



DECISION OF THE QUEENSTOWN LAKES DISTRICT COUNCIL

UNDER s104 RESOURCE MANAGEMENT ACT 1991

Applicant:	Ayrburn Precinct Limited
RM reference:	RM230425
Application:	Application under Section 88 of the Resource Management Act 1991 (RMA) to construct and operate an events venue known as “The Haybarn” on Lot 3 DP 540788, an overflow carpark and bus stop on Lot 4 DP 540788 and a service access on Lot 2 DP 540788, to undertake associated earthworks and landscaping.
Location:	341 and 339 Arrowtown - Lake Hayes Road, Arrowtown, 1 Ayr Avenue, Arrowtown
Legal Description:	Lot 2 Deposited Plan 540788 Held in Record of Title 929489, Lot 3 Deposited Plan 540788 Held in Record of Title 929490 and Lot 4 Deposited Plan 540788 Held in Record of Title 929491
Operative Zoning:	Rural General
Proposed Zoning;	Wakatipu Basin Rural Amenity Zone (Landscape Character Unit (LCU) 8 - Speargrass Flat; and located within the Lake Hayes Catchment)
Activity Status:	Non Complying
Notification Decision:	Publicly Notified
Delegated Authority:	Wendy Baker, Independent Commissioner
Final Decision:	GRANTED SUBJECT TO CONDITIONS
Date Decisions Issued:	24 April 2024

SUMMARY OF DECISIONS

1. Pursuant to Section 104 of the RMA, consent is **GRANTED SUBJECT TO CONDITIONS** outlined in **Appendix 1** of this decision imposed pursuant to Section 108 of the RMA. The consent only applies if the conditions outlined are met. To reach the decision to grant consent the application was considered (including the full and complete records available in Council’s file and responses to any queries) by Wendy Baker, Independent Commissioner, as delegate for the Council.

1. PROPOSAL AND SITE DESCRIPTION

Section 2 of the Section 42A (S42A) report prepared for Council (attached as Appendix 2) references a full description of the proposal, the site and surrounds and the consenting history.

2. NOTIFICATION, SUBMISSIONS AND OBLIGATION TO HOLD A HEARING

The application was publicly notified on 10th August 2023.

No submitters have indicated they wish to be heard if a hearing is held and the consent authority does not consider a hearing is necessary.

A decision under section 100 of the Act to not hold a hearing was made by Team Leader Alana Standish on 23 April 2024.

3. THE PLANNING FRAMEWORK

This application must be considered in terms of Section 104 of the Resource Management Act 1991. Section 9 of the S42A report outlines S104 of the Act in more detail.

The application must also be assessed with respect to Part 2 of the Act which is to promote the sustainable management of natural and physical resources. Section 10 of the S42A report outlines Part 2 of the Act.

3.1.1 OPERATIVE DISTRICT PLAN

The subject site is zoned Rural General in the ODP. There are no relevant rules under the ODP as the relevant rules of Chapter 5, 14 and 22 are treated as inoperative given the relevant rules under the PDP are treated as operative pursuant to section 86F.

3.1.2 PROPOSED DISTRICT PLAN

The subject site is zoned Wakatipu Basin Rural Amenity Zone by the PDP and the proposed activity requires resource consent under the PDP for the following reasons:

Rules with legal effect (s.86B), that are not yet treated as operative under s.86F are:

Wakatipu Basin Rural Amenity Zone – Chapter 24

- A **restricted discretionary** activity resource consent pursuant to Rule 24.4.18 in regard to the construction of buildings for non-residential activities. The proposed Haybarn is commercial in nature.
- A **non-complying** activity pursuant to Rule 24.4.23 in regard to a commercial activity not otherwise provided for in Table 24.1. The application proposes the Haybarn Venue to be used as a commercial activity to provide for functions on site.
- A **restricted discretionary** activity pursuant to Rule 24.5.6 in regard to the building coverage of all buildings on a site not subject to Rule 24.5.4 not exceeding 15% of net site area, or 500m², whichever is the lesser. The proposed Haybarn Venue and its accessory buildings have a building coverage of 936m².
- A **restricted discretionary** activity resource consent pursuant to Rule 24.5.8.1 in regards to a breach to the maximum height of 6.5 metres by the proposed chimney. Chimneys and other structures can exceed the height limit by up to 1.5m, provided that no dimension in any direction exceeds 1.1m. In this case, the chimneys are 1.6m wide, and 3.05m in length and exceeds the 6.5m height limit by 0.8m and the turret contains windows and is 1.4m wide and 1.4m in length and exceeds the height limit by 1.4m.

Earthworks - Chapter 25

- A **restricted discretionary** activity pursuant to Rule 25.4.2 for earthworks exceeding maximum volume of 400m³ in the Wakatipu Basin Rural Amenity Zone, as set out in Rule 25.5.4. A total of 16,600m³ is proposed. Matters of discretion are listed in 25.7.1.
- A **restricted discretionary** activity pursuant to 25.5.18.1 for earthworks not supported by retaining walls, 300mm plus a batter slope angle of a maximum of 1:3 (vertical: horizontal), as measured from the crest of the cut. A batter slope of 1:2 is proposed next to the overflow carpark. Matters of discretion are listed in 25.7.1.
- A **restricted discretionary** activity pursuant to 25.5.21 for no more than 300m³ of Cleanfill shall be transported by road to or from an area subject to Earthworks. 6,600m³ of cleanfill is proposed, with 2000m³ being imported to site and 4,600m³ being removed from site. Discretion is restricted to the matters in 25.7.1.3, 25.7.1.7, and 25.7.1.9.

Additional Post Lodgement Rules that are treated as operative under s86F:

Earthworks - Chapter 25

- A **restricted discretionary** activity pursuant to Rule 25.5.11 for earthworks over a contiguous area of land shall not exceed the following area:
 - 2,500m² where the slope is 10° or greater.
 - 10,000m² where the slope is less than 10°

Several areas of earthworks are proposed over the subject sites, with a variety of slopes. The total area of earthworks proposed is 13,000m². Matters of discretion are listed in 25.7.1.

- A **restricted discretionary** activity pursuant to Rule 25.5.15 for cut depth that exceeds 2.4m. A maximum cut depth of 5.0m is proposed. Matters of discretion are listed in 25.7.1.
- A **restricted discretionary** activity pursuant to Rule 25.5.18(b) for earthworks not supported by retaining walls, 300mm plus a batter slope angle of a maximum of 1:3 (vertical: horizontal), as measured from the crest of the cut. A batter slope of 1:2 is proposed next to the overflow carpark. Matters of discretion are listed in 25.7.1.
- A **restricted discretionary** activity pursuant to Rule 25.5.21 for no more than 300m³ of Cleanfill shall be transported by road to or from an area subject to Earthworks. 8,900m³ of cleanfill is proposed, with 2000m³ being imported to site and 6,900m³ being removed from site. Discretion is restricted to the matters in 25.7.1.3, 25.7.1.7, and 25.7.1.9

Transport – Chapter 29

- A **restricted discretionary** activity pursuant to Rule 29.4.11 for high traffic generating activities including new land-use and changes in use that exceeds the traffic generation standards or thresholds set out in Table 29.5. In this case, 50 or more proposed carparking spaces. Discretion is restricted to effects on the transport network in relation to:
 - a) Integration with the existing transport network;
 - b) Measures to reduce traffic generation;
 - c) Measures to facilitate modal shift
 - d) Any functional and operational needs of the activity to locate in that environment;
 - e) Any positive effects on the efficient use or amenity of the site or overall subdivision layout;
 - f) Any positive effects on the urban design quality of the land use or subdivision activity; and
 - g) Any recommendations from and Integrated Transport Assessment.

A 53 park carpark is proposed for overflow carparking for commercial activities in the Ayrburn Domain.

- A **restricted discretionary** activity pursuant to Rule 29.5.10 for the use of an unsealed parking area. Matters of discretion are restricted to:
 - effects on the efficient use and maintenance, safety, and amenity of the site and of the transport network, including the pedestrian and cycling environment.

It is proposed to construct a gravel covered, overflow carpark.

- A **restricted discretionary** activity pursuant to Rule 29.5.13 all vehicular access shall be in accordance with Table 3.2 (Road Design Standards) of the QLDC Land Development and Subdivision Code of Practice 2018. Matters of discretion are restricted to:
 - a. Effects, including positive effects, on the safety, efficiency, and amenity of the site and of the transport network, including the pedestrian and cycling environment.
 - b. The design of the access, including the width of the formed and legal width.
 - c. The on-going management and maintenance of the access.
 - d. Urban design outcomes, including any positive effects on urban design quality.
 - e. The vesting of the access in Council.
 - f. Any positive effects on achieving planned intensification and compact urban form.

Table 3.2 requires the minimum width of accessways to be 5.5m which is for two-way traffic. A new exit from Car Park 3 on to Ayr Avenue is proposed for one-way traffic with a width of 4m.

- A **restricted discretionary** activity pursuant to Rule 29.5.15 for design of vehicle crossings in the Wakatipu Basin Rural Amenity Zone shall comply with Diagram 2 and with either Diagram 8, 9, or 10 of Schedule 29.2. Matters of discretion are restricted to:
 - effects on safety, efficiency, and amenity of the transport network, including the pedestrian and cycling environment.

The proposed vehicle crossings do not meet the requirements for vehicle crossing in Rural Zones.

- A **restricted discretionary** activity pursuant to Rule 29.5.20 for places of assembly or places of entertainment: (a) floor area: 2 Mobility Carparks Park shall be provided for with floor areas 101 – 1,000m² or (b) Number of Seats: 1-100 seats = 1 space, 101-1000 seats = 2 spaces. Whichever of (a) or (b) is the greater shall apply. Discretion is restricted to:
 - a. The number, location, and design of mobility parking spaces, including the accessibility of the spaces to the building(s); and
 - b. Effectiveness of the associated signage.

One mobility carpark is provided. The proposed public floor area of the Venue is 432m² and will include up to 180 seats.

Overall, the application is considered a **non-complying** activity.

3.13 NATIONAL ENVIRONMENTAL STANDARD FOR ASSESSING AND MANAGING CONTAMINANTS IN SOIL TO PROTECT HUMAN HEALTH

Based on the applicants review of Council records and site investigations the proposed activity is on a piece of land that is a HAIL site.

Section 5.2 of the applicant's AEE describes the Detailed Site Investigation and remediation work undertaken for RM180584 and RM181597. This work was also relied upon for RM200791, which approved the establishment of a residential building platform in the proposed location of The Haybarn Venue of this application. Site investigations include:

- EC Otago Ltd, 2016. Preliminary Site Investigation for Soil Contamination - Ayrburn Farm and Waterfall Park Residential Development, Wakatipu. Job Reference: 16-16 Waterfall.
- EC Otago Ltd, 2018. Detailed Site Investigation - 341-345 Arrowtown-Lake Hayes Road, Wakatipu. Job Reference: 54-17 Ayrburn.
- EC Otago Ltd, 2020. Site Remedial Action Plan v7 - 341 – 345 Arrowtown-Lake Hayes Road, Wakatipu. Job Reference: 112-18 Ayrburn Remediation.



Figure 2: Aerial view of subject site showing the areas on the site that have been remediated (A-C) and the encapsulation cell in relation to the proposed venue location (purple). The “possible landfill” (HAIL.01692.05 on the ORC HAIL database) is shown in yellow.

The EC Otago Ltd, 2016 PSI included sampling across the property that identified the only areas of contamination were associated with the farm homestead, the farmyard precinct and adjacent landfill area. The contaminated soil (the encapsulation cell) is well contained some distance from the earthworks and construction proposed in this application. The EC Otago Ltd, 2018 Detailed Site Investigation and 2020 investigation has confirmed that sites A – C have been remediated.

Possible Landfill

The proposal includes earthworks to construct an overflow carpark on Lot 4. A possible landfill area was identified and is recorded on the HAIL database (HAIL.01692.05) in the proposed location of the overflow carpark.

The former Ayrburn Farm Manager, occasionally observed metal scraps while grading the farm road and considered that this may indicate an old farm landfill. This observation led to the identification of the “possible landfill” being entered as HAIL.01692.05 on the ORC HAIL database. Soil samples collected during the EC Otago Ltd, 2016, PSI site inspection showed no signs of elevated contaminants. In May 2020 an additional investigation was undertaken of the possible landfill area with three trenches transecting the area excavated to a depth of 0.75 – 1.5 m. No indications of buried materials, rubble or rubbish were uncovered.

Based on these results, EC Otago Ltd conclude there is no evidence that this area was used as a landfill but rather earthworks have occurred in this area. As a result, the entry for HAIL.01692.05 on the ORC

HAIL database has been updated to “Verified Non-HAIL” for the possible landfill site. Therefore, NES does not apply because the PSI meets 6(3)(b) because the activity described in the HAIL has not been undertaken on the piece of land.

Based on the findings of the PSI and DSI, the May 2020 investigation and the remedial works undertaken, EC Otago Ltd conclude that only the areas A to C shown Figure 2 should be considered HAIL sites.

4. SUMMARY OF EVIDENCE HEARD

This is not applicable in this case as there has not been a hearing.

5. PRINCIPAL ISSUES IN CONTENTION

The principal issues arising from the application, section 42A report and content of submissions are:

The noise generated by the operation of the Haybarn Venue, landscaping, land use and earthworks are blurring the definition between zones and Landscape Character Units, stormwater management and the improvement of water quality in the Lake Hayes Catchment.

The findings relating to these principal issues of contention are outlined in the Council’s S42A report.

6. ASSESSMENT

6.1 Actual and Potential Effects (s104(1)(a))

Actual and potential effects on the environment have been addressed in Section 8.1.2 of the S42A report prepared for Council and provides a full assessment of the application. Where relevant conditions of consent can be imposed under section 108 of the RMA as required to avoid, remedy or mitigate adverse effects.

6.2 RELEVANT DISTRICT PLAN PROVISIONS (s104(1)(b)(vi))

As outlined in detail in the S42A report, overall the proposed development is not contrary to the relevant policies and objectives of the District Plan.

6.3 PARTICULAR RESTRICTIONS FOR NON-COMPLYING ACTIVITIES (s104(D))

With respect to the assessment above, the first threshold test for a non-complying activity required under Section 104D has been met in that the application is not considered to create any actual or potential adverse effects which are more than minor in extent.

With respect to the second threshold test under Section 104D it is concluded that the application can pass through the second gateway test given that the proposal is not considered to contrary to the relevant policies and objectives of the District Plan. On this basis discretion exists to grant consent for this non-complying activity.

6.4 PART 2 OF THE RMA

In terms of Part 2 of the RMA, the proposal is considered to be in accordance with the purpose of the Resource Management Act 1991 as outlined in further detail in Section 10 of the S42A report.

7. DECISION ON LAND USE CONSENT PURSUANT TO SECTION 104 OF THE RMA

Pursuant to section 104 of the RMA this consent is **granted** subject to the conditions stated in *Appendix 1* of this decision imposed pursuant to Section 108 of the RMA.

8. OTHER MATTERS

Local Government Act 2002: Development Contributions

In granting this resource consent, pursuant to the Local Government Act 2002 and the Council's Policy on Development Contributions the Council has identified that a Development Contribution is required. Payment will be due prior to commencement of the consent, except where a Building Consent is required when payment shall be due prior to the issue of the code of compliance certificate.

Administrative Matters

The costs of processing the application are currently being assessed and you will be advised under separate cover whether further costs have been incurred.

You are responsible for ensuring compliance with the conditions of this resource consent found in Appendix 1. The Council will contact you in due course to arrange the required monitoring. It is suggested that you contact the Council if you intend to delay implementation of this consent or reschedule its completion.

This resource consent is not a consent to build under the Building Act 2004. A consent under this Act must be obtained before construction can begin.

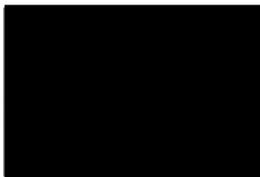
Please contact the Council when the conditions have been met or if you have any queries with regard to the monitoring of your consent.

This resource consent must be exercised within five years from the date of this decision subject to the provisions of Section 125 of the RMA.

