump Stations Overview Plan
C530-1	Proposed Central Wastewater Pump
C530-2	Proposed Central Wastewater Pump
C530-3	Proposed Central Wastewater Pump Typical Sections
C535-1	Proposed Northern Wastewater Pump Drainage Plan
C535-2	Proposed Northern Wastewater Pump Typical Cross Section
C535-3	Proposed Northern Wastewater Pump Typical Cross Section
C540	Proposed WWPS Rising Main Overview Plan
C540-1	Proposed WWPS Rising Main Longsection
C540-2	Proposed WWPS Rising Main Longsection
C540-3	Proposed WWPS Rising Main Longsection
C540-4	Proposed WWPS Rising Main Longsection
C540-5	Proposed WWPS Rising Main Longsection
C540-6	Proposed WWPS Rising Main Longsection
C600	WATER SUPPLY
C600	Proposed Water Supply Overview Plan
C600-1	Proposed Water Supply Plan Sheet 1 of 11
C600-2	Proposed Water Supply Plan Sheet 2 of 11
C600-3	Proposed Water Supply Plan Sheet 3 of 11
C600-4	Proposed Water Supply Plan Sheet 4 of 11
C600-5	Proposed Water Supply Plan Sheet 5 of 11
C600-6	Proposed Water Supply Plan Sheet 6 of 11
C600-7	Proposed Water Supply Plan Sheet 7 of 11
C600-8	Proposed Water Supply Plan Sheet 8 of 11
C600-9	Proposed Water Supply Plan Sheet 9 of 11
C600-10	Proposed Water Supply Plan Sheet 10 of 11
C600-11	Proposed Water Supply Plan Sheet 11 of 11
C620 -1	Proposed Water Supply Longitudinal Sections Sheet 1 of 4
C620 -2	Proposed Water Supply Longitudinal Sections Sheet 2 of 4
C620 -3	Proposed Water Supply Longitudinal Sections Sheet 3 of 4
C620 -4	Proposed Water Supply Longitudinal Sections Sheet 4 of 4
C650-1	Proposed Water Supply Details Sheet 1 of 4
C650-2	Proposed Water Supply Details Sheet 2 of 4
C650-3	Proposed Water Supply Details Sheet 3 of 4
C650-4	Proposed Water Supply Details Sheet 4 of 4
C650-5	Proposed Water Supply Anchor Block Details

C700	SERVICES
C700	Proposed Services Overview Plan
C700-1	Proposed Services Plan Sheet 1 of 10
C700-2	Proposed Services Plan Sheet 2 of 10
C700-3	Proposed Services Plan Sheet 3 of 10
C700-4	Proposed Services Plan Sheet 4 of 10
C700-5	Proposed Services Plan Sheet 5 of 10
C700-6	Proposed Services Plan Sheet 6 of 10
C700-7	Proposed Services Plan Sheet 7 of 10
C700-8	Proposed Services Plan Sheet 8 of 10
C700-9	Proposed Services Plan Sheet 9 of 10
C700-10	Proposed Services Plan Sheet 10 of 10



- NOTES
1. ALL WORKS TO BE IN ACCORDANCE WITH THE REGIONAL INFRASTRUCTURE TECHNICAL SPECIFICATIONS 2018 AND SUBSEQUENT UPDATES.
 2. CO-ORDINATES IN TERMS OF NZ GEODETIC DATUM MT EDEN 2000.
 3. LEVELS IN TERMS OF THE NEW ZEALAND VERTICAL DATUM 2016.
 4. BENCHMARK: IT 1 DPS 29877 RL: 65.51.
 5. BOUNDARIES ARE SUBJECT TO FINAL SURVEY.
 6. THE EXISTING CONTOURS ARE AT 0.5M CONTOUR INTERVALS.
 7. EXISTING SERVICES SHOWN ARE FROM BAUDIG AND ARE INDICATIVE ONLY. CONTRACTOR TO LOCATE THE EXISTING SERVICES PRIOR TO CONSTRUCTION.

LEGEND	
	EX BDY
	SITE BDY
	EX VEGETATION
	EX EASEMENT
	EX TITLE BDY
	EX MAJOR CONTOUR
	EX MINOR CONTOUR
	EX WASTEWATER
	EX STORMWATER
	EX WATER MAIN
	EX FIBRE
	EX POWER
	EX OVERHEAD POWER
	EX TELECOM
	EX WATERCOURSE
	EX FENCE
	EX FARM GATE
	EX BUILDING

A	FAST TRACK APP	TCH	04/2025
Rev	Description	By	Date
Survey	MAVEN		03/2024
Design			
Drawn	TCH		11/2024
Checked	DJM		11/2024



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Project
**ASHBOURNE
RESIDENTIAL
FOR
MATAMATA
DEVELOPMENTS LTD**

Title
**EXISTING
TOPOGRAPHICAL
KEY PLAN**

Project no.	289001		
Scale	1:6000 @ A3		
Cad file	C050-TOPO.DWG		
Drawing no.	C050	Rev	A

RESOURCE CONSENT



- NOTES
1. ALL WORKS TO BE IN ACCORDANCE WITH THE REGIONAL INFRASTRUCTURE TECHNICAL SPECIFICATIONS 2018 AND SUBSEQUENT UPDATES.
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LEGEND	
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	EX TELECOM
	EX WATERCOURSE
	EX FENCE
	EX FARM GATE
	EX BUILDING

A	FAST TRACK APP	TCH	04/2025
Rev	Description	By	Date
	Survey	MAVEN	03/2024
	Design		
	Drawn	TCH	11/2024
	Checked	DJM	11/2024

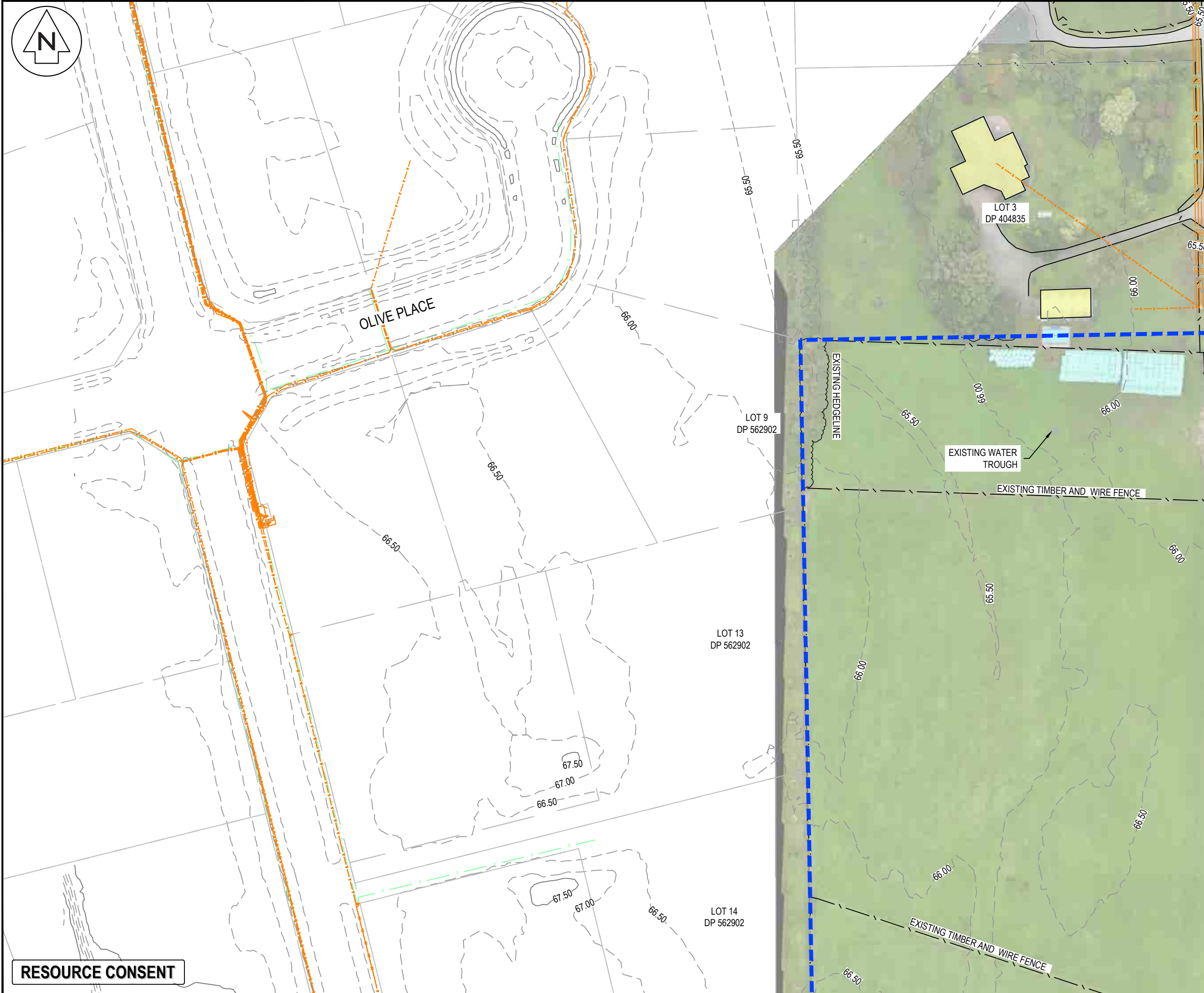
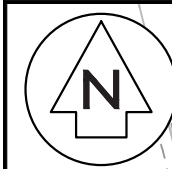


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Project
**ASHBOURNE
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DEVELOPMENTS LTD**

Title
**EXISTING
TOPOGRAPHICAL
PLAN SHEET 1 OF 10**

Project no.	289001
Scale	1:1000 @ A3
Cad file	C050-TOPO.DWG
Drawing no.	C050-1
Rev	A



- NOTES
1. ALL WORKS TO BE IN ACCORDANCE WITH THE REGIONAL INFRASTRUCTURE TECHNICAL SPECIFICATIONS 2018 AND SUBSEQUENT UPDATES.
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LEGEND	
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	EX TITLE BDY
	EX MAJOR CONTOUR
	EX MINOR CONTOUR
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	EX STORMWATER
	EX WATER MAIN
	EX FIBRE
	EX POWER
	EX OVERHEAD POWER
	EX TELECOM
	EX WATERCOURSE
	EX FENCE
	EX FARM GATE
	EX BUILDING

A	FAST TRACK APP	TCH	04/2025
Rev	Description	By	Date
		By	Date
Survey	MAVEN		03/2024
Design			
Drawn	TCH		11/2024
Checked	DJM		11/2024



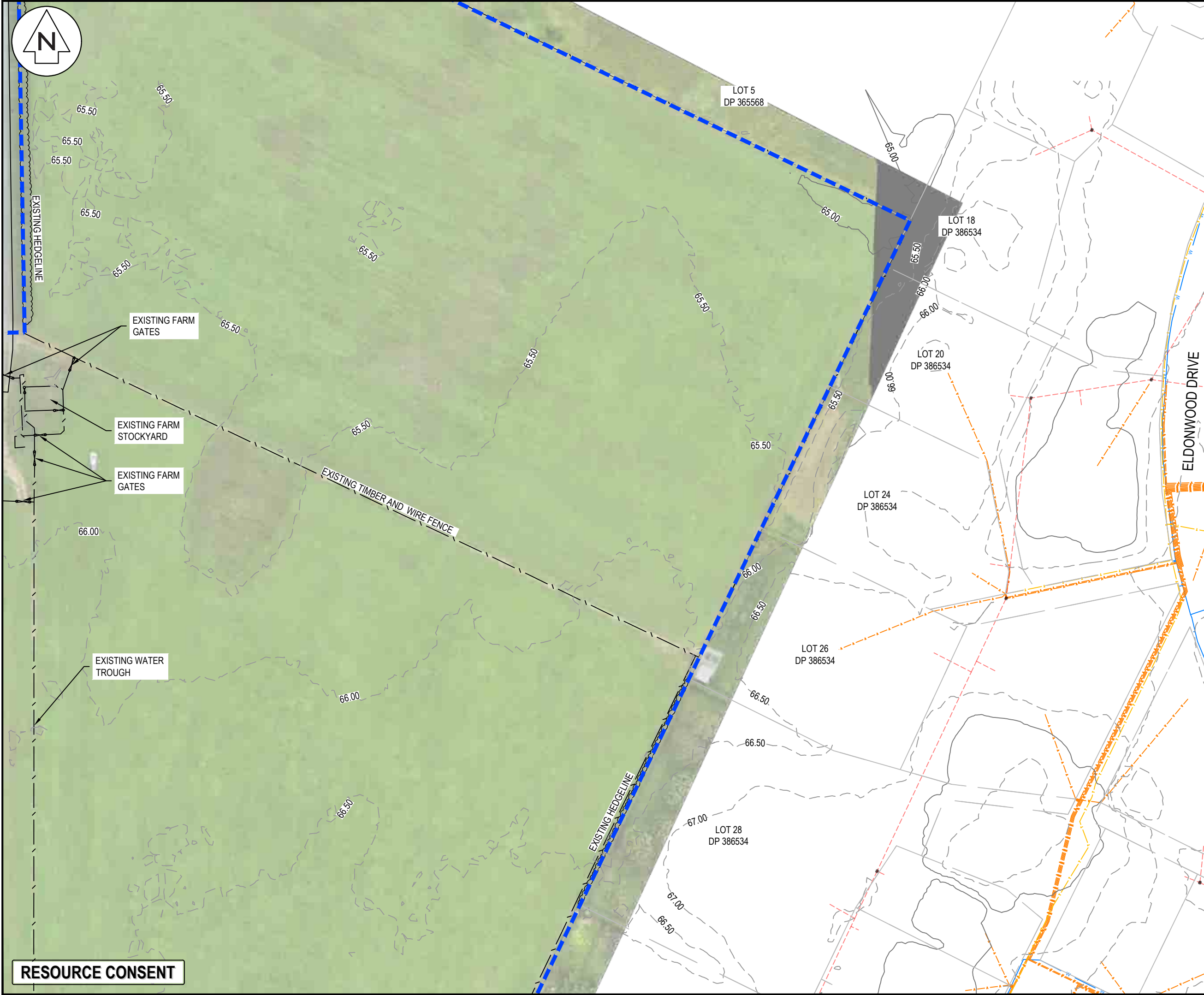
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Project
**ASHBOURNE
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FOR
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DEVELOPMENTS LTD**

Title
**EXISTING
TOPOGRAPHICAL
PLAN SHEET 2 OF 10**

Project no.	289001		
Scale	1:1000 @ A3		
Cad file	C050-TOPO.DWG		
Drawing no.	C050-2	Rev	A