If you have any enquiries please contact us at resourceconsent@qldc.govt.nz.

Report prepared by

Decision made by



Courtney Briggs
PLANNER



Wendy Baker
INDEPENDENT COMMISSIONER

ATTACHMENT 1 – Consent Conditions
ATTACHMENT 2 – Section 42A Report

ATTACHMENT 1 – CONSENT CONDITIONS

General Conditions

1. That the development must be undertaken/carried out in accordance with the plans:

SA Studio – Haybarn Venue – Ayrburn Precinct LTD - 23.01:

- Views – A_002 – Rev M – 31.01.2024
- Views – A_003 – Rev M – 31.01.2024
- View from Homestead – A_004 – Rev M – 31.01.2024
- Site Plan – A_100 – Rev M – 31.01.2024
- Haybarn Plan Overall – A_101 – Rev M – 31.01.2024
- Areas and Occupancy – A_102 – Rev M – 31.01.2024
- Roof Plan – A_103 – Rev M – 31.01.2024
- Elevations N & E – A_200 – Rev M – 31.01.2024
- Elevations S & W – A_201 – Rev M – 31.01.2024

Ayrburn – Haybarn Venue – Landscape Drawings:

- Existing and Consented Neighbourhood – page 2 – 5.04.2024
- Site Plan – page 3 – 5.04.2024
- Proposed Landscape Plan – page 4 – 5.04.2024
- Planting Plan – page 5 – 5.04.2024
- Woodland Tree Survey Plan – page 6 – 5.04.2024
- Woodland Tree Survey Schedule – page 7 – 5.04.2024
- Trees to be retained with Proposed Landscape plan Underlaid – page 8 – 5.04.2024
- Proposed Overflow Carpark Lighting and Surface Treatment Plan – page 9 – 5.04.2024
- Proposed Lighting Plan – page 10 – 5.04.2024
- Proposed Light Fittings – page 11 – 5.04.2024
- Woodland Management Plan – Existing Woodland Areas – page 13 – 5.04.2024
- Woodland Management Plan – Existing Woodland Areas – page 14 – 5.04.2024

Patterson Pitts Group - Ayrburn Precinct LTD – Ayr Avenue – Lots 1,2,3 & 4 DP540788 – Q6388 – 32-10 – Haybarn Venue:

- Site Plan – sheet 100 – Rev C – 8.12.2023
- Existing Contours – sheet 200 – Rev A – 6.06.2023
- Proposed Contours - Overview – sheet 210 – Rev B – 02.11.2023
- Proposed & Depth Contours – sheet 211 – Rev B – 07.03.2024
- Proposed & Depth Contours – sheet 212 – Rev A – 06.06.2023
- Proposed & Depth Contours – sheet 213 – Rev B – 02.11.2023
- Proposed Overflow Carpark and Raingarden ESCP – sheet 250 – Rev C – 28.11.2023
- Proposed Haybarn, Bus Bay, Earth Bund and Carpark Exit ESP– sheet 251 – Rev C – 28.11.2023
- Device Concepts – sheet 252 – Rev A – 06.06.2023
- Decanting Earth Bund – sheet 253 – Rev A – 06.06.2023
- Sediment Retention Pond – sheet 254 – Rev A – 06.06.2023
- Roading – Carpark Layout – sheet 301 – Rev B – 08.12.2023
- Roading – Haybarn Layout – sheet 302 – Rev A – 06.06.2023
- Vehicle Tracking – Tour Coach – sheet 310 – Rev A – 06.06.2023
- Vehicle Tracking – Haybarn – sheet 311 – Rev A – 06.06.2023
- Ayrburn Carpark Allocation – sheet 320 – Rev A – 06.06.2023
- Roading – Cross Sections – sheet 340 – Rev A – 06.06.2023
- Roading – Sight Line Sections – sheet 350 – Rev A – 06.06.2023
- Proposed 3 Waters – Overview – sheet 400 – Rev C – 08.12.2023
- Proposed 3 Waters – sheet 410 – Rev B – 08.12.2023
- Proposed 3 Waters – sheet 411 – Rev A – 06.06.2023
- Proposed 3 Waters – sheet 412 – Rev B – 02.11.2023
- Stormwater Treatment – sheet 430 – Rev B – 08.12.2023

- Hydrant Layout Plan – sheet 610 – Rev A – 06.06.2023

stamped as approved on 24 April 2024.

and the application as submitted, with the exception of the amendments required by the following conditions of consent.

2. This consent shall not be exercised and no work or activity associated with it may be commenced or continued until the following charges have been paid in full: all charges fixed in accordance with section 36(1) of the Resource Management Act 1991 and any finalised, additional charges under section 36(3) of the Act.
3. The consent holder is liable for costs associated with the monitoring of this resource consent under Section 35 of the Resource Management Act 1991.
4. All engineering works, shall be carried out in accordance with the Queenstown Lakes District Council's policies and standards, being QLDC's Land Development and Subdivision Code of Practice adopted on 8th October 2020 and subsequent amendments to that document up to the date of issue of any resource consent.

Note: The current standards are available on Council's website via the following link:
<https://www.qldc.govt.nz/>

Volunteered Conditions - Noise

5. Noise generated by activities associated with the operation of the Haybarn must comply with the following limits when measured and assessed cumulatively with any other noise generated by consented activities within Aryburn Domain (Lots 1-4 DP 540788). Noise must be measured and assessed in accordance with NZS 6801:2008 Acoustics – Measurement of environmental sound and NZS 6802:2008 Acoustics – Environmental noise.
 - i. At any point within the notional boundary of a residential unit in the Wakatipu Basin Rural Amenity Zone:
 - 8.00 am to 8.00 pm: 50 dB LAeq(15 min).
 - 8.00 pm to 8.00 am: 40 dB LAeq(15 min) and 75 dB LAFmax.
 - ii. At any point within any other site:
 - 8.00 am to 8.00 pm: 50 dB LAeq(15 min).
 - 8.00 pm to 8.00 am: 40 dB LAeq(15 min).
6. Prior to commencement of operations, the consent holder shall provide to the Manager Resource Consents a letter from a suitably qualified acoustic consultant that noise from all building services plant on site has been designed to adopt the best practicable options to mitigate and control noise beyond the application site to an appropriate level in addition to meeting the noise limits in Condition (5) above.
7. Prior to commencement of operations, the consent holder shall provide to the Manager Resource Consents a letter from a suitably qualified acoustic consultant that all building envelope constructions have been designed to adopt the best practicable options to mitigate and control noise beyond the application site to an appropriate level in addition to meeting the noise limits in 53 above. The letter shall state the maximum sound level assumed in each space. The use of amplified music in any outside area shall cease at 8pm. Should outdoor speakers be used during the day, they shall not exceed a noise level of 85dB LAeq at 1m in addition to meeting the noise limits in Condition (5) above.
8. The Haybarn venue must be operated in accordance with an Operational Noise Management Plan (ONMP). The ONMP must be prepared by a suitably qualified person and submitted to Queenstown Lakes District Council (Monitoring and Enforcement) for

verification (within 15 working days) before the first event involving amplified sound at the Haybarn. The objective of the ONMP is to set out noise management and mitigation measures for the operation of the Haybarn to ensure that the cumulative noise levels from the Haybarn and all other consented activities within Ayrburn Domain comply with the noise limits in Condition (5). The ONMP must include procedures for noise monitoring and for updating the document when there are changes to the noise generating activities within Ayrburn Domain.

9. The Haybarn venue shall have all windows and doors closed at all times when the internal reverberant noise levels are:
 - (i) >100 dB LAeq(15 min) between 0800 and 2000; and
 - (ii) >80 dB LAeq(15 min) between 2000 and close.
10. Amplified music and speech in the Haybarn venue shall only be played through the installed in-house system. The system must have an automatic sound limiting device installed that has been calibrated by a suitably qualified person to ensure that music noise levels cannot exceed the noise limits in Condition (5). Written confirmation of the calibration must be provided to the Queenstown Lakes District Council before the first event involving amplified sound at the Haybarn.
 - (i) No standalone amplification systems are permitted within the event centre or associated outdoor areas. The use of amplified music in any outside area shall cease at 8pm. Should outdoor speakers be used during the day, they shall not exceed a noise level of 85dB LAeq at 1m in addition to meeting the noise limits in Condition (5) above.
11. Before the first event at the Haybarn involving amplified sound, the consent holder must install the following:
 - i. An acoustic barrier to screen the courtyard to the west of the Haybarn venue. The barrier must be solid, at least 2.4 m high, and have a surface mass of no less than 10 kg/m².
 - ii. Double access doors at the south-west corner of the Haybarn building.

Volunteered Conditions - Water

12. Monitoring of sediment build-up in grass swale and planted detention pond:
 - a. Within two months of installation being completed, the grassed treatment swale and planted detention pond shall be surveyed, using a licenced surveyor, and an as-built plan created, and a record kept by the consent holder and lodged with the consent authority. This plan shall show as-built levels at the invert or base of all devices. A survey reading shall be taken every 2 linear meters for swales and every 1m² for the pond.
 - b. The grassed treatment swale and planted detention pond shall be monitored yearly to ensure that sediment levels are <125mm above the surveyed as-built levels. A record shall be kept by the consent holder and sent to Friends of Lake Hayes Society Incorporated and the Consent Authority on request. If there is a positive height variance of >125mm the device shall be reinstated to the surveyed as-built levels. After the first 3 years of yearly monitoring, if the devices are <100mm above design levels, the period may be extended to 3 yearly monitoring.

13. Monitoring of soakage in detention pond
- a. The design performance of the planted treatment detention ponds is based on a soakage rate to ground of >125mm/hour. Within two months of installation of the detention ponds being completed, an as-built soakage test shall be undertaken to ensure that the design soakage rate of >125mm/hour is achieved. Should adequate soakage not be achieved the devices shall be reconstructed to achieve the designed soakage rate.
 - b. The detention ponds shall be monitored yearly to ensure they maintain a soakage rate of >125mm/hour. A record shall be kept by the consent holder and sent to Friends of Lake Hayes Society Incorporated and the Consent Authority on request. If the monitored soakage rate is <125mm/hour the devices shall be remediated to achieve a soakage rate of >125mm/hour. After the first 3 years of annual monitoring, if the devices achieve soakage rates of >150mm/hour of soakage every year, the period may be extended to 3 yearly monitoring
14. Monitoring and maintenance of planting within planted detention pond
- a. To ensure that any stormwater-related plantings survive and carry out their treatment function, the consent holder must replace any plant that has died or become diseased >5%. Replacement planting shall be carried out in the planting season following their loss. The replacement plants shall be of the same species, grade and size as per the approved landscape drawings.
15. Fertiliser
- a. The use of fertiliser containing nitrogen or phosphorous shall be prohibited within the Site apart from the initial establishment of hydroseed grass areas and the initial establishment of plants. Organic fertiliser such as compost, manure or seaweed shall be permitted. For plant establishment, fertiliser shall be limited to 1 x 10g slow-release tablet placed below the base of the rootball.

To be completed prior to the commencement of any works on-site

16. The consent holder shall implement the following traffic management measures when undertaking any works within or adjacent to the road network:
- Suitable site warning signage shall be in place on the road in both directions from the site entrance.
 - Safe sight distances and passing provisions shall be maintained at all times.
 - The provision for safe passage shall be provided for pedestrians and cyclists at all times.
17. At least 7 days prior to commencing excavations, the consent holder shall provide the Manager of Resource Management Engineering at Council with the name of a suitably qualified geo-professional as defined in Section 1.7 of QLDC's Land Development and Subdivision Code of Practice who is familiar with the Geosolve Reports: *Geotechnical Memo for Resource Consent: The Hayburn venue and Carparking*, Ref 150098.10-rev1, Dated: 6 June 2023 and *Geotechnical Report for Resource Consent*, Ref: 150098.07, Dated: June 2020) and who shall supervise the excavation/earthworks/fill procedures and ensure compliance with the recommendations of this report. This engineer shall continually assess the condition of the excavation and shall be responsible for ensuring that temporary retaining is installed wherever necessary to avoid any potential erosion or instability.
18. The owner of the land being developed shall provide a letter to the Manager of Resource Management Engineering at Council advising who their representative is for the design and

execution of the engineering works and construction works required in association with this development and shall confirm that these representatives will be responsible for all aspects of the works covered under Sections 1.7 & 1.8 of QLDC's Land Development and Subdivision Code of Practice, in relation to this development.

19. Prior to commencing works on the site, the consent holder shall provide an updated EMP addressing the technical points noted in the EMP Peer Review prepared by Morphem Environmental dated 14.02.2024.
20. Prior to commencing works on the site, with the exception of earthworks with controls approved through the Environmental Management Plan (EMP) process within this consent, the consent holder shall obtain 'Engineering Review and Acceptance' from the Queenstown Lakes District Council for development works to be undertaken and information requirements specified below. The application shall include all development items listed below unless a 'partial' review approach has been approved in writing by the Manager of Resource Management Engineering at Council. The 'Engineering Review and Acceptance' application(s) shall be submitted to the Manager of Resource Management Engineering at Council for review, prior to acceptance being issued. At Council's discretion, specific designs may be subject to a Peer Review, organised by the Council at the applicant's cost. The 'Engineering Review and Acceptance' application(s) shall include copies of all specifications, calculations, design plans and Schedule 1A design certificates as is considered by Council to be both necessary and adequate, in accordance with Condition (4), to detail the following requirements:
 - a) The provision of a water supply to the 'Haybarn Venue' in terms of Council's standards and connection policy, and in general accordance with the report by CKL Limited: Haybarn Venue: Water and wastewater Assessment, Ayrburn Precinct, Reference: A20254, Dated: 09/06/2023 and the Engineering Drawings Package by Paterson Pitts Group, Titled: '*Ayrburn Precinct Ltd: Hayburn Venue – Resource Consent Drawings*', Reference: Q6388, Dated:8/12/2023. This shall include a Council approved isolation valve and an approved water meter as detailed in QLDC Water Meter Policy (Appendix J), dated 2017. The costs of the connection shall be borne by the consent holder.
 - b) The provision of a foul sewer connection to from the 'Haybarn Venue' in terms of Council's standards and connection policy, and in general accordance with the report by CKL Limited: Haybarn Venue: Water and wastewater Assessment, Ayrburn Precinct, Reference: A20254, Dated: 09/06/2023 and the Engineering Drawings Package by Paterson Pitts Group, Titled: '*Ayrburn Precinct Ltd: Hayburn Venue – Resource Consent Drawings*', Reference: Q6388, Dated:8/12/2023. The costs of the connection shall be borne by the consent holder.
 - c) Preliminary details of the private onsite Haybarn wastewater pump station with 9hrs emergency storage that will service the development site and pump into the internal development reticulation and into Council reticulation. Additional details shall be provided that demonstrate the wastewater reticulation can be reconfigured to allow the Haybarn pump station to pump to Waterfall Park pump station in the future. The details shall include evidence that sucker trucks can easily and readily access and service the pump station if required.
 - d) The provision of a stormwater collection and disposal system which shall provide both primary and secondary protection for future development within the development, in accordance with Council's standards and the reports produced by CKL Limited (Titled: '*Stormwater Management Plan: The Haybarn Venue*', Reference: A20254, Dated: 08/06/2023 and Titled: '*Hayburn Section 92 Responses - Stormwater Matters*', Reference: A20254, Dated: 10/11/2023). The proposed stormwater system shall be designed by a suitably qualified professional as defined in Section 1.7 of QLDC's Land Development and Subdivision Code of Practice and be subject to the review of Council prior to implementation. This shall include:

- (i) A reticulated primary system to collect and dispose of stormwater from all potential impervious areas proposed as part of this consent to the stormwater management and treatment system consisting of swales and bioretention devices, into approved outfalls discharging to Mill Creek. ;
 - I. Percolation testing shall be undertaken at the individual bioretention device and swales locations to confirm soakage. A copy of the test results shall be provided and shall be in general accordance with the “Acceptable Solutions and Verification Methods for New Zealand Building Code Clause: E1 Surface Water”.
 - II. The final design and sizing of each bioretention device and swales shall be based on the individual percolation test results prior to installation of the individual soak pit infrastructure
 - (ii) A secondary protection system consisting of secondary flow paths to cater for the 1% AEP storm event and/or setting of appropriate building floor levels to ensure that there is no inundation of any buildable areas within the lots, and no increase in run-off onto land beyond the site from the pre-development situation.
 - (iii) A copy of the full stormwater model and report outlining the parameters used shall be provided.
- e) Provision of a suitable firefighting water supply and hydrants with adequate pressure and flow to service the development and accompanying report from a suitably qualified professional demonstrating compliance with the NZ Fire Service Code of Practice for Firefighting Water Supplies 2008 (SNZ PAS 4509:2008). Any buildings on the lots shall either be fitted with a sprinkler system and/or be designed with an appropriate fire cell size to meet the requirements of SNZ PAS 4509 for the relevant water supply classification prior to the occupation of any buildings.
- This shall include hydrant testing carried out during the peak period of an average day to confirm that there are sufficient hydrants with adequate pressure and flow to service the development with a Class FW2 fire risk in accordance with Appendix G of SNZ PAS 4509:2008 NZ Fire Service Code of Practice for Firefighting Water Supplies. Any lesser risk must be approved in writing by Fire & Emergency NZ, Queenstown Office. The testing shall be carried out by a suitably qualified and experienced person (SQEP) as defined in section 1.8 of QLDC’s Land Development and Subdivision Code of Practice and evidence of the SQEP suitability to undertake or oversee such testing shall be submitted with the hydrant testing results. The results shall be submitted to Council and all related costs shall be borne by the consent holder.
- f) The provision of Design Certificates for all engineering works associated with this development submitted by a suitably qualified design professional (for clarification this shall include, but not limited to, all Roads, Water, Wastewater and Stormwater Infrastructure). The certificates shall be in the format of the QLDC’s Land Development and Subdivision Code of Practice Schedule 1A Certificate.
 - g) The provision of a Design Certificate submitted by a suitably qualified design professional for the wastewater pump station and wastewater reticulation. The certificates shall be in the format of Engineering NZ Producer Statement PS1 or the QLDC’s Land Development and Subdivision Code of Practice Schedule 1A Certificate.
 - h) The provision of car parking, manoeuvring areas and access in accordance with Council Standards and the plans provided by Paterson Pitts Group, Titled: ‘*Ayrburn Precinct Ltd: Hayburn Venue – Resource Consent Drawings*’, Reference: Q6388, Dated:8/12/2023. This shall include:

- (i) The provision of an access way from Ayr Avenue to the Overflow Carpark, with the first 6m being sealed as a minimum.
 - (ii) The provision of all vehicle manoeuvring and car parking areas for the 'Overflow Carpark' to Council's standards. Provision shall be made for stormwater disposal.
 - (iii) The provision of a sealed, one-way exit to the existing Car Park 3.
 - (iv) Parking spaces of Car Park 1, 2 and 3 shall be clearly and permanently marked out.
 - (v) The provision of an access way from the existing Homestead access to new commercial building.
 - (vi) The provision of all vehicle manoeuvring and car parking areas accessed from the Homestead driveway. This shall include a sealed mobility car park and suitable surface for the accessway from the parking space to the commercial building.
 - (vii) The provision of the pedestrian accesses.
 - (viii) The provision of bus stops.
- i) The provision of a Computed Easement Plan and Easement Instrument showing all necessary easements over adjacent lands required to legally service the Lot 3 DP 540788 for where the access and services to the site is reliant on neighbouring lots (this includes, but not limited to roads, water, wastewater and stormwater).

To be monitored throughout earthworks

21. The earthworks and batter slopes shall be undertaken in accordance with the recommendations of the reports by Geosolve (including the provision of necessary cut off drains):
- a. Titled: *Geotechnical Memo for Resource Consent: The Hayburn venue and Carparking*, Ref 150098.10-rev1, Dated: 6 June 2023
 - b. Titled: *Geotechnical Report for Resource Consent*, Ref: 150098.07, Dated: June 2020).
22. The consent holder shall implement suitable measures to prevent deposition of any debris on surrounding roads by vehicles moving to and from the site. In the event that any material is deposited on any roads, the consent holder shall take immediate action, at his/her expense, to clean the roads. The loading and stockpiling of earth and other materials shall be confined to the subject site.
23. No earthworks, temporary or permanent, are to breach the boundaries of the site (excluding internal boundaries between Lots 1, 2, 3, 4 DP 540788).

On completion of earthworks and prior to commencement of the commercial activity

24. On completion of earthworks within the building footprint and prior to the construction of the commercial building, the consent holder shall ensure that either:
- a) Specific Engineering Design (SED) of all building foundations are designed and constructed for the "Haybarn Venue" in accordance with the recommendations for the geotechnical memo by Geosolve (Titled "*Geotechnical Memo for Resource Consent: The Hayburn venue and Carparking*", Ref 150098.10-rev1, Dated: 6 June 2023.

Or

- b) Ground improvements endorsed by a suitably qualified geo-professional can otherwise confirm the presence of 'good ground'. In the event that 'good ground' can be established then standard NZS3604 building foundation solutions may be utilised instead of SED
25. All necessary easements shall be created prior to the commencement of the commercial activity. The following requirements shall be satisfied in conjunction with this condition:
- a) Where the development is reliant on access to the site via neighbouring properties, the consent holder shall demonstrate that all necessary Right of Way easements have been created to legally provide for this. This shall include any pedestrian or vehicle access, parking and manoeuvring areas associated with this development that are utilised by staff or visitors to the site (including coaches or service vehicles).
- b) A Licensed professional shall prepare all necessary documentation to enable the easements to be lodged and registered with Land Information New Zealand.
- c) The final wording of the easement instruments shall be reviewed and approved by Council's solicitors prior to registration. The easement instrument shall include the following acknowledgement:
- The Grantor and Grantee acknowledge and agree that this instrument may not be surrendered or varied without consent from Queenstown Lakes District Council (or any replacement local authority). The Grantor and Grantee must obtain written consent from Queenstown Lakes District Council (or any replacement local authority) before surrendering or varying this instrument. This clause is for the benefit of, and is enforceable by, Queenstown Lakes District Council (or any replacement local authority) pursuant to section 12 of the Contract and Commercial Law Act 2017*
26. On completion of the earthworks, and prior to commencement of the commercial activity, the consent holder shall complete the following:
- a) The submission of 'as-built' plans and information required to detail all engineering works completed in relation to or in association with this subdivision/development at the consent holder's cost. This information shall be formatted in accordance with Council's 'as-built' standards and shall include all Roads (including rights of way and access lots), Water, Wastewater and Stormwater reticulation (including private laterals and toby positions). This shall include:
- b) Within two months of installation being completed, the grassed treatment swale and planted detention pond shall be surveyed, using a licenced surveyor, and an as-built plan created, and a record kept by the consent holder and lodged with the consent authority. This plan shall show as-built levels at the invert or base of all devices. A survey reading shall be taken every 2 linear meters for swales and every 1m² for the pond.
- c) Within two months of installation of the detention ponds being completed, an as-built soakage test shall be undertaken to ensure that the design soakage rate of >125mm/hour is achieved. Should adequate soakage not be achieved the devices shall be reconstructed to achieve the designed soakage rate. The design performance of the planted treatment detention ponds is based on a soakage rate to ground of >125mm/hour.
- d) The completion and implementation of all reviewed and accepted works detailed in Condition (20) above. All infrastructure and parking spaces installed under this consent and RM180584 (as varied by RM190278 and RM210591 and RM211193)

which the proposed buildings are reliant upon, shall be completed and signed off by a QLDC Subdivision Inspector.

- e) An Elster PSM V100 or Sensus 620 water meter shall be installed on to the Acuflo manifold for the commercial building as per condition (20a) above, and evidence of supply shall be provided to Council's Subdivision Inspector.
- f) The consent holder shall obtain a Code of Compliance Certificate under a Building Consent for any retaining walls constructed as part of this consent which exceed 1.5m in height or are subject to additional surcharge loads as set out in Schedule 1 of the Building Act.
- g) Any power supply connections to the commercial building shall be underground from existing reticulation and in accordance with any requirements/standards of the network provider's requirements.
- h) Any telecommunications connections to the commercial building shall:
 - (i) be underground from existing reticulation and in accordance with any requirements/standards of the network provider's requirements.
 - Or
 - (ii) The consent holder shall demonstrate that telecommunication services can be provided by way of a cellular, satellite or wifi connection and maintained at the sole responsibility of the consent holder until such time as underground services have been provided in accordance with (i) above.
- i) The applicant's solicitor shall provide, for Council's approval, a land covenant in gross document or alternative effective legal instrument acceptable to Council to be registered on the Computer Freehold Registers for Lot 3 DP 540788 being provided with a pressure foul sewer connection. This legal document shall include provisions to ensure:
 - (i) The landowner is aware of installation requirements for on-lot pressure sewer system components to be retained in private ownership i.e. pipes, pumping unit and chamber, control/alarm panel, and associated electrical components;
 - (ii) The landowner is aware of ownership responsibilities, operational performance characteristics and maintenance requirements associated with the private pressure foul sewer system components, including compliance with all relevant legislation and Council Bylaws, Policies & Standards applicable at the time a dwelling is constructed on the lot;

The applicant shall liaise with the Subdivision Planner and Manager for Resource Management Engineering at Council in respect of the above. All costs, including costs that relate to the checking of the document by Council's solicitors and registration of the covenant or alternative legal document, shall be borne by the applicant.

- j) The submission of Completion Certificates from both the Contractor and Accepted Engineer for all infrastructure engineering works completed in relation to or in association with this development (for clarification this shall include all Roads, Water, Wastewater and Stormwater Infrastructure). The certificates shall be in the format of the QLDC's Land Development and Subdivision Code of Practice Schedule 1B and 1C Certificate.
- k) The submission of Completion Certificates from both the Approved Contractor and Approved Certifier for the Haybarn wastewater pump station. The certificates shall be in the format of Engineering NZ Producer Statements, or the QLDC's Land Development and Subdivision Code of Practice Schedule 1B and 1C Certificate.
- l) All earthworked areas shall be top-soiled and revegetated or otherwise permanently stabilised.

- m) The consent holder shall remedy any damage to all existing public road surfaces and berms that result from work carried out for this consent.

Ongoing Conditions/Covenants

27. In the event that the Engineering Acceptance issued under Condition (20) contains ongoing conditions or requirements associated with the installation, ownership, monitoring and/or maintenance of any infrastructure subject to Engineering Acceptance, then at Council's discretion, a Covenant in Gross (or other alternative legal instrument acceptable to Council) shall be registered on the relevant Records of Title detailing these requirements for the lot owner(s). The final form and wording of the document shall be checked and approved by Council's solicitors at the consent holder's expense prior to registration to ensure that all of the Council's interests and liabilities are adequately protected. The applicant shall liaise with the Subdivision Officer and/or Manager of Resource Management Engineering at Council in respect of the above. All costs, including costs that relate to the checking of the legal instrument by Council's solicitors and registration of the document, shall be borne by the applicant.

[Note: This condition is intended to provide for the imposition of a legal instrument for the performance of any ongoing requirements associated with the ownership, monitoring and maintenance of any infrastructure within this development that have arisen through the detailed engineering design and acceptance process, to avoid the need for a consent variation pursuant to s.127 of the Resource Management Act].

28. On completion of earthworks, a covenant pursuant to Section 108(2)(d) of the Resource Management Act 1991 shall be registered on the Record of Title of the subject site providing for the performance of any ongoing requirements for protection of secondary flow paths or minimum floor levels for buildings, where deemed necessary by Council to satisfy Condition 20(c)(ii) above. The final wording of the instrument shall be checked and approved by the Council's solicitors at the consent holder's expense prior to registration to ensure that all of the Council's interests and liabilities are adequately protected.
29. A covenant shall be registered on the Lots 1, 2, 3, 4 DP 540788 alerting that the Right of Way, Right to Park and services easements in favor of Lot 3 DP 540788 cannot be varied or cancelled without Council approval.
30. At such a time that Waterfall Park Pump Station is operational and vested to Council, within a period of no more than three months from the vesting of the pump station, the consent holder shall make a permanent connection from the Haybarn Pump Station to isolate the direct connection into the Waterfall Park Pump Station Rising Main
31. The lot owner is responsible for the ongoing provision and maintenance of a cellular, satellite or wifi connection for telecommunication services until such time that underground services have been provided by a telecommunications network supplier. Note: This condition only applies if Condition 26(h) has not been complied with
32. A covenant pursuant to Section 108(2)(d) of the Resource Management Act 1991 shall be registered on the Computer Freehold Register for Lots 1, 2, 3, 4 DP 540788 providing for the performance of the stormwater treatment of the following condition on an ongoing basis:
- a) The grassed treatment swale and planted detention pond shall be monitored yearly to ensure that sediment levels are <125mm the device shall be reinstated to the surveyed as-built levels. A record shall be kept by the consent holder and sent to Friends of Lake Hayes Society Incorporated and the Consent Authority on request. If there is a positive height variance of >125mm the device shall be reinstated to the surveyed as-built levels. After the first 3 years of yearly monitoring, if the devices are if the devices are <100mm m above design levels, the period may be extended to 3 yearly monitoring.

- b) The detention ponds shall be monitored yearly to ensure they maintain a soakage rate of >125mm/hour. A record shall be kept by the consent holder and sent to Friends of Lake Hayes Society Incorporated and the Consent Authority on request. If the monitored soakage rate is <125mm/hour the devices shall be remediated to achieve a soakage rate of >125mm/hour. After the first 3 years of annual monitoring, if the devices achieve soakage rates of >150mm/hour of soakage every year, the period may be extended to 3 yearly monitoring.
 - c) To ensure that any stormwater-related plantings survive and carry out their treatment function, the consent holder must replace any plant that has died or become diseased >5%. Replacement planting shall be carried out in the planting season following their loss. The replacement plants shall be of the same species, grade and size as per the approved landscape drawings.
33. A covenant pursuant to Section 108(2)(d) of the Resource Management Act 1991 shall be registered on the Computer Freehold Register for Lots 1, 2, 3, 4 DP 540788 providing for the use of fertilisers within the development of the following condition on an ongoing basis:
- a. The use of fertiliser containing nitrogen or phosphorous shall be prohibited within the Site apart from the initial establishment of hydroseed grass areas and the initial establishment of plants. Organic fertiliser such as compost, manure or seaweed shall be permitted. For plant establishment, fertiliser shall be limited to 1 x 10g slow-release tablet placed below the base of the rootball.