RESOURCE CONSENT



- NOTES
1. ALL WORKS TO BE IN ACCORDANCE WITH THE REGIONAL INFRASTRUCTURE TECHNICAL SPECIFICATIONS 2018 AND SUBSEQUENT UPDATES.
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	EX WATERCOURSE
	EX FENCE
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	EX BUILDING

A	FAST TRACK APP	TCH	04/2025
Rev	Description	By	Date
Survey	MAVEN	03/2024	
Design			
Drawn	TCH	11/2024	
Checked	DJM	11/2024	



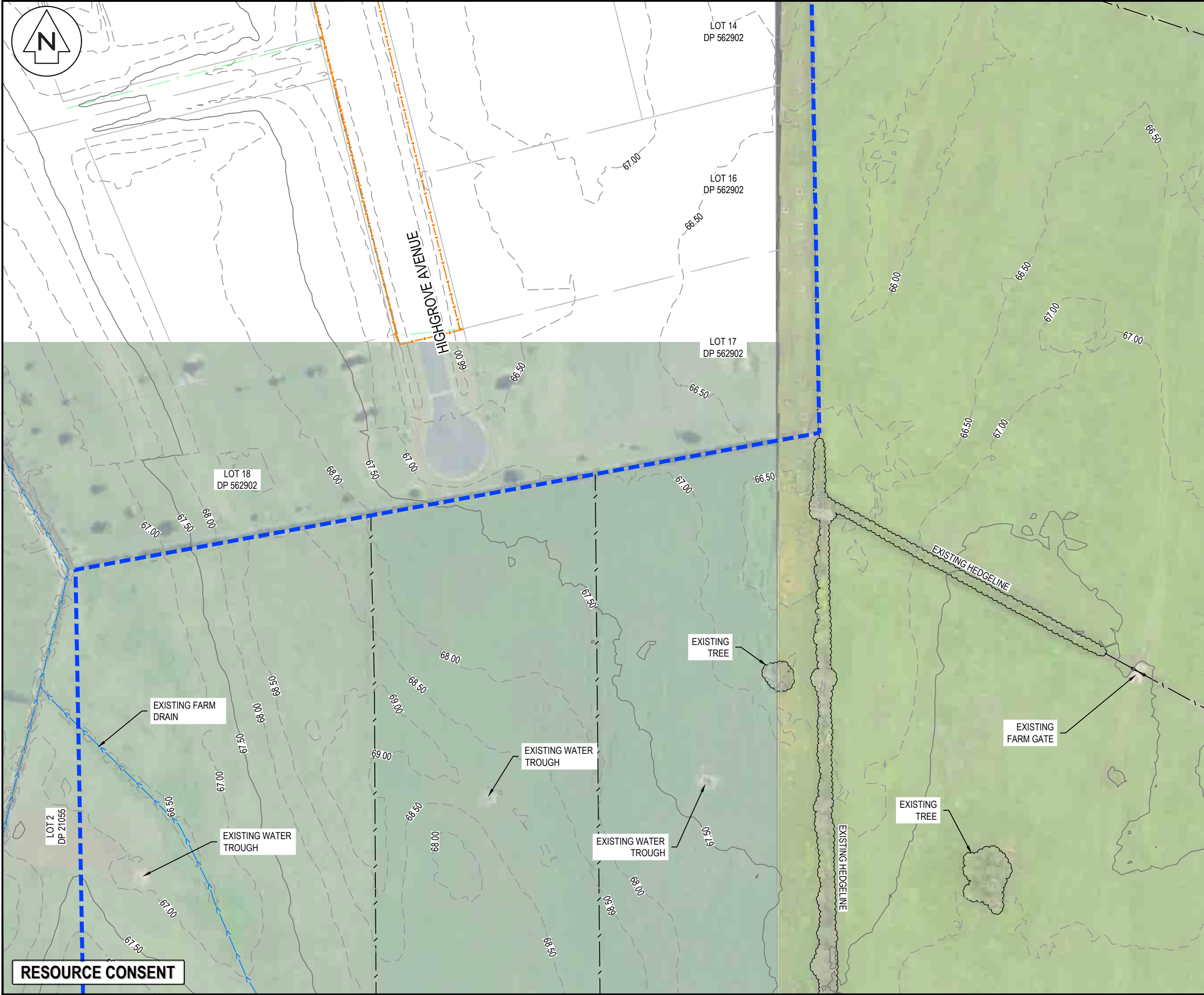
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Project
**ASHBOURNE
RESIDENTIAL
FOR
MATAMATA
DEVELOPMENTS LTD**

Title
**EXISTING
TOPOGRAPHICAL
PLAN SHEET 3 OF 10**

Project no.	289001		
Scale	1:1000 @ A3		
Cad file	C050-TOPO.DWG		
Drawing no.	C050-3	Rev	A

RESOURCE CONSENT



- NOTES
1. ALL WORKS TO BE IN ACCORDANCE WITH THE REGIONAL INFRASTRUCTURE TECHNICAL SPECIFICATIONS 2018 AND SUBSEQUENT UPDATES.
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	SITE BDY
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	EX EASEMENT
	EX TITLE BDY
	EX MAJOR CONTOUR
	EX MINOR CONTOUR
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	EX STORMWATER
	EX WATER MAIN
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	EX POWER
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	EX TELECOM
	EX WATERCOURSE
	EX FENCE
	EX FARM GATE
	EX BUILDING

A	FAST TRACK APP	TCH	04/2025
Rev	Description	By	Date
		By	Date
Survey	MAVEN		03/2024
Design			
Drawn	TCH		11/2024
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Project
**ASHBOURNE
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DEVELOPMENTS LTD**

Title
**EXISTING
TOPOGRAPHICAL
PLAN SHEET 4 OF 10**

Project no.	289001		
Scale	1:1000 @ A3		
Cad file	C050-TOPO.DWG		
Drawing no.	C050-4	Rev	A



- NOTES
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 3. LEVELS IN TERMS OF THE NEW ZEALAND VERTICAL DATUM 2016.
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	EX VEGETATION
	EX EASEMENT
	EX TITLE BDY
	EX MAJOR CONTOUR
	EX MINOR CONTOUR
	EX WASTEWATER
	EX STORMWATER
	EX WATER MAIN
	EX FIBRE
	EX POWER
	EX OVERHEAD POWER
	EX TELECOM
	EX WATERCOURSE
	EX FENCE
	EX FARM GATE
	EX BUILDING

A	FAST TRACK APP	TCH	04/2025
Rev	Description	By	Date
		By	Date
Survey	MAVEN		03/2024
Design			
Drawn	TCH		11/2024
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Project
**ASHBOURNE
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Title
**EXISTING
TOPOGRAPHICAL
PLAN SHEET 5 OF 10**

Project no.	289001		
Scale	1:1000 @ A3		
Cad file	C050-TOPO.DWG		
Drawing no.	C050-5	Rev	A

DATE: 4/7/25 FILE PATH: F:\MAVEN\HAMILTON\6 PROJECTS\289001 - STATION ROAD\ DRAWING\01 - ASHBOURNE RESIDENTIAL\050-TOPO.DWG

RESOURCE CONSENT



- NOTES
1. ALL WORKS TO BE IN ACCORDANCE WITH THE REGIONAL INFRASTRUCTURE TECHNICAL SPECIFICATIONS 2018 AND SUBSEQUENT UPDATES.
 2. CO-ORDINATES IN TERMS OF NZ GEODETIC DATUM MT EDEN 2000.
 3. LEVELS IN TERMS OF THE NEW ZEALAND VERTICAL DATUM 2016.
 4. BENCHMARK: IT I DPS 29877 RL: 65.51.
 5. BOUNDARIES ARE SUBJECT TO FINAL SURVEY.
 6. THE EXISTING CONTOURS ARE AT 0.5M CONTOUR INTERVALS.
 7. EXISTING SERVICES SHOWN ARE FROM BAUDIG AND ARE INDICATIVE ONLY. CONTRACTOR TO LOCATE THE EXISTING SERVICES PRIOR TO CONSTRUCTION.

LEGEND	
	EX BDY
	SITE BDY
	EX VEGETATION
	EX EASEMENT
	EX TITLE BDY
	EX MAJOR CONTOUR
	EX MINOR CONTOUR
	EX WASTEWATER
	EX STORMWATER
	EX WATER MAIN
	EX FIBRE
	EX POWER
	EX OVERHEAD POWER
	EX TELECOM
	EX WATERCOURSE
	EX FENCE
	EX FARM GATE
	EX BUILDING

A	FAST TRACK APP	TCH	04/2025
Rev	Description	By	Date
		By	Date
Survey	MAVEN		03/2024
Design			
Drawn	TCH		11/2024
Checked	DJM		11/2024



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Project
**ASHBOURNE
RESIDENTIAL
FOR
MATAMATA
DEVELOPMENTS LTD**

Title
**EXISTING
TOPOGRAPHICAL
PLAN SHEET 6 OF 10**

Project no.	289001		
Scale	1:1000 @ A3		
Cad file	C050-TOPO.DWG		
Drawing no.	C050-6	Rev	A

RESOURCE CONSENT



- NOTES
1. ALL WORKS TO BE IN ACCORDANCE WITH THE REGIONAL INFRASTRUCTURE TECHNICAL SPECIFICATIONS 2018 AND SUBSEQUENT UPDATES.
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	EX VEGETATION
	EX EASEMENT
	EX TITLE BDY
	EX MAJOR CONTOUR
	EX MINOR CONTOUR
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	EX POWER
	EX OVERHEAD POWER
	EX TELECOM
	EX WATERCOURSE
	EX FENCE
	EX FARM GATE
	EX BUILDING

A	FAST TRACK APP	TCH	04/2025
Rev	Description	By	Date
		By	Date
Survey	MAVEN		03/2024
Design			
Drawn	TCH		11/2024
Checked	DJM		11/2024



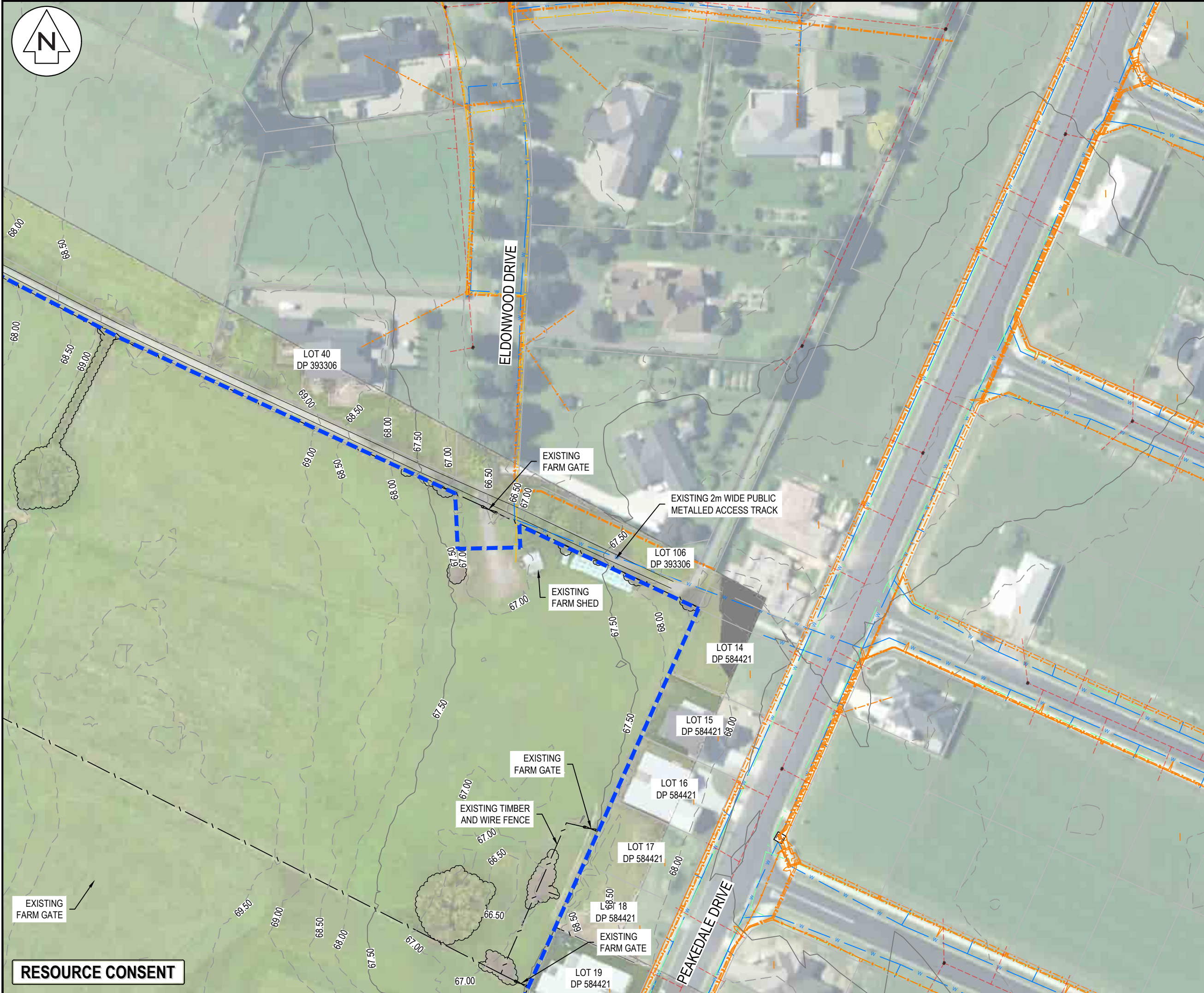
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Project
**ASHBOURNE
RESIDENTIAL
FOR
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DEVELOPMENTS LTD**

Title
**EXISTING
TOPOGRAPHICAL
PLAN SHEET 7 OF 10**

Project no.	289001		
Scale	1:1000 @ A3		
Cad file	C050-TOPO.DWG		
Drawing no.	C050-7	Rev	A

RESOURCE CONSENT



- NOTES
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	EX BDY
	SITE BDY
	EX VEGETATION
	EX EASEMENT
	EX TITLE BDY
	EX MAJOR CONTOUR
	EX MINOR CONTOUR
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	EX STORMWATER
	EX WATER MAIN
	EX FIBRE
	EX POWER
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	EX WATERCOURSE
	EX FENCE
	EX FARM GATE
	EX BUILDING

A	FAST TRACK APP	TCH	04/2025
Rev	Description	By	Date
Survey	MAVEN		03/2024
Design			
Drawn	TCH		11/2024
Checked	DJM		11/2024