Landscaping

34. The existing woodland that contains the Haybarn Venue building shall be maintained and managed in accordance with the council certified *Woodland Management Plan* (certified by RM230425). Any tree requiring replacement shall be carried out within 12 months of removal of the tree to be replaced. Replacement woodland trees must be of large grade (a minimum 3m height and 80mm calliper) and be of the woodland replacement species identified within the Woodland Management Plan.
35. If the two large mature willows east to northeast of Car Park 4 (overflow parking) are removed, they are to be replaced with a non-wildling species of trees, of green foliage during summer months, and with a mature height of no less than 20m and be planted at a grade of 80mm calliper and 3m high trees at time of planting. On the same plan the outer pale green shaded area around the carpark to be shown as re-grassed in pastoral grasses to match surrounding paddock.
36. The following are not permitted within the area shown as "Open Space Area" on the council certified site plan, Site Plan – page 3 – dated 5 April 2024:
- a) Buildings
 - b) The planting of any vegetation other than:
 - i. pasture grass, crops or grapevines; and / or
 - ii. low level (less than 1.5m height) riparian planting
 - iii. no more than 10 scattered specimen trees (excluding ornamental species such as flowering cherry and any variegated or yellow summer foliage species) that maintain open views across the landscape from the Arrowtown Lake Hayes Road
 - c) The storage of vehicles, containers, piled earth, aggregates, materials and rubbish.
37. All trees and shrubs, grassed areas and all native species as shown on the council certified landscape plan shall be fully implemented within 12 months from the completion of the building and thereafter be maintained and irrigated in accordance with the plan. All existing

- vegetation as shown on the plans shall be retained and maintained as per the plan. If any plant or tree shall die or become diseased it shall be replaced within 12 months as per the landscape plan. All existing trees within the woodland shall be maintained as per the council certified Woodland Management Plan (certified under RM230425). All other existing trees, shrubs, and hedges shall be maintained as per the plan and if requiring replacement shall be no less than a minimum 3m height and 30mm calliper for all trees, PB8 and 1m height for all shrubs and hedges. All existing evergreen trees shown on the certified landscape plan and Woodland Management Plan if requiring replacement must be replaced with an evergreen species.
38. The woodland vegetation must retain visual screening of the Haybarn venue building and associated fences, side buildings, service area and parking, and structures as viewed from the Lake Hayes Arrowtown Road and private properties to the south of the woodland once existing trees and planting has reached above the height of the building (expected to be achieved within three years of granting consent).
39. The Consent Holder shall resubmit an amended *Woodland Management Plan* (WMP) to Council for certification prior to works beginning on site. The amended WMP is to demonstrate that:
- a) Trees within the woodland, which are all trees identified to be retained in the tree survey drawings attached as Appendix 1, which includes the Elm and Conifer Woodland, the young oaks, red cedars and leyland cypress, and any other trees identified to be retained, may only be removed if:
 - i. the tree to be removed has been identified by a qualified arborist as at risk to persons and / or property; or in a state of decline;
 - ii. the existing tree to be removed is a wilding species (as defined in Chapter 34 of the Proposed Queenstown Lakes District Plan);
 - b) For those trees to be removed:
 - i. The consent holder must plant replacement trees within 3 months of the tree removal, to achieve the same or similar visual screening effect as the tree to be removed once the tree is established (5 to 10 years), as confirmed by a suitably qualified and experienced landscape architect; and
 - ii. any existing evergreen tree must be replaced by an evergreen tree; and
 - iii. replacement tree must be no less than 3m in height and at least an 80mm calliper at the time of planting; and
 - iv. replacement trees must be selected from the following species only:
 - Common Elm - *Alnus cordata*
 - English Oak – *Quercus robur*
 - Upright Oak – *Quercus robur fastigiata*
 - Norwegian Spruce – *Picea abies*
 - Western red Cedar - *Thuja plicata*
 - Oriental Plane – *Platanus Orientalis*
 - c) To ensure the trees within the woodland are maintained to sustain the large collective scale and presence of the existing mature woodland rural trees as a context for the development and a feature in the local landscape, and must ensure that woodland is managed with replacement of trees only where absolutely necessary for hazard and wilding tree management.
40. The 'works site area' for all construction works for the access drive, hay barn venue building works and landscaping works within the woodland area must be defined on a 'woodland

protection site works fence plan', and be submitted to council for certification prior to works beginning on site. The works site area is to be a similar area and location to the curtilage area identified on the certified landscape plans, and is to minimise areas of works within the woodland. The fenced area is to ensure construction works, material storage, vehicle and machinery parking and movements, temporary buildings, worker activity etc., is contained within the defined construction area and avoids damage to tree roots and trees.

41. The works site area within the woodland as defined in the council certified woodland protection site works fence plan (certified by RM230425) must be fenced with temporary security fencing no less than 1.5m in height and securely fixed to exclude any access beyond such areas and must be installed prior to works beginning on site as per the council's certified *Woodland Management Plan (RM230425)*. The works site area fenced areas, and all other recommendations for site preparation works to protect trees within the woodland area are to be inspected and certified by council prior to construction works beginning on site.
42. The existing woodland that contains the Haybarn Venue building shall be maintained and managed in accordance with the council certified Woodland Management Plan (certified by RM230425). Any tree requiring replacement shall be carried out within 12 months of removal of the tree to be replaced.
43. Any earthworks carried out within the dripline of the woodland trees as defined within the approved landscape plan and council certified woodland management plan shall be carried out in accordance with the measures as defined within the council certified woodland management plan.
44. All external lighting shall be located within the Haybarn Venue curtilage as shown on the certified site plan (except bollard lighting for parking areas and footpaths as shown on the certified lighting plan RM230425). All lighting must not create light spill beyond the boundary of the curtilage area. All external lighting shall be downlighting only fixed no higher than 1.0m above the ground, except within the walled courtyard to the west of the haybarn building that may be located no higher than the height (elevation) of the courtyard walls.
45. All exterior lighting fixed to the Haybarn venue building shall be fixed no higher than 1.5m above finished ground level and be:
 - a) Low intensity, indirect light sources are to be used for all exterior lighting applications.
 - b) External light sources are to be incandescent, halogen or other white light, not sodium vapour or other light.
46. All areas of exposed earth shall be re-sown in grass, planted as per the certified landscape plans, or covered in leaf litter within the woodland area within three months of completion of earthworks.
47. All exterior surfaces for the Haybarn Venue building, fences, walls and structures must be coloured in the range of browns, greens or greys with a light reflectance value (LRV) not greater than 20% for the roof, and no greater than 30% for all other exterior surfaces including timber cladding, but excludes soffits, windows and skylights. Includes cladding and built landscaping that cannot be measured by way of light reflectance value but is deemed by the Council to be suitably recessive and have the same effect as achieving a LRV of 30% or less. All materials and colours for the Haybarn Venue building and associated fencing and walls shall be submitted to council for certification prior to construction. Samples of materials may be requested by council for certification.
48. All commercial activities associated with the Haybarn venue building, including but not limited to amenity garden landscaping, lawns, outdoor seating areas, pergolas, external lighting, tables, garden furniture, marquees, event decorations, sculptures etc., shall be

confined to the Haybarn Venue curtilage area as shown on the council certified landscape plan.

49. All existing wilding tree species as shown on the certified landscape and tree survey plans within the property are not protected by this consent and may be removed at any time. Trees removed (excluding those trees identified to be removed on the approved survey plans) shall be replaced in accordance with the council certified Woodland Management Plan and shall exclude all wilding species. Wilding species are defined as Radiata pine (*Pinus radiata*); Contorta or lodgepole pine (*Pinus contorta*); Scots pine (*Pinus sylestris sylvestris*); Douglas fir (*Pseudotsuga menziesii*); European larch (*Larix decidua*); Corsican pine (*Pinus nigra*); Bishops pine (*Pinus muricate*); Ponderosa pine (*Pinus Ponderosa*); Mountain pine (*Pinus mugo uncinata*); Dwarf Mountain pine (*Pinus mugo*); Maritime pine (*Pinus pinaster*); Sycamore (*Acer pseudoplatanus*); Hawthorn (*Crataegus monogyna*); Boxthorn (*Lycium ferocissimum*); Buddleia (*Buddleja davidii*); Grey willow (*Salix cinereal*); Crack willow (*Salix fragilis*); Cotoneaster (*Simonsii*); Rowan (*Sorbus aucuparia*); and Spanish heath (*Erica lusitanica*).
50. If turning vehicles exiting Car Park 3 onto Ayr Avenue are reported as nuisance on nearby residential dwellings accessed from Speargrass Flat Road within the first year of operation of the carpark connection road, then additional evergreen shrubs and trees shall be planted opposite the Car Park 3 exit within 6 months of council notifying the consent holder to mitigate such effects. Proposed planting shall be submitted to council for certification prior to planting to ensure planting will be effective and consistent with consented planting design within the site.

Hours of Operation – Earthworks

48. Hours of operation for earthworks, shall be:

- Monday to Saturday (inclusive): 7.30am to 6.00pm.
- Sundays and Public Holidays: No Activity

In addition, no heavy vehicles are to enter or exit the site, and no machinery shall start up or operate earlier than 7.30am. All activity on the site is to cease by 6.00pm.

Accidental Discovery Protocol

49. If the consent holder:

- a) discovers koiwi tangata (human skeletal remains), waahi taoka (resources of importance), waahi tapu (places or features of special significance) or other Maori artefact material, the consent holder shall without delay:
- (i) notify Council, Tangata whenua and Heritage New Zealand Pouhere Taonga and in the case of skeletal remains, the New Zealand Police.
 - (ii) stop work within the immediate vicinity of the discovery to allow a site inspection by the Heritage New Zealand Pouhere Taonga and the appropriate runanga and their advisors, who shall determine whether the discovery is likely to be extensive, if a thorough site investigation is required, and whether an Archaeological Authority is required.

Any koiwi tangata discovered shall be handled and removed by tribal elders responsible for the tikanga (custom) appropriate to its removal or preservation. Site work shall recommence following consultation with Council, the New Zealand Pouhere Taonga, Tangata whenua, and in the case of skeletal remains, the New Zealand Police, provided that any relevant statutory permissions have been obtained.

- b) does not have an archaeological authority from Heritage New Zealand Pouhere Taonga and discovers any feature or archaeological material that predates 1900, or

heritage material, or disturbs a previously unidentified archaeological or heritage site, the consent holder shall without delay:

- (i) stop work within the immediate vicinity of the discovery or disturbance and;
- (ii) advise Council, the Heritage New Zealand Pouhere Taonga and in the case of Maori features or materials, the Tangata whenua and if required, shall make an application for an Archaeological Authority pursuant to the New Zealand Pouhere Taonga Act 2014 and;
- (iii) arrange for a suitably qualified archaeologist to undertake a survey of the site.

Site work may only recommence following consultation with Council.

Advice Notes

1. The consent holder is advised that any retaining walls, including stacked stone and gabion walls, proposed in this development which exceeds 1.5m in height or walls of any height bearing additional surcharge loads will require Building Consent, as they are not exempt under Schedule 1 of the Building Act 2004.
2. This consent triggers a requirement for Development Contributions, please see the attached information sheet for more details on when a development contribution is triggered and when it is payable. For further information, please contact the DCN Officer at QLDC.
3. An advice note is recommended to inform the consent holder that Council cannot guarantee a firefighting classification above FW3 and therefore fire cell sizes for the proposed buildings will need to be considered during the design stage.

a) For Your Information

b)

c) Monitoring

d) The conditions in your decision will advise if monitoring is required. To assist with compliance of your resource consent, and to avoid your monitoring deposit being used before your development starts, please complete the "[Notice of Works Starting Form](#)" and email to the Monitoring Planner at RCMonitoring@qldc.govt.nz

e)

f) Environmental Management Plan

g) Please be aware of your requirements to appropriately manage environmental effects associated with your activity. Site management means having adequate controls in place on your site. This will ensure compliance is achieved and harmful by-products of construction activities do not damage the environment or cause nuisance to neighbours. We've provided some [advice](#) to help you mitigate any possible adverse effects that may be generated on your site as a result of construction related activities.

h)

i) Engineering Acceptance

j) You may also have conditions that require you to apply for Engineering Acceptance. To apply, please complete the [Engineering Acceptance Application Form](#) and submit to engineeringapprovals@qldc.govt.nz. Further information regarding Engineering Acceptance can be found [here](#).

k)

l) Development Contribution

m) If this decision requires a development contribution (DC) charge, we will be sending a notice in due course. To answer questions such as what is a DC charge, when a DC charge is triggered and timing of payments, this information is available [here](#).

n) If you wish to make a DC estimate calculation yourself, please use this [link](#). Full details on current and past policies can be found [here](#).

QUEENSTOWN LAKES DISTRICT COUNCIL

**APPROVED PLAN:
RM230425**

Wednesday, 24 April 2024



HAYBARN VENUE

FOR RESOURCE CONSENT

Ayrburn Precinct Limited

VIEW FROM SOUTH WEST

ARTIST IMPRESSION
CREDIT: ONE TO ONE HUNDRED
LANDSCAPE INDICATIVE.
REFER TO LANDSCAPE DESIGN FOR DETAIL.

Sheet Name	Sheet Number
COVER	A_001
VIEWS	A_002
VIEWS	A_003
VIEW FROM HOMESTEAD	A_004
PRECEDENT IMAGES	A_005
SITE PLAN	A_100
HAYBARN PLAN OVERALL	A_101
AREAS AND OCCUPANCY	A_102
ROOF PLAN	A_103
ELEVATIONS N+E	A_200
ELEVATIONS S+W	A_201

NOTES

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REV	ISSUE	DATE	PROJECT	DRAWN	DRAWING TITLE	SCALE @ A3
i	FOR CONSULTANT INFO	26.06.2023	HAYBARN VENUE	JS/LB	COVER	
J	FOR RESOURCE CONSENT SVR ADDED	09.07.2023				
K	FOR RESOURCE CONSENT, RF1	19.05.2023 27.07.2023				
L	FOR RESOURCE CONSENT, RF12	26.09.2023	AYRBURN PRECINCT LTD	JS	23.01	A_001
M	FOR RESOURCE CONSENT, CONDITIONS	31.01.2024				

QUEENSTOWN LAKES DISTRICT COUNCIL

APPROVED PLAN:
RM230425

Wednesday, 24 April 2024



1 VIEW ENTRY



2 VIEW WEST.

LANDSCAPE OMITTED FOR CLARITY.
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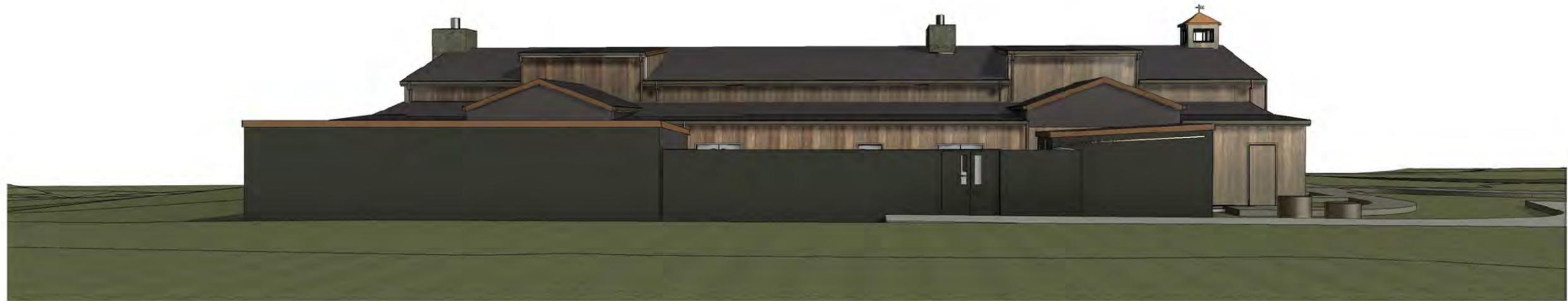
REV	ISSUE	DATE	PROJECT	DRAWN	DRAWING TITLE	SCALE @ A3
i	FOR CONSULTANT INFO	26.06.2023	HAYBARN VENUE	JS/LB	VIEWS	
J	FOR RESOURCE CONSENT SVR ADDED	09.07.2023				
K	FOR RESOURCE CONSENT, RF1	19.05.2023 27.07.2023				
L	FOR RESOURCE CONSENT, RF12	26.09.2023	AYRBURN PRECINCT LTD	JS	23.01	A_002
M	FOR RESOURCE CONSENT, CONDITIONS	31.01.2024				

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Wednesday, 24 April 2024



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REV	ISSUE	DATE	PROJECT	DRAWN	DRAWING TITLE		SCALE @ A3
i	FOR CONSULTANT INFO	26.06.2023	HAYBARN VENUE	JS/LB	VIEWS		
J	FOR RESOURCE CONSENT SVR ADDED	09.07.2023					
K	FOR RESOURCE CONSENT, RF1	19.05.2023 27.07.2023	AYRBURN PRECINCT LTD	JS	23.01	A_003	M
L	FOR RESOURCE CONSENT, RF1 2	26.09.2023					
M	FOR RESOURCE CONSENT, CONDITIONS	31.01.2024					

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QUEENSTOWN LAKES DISTRICT COUNCIL

APPROVED PLAN:
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Wednesday, 24 April 2024



1 VIEW FROM HOMESTEAD

LANDSCAPE OMITTED FOR CLARITY.
REFER TO LANDSCAPE DESIGN FOR DETAIL.