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Project
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Title
**EXISTING
TOPOGRAPHICAL
PLAN SHEET 8 OF 10**

Project no.	289001
Scale	1:1000 @ A3
Cad file	C050-TOPO.DWG
Drawing no.	C050-8
Rev	A



- NOTES
1. ALL WORKS TO BE IN ACCORDANCE WITH THE REGIONAL INFRASTRUCTURE TECHNICAL SPECIFICATIONS 2018 AND SUBSEQUENT UPDATES.
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	SITE BDY
	EX VEGETATION
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	EX TITLE BDY
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	EX TELECOM
	EX WATERCOURSE
	EX FENCE
	EX FARM GATE
	EX BUILDING

A	FAST TRACK APP	TCH	04/2025
Rev	Description	By	Date
Survey	MAVEN		03/2024
Design			
Drawn	TCH		11/2024
Checked	DJM		11/2024

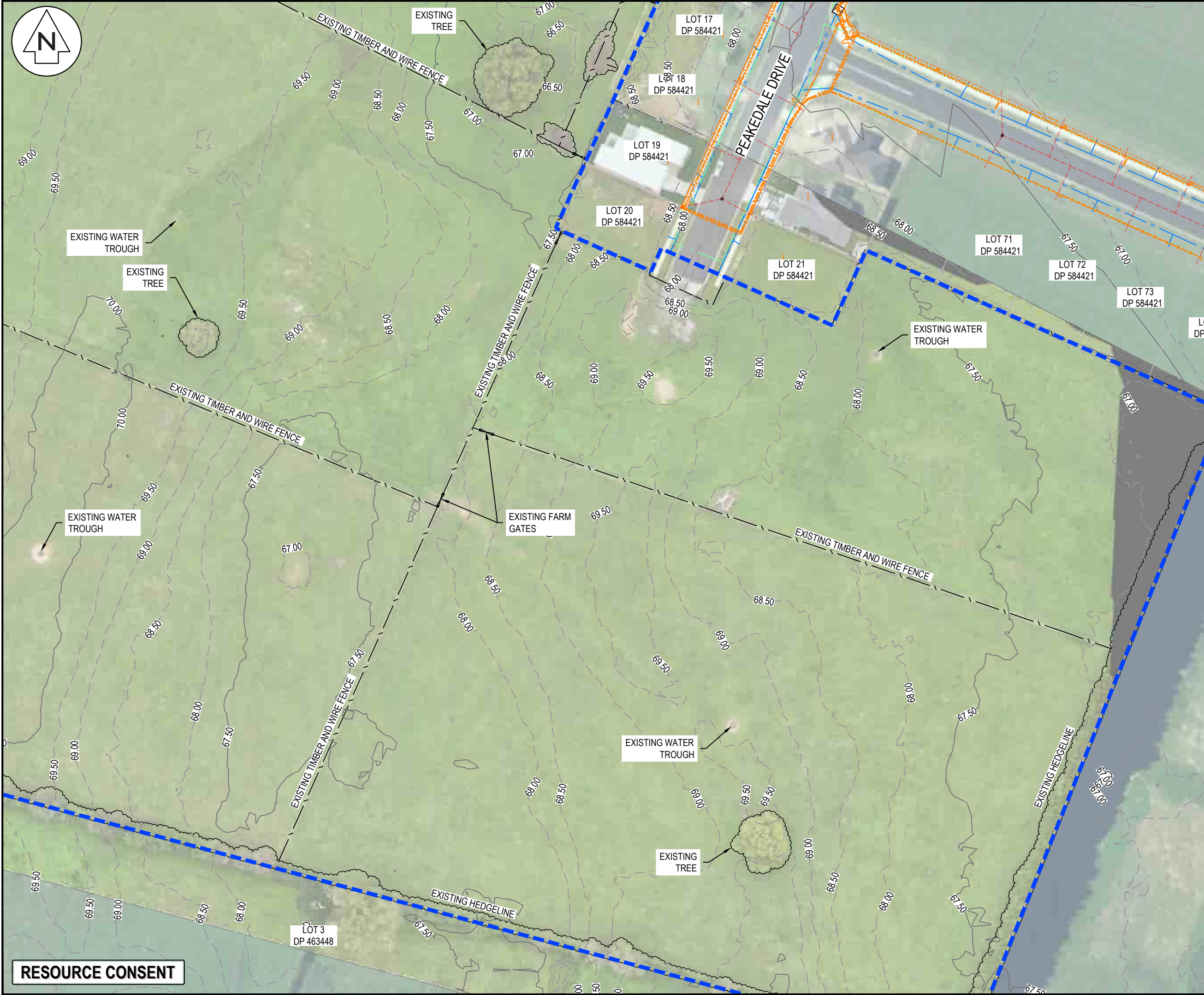


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Project
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Title
**EXISTING
TOPOGRAPHICAL
PLAN SHEET 9 OF 10**

Project no.	289001		
Scale	1:1000 @ A3		
Cad file	C050-TOPO.DWG		
Drawing no.	C050-9	Rev	A



- NOTES
1. ALL WORKS TO BE IN ACCORDANCE WITH THE REGIONAL INFRASTRUCTURE TECHNICAL SPECIFICATIONS 2018 AND SUBSEQUENT UPDATES.
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	EX VEGETATION
	EX EASEMENT
	EX TITLE BDY
	EX MAJOR CONTOUR
	EX MINOR CONTOUR
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	EX STORMWATER
	EX WATER MAIN
	EX FIBRE
	EX POWER
	EX OVERHEAD POWER
	EX TELECOM
	EX WATERCOURSE
	EX FENCE
	EX FARM GATE
	EX BUILDING

A	FAST TRACK APP	TCH	04/2025
Rev	Description	By	Date
Survey	MAVEN		03/2024
Design			
Drawn	TCH		11/2024
Checked	DJM		11/2024



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Project
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Title
**EXISTING
TOPOGRAPHICAL
PLAN SHEET 10 OF 10**

Project no.	289001		
Scale	1:1000 @ A3		
Cad file	C050-TOPO.DWG		
Drawing no.	C050-10	Rev	A

RESOURCE CONSENT



- NOTES
1. ALL WORKS TO BE IN ACCORDANCE WITH THE REGIONAL INFRASTRUCTURE TECHNICAL SPECIFICATIONS 2018 AND SUBSEQUENT UPDATES.
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LEGEND	
	EX BDY
	SITE BDY
	EX VEGETATION TO BE REMOVED
	EX EASEMENT
	RT
	RT
	EX TITLE BDY
	EX WASTEWATER
	EX STORMWATER
	EX WATER MAIN
	EX FIBRE
	EX POWER
	EX OVERHEAD POWER
	EX TELECOM
	EX WATERCOURSE
	EX FENCES TO BE REMOVED
	EX FARM GATES TO BE REMOVED
	EX BUILDINGS TO BE REMOVED

A	FAST TRACK APP	TCH	04/2025
Rev	Description	By	Date
Survey	MAVEN		03/2024
Design	TCH		11/2024
Drawn	TCH		11/2024
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Project
**ASHBOURNE
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Title
**EXISTING FEATURES
AND REMOVAL
KEY PLAN**

Project no.	289001
Scale	1:6000 @ A3
Cad file	C060-EX FEATURES AND REMOVAL PLAN.DWG
Drawing no.	C060
Rev	A

RESOURCE CONSENT



NOTES

1. ALL WORKS TO BE IN ACCORDANCE WITH THE REGIONAL INFRASTRUCTURE TECHNICAL SPECIFICATIONS 2018 AND SUBSEQUENT UPDATES.
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LEGEND

---	EX BDY
---	SITE BDY
---	EX VEGETATION TO BE REMOVED
---	EX EASEMENT
---	RT
---	EX TITLE BDY
---	EX WASTEWATER
---	EX STORMWATER
---	EX WATER MAIN
---	EX FIBRE
---	EX POWER
---	EX OVERHEAD POWER
---	EX TELECOM
---	EX WATERCOURSE
---	EX FENCES TO BE REMOVED
---	EX FARM GATES TO BE REMOVED
---	EX BUILDINGS TO BE REMOVED

A	FAST TRACK APP	TCH	04/2025
Rev	Description	By	Date
Survey	MAVEN		03/2024
Design	TCH		11/2024
Drawn	TCH		11/2024
Checked	DJM		11/2024

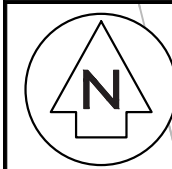
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Project
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Title
**EXISTING FEATURES
AND REMOVAL
PLAN SHEET 1 OF 10**

Project no.	289001
Scale	1:1000 @ A3
Cad file	C060-EX FEATURES AND REMOVAL PLAN.DWG
Drawing no.	C060-1
Rev	A

RESOURCE CONSENT



OLIVE PLACE

EXISTING TIMBER AND WIRE FENCE
TO BE REMOVED AND REINSTATED
ALONG THE EXISTING BOUNDARY

EXISTING HEDGELINE TO
BE TRIMMED BACK TO
THE BOUNDARY

LOT 9
DP 562902

EXISTING HAY BALES TO
BE REMOVED

EXISTING WATER
TROUGH TO BE REMOVED

LOT 13
DP 562902

LOT 14
DP 562902

RESOURCE CONSENT

- NOTES
1. ALL WORKS TO BE IN ACCORDANCE WITH THE REGIONAL INFRASTRUCTURE TECHNICAL SPECIFICATIONS 2018 AND SUBSEQUENT UPDATES.
 2. ALL WORKS TO BE IN ACCORDANCE WITH THE WAIKATO REGIONAL COUNCIL EROSION AND SEDIMENT CONTROL GUIDELINES FOR SOIL DISTURBING ACTIVITIES 2009 AND SUBSEQUENT UPDATES.
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LEGEND	
	EX BDY
	SITE BDY
	EX VEGETATION TO BE REMOVED
	EX EASEMENT
	RT
	EX TITLE BDY
	EX WASTEWATER
	EX STORMWATER
	EX WATER MAIN
	EX FIBRE
	EX POWER
	EX OVERHEAD POWER
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A	FAST TRACK APP	TCH	04/2025
Rev	Description	By	Date
		By	Date
Survey	MAVEN		03/2024
Design	TCH		11/2024
Drawn	TCH		11/2024
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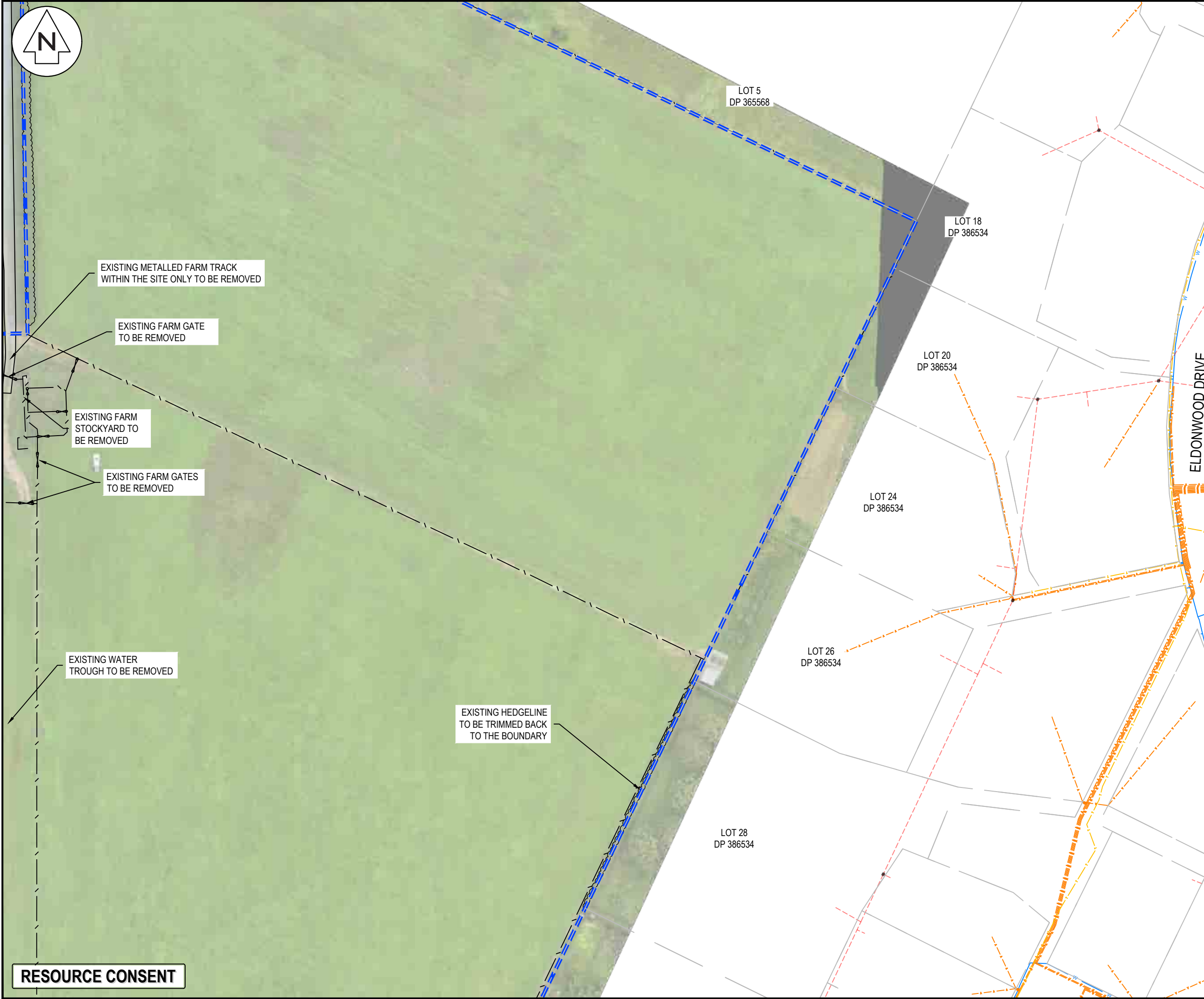
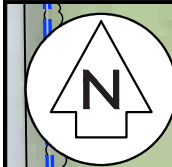


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Project
**ASHBOURNE
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Title
**EXISTING FEATURES
AND REMOVAL
PLAN SHEET 2 OF 10**

Project no.	289001		
Scale	1:1000 @ A3		
Cad file	C060-EX FEATURES AND REMOVAL PLAN.DWG		
Drawing no.	C060-2	Rev	A



- NOTES
1. ALL WORKS TO BE IN ACCORDANCE WITH THE REGIONAL INFRASTRUCTURE TECHNICAL SPECIFICATIONS 2018 AND SUBSEQUENT UPDATES.
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LEGEND

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	SITE BDY
	EX VEGETATION TO BE REMOVED
	EX EASEMENT
	EX TITLE BDY
	EX WASTEWATER
	EX STORMWATER
	EX WATER MAIN
	EX FIBRE
	EX POWER
	EX OVERHEAD POWER
	EX TELECOM
	EX WATERCOURSE
	EX FENCES TO BE REMOVED
	EX FARM GATES TO BE REMOVED
	EX BUILDINGS TO BE REMOVED

A	FAST TRACK APP	TCH	04/2025
Rev	Description	By	Date
Survey	MAVEN		03/2024
Design	TCH		11/2024
Drawn	TCH		11/2024
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Project
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Title
**EXISTING FEATURES
AND REMOVAL
PLAN SHEET 3 OF 10**

Project no.	289001		
Scale	1:1000 @ A3		
Cad file	C060-EX FEATURES AND REMOVAL PLAN.DWG		
Drawing no.	C060-3	Rev	A



LOT 14
DP 562902

LOT 16
DP 562902

LOT 17
DP 562902

LOT 18
DP 562902

LOT 2
DP 21055

HIGHGROVE AVENUE

EXISTING FARM GATES
TO BE REMOVED

EXISTING WATER
TROUGH TO BE
REMOVED

EXISTING FARM GATE
TO BE REMOVED

EXISTING WATER TROUGH
TO BE REMOVED

EXISTING WATER TROUGH
TO BE REMOVED

EXISTING WATER TROUGH
TO BE REMOVED

RESOURCE CONSENT

- NOTES
1. ALL WORKS TO BE IN ACCORDANCE WITH THE REGIONAL INFRASTRUCTURE TECHNICAL SPECIFICATIONS 2018 AND SUBSEQUENT UPDATES.
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LEGEND	
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	SITE BDY
	EX VEGETATION TO BE REMOVED
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A	FAST TRACK APP	TCH	04/2025
Rev	Description	By	Date
		By	Date
Survey	MAVEN		03/2024
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Project
**ASHBOURNE
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Title
**EXISTING FEATURES
AND REMOVAL
PLAN SHEET 4 OF 10**

Project no.	289001		
Scale	1:1000 @ A3		
Cad file	C060-EX FEATURES AND REMOVAL PLAN.DWG		
Drawing no.	C060-4	Rev	A



- NOTES
1. ALL WORKS TO BE IN ACCORDANCE WITH THE REGIONAL INFRASTRUCTURE TECHNICAL SPECIFICATIONS 2018 AND SUBSEQUENT UPDATES.
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	SITE BDY
	EX VEGETATION TO BE REMOVED
	EX EASEMENT
	RT
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Rev	Description	By	Date
		By	Date
Survey	MAVEN		03/2024
Design	TCH		11/2024
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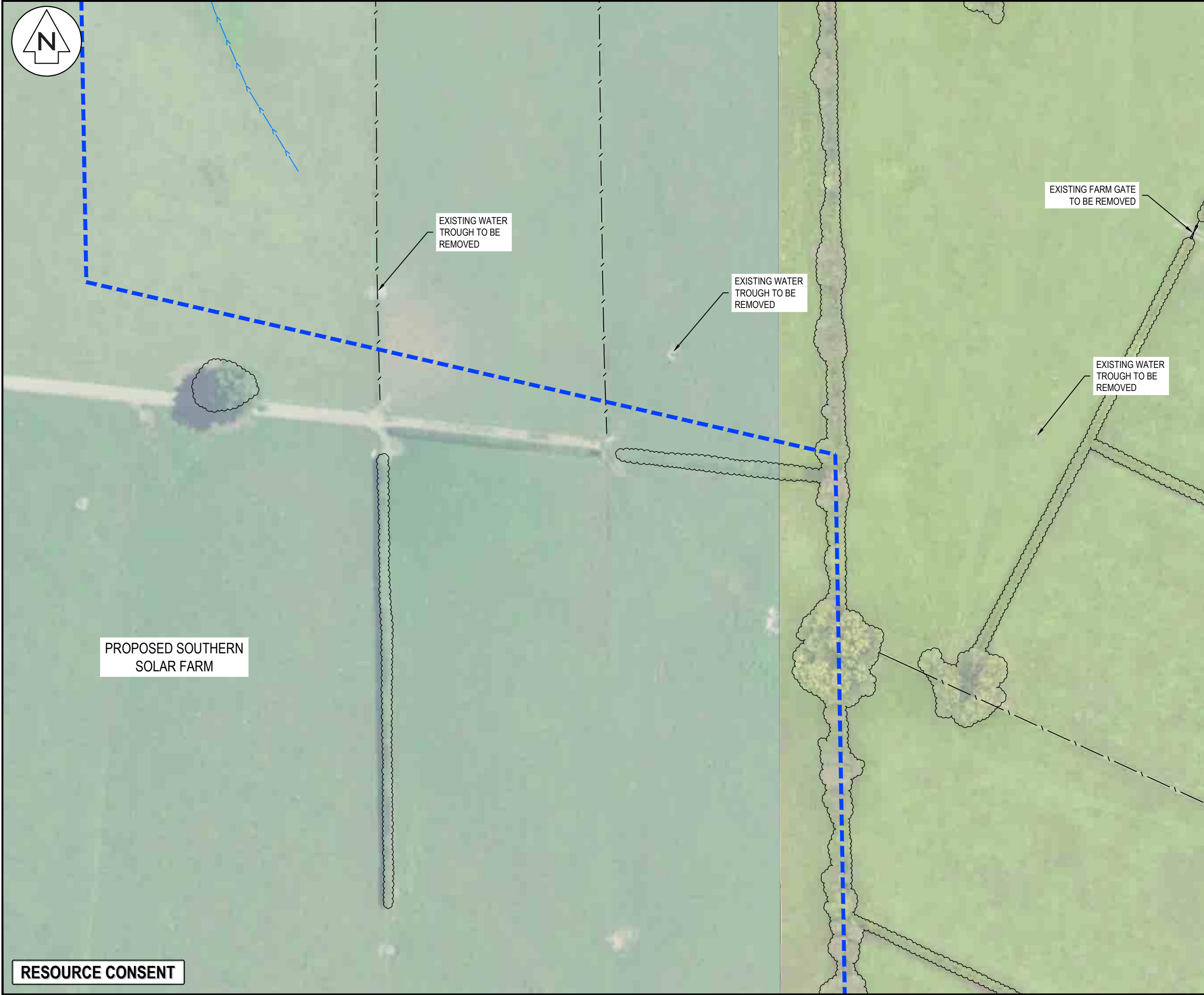
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Project
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Title
**EXISTING FEATURES
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PLAN SHEET 5 OF 10**

Project no.	289001		
Scale	1:1000 @ A3		
Cad file	C060-EX FEATURES AND REMOVAL PLAN.DWG		
Drawing no.	C060-5	Rev	A

DATE: 4/7/25 FILE PATH: F:\MAVEN\HAMILTON\6. PROJECTS\289001 - STATION ROAD\7. DRAWING\01. ASHBOURNE RESIDENTIAL\006-EX FEATURES AND REMOVAL PLAN.DWG



NOTES

1. ALL WORKS TO BE IN ACCORDANCE WITH THE REGIONAL INFRASTRUCTURE TECHNICAL SPECIFICATIONS 2018 AND SUBSEQUENT UPDATES.
2. ALL WORKS TO BE IN ACCORDANCE WITH THE WAIKATO REGIONAL COUNCIL EROSION AND SEDIMENT CONTROL GUIDELINES FOR SOIL DISTURBING ACTIVITIES 2009 AND SUBSEQUENT UPDATES.
3. COORDINATES ARE IN TERMS OF MT EDEN 2000 CIRCUIT.
4. LEVELS IN TERMS OF THE NEW ZEALAND VERTICAL DATUM 2016.
5. BENCHMARK: IT I DPS 29877 RL: 65.51. SOURCED FROM THE LINZ GEODETIC DATABASE.
6. BOUNDARIES ARE SUBJECT TO FINAL SURVEY.
7. WORKS NEAR OR UNDER OVERHEAD POWER SHALL BE UNDERTAKEN IN ACCORDANCE WITH NZECP 34.
8. FENCES, FARM GATES, FARM TRACKS, BUILDINGS, FARMING STRUCTURES WITHIN THE SITE ARE TO BE REMOVED.
9. EXISTING SERVICES SHOWN ARE FROM BAUDIG AND ARE INDICATIVE ONLY. CONTRACTOR TO LOCATE THE EXISTING SERVICES PRIOR TO CONSTRUCTION.
10. CONTRACTOR TO REINSTATE EXISTING INFRASTRUCTURE THAT WAS DAMAGED DURING THE WORKS AT THEIR OWN COST.
11. VEGETATION REMOVAL AREA IS INDICATIVE ONLY.