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REV	ISSUE	DATE	PROJECT	DRAWN	DRAWING TITLE	SCALE @ A3
i	FOR CONSULTANT INFO	26.06.2023	HAYBARN VENUE	JS/LB	VIEW FROM HOMESTEAD	
J	FOR RESOURCE CONSENT SVR ADDED	09.07.2023				
K	FOR RESOURCE CONSENT, RF1	19.05.2023 27.07.2023	AYRBURN PRECINCT LTD	JS	23.01	A_004
L	FOR RESOURCE CONSENT, RF1 2	26.09.2023				
M	FOR RESOURCE CONSENT, CONDITIONS	31.01.2024				

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QUEENSTOWN LAKES DISTRICT COUNCIL

**APPROVED PLAN:
RM230425**

**PRECEDENT IMAGES
Wednesday, 24 April 2024**



INTERNAL WARMTH



ELEVATION SCALE



RURAL CHARACTER



SCALE AND CHARACTER



ATMOSPHERE



TEXTURE



TIMBER TEXTURE - RUSTIC, POTENTIAL TO BE FELLED FROM SITE

S A STUDIO

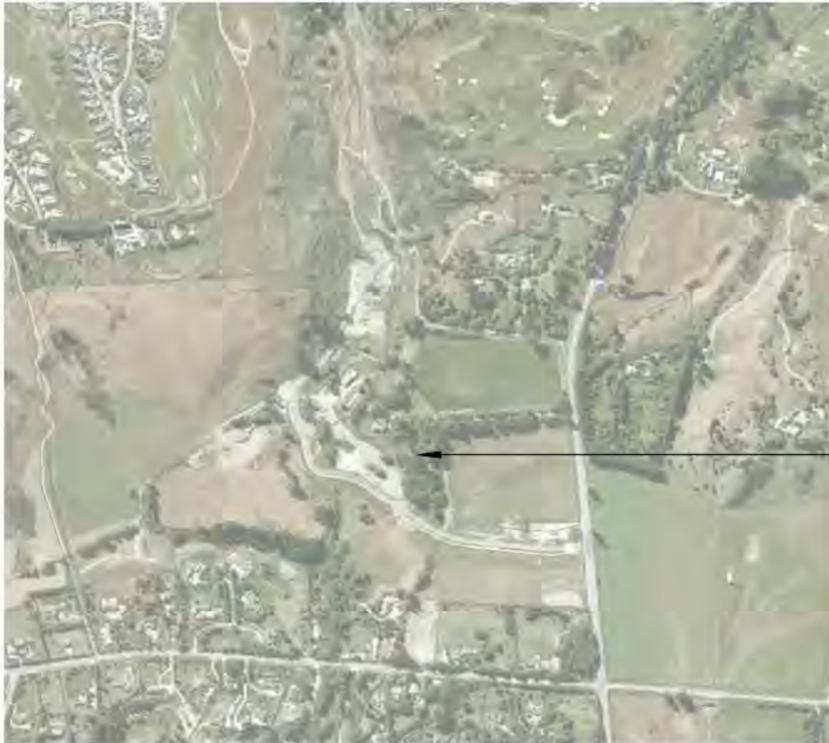
NOTES

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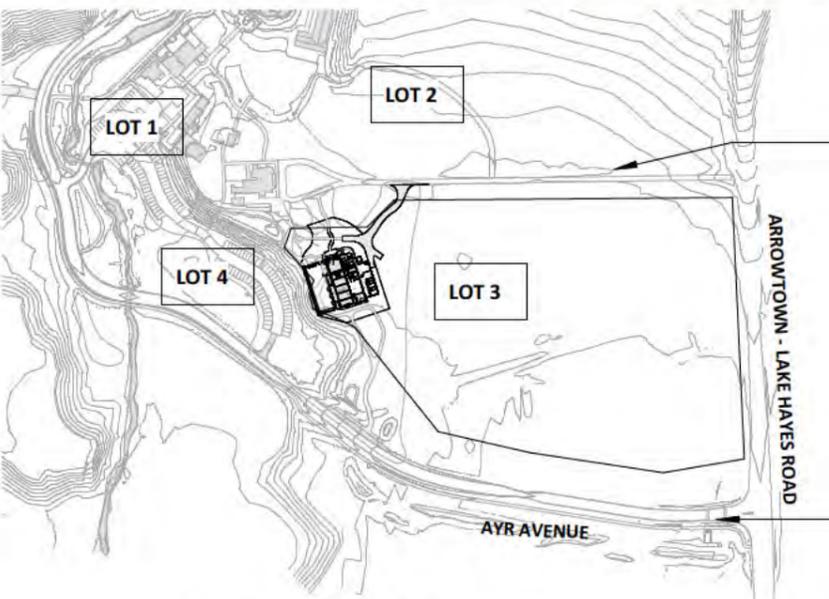
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REV	ISSUE	DATE	PROJECT	DRAWN	DRAWING TITLE	SCALE @ A3		
i	FOR CONSULTANT INFO	26.06.2023	HAYBARN VENUE	JS/LB	PRECEDENT IMAGES			
J	FOR RESOURCE CONSENT SVR ADDED	09.07.2023						
K	FOR RESOURCE CONSENT, RF1	19.05.2023 27.07.2023	AYRBURN PRECINCT LTD	CHECK	FILE	SHEET		
L	FOR RESOURCE CONSENT, RF1 2	26.09.2023						
M	FOR RESOURCE CONSENT, CONDITIONS	31.01.2024						
			CLIENT	JS	23.01	A_005	REV	M

HAYBARN VENUE	
SITE	339 ARROWTOWN-LAKE HAYES ROAD, ARROWTOWN, 9371
LEGAL DESCRIPTION	Lot 3 DP 540788



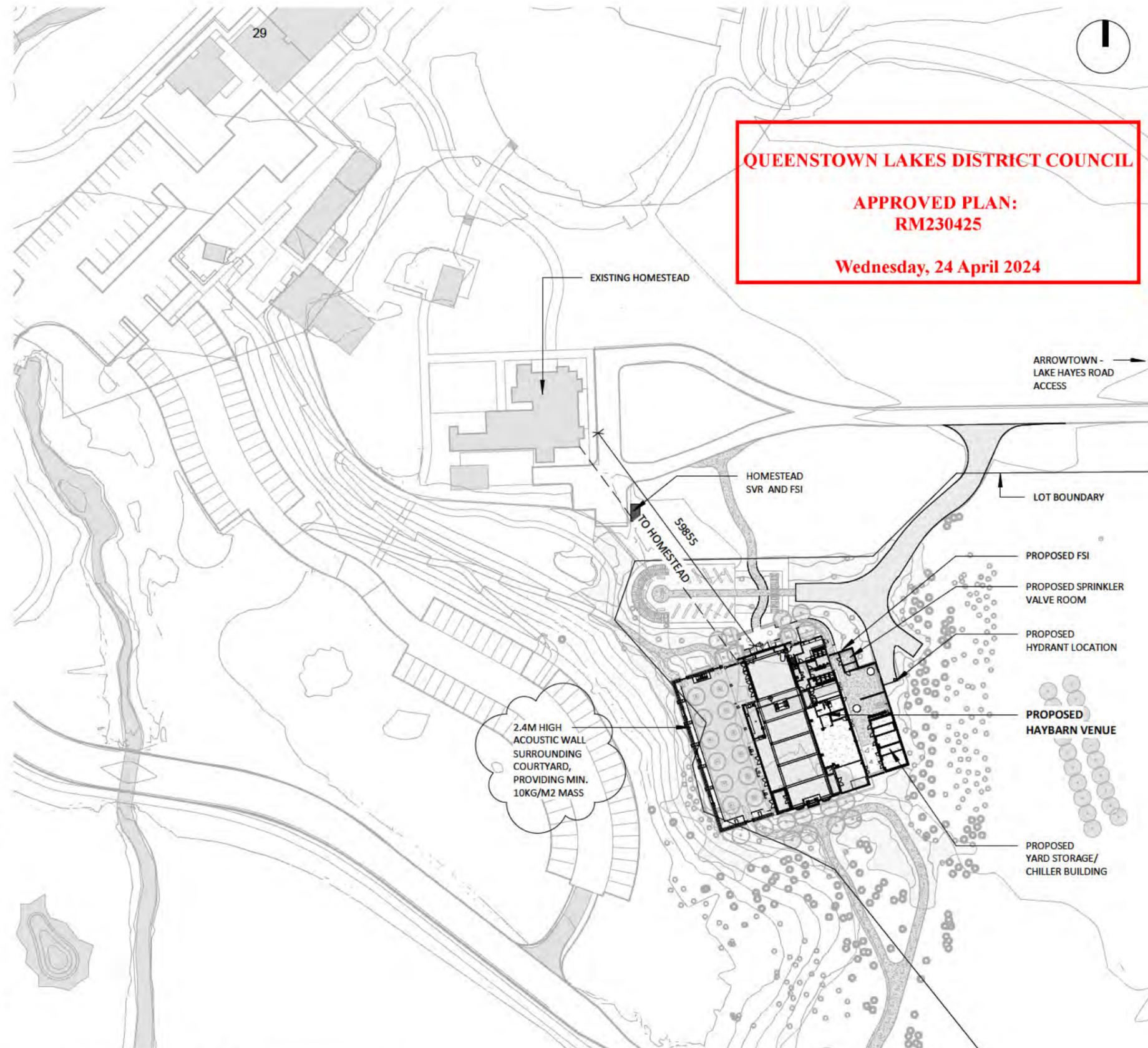
PROPOSED PROJECT LOCATION



ACCESS TO HOMESTEAD AND HAYBARN FOR FIRE APPLIANCE AND LIMITED VEHICLES

MAIN ACCESS ROAD TO AYRBURN DOMAIN

1. PROPOSED WIDER SITE PLAN
1 : 5000
REFER TO PATTERSON PITTS PLANS FOR DETAIL



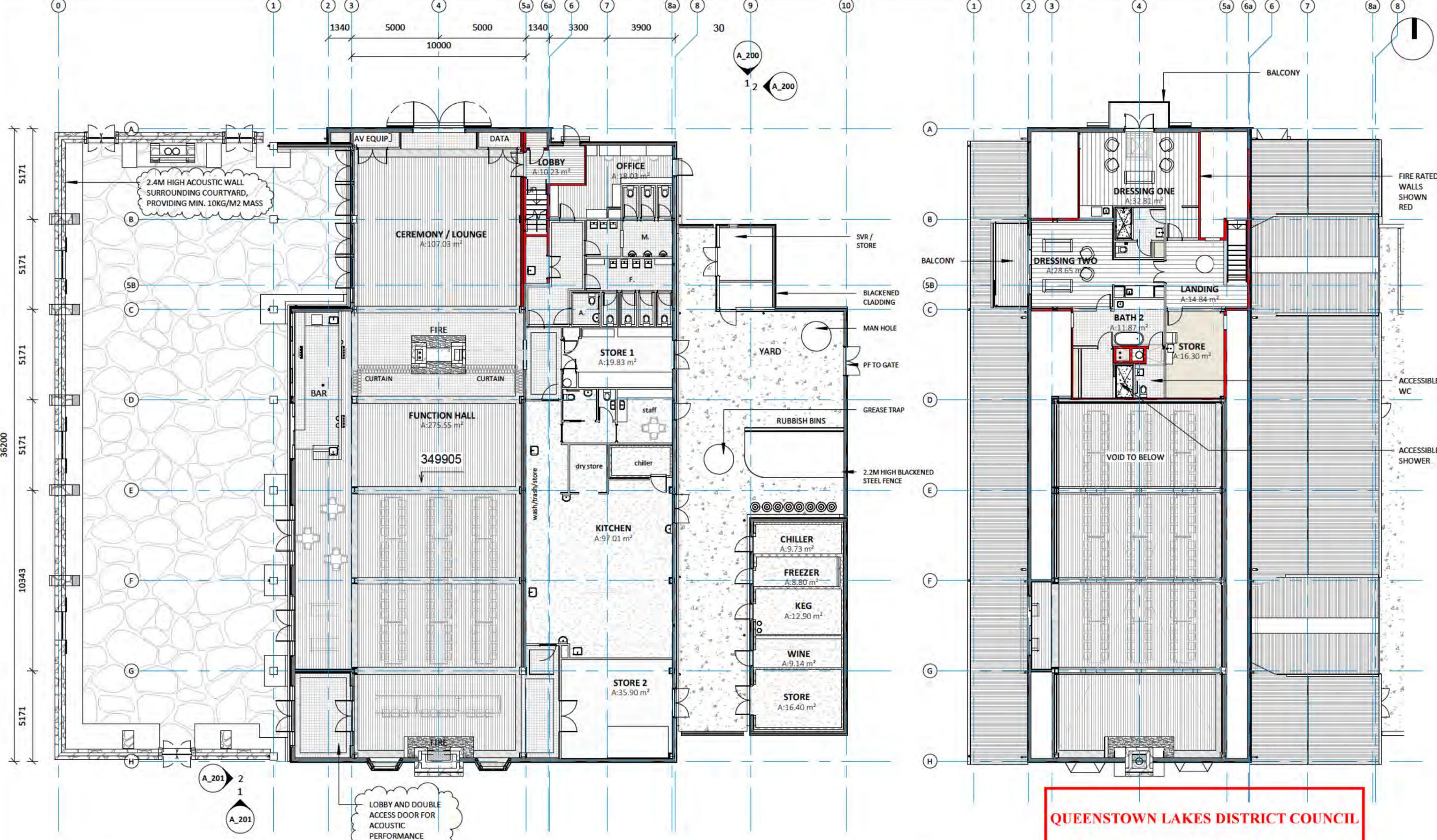
QUEENSTOWN LAKES DISTRICT COUNCIL
APPROVED PLAN:
RM230425
Wednesday, 24 April 2024

2. PROPOSED SITE PLAN
1 : 1000
REFER TO LANDSCAPE PLANS FOR FURTHER DETAIL AND RETAINED TREE LOCATIONS.

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REV	ISSUE	DATE	PROJECT	DRAWN	DRAWING TITLE		SCALE @ A3
i	FOR CONSULTANT INFO	26.06.2023	HAYBARN VENUE	JS/LB	SITE PLAN		As indicated
J	FOR RESOURCE CONSENT SVR ADDED	09.07.2023					
K	FOR RESOURCE CONSENT, RF1	19.05.2023 27.07.2023					
L	FOR RESOURCE CONSENT, RF12	26.09.2023	AYRBURN PRECINCT LTD	JS	FILE	SHEET	M
M	FOR RESOURCE CONSENT, CONDITIONS	31.01.2024			23.01	A_100	



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REV	ISSUE	DATE	PROJECT
I	FOR CONSULTANT INFO	26.06.2023	HAYBARN VENUE
J	FOR RESOURCE CONSENT SVR ADDED	09.07.2023	
K	FOR RESOURCE CONSENT, RF1	19.05.2023 27.07.2023	AYRBURN PRECINCT LTD
L	FOR RESOURCE CONSENT, RF12	26.09.2023	
M	FOR RESOURCE CONSENT, CONDITIONS	31.01.2024	

SCALE @ A3	REV	SHEET	FILE	CHECK	CLIENT	PROJECT	DRAWING TITLE	DRAWN
1 : 200	M	A_101	23.01	JS	AYRBURN PRECINCT LTD	HAYBARN VENUE	HAYBARN PLAN OVERALL	JS/LB

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Document Set ID: 7905259
Version: 1, Version Date: 01/02/2024