LEGEND

—	EX BDY
---	SITE BDY
~~~~~	EX VEGETATION TO BE REMOVED
---	EX EASEMENT
RT	RT
---	EX TITLE BDY
---	EX WASTEWATER
---	EX STORMWATER
W	EX WATER MAIN
F	EX FIBRE
P	EX POWER
OH	EX OVERHEAD POWER
T	EX TELECOM
>-->	EX WATERCOURSE
---	EX FENCES TO BE REMOVED
∞	EX FARM GATES TO BE REMOVED
---	EX BUILDINGS TO BE REMOVED

A	FAST TRACK APP	TCH	04/2025
Rev	Description	By	Date
		By	Date
Survey	MAVEN		03/2024
Design	TCH		11/2024
Drawn	TCH		11/2024
Checked	DJM		11/2024

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Project

**ASHBOURNE  
RESIDENTIAL  
FOR  
MATAMATA  
DEVELOPMENTS LTD**

Title

**EXISTING FEATURES  
AND REMOVAL  
PLAN SHEET 6 OF 10**

Project no.	289001		
Scale	1:1000 @ A3		
Cad file	C060-EX FEATURES AND REMOVAL PLAN.DWG		
Drawing no.	C060-6	Rev	<b>A</b>





- NOTES
1. ALL WORKS TO BE IN ACCORDANCE WITH THE REGIONAL INFRASTRUCTURE TECHNICAL SPECIFICATIONS 2018 AND SUBSEQUENT UPDATES.
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LEGEND	
	EX BDY
	SITE BDY
	EX VEGETATION TO BE REMOVED
	EX EASEMENT
	RT
	EX TITLE BDY
	EX WASTEWATER
	EX STORMWATER
	EX WATER MAIN
	EX FIBRE
	EX POWER
	EX OVERHEAD POWER
	EX TELECOM
	EX WATERCOURSE
	EX FENCES TO BE REMOVED
	EX FARM GATES TO BE REMOVED
	EX BUILDINGS TO BE REMOVED

A	FAST TRACK APP	TCH	04/2025
Rev	Description	By	Date
Survey	MAVEN	03/2024	
Design	TCH	11/2024	
Drawn	TCH	11/2024	
Checked	DJM	11/2024	



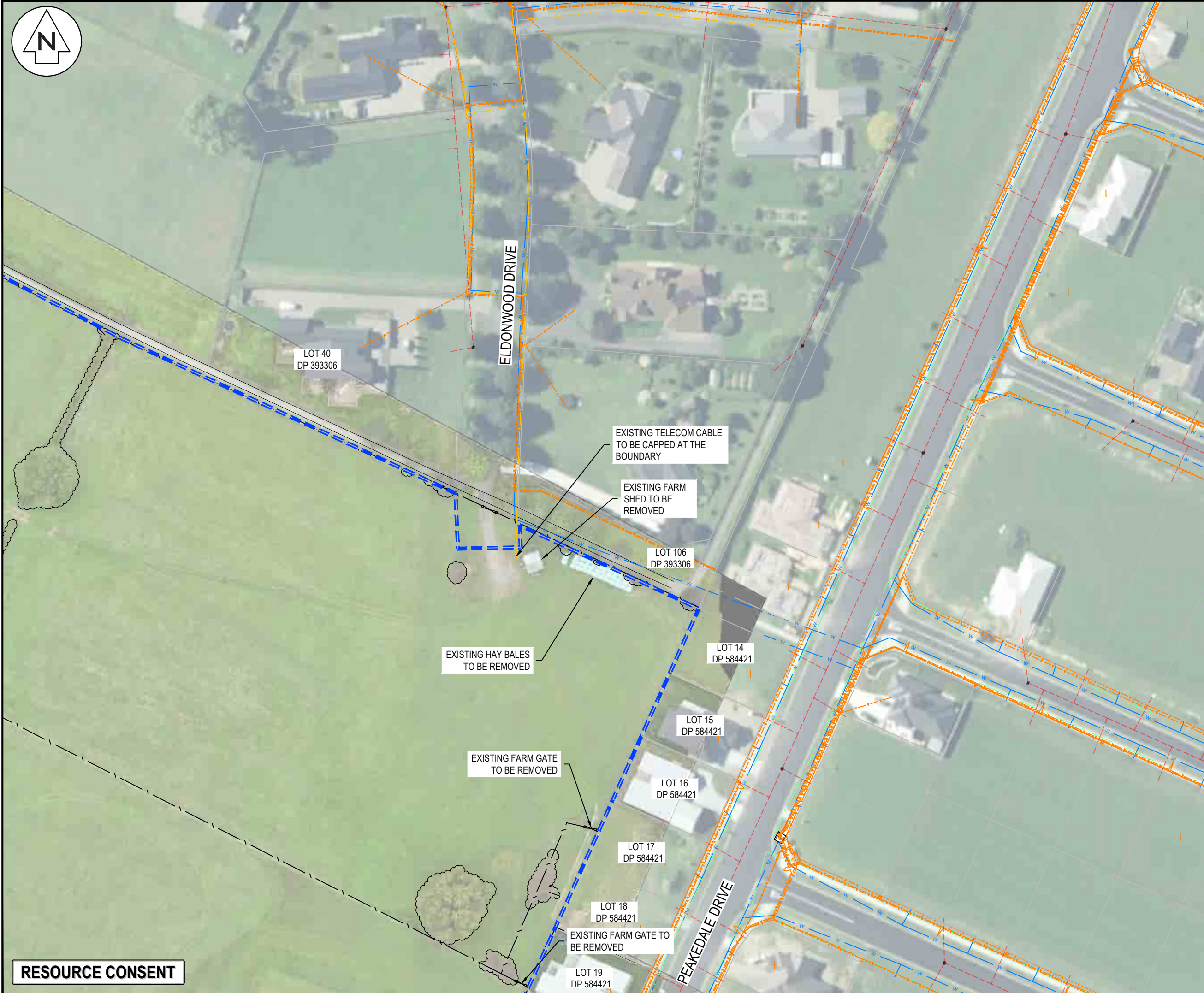
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Project  
**ASHBOURNE  
RESIDENTIAL  
FOR  
MATAMATA  
DEVELOPMENTS LTD**

Title  
**EXISTING FEATURES  
AND REMOVAL  
PLAN SHEET 7 OF 10**

Project no.	289001		
Scale	1:1000 @ A3		
Cad file	C060-EX FEATURES AND REMOVAL PLAN.DWG		
Drawing no.	C060-7	Rev	<b>A</b>





- NOTES
1. ALL WORKS TO BE IN ACCORDANCE WITH THE REGIONAL INFRASTRUCTURE TECHNICAL SPECIFICATIONS 2018 AND SUBSEQUENT UPDATES.
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LEGEND	
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	SITE BDY
	EX VEGETATION TO BE REMOVED
	EX EASEMENT
	RT
	EX TITLE BDY
	EX WASTEWATER
	EX STORMWATER
	EX WATER MAIN
	EX FIBRE
	EX POWER
	EX OVERHEAD POWER
	EX TELECOM
	EX WATERCOURSE
	EX FENCES TO BE REMOVED
	EX FARM GATES TO BE REMOVED
	EX BUILDINGS TO BE REMOVED

A	FAST TRACK APP	TCH	04/2025
Rev	Description	By	Date
Survey	MAVEN		03/2024
Design	TCH		11/2024
Drawn	TCH		11/2024
Checked	DJM		11/2024



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**ASHBOURNE  
RESIDENTIAL  
FOR  
MATAMATA  
DEVELOPMENTS LTD**

Title  
**EXISTING FEATURES  
AND REMOVAL  
PLAN SHEET 8 OF 10**

Project no.	289001		
Scale	1:1000 @ A3		
Cad file	C060-EX FEATURES AND REMOVAL PLAN.DWG		
Drawing no.	C060-8	Rev	A

**RESOURCE CONSENT**





EXISTING FARM GATES  
TO BE REMOVED

EXISTING WATER  
TROUGHS TO BE  
REMOVED

EXISTING WATER  
TROUGH TO BE  
REMOVED

EXISTING FARM GATES  
TO BE REMOVED

EXISTING FARM GATE  
TO BE REMOVED

EXISTING HEDGELINE  
TO BE TRIMMED BACK  
TO THE BOUNDARY

EXISTING FARM GATE TO  
BE REMOVED

EXISTING HEDGELINE  
TO BE TRIMMED BACK  
TO THE BOUNDARY

LOT 3  
DP 463448

- NOTES
1. ALL WORKS TO BE IN ACCORDANCE WITH THE REGIONAL INFRASTRUCTURE TECHNICAL SPECIFICATIONS 2018 AND SUBSEQUENT UPDATES.
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LEGEND	
	EX BDY
	SITE BDY
	EX VEGETATION TO BE REMOVED
	EX EASEMENT
	RT
	EX WASTEWATER
	EX STORMWATER
	EX WATER MAIN
	EX FIBRE
	EX POWER
	EX OVERHEAD POWER
	EX TELECOM
	EX WATERCOURSE
	EX FENCES TO BE REMOVED
	EX FARM GATES TO BE REMOVED
	EX BUILDINGS TO BE REMOVED

A	FAST TRACK APP	TCH	04/2025
Rev	Description	By	Date
		By	Date
Survey	MAVEN		03/2024
Design	TCH		11/2024
Drawn	TCH		11/2024
Checked	DJM		11/2024



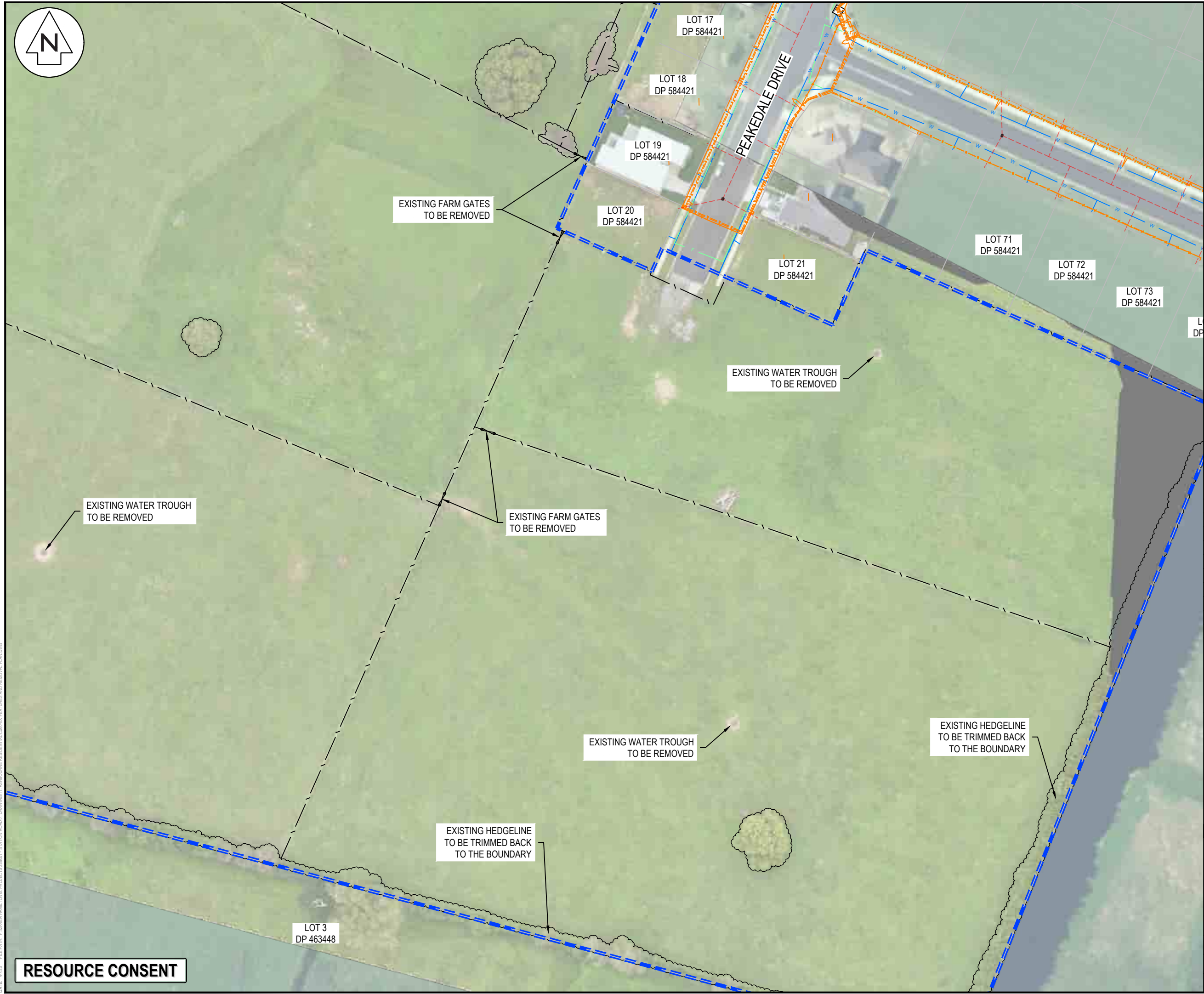
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Project  
**ASHBOURNE  
RESIDENTIAL  
FOR  
MATAMATA  
DEVELOPMENTS LTD**

Title  
**EXISTING FEATURES  
AND REMOVAL  
PLAN SHEET 9 OF 10**

Project no.	289001		
Scale	1:1000 @ A3		
Cad file	C060-EX FEATURES AND REMOVAL PLAN.DWG		
Drawing no.	C060-9	Rev	<b>A</b>

RESOURCE CONSENT



- NOTES
1. ALL WORKS TO BE IN ACCORDANCE WITH THE REGIONAL INFRASTRUCTURE TECHNICAL SPECIFICATIONS 2018 AND SUBSEQUENT UPDATES.
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	EX BDY
	SITE BDY
	EX VEGETATION TO BE REMOVED
	EX EASEMENT
	RT
	RT
	EX WASTEWATER
	EX STORMWATER
	EX WATER MAIN
	EX FIBRE
	EX POWER
	EX OVERHEAD POWER
	EX TELECOM
	EX WATERCOURSE
	EX FENCES TO BE REMOVED
	EX FARM GATES TO BE REMOVED
	EX BUILDINGS TO BE REMOVED

A	FAST TRACK APP	TCH	04/2025
Rev	Description	By	Date
Survey	MAVEN	03/2024	
Design	TCH	11/2024	
Drawn	TCH	11/2024	
Checked	DJM	11/2024	

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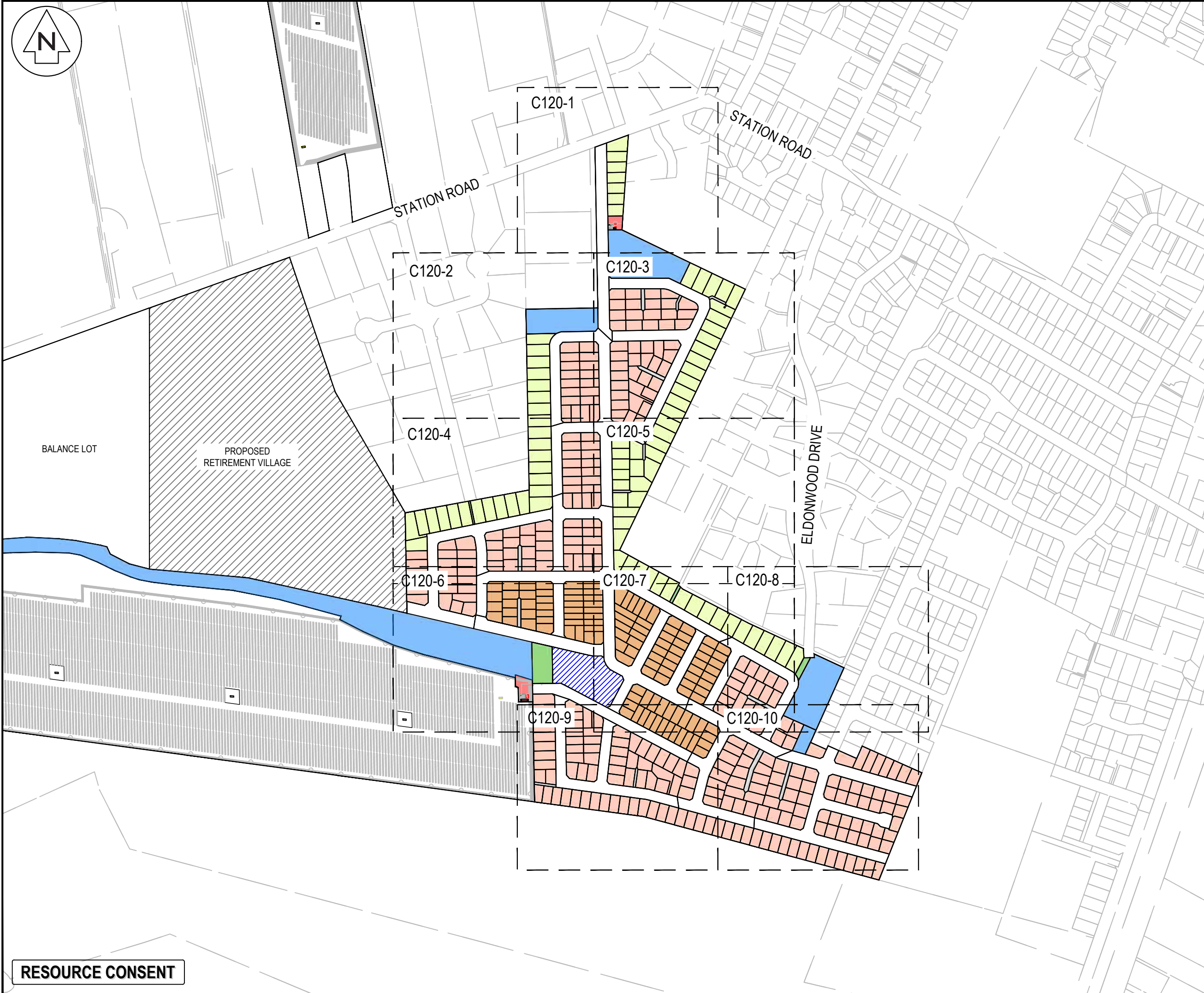
Project  
**ASHBOURNE  
RESIDENTIAL  
FOR  
MATAMATA  
DEVELOPMENTS LTD**

Title  
**EXISTING FEATURES  
AND REMOVAL  
PLAN SHEET 10 OF 10**

Project no.	289001		
Scale	1:1000 @ A3		
Cad file	C060-EX FEATURES AND REMOVAL PLAN.DWG		
Drawing no.	C060-10	Rev	A

RESOURCE CONSENT





NOTES

1. All works to be in accordance with Matamata-Piako District Council standards.
2. Co-ordinates in terms of NZ Geodetic Datum MT Eden 2000.
3. Levels in terms of the New Zealand Vertical Datum 2016.
4. Benchmark: IT I DPS 29877 RL: 65.19.
5. Boundaries are subject to final survey.

LEGEND

	AVERAGE LOT SIZE 350m²
	AVERAGE LOT SIZE 500m²
	AVERAGE LOT SIZE 800m²
	RETIREMENT VILLAGE
	COMMERCIAL ZONE
	GREEN SPACE
	SW RESERVE
	WW RESERVE

B	FAST TRACK APP	MKS	04/2025
A	FAST TRACK APP	MKS	04/2025
Rev	Description	By	Date
		By	Date
Survey	MAVEN		05/2024
Design	MKS		11/2024
Drawn	MKS		11/2024
Checked	DJM		04/2025

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New Zealand

Project

**ASHBOURNE  
RESIDENTIAL  
FOR  
MATAMATA  
DEVELOPMENTS LTD**

Title

**PROPOSED  
OVERVIEW  
MASTERPLAN**

Project no.	289001		
Scale	1:6000 @ A3		
Cad file	C120-MASTER PLAN.DWG		
Drawing no.	C120	Rev	<b>B</b>

**RESOURCE CONSENT**



STATION ROAD

APORO DRIVE

ODLUM DRIVE

LOT 1  
DP 404835

ROAD TO BE  
VESTED TO  
MPDC

ROAD 1

LOT 2  
DP 404835

LOT# 3015  
6563m²

LOT# 518  
778m²

LOT# 517  
624m²

LOT# 516  
596m²

LOT# 515  
568m²

LOT# 514  
541m²

LOT# 513  
540m²

LOT# 512  
535m²

LOT# 5002  
595m²  
(WW RESERVE)

LOT 1  
DP 365568

LOT 2  
DP 365568

- NOTES
1. All works to be in accordance with Matamata-Piako District Council standards.
  2. Co-ordinates in terms of NZ Geodetic Datum MT Eden 2000.
  3. Levels in terms of the New Zealand Vertical Datum 2016.
  4. Benchmark: IT I DPS 29877 RL: 65.19.
  5. Boundaries are subject to final survey.

LEGEND	
	EX BDY
	PR BDY
	AVERAGE LOT SIZE 350m ²
	AVERAGE LOT SIZE 500m ²
	AVERAGE LOT SIZE 800m ²
	RETIREMENT VILLAGE
	COMMERCIAL ZONE
	GREEN SPACE
	SW RESERVE
	WW RESERVE

B	FAST TRACK APP	MKS	04/2025
A	FAST TRACK APP	MKS	04/2025
Rev	Description	By	Date
		By	Date
Survey	MAVEN		05/2024
Design	MKS		11/2024
Drawn	MKS		11/2024
Checked	DJM		04/2025



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Project  
**ASHBOURNE  
RESIDENTIAL  
FOR  
MATAMATA  
DEVELOPMENTS LTD**

Title  
**PROPOSED  
MASTERPLAN**

Project no.	289001		
Scale	1:1000 @ A3		
Cad file	C120-MASTER PLAN.DWG		
Drawing no.	C120-1	Rev	<b>B</b>

RESOURCE CONSENT





OLIVE PLACE

LOT 3  
DP 404835

LOT 9  
DP 562902

LOT 13  
DP 562902

LOT 14  
DP 562902

LOT# 4004  
5080m²  
(SW RESERVE)

LOT# 403  
800m²

LOT# 402  
800m²

LOT# 401  
800m²

LOT# 400  
800m²

LOT# 399  
800m²

LOT# 398  
800m²

LOT# 397  
799m²

LOT#3013  
7068m²

ROAD 4

ROAD TO BE  
VESTED TO  
MPDC

LOT# 440  
594m²

LOT# 441  
590m²

LOT# 439  
496m²

LOT# 442  
494m²

LOT# 438  
496m²

LOT# 443  
494m²

LOT# 437  
496m²

LOT# 444  
494m²

LOT# 436  
496m²

LOT# 445  
494m²

LOT# 435  
495m²

LOT# 446  
494m²

LOT# 434  
495m²

LOT# 447  
494m²

LOT# 433  
500m²

LOT# 432  
479m²

LOT# 431  
472m²

LOT# 430  
500m²

NOTES

1. All works to be in accordance with Matamata-Piako District Council standards.

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3. Levels in terms of the New Zealand Vertical Datum 2016.

4. Benchmark: IT I DPS 29877 RL: 65.19.

5. Boundaries are subject to final survey.

LEGEND

EX BDY

PR BDY

AVERAGE LOT SIZE 350m²

AVERAGE LOT SIZE 500m²

AVERAGE LOT SIZE 800m²

RETIREMENT VILLAGE

COMMERCIAL ZONE

GREEN SPACE

SW RESERVE

WW RESERVE

B	FAST TRACK APP	MKS	04/2025
A	FAST TRACK APP	MKS	04/2025
Rev	Description	By	Date
Survey	MAVEN		05/2024
Design	MKS		11/2024
Drawn	MKS		11/2024
Checked	DJM		04/2025

M

MAVEN

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New Zealand

Project

**ASHBOURNE  
RESIDENTIAL  
FOR  
MATAMATA  
DEVELOPMENTS LTD**

Title

**PROPOSED  
MASTERPLAN**

Project no.	289001		
Scale	1:1000 @ A3		
Cad file	C120-MASTER PLAN.DWG		
Drawing no.	C120-2	Rev	<b>B</b>

RESOURCE CONSENT

DATE: 4/2/25 FILE PATH: F:\MVEN\HAMILTON6 - PROJECTS\289001 - STATION ROAD\7. DRAWING\11. ASHBOURNE RESIDENTIAL\C120-MASTER PLAN.DWG



LOT# 4005  
8329m²  
(SW RESERVE)

ROAD 2

LOT 5  
DP 365568

LOT# 492  
839m²

LOT# 491  
840m²

LOT# 490  
826m²

LOT# 489  
769m²

LOT# 488  
782m²

LOT 18  
DP 386534

LOT# 508  
504m²

LOT# 507  
488m²

LOT# 500  
484m²

LOT# 499  
413m²

LOT# 501  
502m²

LOT# 498  
480m²

LOT# 493  
553m²

LOT# 487  
737m²

LOT# 486  
803m²

LOT 20  
DP 386534

LOT# 509  
500m²

LOT# 506  
489m²

LOT# 502  
551m²

LOT# 497  
490m²

LOT# 494  
526m²

LOT# 510  
500m²

LOT# 505  
539m²

LOT# 504  
507m²

LOT# 503  
504m²

LOT# 496  
504m²

LOT# 495  
496m²

LOT# 485  
801m²

LOT# 484  
801m²

LOT 24  
DP 386534

ROAD 3

LOT# 3014  
10110m²

LOT# 455  
520m²

LOT# 473  
468m²

LOT# 472  
479m²

LOT# 471  
494m²

LOT# 470  
448m²

LOT# 454  
517m²

LOT# 465  
471m²

LOT# 466  
433m²

LOT# 467  
452m²

LOT# 469  
452m²

LOT# 453  
517m²

LOT# 464  
464m²

LOT# 463  
460m²

LOT# 462  
460m²

LOT# 468  
462m²

LOT# 452  
517m²

LOT# 460  
623m²

LOT# 461  
423m²

LOT# 451  
517m²

LOT# 450  
517m²

LOT# 449  
517m²

LOT# 459  
702m²

LOT# 458  
402m²

LOT# 483  
801m²

LOT# 482  
801m²

LOT# 481  
799m²

LOT# 480  
800m²

LOT# 479  
799m²

LOT# 478  
796m²

LOT# 477  
794m²

LOT 26  
DP 386534

LOT 28  
DP 386534

ELDONWOOD DRIVE

ROAD TO BE  
VESTED TO  
MPDC

JOAL LOT# 3028 - 222m²

JOAL LOT# 3021 - 109m²

JOAL LOT# 3026 - 125m²

JOAL LOT# 3025 - 297m²

ROAD 1

LOT# 3013  
7072m²

RESOURCE CONSENT

- NOTES
1. All works to be in accordance with Matamata-Piako District Council standards.
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  4. Benchmark: IT I DPS 29877 RL: 65.19.
  5. Boundaries are subject to final survey.

LEGEND

	EX BDY
	PR BDY
	AVERAGE LOT SIZE 350m ²
	AVERAGE LOT SIZE 500m ²
	AVERAGE LOT SIZE 800m ²