QUEENSTOWN LAKES DISTRICT COUNCIL

APPROVED PLAN:
RM230425

Wednesday, 24 April 2024

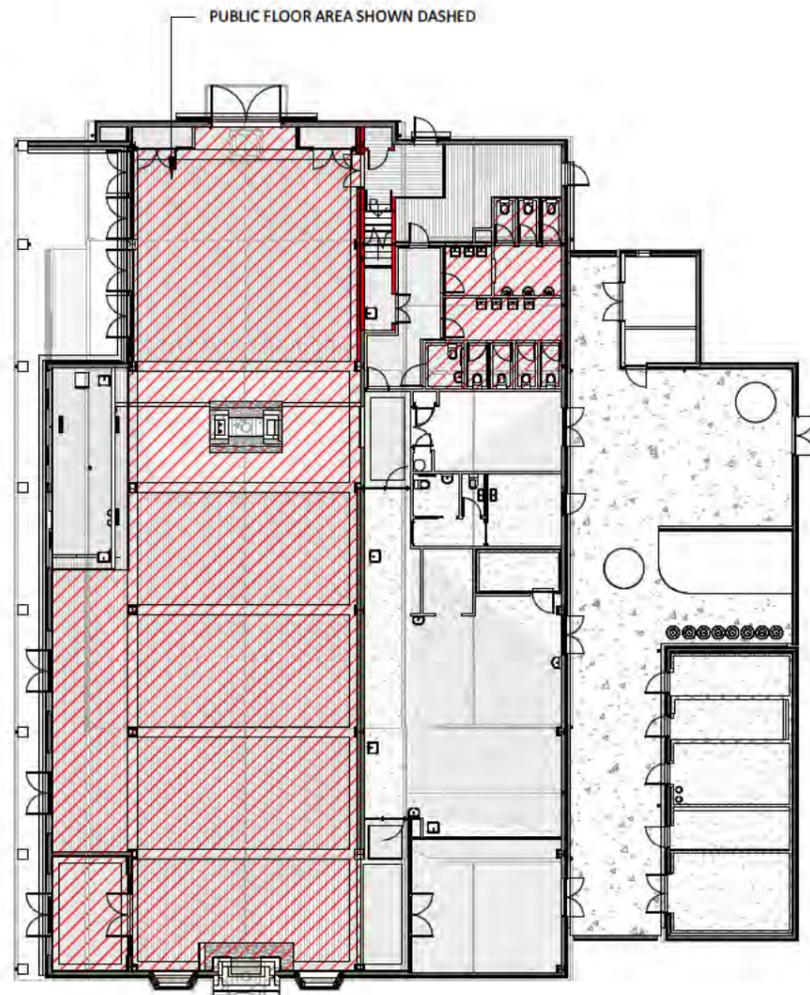
AREAS

HAYBARN VENUE	
SLAB AREA	759M2
FIRST FLOOR AREA	139M2
EXTERNAL YARD BUILDING	63M2
SVR ROOM	13M2
TOTAL FLOOR AREA:	974M2

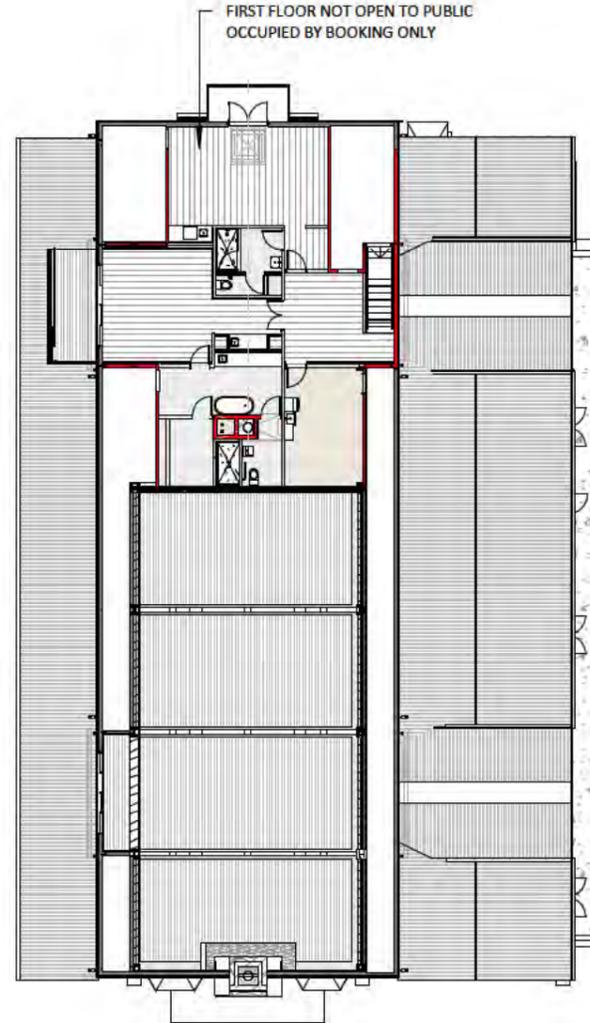
FOOTPRINT	
HAYBARN VENUE	852M2
EXTERNAL YARD BUILDING	68M2
SVR ROOM	16M2
COMBINED	936M2

PUBLIC FLOOR AREA	
GROUND FLOOR	432M2
FIRST FLOOR	-

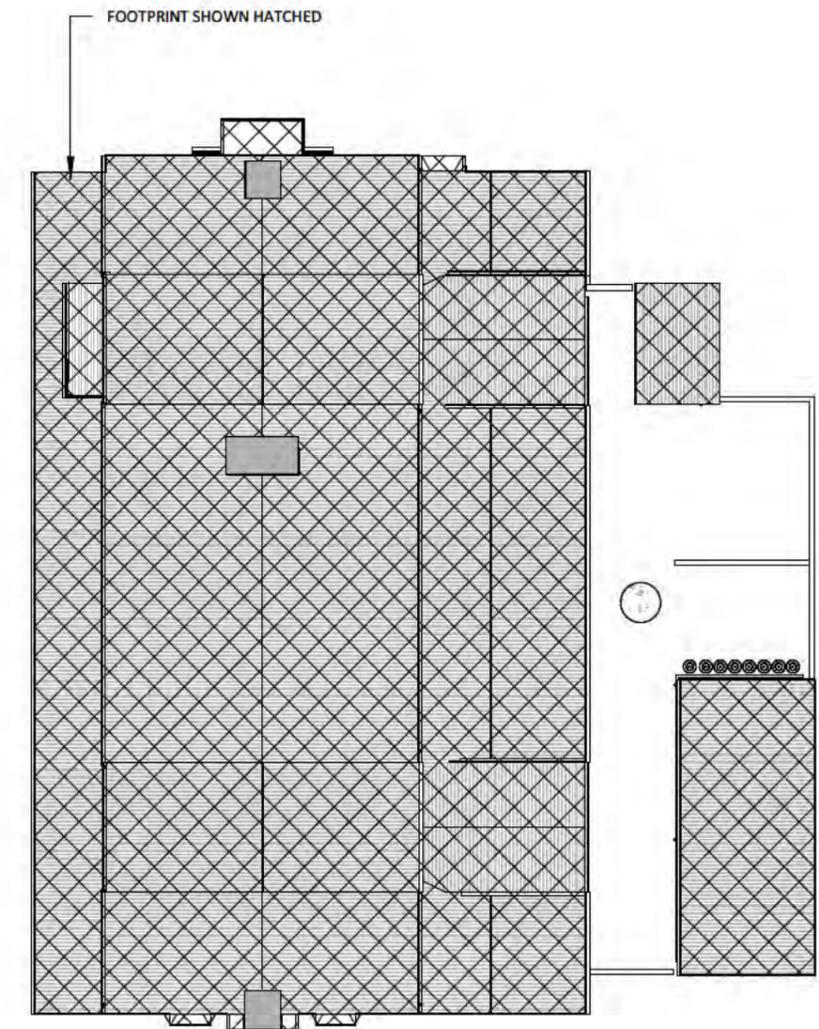
DESIGN OCCUPANCY	180 PAX
-------------------------	---------



1 GROUND FLOOR PFA
1 : 300



2 FIRST FLOOR AREA
1 : 300



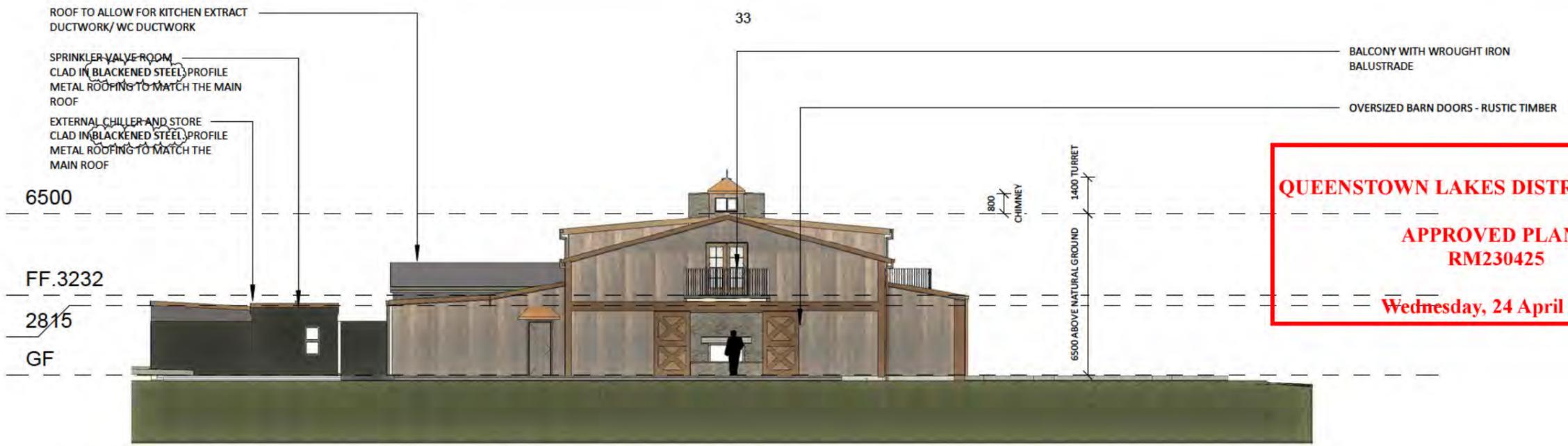
3 ROOF AREA
1 : 300

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REV	ISSUE	DATE
I	FOR CONSULTANT INFO	26.06.2023
J	FOR RESOURCE CONSENT SVR ADDED	09.07.2023
K	FOR RESOURCE CONSENT, RF1	19.05.2023 27.07.2023
L	FOR RESOURCE CONSENT, RF1 2	26.09.2023
M	FOR RESOURCE CONSENT, CONDITIONS	31.01.2024

PROJECT	DRAWN	DRAWING TITLE		SCALE @ A3
HAYBARN VENUE	JSLB	AREAS AND OCCUPANCY		As indicated
CLIENT	CHECK:	FILE	SHEET	REV
AYRBURN PRECINCT LTD	JS	23.01	A_102	M



QUEENSTOWN LAKES DISTRICT COUNCIL
APPROVED PLAN:
RM230425
Wednesday, 24 April 2024

1 NORTH
1 : 200



2 EAST
1 : 200

MATERIALS



CLADDING
RUSTIC VERTICAL
TIMBER.
Stain: Dryden Midnight
or similar. To maintain a rich,
dark brown timber finish.



STONE VENEER
GIBBSTON STONE
RACKED GROUT



FASCIA
RUSTIC TIMBERS



ROOFING
CORRUGATE
MATT FLAXPOD
LRV: 7%



JOINERY
BLACK STEEL



TURRET - EYEBROWS
AGED COPPER



RAINWATER GOODS
COPPER



BLACKENED STEEL
FENCE AND SHED
CLADDING

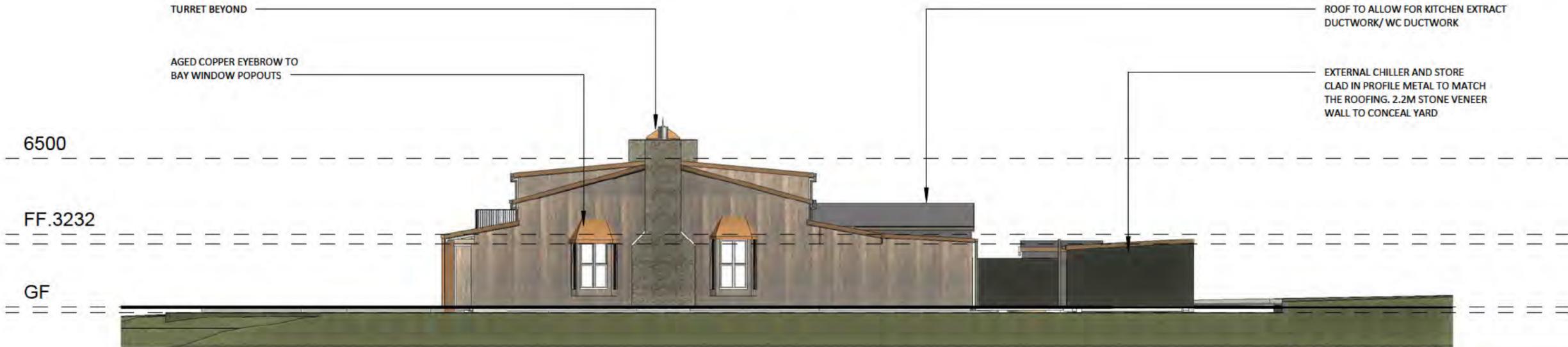
BLACKENED STEEL FENCE TO THE YARD AREA
AND CLADDING OF SVR

EXTERNAL SERVICES
LOUVRES
VENTS
ROOF COWLS
FLAXPOD LRV: 7%

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REV	ISSUE	DATE	PROJECT	DRAWN	DRAWING TITLE	SCALE @ A3
i	FOR CONSULTANT INFO	26.06.2023	HAYBARN VENUE	JS/LB	ELEVATIONS N+E	1 : 200
J	FOR RESOURCE CONSENT SVR ADDED	09.07.2023				
K	FOR RESOURCE CONSENT, RF1	19.05.2023 27.07.2023	AYRBURN PRECINCT LTD	CHECK: JS	FILE: 23.01	SHEET: A_200
L	FOR RESOURCE CONSENT, RF12	26.09.2023				
M	FOR RESOURCE CONSENT, CONDITIONS	31.01.2024				



1 SOUTH
1 : 200

QUEENSTOWN LAKES DISTRICT COUNCIL

APPROVED PLAN:
RM230425

Wednesday, 24 April 2024



2 WEST
1 : 200

MATERIALS



CLADDING
RUSTIC VERTICAL
TIMBER.
Stain: Dryden Midnight
or similar. To maintain a rich,
dark brown timber finish.