	RETIREMENT VILLAGE
	COMMERCIAL ZONE
	GREEN SPACE
	SW RESERVE
	WW RESERVE

B	FAST TRACK APP	MKS	04/2025
A	FAST TRACK APP	MKS	04/2025
Rev	Description	By	Date
		By	Date
Survey	MAVEN		05/2024
Design	MKS		11/2024
Drawn	MKS		11/2024
Checked	DJM		04/2025

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Project  
**ASHBOURNE  
RESIDENTIAL  
FOR  
MATAMATA  
DEVELOPMENTS LTD**

Title  
**PROPOSED  
MASTERPLAN**

Project no.	289001		
Scale	1:1000 @ A3		
Cad file	C120-MASTER PLAN.DWG		
Drawing no.	C120-3	Rev	<b>B</b>





LOT 14  
DP 562902

LOT 16  
DP 562902

LOT 17  
DP 562902

LOT 18  
DP 562902

HIGHGROVE AVENUE

ROAD 2

ROAD TO BE  
VESTED TO  
MPDC

ROAD 5

ROAD 9

ROAD TO BE  
VESTED TO  
MPDC

- NOTES
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  3. Levels in terms of the New Zealand Vertical Datum 2016.
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LEGEND

	EX BDY
	PR BDY
	AVERAGE LOT SIZE 350m ²
	AVERAGE LOT SIZE 500m ²
	AVERAGE LOT SIZE 800m ²
	RETIREMENT VILLAGE
	COMMERCIAL ZONE
	GREEN SPACE
	SW RESERVE
	WW RESERVE

B	FAST TRACK APP	MKS	04/2025
A	FAST TRACK APP	MKS	04/2025
Rev	Description	By	Date
Survey	MAVEN		05/2024
Design	MKS		11/2024
Drawn	MKS		11/2024
Checked	DJM		04/2025



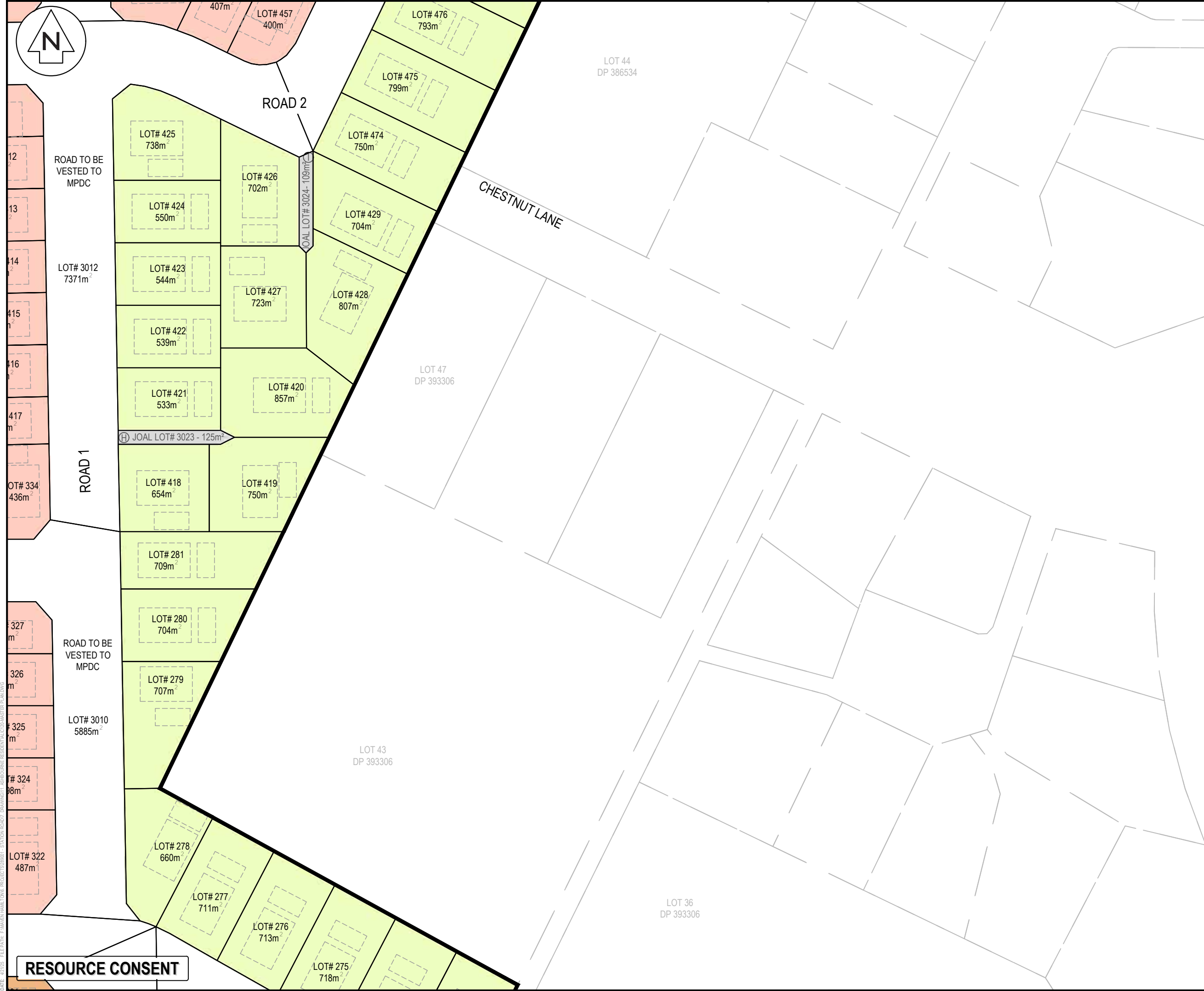
Project  
**ASHBOURNE  
RESIDENTIAL  
FOR  
MATAMATA  
DEVELOPMENTS LTD**

Title  
**PROPOSED  
MASTERPLAN**

Project no.	289001		
Scale	1:1000 @ A3		
Cad file	C120-MASTER PLAN.DWG		
Drawing no.	C120-4	Rev	<b>B</b>

RESOURCE CONSENT

DATE: 4/2/25 FILEPATH: F:\MVEN\HAMILTON6 - PROJECTS\88001 - STATION ROAD.DWG DRAWING: 11 ASHBOURNE RESIDENTIAL C120-MASTER PLAN.DWG



NOTES

- All works to be in accordance with Matamata-Piako District Council standards.
- Co-ordinates in terms of NZ Geodetic Datum MT Eden 2000.
- Levels in terms of the New Zealand Vertical Datum 2016.
- Benchmark: IT I DPS 29877 RL: 65.19.
- Boundaries are subject to final survey.

LEGEND

	EX BDY
	PR BDY
	AVERAGE LOT SIZE 350m ²
	AVERAGE LOT SIZE 500m ²
	AVERAGE LOT SIZE 800m ²
	RETIREMENT VILLAGE
	COMMERCIAL ZONE
	GREEN SPACE
	SW RESERVE
	WW RESERVE

B	FAST TRACK APP	MKS	04/2025
A	FAST TRACK APP	MKS	04/2025
Rev	Description	By	Date
		By	Date
Survey	MAVEN		05/2024
Design	MKS		11/2024
Drawn	MKS		11/2024
Checked	DJM		04/2025

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Project

**ASHBOURNE  
RESIDENTIAL  
FOR  
MATAMATA  
DEVELOPMENTS LTD**

Title

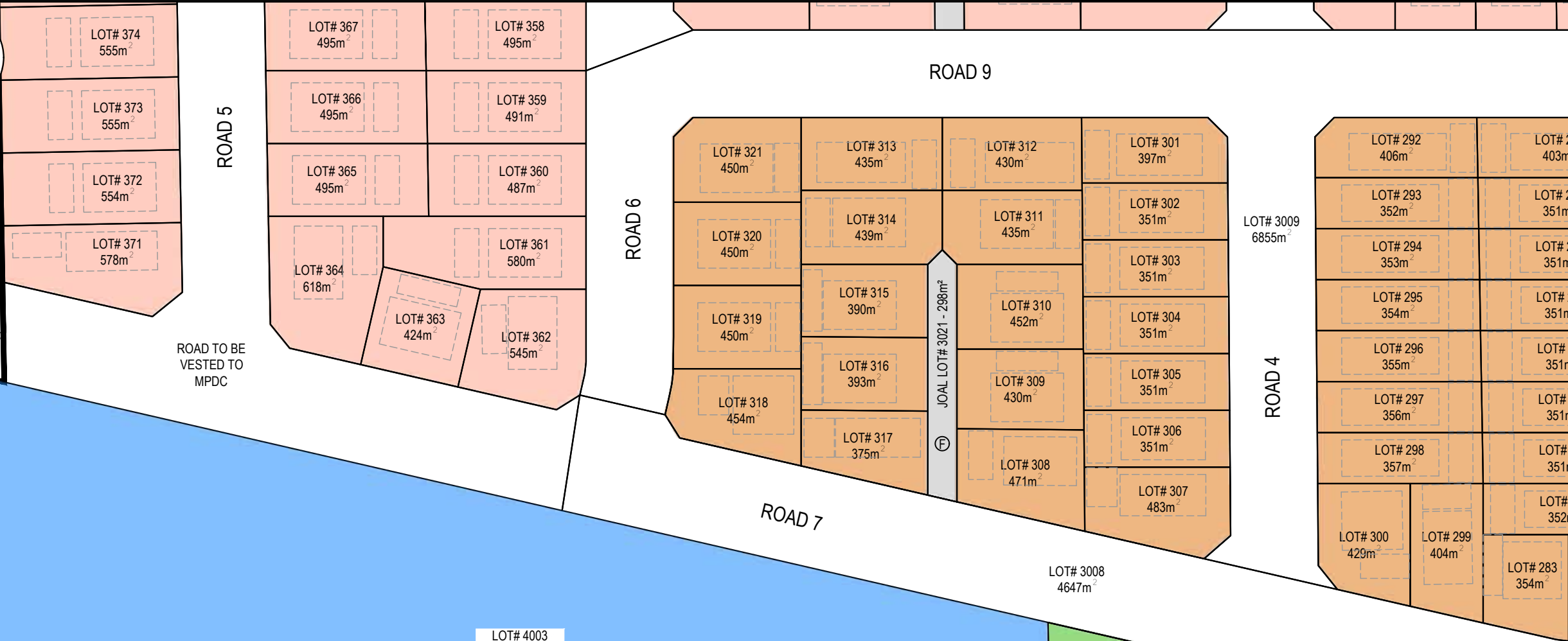
**PROPOSED  
MASTERPLAN**

Project no.	289001		
Scale	1:1000 @ A3		
Cad file	C120-MASTER PLAN.DWG		
Drawing no.	C120-5	Rev	<b>B</b>

DATE: 4/2/25 FILE PATH: F:\Maven\Hamilton\6. PROJECTS\289001 - STATION ROAD\7. DRAWING\11. ASHBORNE RESIDENTIAL\C120-MASTER PLAN.DWG

RESOURCE CONSENT





- NOTES
1. All works to be in accordance with Matamata-Piako District Council standards.
  2. Co-ordinates in terms of NZ Geodetic Datum MT Eden 2000.
  3. Levels in terms of the New Zealand Vertical Datum 2016.
  4. Benchmark: IT I DPS 29877 RL: 65.19.
  5. Boundaries are subject to final survey.

LEGEND

	EX BDY
	PR BDY
	AVERAGE LOT SIZE 350m ²
	AVERAGE LOT SIZE 500m ²
	AVERAGE LOT SIZE 800m ²
	RETIREMENT VILLAGE
	COMMERCIAL ZONE
	GREEN SPACE
	SW RESERVE
	WW RESERVE

B	FAST TRACK APP	MKS	04/2025
A	FAST TRACK APP	MKS	04/2025
Rev	Description	By	Date
		By	Date
Survey	MAVEN		05/2024
Design	MKS		11/2024
Drawn	MKS		11/2024
Checked	DJM		04/2025

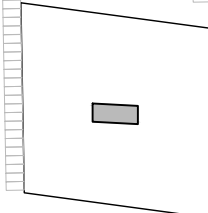


Project  
**ASHBOURNE  
RESIDENTIAL  
FOR  
MATAMATA  
DEVELOPMENTS LTD**

Title  
**PROPOSED  
MASTERPLAN**

Project no.	289001
Scale	1:1000 @ A3
Cad file	C120-MASTER PLAN.DWG
Drawing no.	C120-6
Rev	B

PLEASE REFER TO ASHBOURNE SOLAR  
FARM ENGINEERING DRAWINGS



**RESOURCE CONSENT**



NOTES

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LEGEND

	EX BDY
	PR BDY
	AVERAGE LOT SIZE 350m²
	AVERAGE LOT SIZE 500m²
	AVERAGE LOT SIZE 800m²
	RETIREMENT VILLAGE
	COMMERCIAL ZONE
	GREEN SPACE
	SW RESERVE
	WW RESERVE

B	FAST TRACK APP	MKS	04/2025
A	FAST TRACK APP	MKS	04/2025
Rev	Description	By	Date
Survey	MAVEN		05/2024
Design	MKS		11/2024
Drawn	MKS		11/2024
Checked	DJM		04/2025

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Project

**ASHBOURNE  
RESIDENTIAL  
FOR  
MATAMATA  
DEVELOPMENTS LTD**

Title

**PROPOSED  
MASTERPLAN**

Project no.	289001		
Scale	1:1000 @ A3		
Cad file	C120-MASTER PLAN.DWG		
Drawing no.	C120-7	Rev	<b>B</b>









DATE: 4/2/25 FILEPATH: F:\MVEN\HAMILTON6 PROJECTS\88001 - STATION ROAD.DWG DRAWING: 01 - ASHBOURNE RESIDENTIAL C120-MASTER PLAN.DWG

**RESOURCE CONSENT**





**LEGEND**

—	EX BDY
—	PR BDY
	AVERAGE LOT SIZE 350m ²
	AVERAGE LOT SIZE 500m ²
	AVERAGE LOT SIZE 800m ²
	RETIREMENT VILLAGE
	COMMERCIAL ZONE
	GREEN SPACE
	SW RESERVE
	WW RESERVE

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Title

**PROPOSED  
MASTERPLAN**

Project no.	289001		
Scale	1:1000 @ A3		
Cad file	C120-MASTER PLAN.DWG		
Drawing no.	C120-8	Rev	<b>B</b>

## RESOURCE CONSENT



FUTURE  
SOLAR  
FARM

ROAD 14

ROAD 10

ROAD 14

ROAD 15

ROAD 16

ROAD TO BE  
VESTED TO  
MPDC

ROAD TO BE  
VESTED TO  
MPDC

LOT 3  
DP 463448

- NOTES
1. All works to be in accordance with Matamata-Piako District Council standards.
  2. Co-ordinates in terms of NZ Geodetic Datum MT Eden 2000.
  3. Levels in terms of the New Zealand Vertical Datum 2016.
  4. Benchmark: IT I DPS 29877 RL: 65.19.
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LEGEND

- EX BDY  
PR BDY
- AVERAGE LOT SIZE 350m²  
AVERAGE LOT SIZE 500m²  
AVERAGE LOT SIZE 800m²  
RETIREMENT VILLAGE  
COMMERCIAL ZONE  
GREEN SPACE  
SW RESERVE  
WW RESERVE

B	FAST TRACK APP	MKS	04/2025
A	FAST TRACK APP	MKS	04/2025
Rev	Description	By	Date
		By	Date
Survey	MAVEN		05/2024
Design	MKS		11/2024
Drawn	MKS		11/2024
Checked	DJM		04/2025

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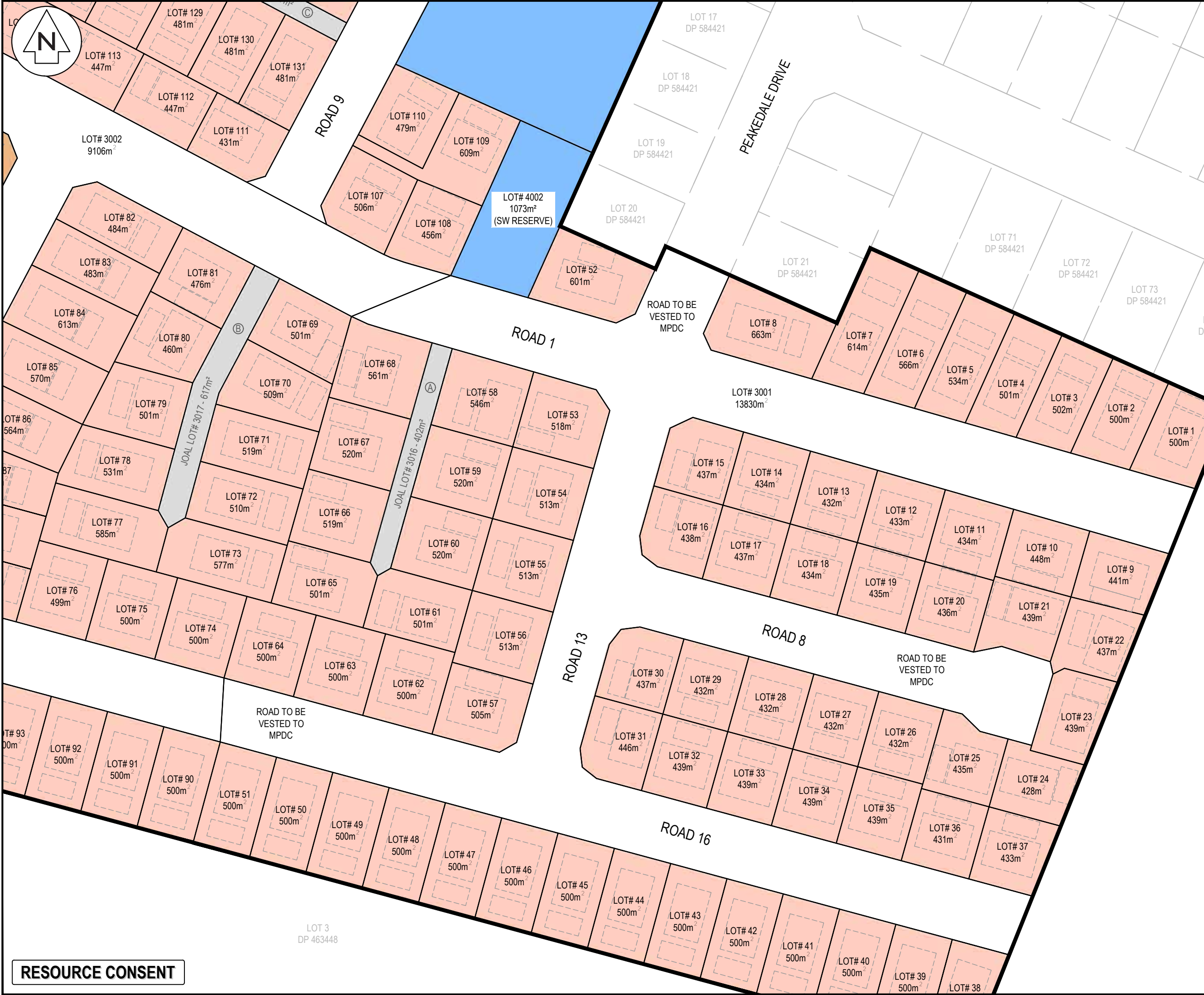
Project  
**ASHBOURNE  
RESIDENTIAL  
FOR  
MATAMATA  
DEVELOPMENTS LTD**

Title  
**PROPOSED  
MASTERPLAN**

Project no.	289001
Scale	1:1000 @ A3
Cad file	C120-MASTER PLAN.DWG
Drawing no.	C120-9
Rev	<b>B</b>

RESOURCE CONSENT





NOTES

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- Levels in terms of the New Zealand Vertical Datum 2016.
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LEGEND

	EX BDY
	PR BDY
	AVERAGE LOT SIZE 350m²
	AVERAGE LOT SIZE 500m²
	AVERAGE LOT SIZE 800m²
	RETIREMENT VILLAGE
	COMMERCIAL ZONE
	GREEN SPACE
	SW RESERVE
	WW RESERVE

B	FAST TRACK APP	MKS	04/2025
A	FAST TRACK APP	MKS	04/2025
Rev	Description	By	Date
		By	Date
Survey	MAVEN		05/2024
Design	MKS		11/2024
Drawn	MKS		11/2024
Checked	DJM		04/2025

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Project

**ASHBOURNE  
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FOR  
MATAMATA  
DEVELOPMENTS LTD**

Title

**PROPOSED  
MASTERPLAN**

Project no.	289001		
Scale	1:1000 @ A3		
Cad file	C120-MASTER PLAN.DWG		
Drawing no.	C120-10	Rev	<b>B</b>

DATE: 4/2/25 FILEPATH: F:\MVEN\HAMILTON6 - PROJECTS\88001 - STATION ROAD7 DRAWING\11 - ASHBOURNE RESIDENTIAL C120 MASTER PLAN.DWG

RESOURCE CONSENT





STATION ROAD

STATION ROAD

PROPOSED  
RETIREMENT VILLAGE

STAGE 6

STAGE 7

STAGE 8

STAGE 5

STAGE 4

STAGE 3

STAGE 2

STAGE 1

LOT 3 DP 463448

LOT 76 DP 597679

LOT 1 DP 463448

RESOURCE CONSENT

- NOTES
1. All works to be in accordance with Matamata-Piako District Council standards.
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  3. Levels in terms of the New Zealand Vertical Datum 2016.
  4. Benchmark: IT I DPS 29877 RL: 65.19.
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LEGEND

EX BDY  
STAGE BDY

B	FAST TRACK APP	MKS	04/2025
A	FAST TRACK APP	MKS	04/2025
Rev	Description	By	Date
	By	Date	
Survey	MAVEN	05/2024	
Design	MKS	04/2025	
Drawn	MKS	04/2025	
Checked	DJM	04/2025	

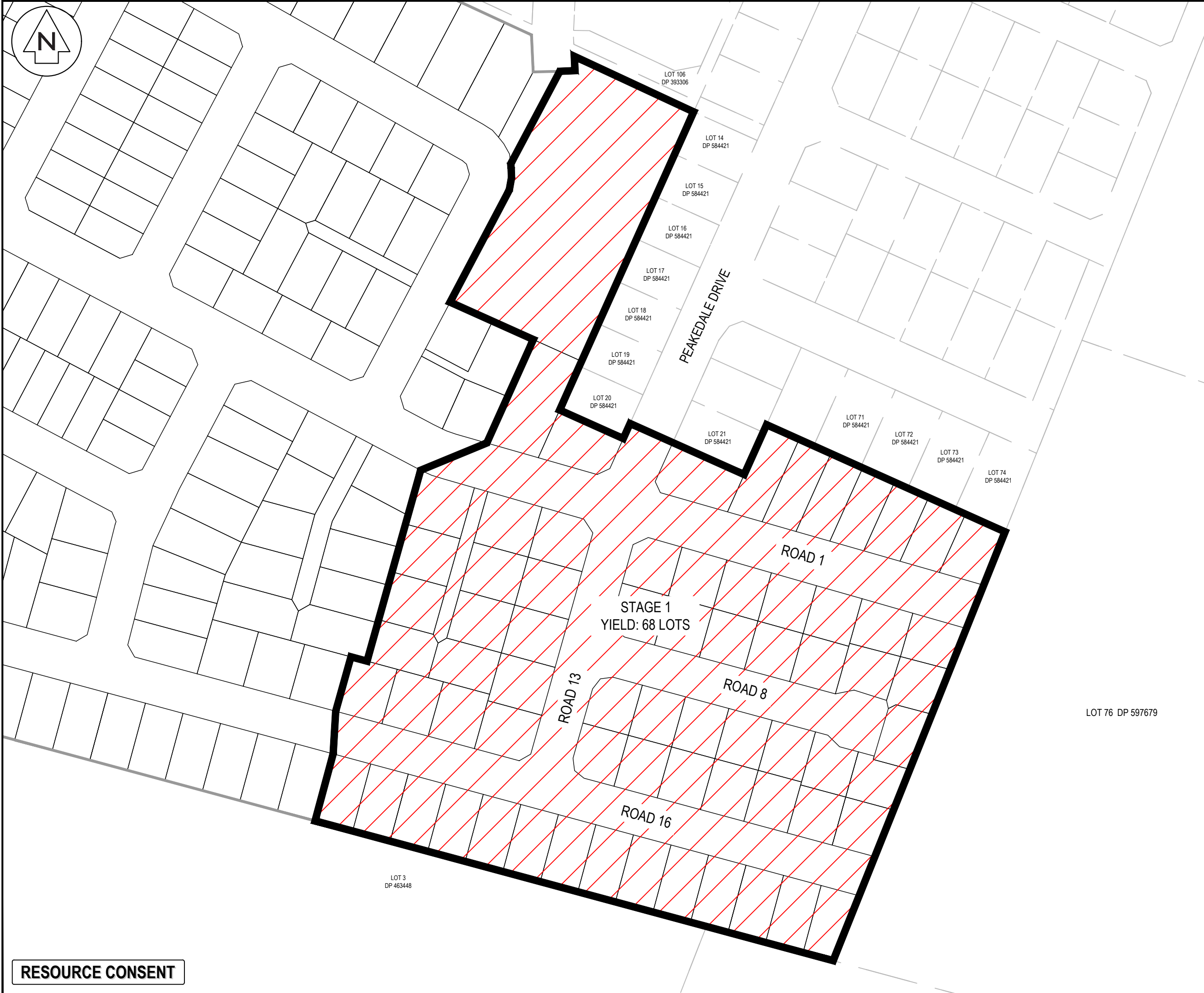
**M** Maven Waikato  
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Project  
**ASHBOURNE  
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FOR  
MATAMATA  
DEVELOPMENTS LTD**

Title  
**PROPOSED  
STAGING  
OVERVIEW PLAN**

Project no.	289001		
Scale	1:6000 @ A3		
Cad file	C130-STAGING PLAN.DWG		
Drawing no.	C130	Rev	B





NOTES

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3. Levels in terms of the New Zealand Vertical Datum 2016.

4. Benchmark: IT I DPS 29877 RL: 65.19.

5. Boundaries are subject to final survey.

LEGEND

EX BDY

STAGE BDY

B	FAST TRACK APP	MKS	04/2025
A	FAST TRACK APP	MKS	04/2025
Rev	Description	By	Date
	By	Date	
Survey	MAVEN	05/2024	
Design	MKS	04/2025	
Drawn	MKS	04/2025	
Checked	DJM	04/2025	

M

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Project

ASHBOURNE

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FOR

MATAMATA

DEVELOPMENTS LTD

Title

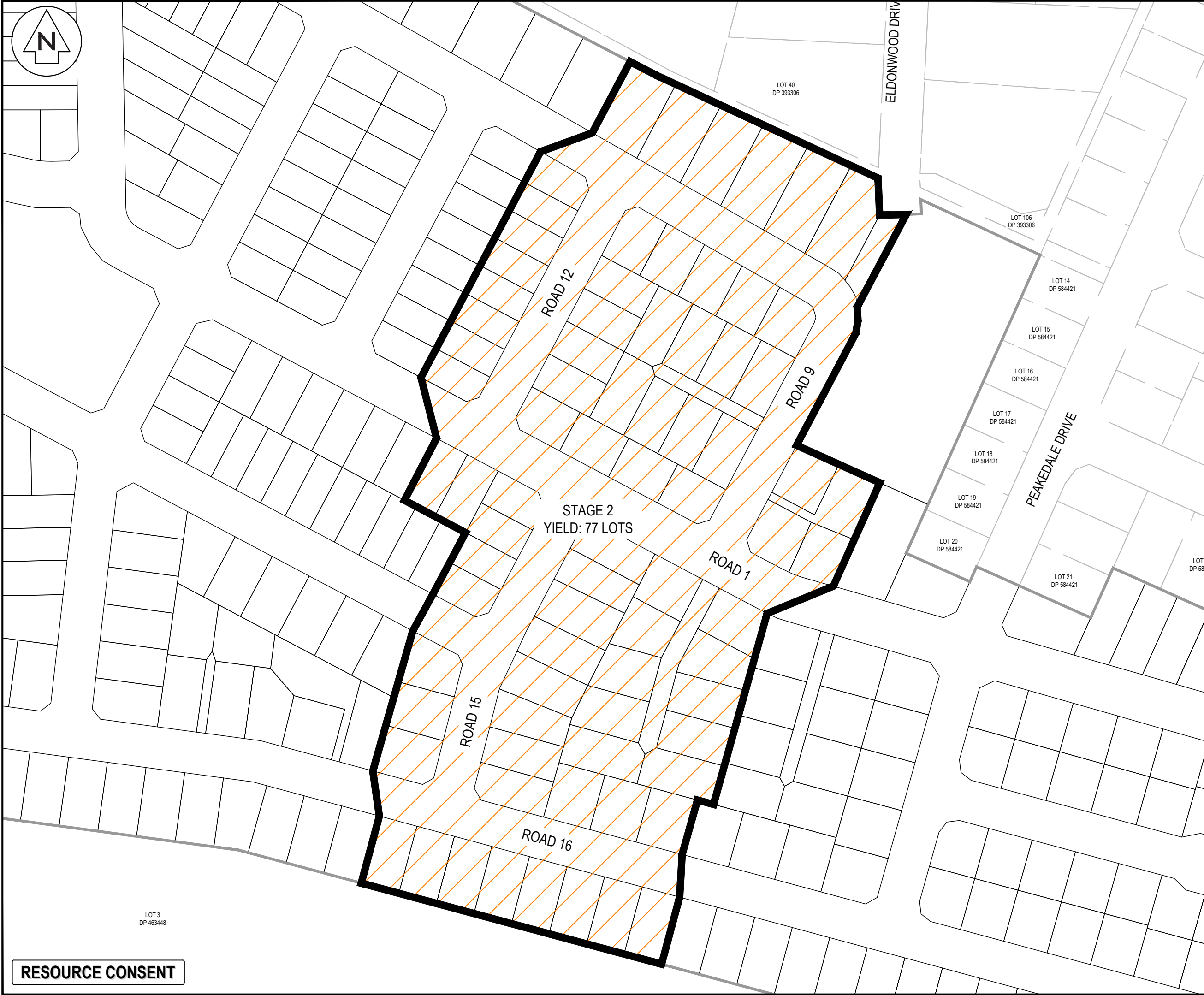
PROPOSED

STAGING PLAN

STAGE 1

Project no.	289001		
Scale	1:1500 @ A3		
Cad file	C130-STAGING PLAN.DWG		
Drawing no.	C130-1	Rev	B

RESOURCE CONSENT




NOTES

1. All works to be in accordance with Matamata-Piako District Council standards.
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3. Levels in terms of the New Zealand Vertical Datum 2016.
4. Benchmark: IT I DPS 29877 RL: 65.19.
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LEGEND

EX BDY  
STAGE BDY

B	FAST TRACK APP	MKS	04/2025
A	FAST TRACK APP	MKS	04/2025
Rev	Description	By	Date
Survey	MAVEN		05/2024
Design	MKS		04/2025
Drawn	MKS		04/2025
Checked	DJM		04/2025



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New Zealand

Project

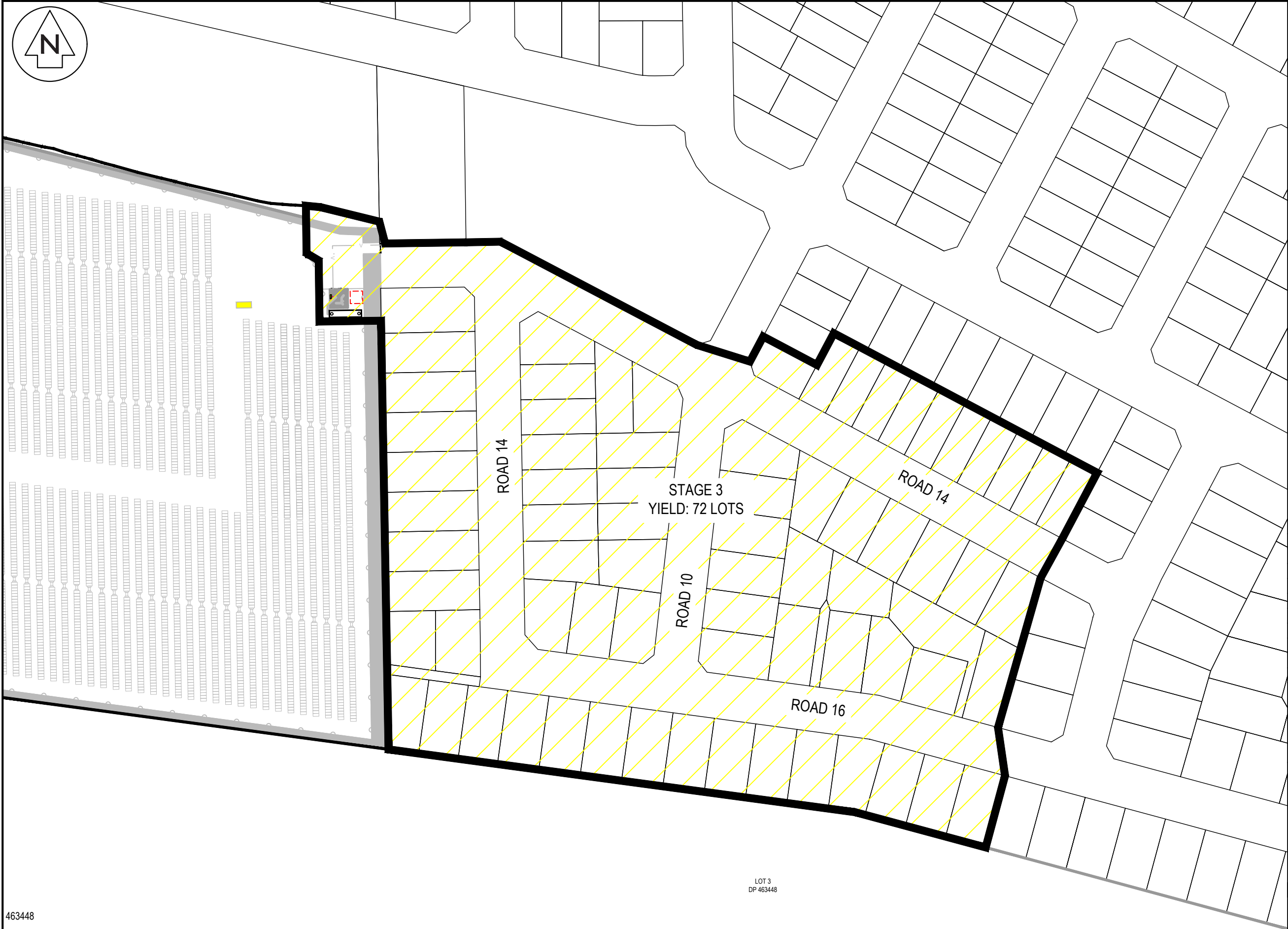
**ASHBOURNE  
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FOR  
MATAMATA  
DEVELOPMENTS LTD**

Title

**PROPOSED  
STAGING PLAN  
STAGE 2**

Project no.	289001		
Scale	1:1500 @ A3		
Cad file	C130-STAGING PLAN.DWG		
Drawing no.	C130-2	Rev	<b>B</b>






NOTES

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3. Levels in terms of the New Zealand Vertical Datum 2016.
4. Benchmark: IT I DPS 29877 RL: 65.19.
5. Boundaries are subject to final survey.

LEGEND

EX BDY  
STAGE BDY

B	FAST TRACK APP	MKS	04/2025
A	FAST TRACK APP	MKS	04/2025
Rev	Description	By	Date
		By	Date
Survey	MAVEN		05/2024
Design	MKS		04/2025
Drawn	MKS		04/2025
Checked	DJM		04/2025



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New Zealand

Project

**ASHBOURNE  
RESIDENTIAL  
FOR  
MATAMATA  
DEVELOPMENTS LTD**

Title

**PROPOSED  
STAGING PLAN  
STAGE 3**

Project no.	289001		
Scale	1:1500 @ A3		
Cad file	C130-STAGING PLAN.DWG		
Drawing no.	C130-3	Rev	<b>B</b>

DATE: 4/2/25 FILEPATH: F:\Maven\Hamilton\6. PROJECTS\88001 - STATION ROAD\ DRAWING\11. ASHBORNE RESIDENTIAL\ C130-STAGING PLAN.DWG

463448

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