STONE VENEER
GIBBSTON STONE
RACKED GROUT



FASCIA
RUSTIC TIMBERS



ROOFING
CORRUGATE
MATT FLAXPOD
LRV: 7%



JOINERY
BLACK STEEL



TURRET - EYEBROWS
AGED COPPER



RAINWATER GOODS
COPPER



BLACKENED STEEL
FENCE AND SHED
CLADDING

EXTERNAL SERVICES
LOUVRES
VENTS
ROOF COWLS
FLAXPOD LRV: 7%

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REV	ISSUE	DATE	PROJECT	DRAWN	DRAWING TITLE	SCALE @ A3
i	FOR CONSULTANT INFO	26.06.2023	HAYBARN VENUE	JS/LB	ELEVATIONS S+W	1 : 200
J	FOR RESOURCE CONSENT SVR ADDED	09.07.2023				
K	FOR RESOURCE CONSENT, RF1	19.05.2023 27.07.2023	AYRBURN PRECINCT LTD	CHECK: JS	FILE: 23.01 SHEET: A_201	REV: M
L	FOR RESOURCE CONSENT, RF12	26.09.2023				
M	FOR RESOURCE CONSENT, CONDITIONS	31.01.2024				

QUEENSTOWN LAKES DISTRICT COUNCIL

APPROVED PLAN:
RM230425

Wednesday, 24 April 2024



AYRBURN

Haybarn Venue

Landscape Drawings

QUEENSTOWN LAKES DISTRICT COUNCIL
APPROVED PLAN:
RM230425
Wednesday, 24 April 2024



Ayrburn - Haybarn Venue - Existing and Consented Neighbourhood
5 April 2024

Extent of works

QUEENSTOWN LAKES DISTRICT COUNCIL

APPROVED PLAN:
RM230425

Wednesday, 24 April 2024



Proposed rain garden to collect runoff from gravel carpark, refer CKL report and PPG drawings

Grassed swale (Existing)

Proposed gravel carpark mounding and planting

Proposed bus stop

Homestead avenue... To be used for accessible, deliveries and emergency access

Proposed Haybarn venue building 760m²

Existing woodland, refer Woodland Tree Survey Plan

Amended carpark layout, refer PPG drawings

Title Boundary

Area maintained as open space (RM200791)

Bus drop off

Ayr Avenue

1.75m high flood bund to be mown pasture grass to match pasture in paddock



Toe Toe
Austideria richardii



Makura Sedge
Carex secta



Red Tussock
Chinochloa rubra



Swamp Flax
Phormium tenax



NZ Rush
Juncus gregiflorus



indicative planting reference plants to be planted at pb5 grade, spaced to 1.2m





Pergolas with climbing roses to 3m high



Outdoor fireplace to 2m high excluding flue



2.4m high schist wall with soldier course

Amended carpark layout, refer to PPG drawings

Pleached trees to perimeter

Stacked schist wall as per existing Ayrburn walls, 2.4m high with arched entry & buttresses

Proposed mass planting

Proposed schist paved terraces

Proposed specimen trees

Ayr Avenue

Existing woodland

Proposed haybarn venue building

Proposed bus drop off bay

Proposed pathway to Haybarn venue building in reinforced gravel

Proposed culvert over swale

Title Boundary

Curtillage Area

Building platform approved under RM200791

Existing woodland

Proposed formal celebratory garden with seating & climbing rose pergola beneath retained mature trees

Proposed pedestrian gravel path to venue entry through existing mature trees

5x cycle parks

Existing woodland

Existing access

Proposed gravel service yard with 2.2m high fence

Proposed compacted crusher dust access for mobility, service and emergency vehicles

Proposed exposed aggregate threshold

Proposed accessible carpark



2.2m high timber paling fence around service courtyard

QUEENSTOWN LAKES DISTRICT COUNCIL

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Specimen tree planting species



Oriental Plane
Platanus orientalis 80L
3m high - 60mm cal



Ornamental pear
Pyrus calleryana 80L
3m high - 60mm cal



Lime tree
Tilia cordata 50L
3m high - 60mm cal

Woodland mass planted groundcover and hedge planting



Portugal Laurel,
Prunus lusitanica
PB40 - .7m spacing



Bluebells
Scilla sp.
PB5 - .7m spacing



Heuchera,
Heuchera Spp
PB5 - .7m spacing



Daffodils
Narcissus sp.
PB5 - .7m spacing



Snowdrops
Galanthus sp.
PB5 - .7m spacing



Polystichum Vestitum
Prickly Shield Fern
PB5 - .7m spacing



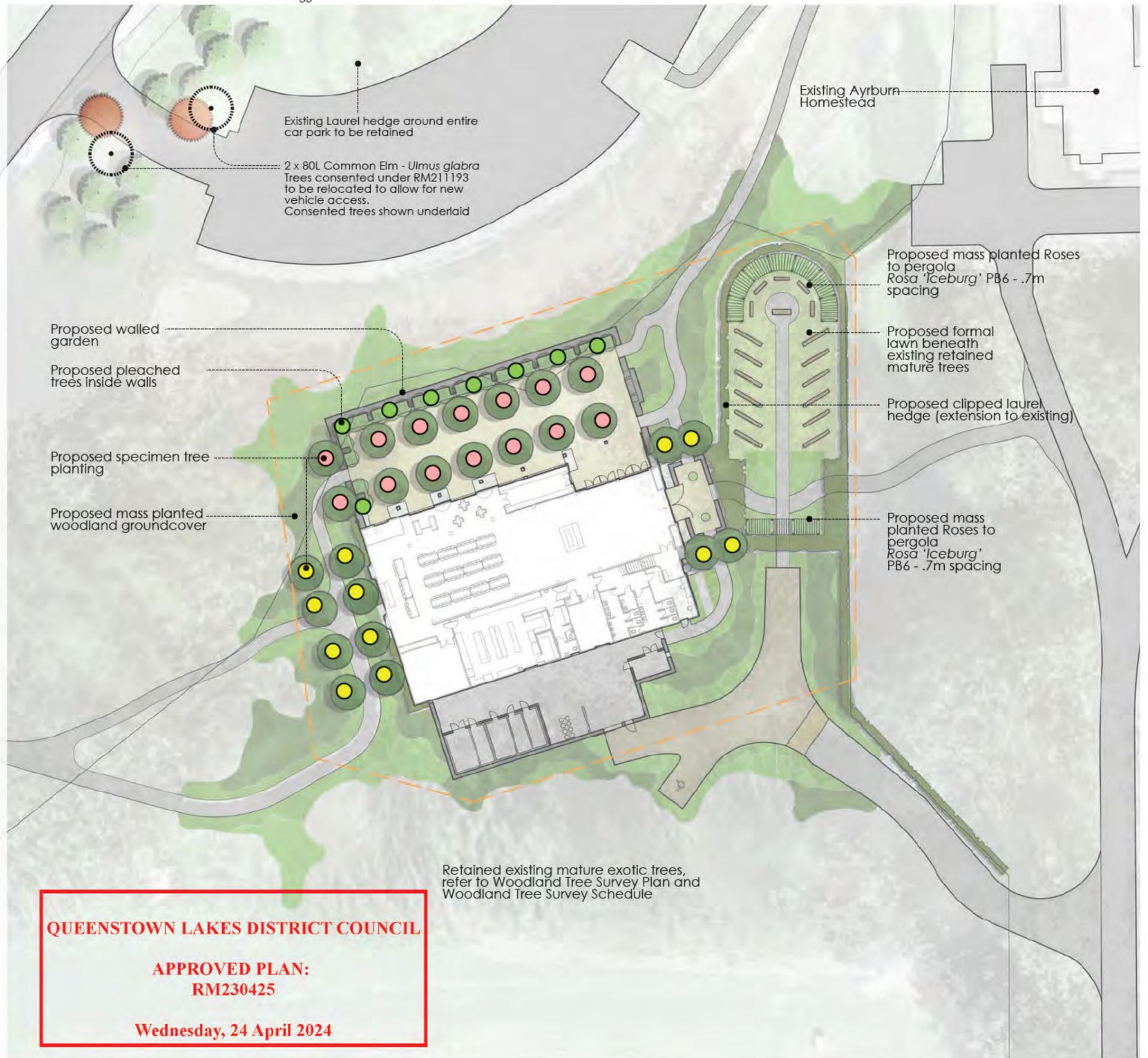
Ligularia,
Ligularia Spp
PB5 - .7m spacing



Hydrangea,
Hydrangea Spp
PB5 - .7m spacing



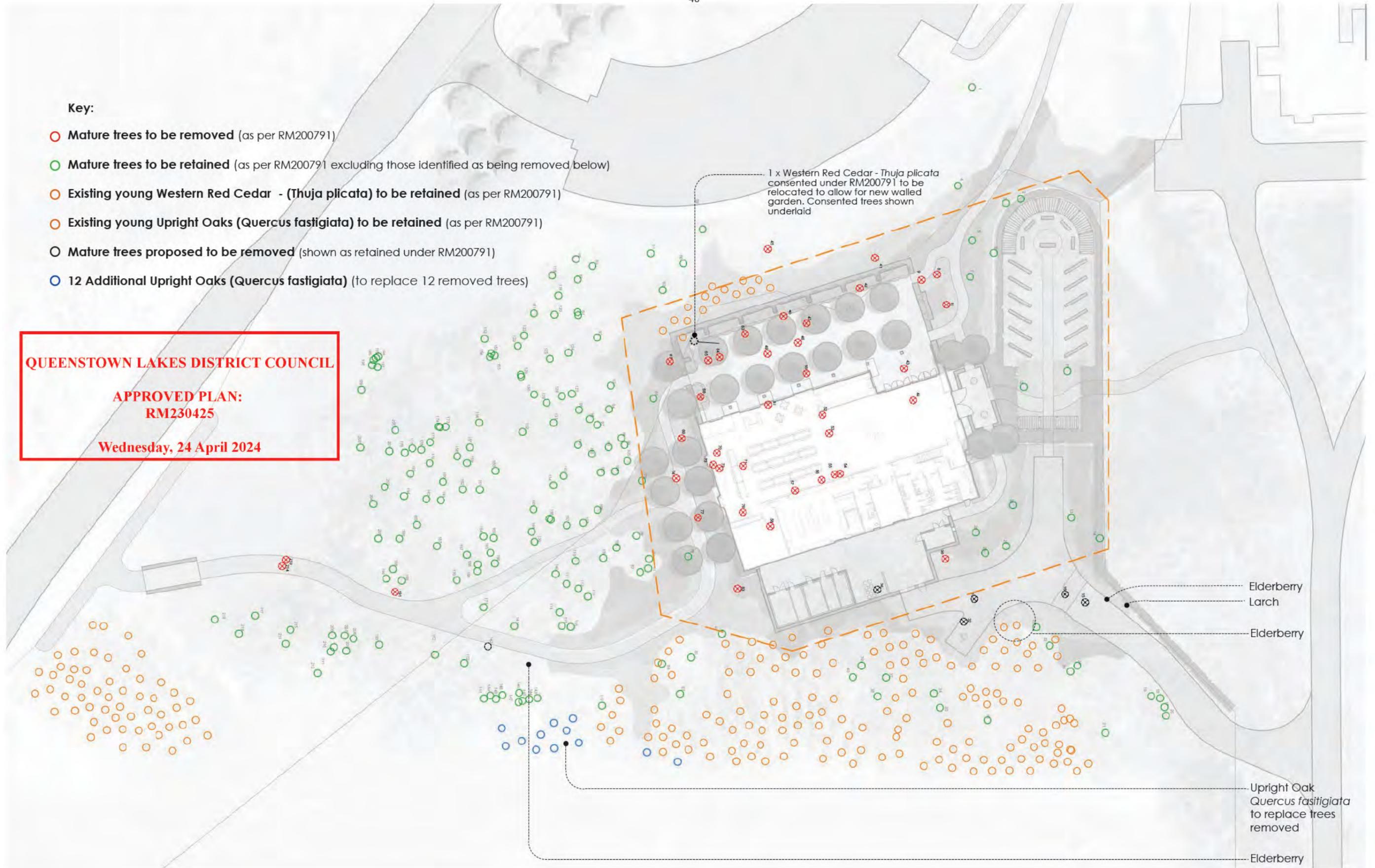
Hellebore
Hydrangea Spp
PB5 - .7m spacing



Key:

- Mature trees to be removed (as per RM200791)
- Mature trees to be retained (as per RM200791 excluding those identified as being removed below)
- Existing young Western Red Cedar - (*Thuja plicata*) to be retained (as per RM200791)
- Existing young Upright Oaks (*Quercus fastigiata*) to be retained (as per RM200791)
- Mature trees proposed to be removed (shown as retained under RM200791)
- 12 Additional Upright Oaks (*Quercus fastigiata*) (to replace 12 removed trees)

QUEENSTOWN LAKES DISTRICT COUNCIL
APPROVED PLAN:
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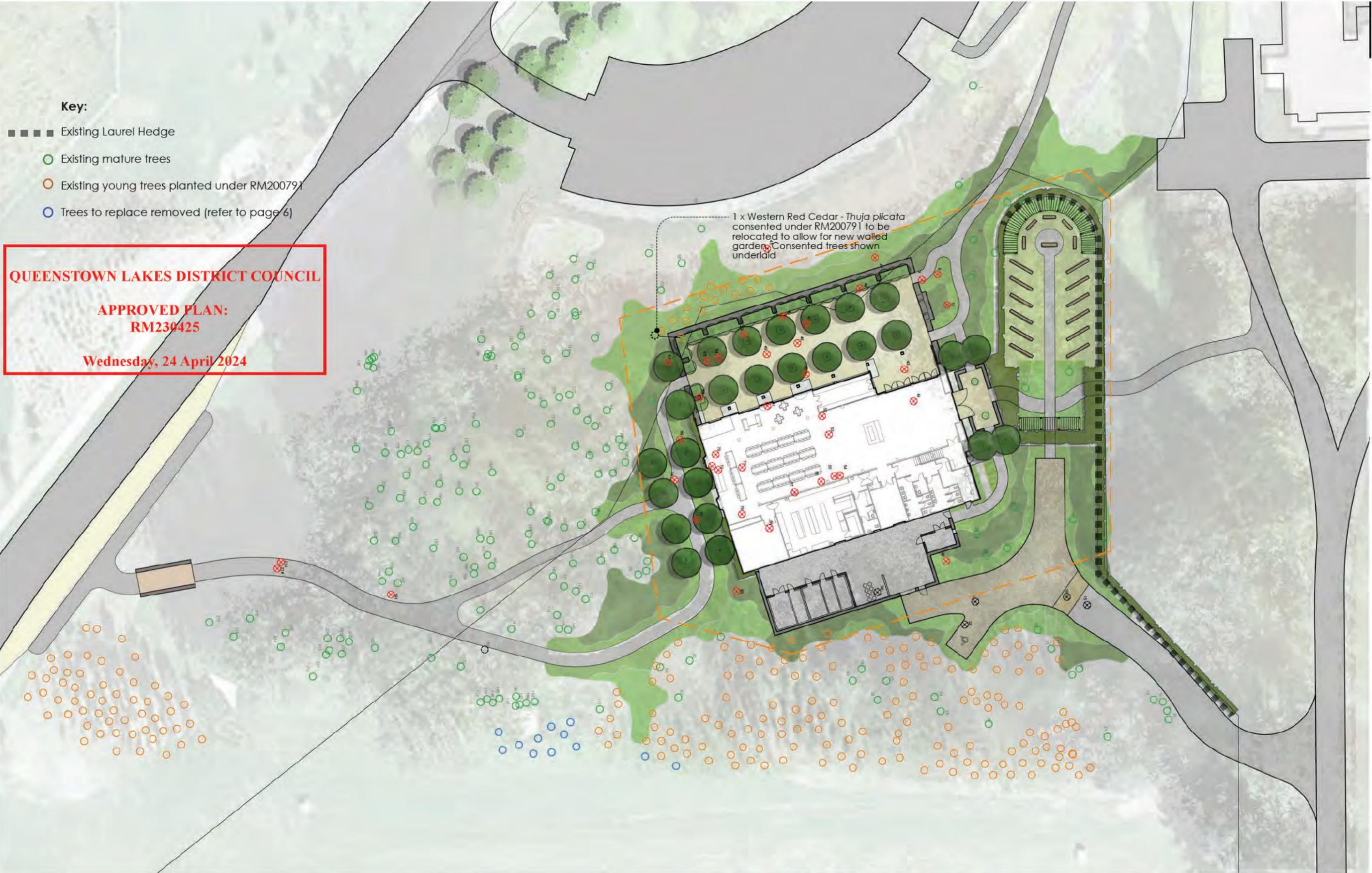
Tree #	Species	Notes	Tree #	Species	Notes	Tree #	Species	Notes	Tree #	Species	Notes	Tree #	Species	Notes
QUEENSTOWN LAKES DISTRICT COUNCIL														
2	Larch		52	Pine	To Remove	101	Elderberry		151	Elm		201	Elm	
3	Larch	APPROVED PLAN: RM200791 Monday, 17 May 2021	53	Larch	To Remove	102	Elm		152	Elm		202	Elm	
4	Larch		54	Elderberry	To Remove	103	Elm		153	Elm		203	Ash	
5	Spruce		55	Elderberry	To Remove	104	Elm		154	Elm		204	Oak	
6	Spruce		56	Elderberry	To Remove	105	Elm		155	Elm		205	Elm	
7	Spruce		57	Elderberry	To Remove	106	Elm		156	Elm		206	Elderberry	
8	Spruce		To Remove	58	Hawthorn	To Remove	107	Elm		157	Elm		207	Elderberry
9	Larch	To Remove	59	Poplar		108	Elm		158	Elm		208	Elderberry	
10	Spruce	To Remove	60	Poplar		109	Elm		159	Elm		209	Elderberry	
11	Spruce		61	Poplar		110	Elm		160	Elm		210	Elderberry	
12	Spruce		62	Poplar		111	Elm		161	Elm		211	Elderberry	
13	Elderberry		63	Spruce	To Remove	112	Elm		162	Elm		212	Elm	
14	Larch		64	Larch	To Remove	113	Elm		163	Elm		213	Elderberry	To Remove
15	Larch		65	Spruce	To Remove	114	Elm		164	Elm		214	Elderberry	To Remove
16	Elderberry		66	Larch	To Remove	115	Elm		165	Elm		215	Oak	
17	Spruce		67	Larch	To Remove	116	Elm		166	Elm		216	Elderberry	
18	Elderberry		68	Larch		117	Elm		167	Elm		217	Ash	
19	Spruce		69	Larch	To Remove	118	Elm		168	Elm		218	Elderberry	
20	Spruce		70	Elm	To Remove	119	Elderberry		169	Elm		219	Oak	
21	Pine		71	Larch	To Remove	120	Elderberry		170	Elm				
22	Larch		72	Elm	To Remove	121	Elm		171	Oak				
23	Larch		73	Elm	To Remove	122	Elderberry		172	Elderberry				
24	Larch		74	Elm	To Remove	123	Elderberry		173	Elm				
25	Spruce		75	Elm		124	Elm		174	Elm	Double Trunk			
26	Pine		76	Spruce	To Remove	125	Elderberry		175	Elm				
27	Larch		77	Elm	To Remove	126	Elm	Double Trunk	176	Elm				
28	Spruce		78	Elderberry		127	Elm		177	Elm				
29	Larch		79	Spruce		128	Elderberry		178	Elm				
30	Larch		80	Elm		129	Elm		179	Poplar				
31	Elderberry		81	Elm		130	Elm		180	Elm				
32	Elderberry		82	Elm		131	Elm		181	Elm				
33	Elderberry		83	Poplar	To Remove	132	Oak		182	Elm				
34	Larch		84	Maple		133	Elm		183	Elm				
35	Spruce		85	Plum		134	Elm		184	Elm				
36	Spruce		86	Elm		135	Elm		185	Elm				
37	Elderberry		87	Walnut		136	Elm	Double Trunk	186	Oak				
38	Elderberry		88	Elm		137	Elm		187	Elm				
39	Elderberry		89	Elm		138	Elm		188	Elm				
40	Elderberry		90	Elm		139	Elm		189	Elm				
41	Pine	To Remove	91	Elm	Double Trunk	140	Elm		190	Elm				
42	Spruce	To Remove	92	Elm		141	Elm		191	Elderberry	To Remove			
43	Larch	To Remove	93	Plum		142	Elderberry		192	Oak				
44	Larch	To Remove	94	Elderberry		143	Elm		193	Hawthorn				
45	Poplar	To Remove	95	Elm		144	Elm		194	Elm				
46	Spruce	To Remove	96	Elm		145	Elm		195	Elm				
47	Pine	To Remove	97	Larch		146	Elm		196	Elm				
48	Larch	To Remove	98	Elm		147	Elm		197	Elm				
49	Larch	To Remove	99	Elm		148	Elm		198	Elm				
50	Larch	To Remove	100	Elm		149	Elm		199	Elm				
						150	Elm		200	Elm				

QUEENSTOWN LAKES DISTRICT COUNCIL

**APPROVED PLAN:
RM230425**

Wednesday, 24 April 2024







●
Oriental Plane
Platanus orientalis 80L
3m high - 60mm cal



●
Downlighting on timber bollards as per existing Carpark
To have a hidden light source and be located less than 1.0m above GL. Fitting to be we-ef SVL134 6 Watt 2700K (or similar)

2 x mature willows to be retained

All batter slopes and mounds to be topsoiled and planted in the following species @ 1m spacings

- Chinochloa Spp. PB3
- Hebe Spp. PB3
- Phormium Spp. PB3
- Carex Spp. PB3
- Plagianthus Spp. PB3

Slope beyond in grass to match hillside

Gravel carpark and access

Earth mounds to 1.5m high

- Lighting**
-  In-wall wash lights
 -  Bollards with rebated down lights
 -  Down lights mounted on posts

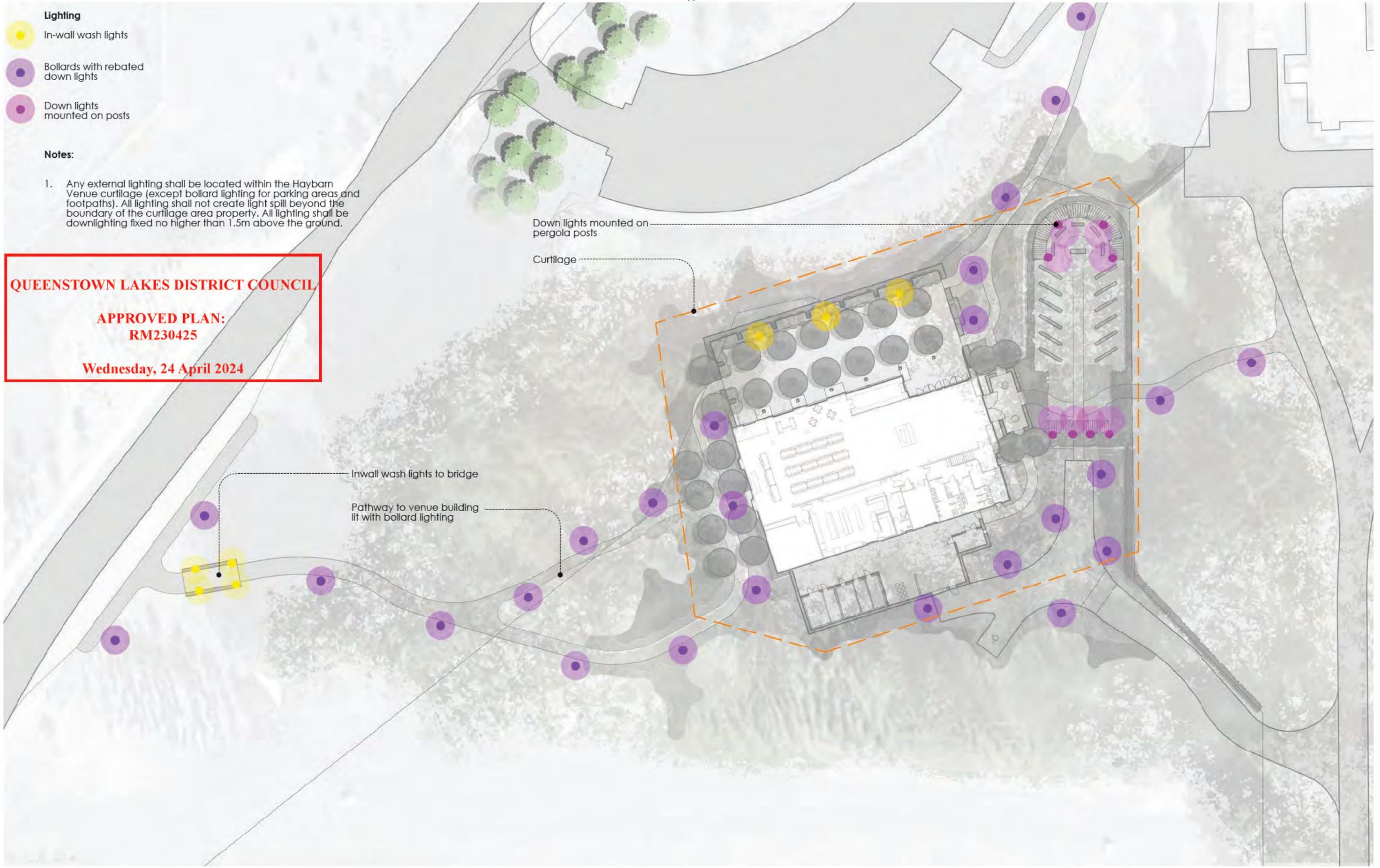
Notes:

- Any external lighting shall be located within the Haybarn Venue curtilage (except bollard lighting for parking areas and footpaths). All lighting shall not create light spill beyond the boundary of the curtilage area property. All lighting shall be downlighting fixed no higher than 1.5m above the ground.

QUEENSTOWN LAKES DISTRICT COUNCIL

**APPROVED PLAN:
RM230425**

Wednesday, 24 April 2024





Halcyon EX901 recessed wall light



Timber bollard with recessed luminaire

(Downlighting on timber bollards as per Ayrburn Domain)

To have a hidden light source and be located less than 1.0m above GL. Fitting to be we-ef SVL134 6 Watt 990 Lmn, 2700K (to comply with Southern Light Strategy)

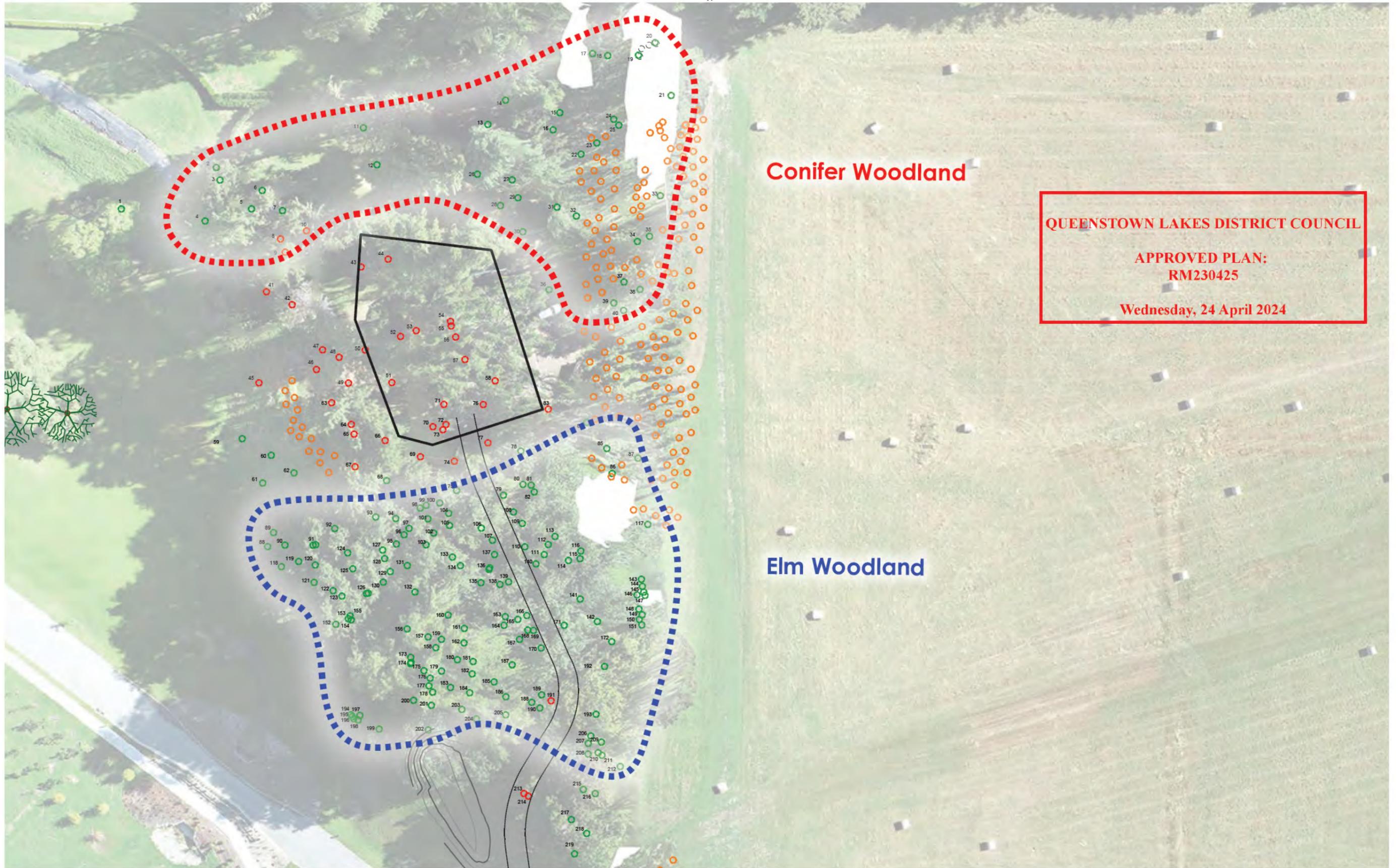


Halcyon EX150 Column Spot (down light)

Extent of works

QUEENSTOWN LAKES DISTRICT COUNCIL
APPROVED PLAN:
RM230425
Wednesday, 24 April 2024





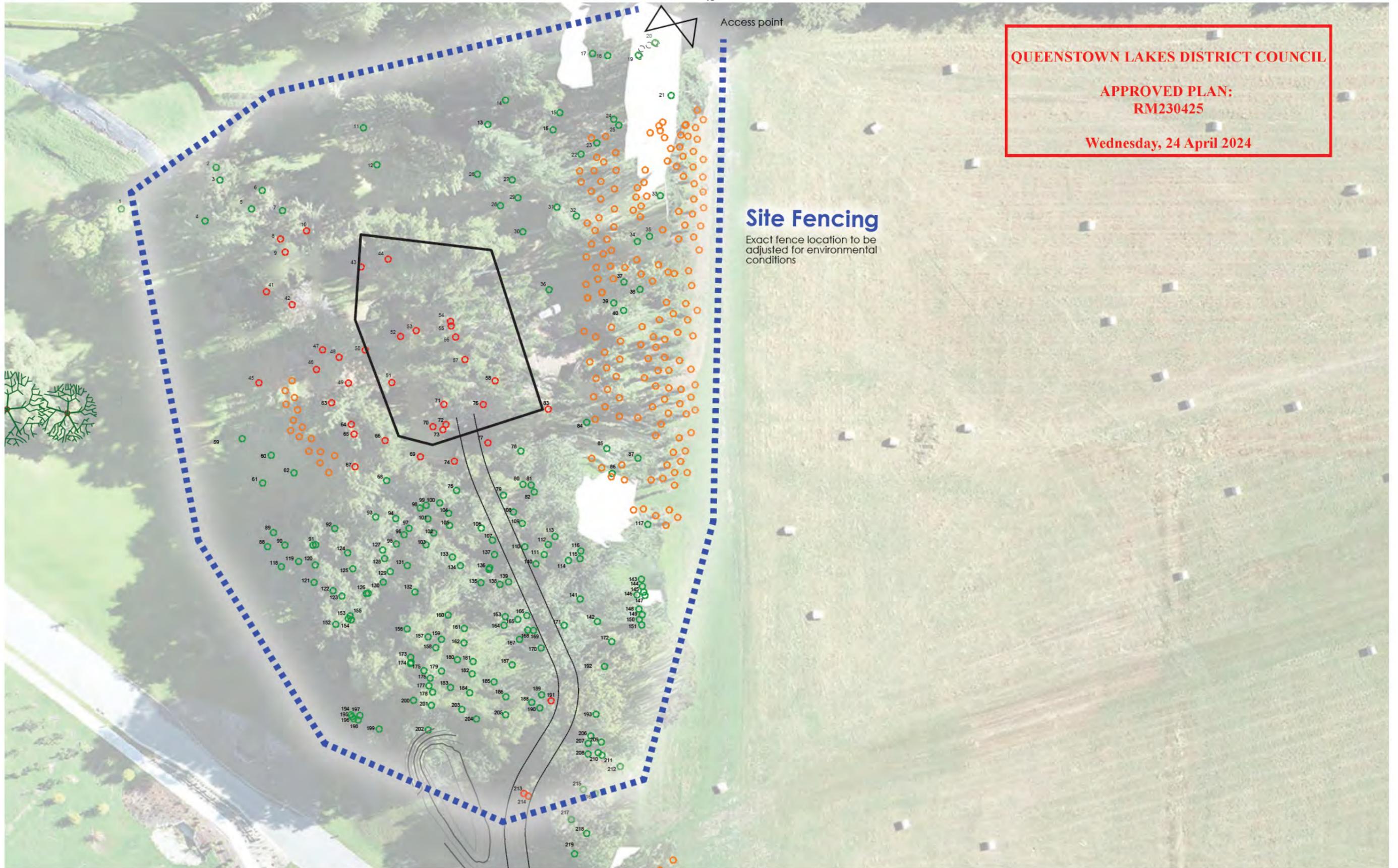
Conifer Woodland

Elm Woodland

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Wednesday, 24 April 2024



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Wednesday, 24 April 2024

Site Fencing

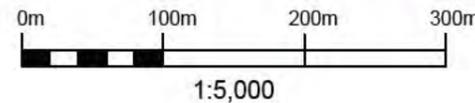
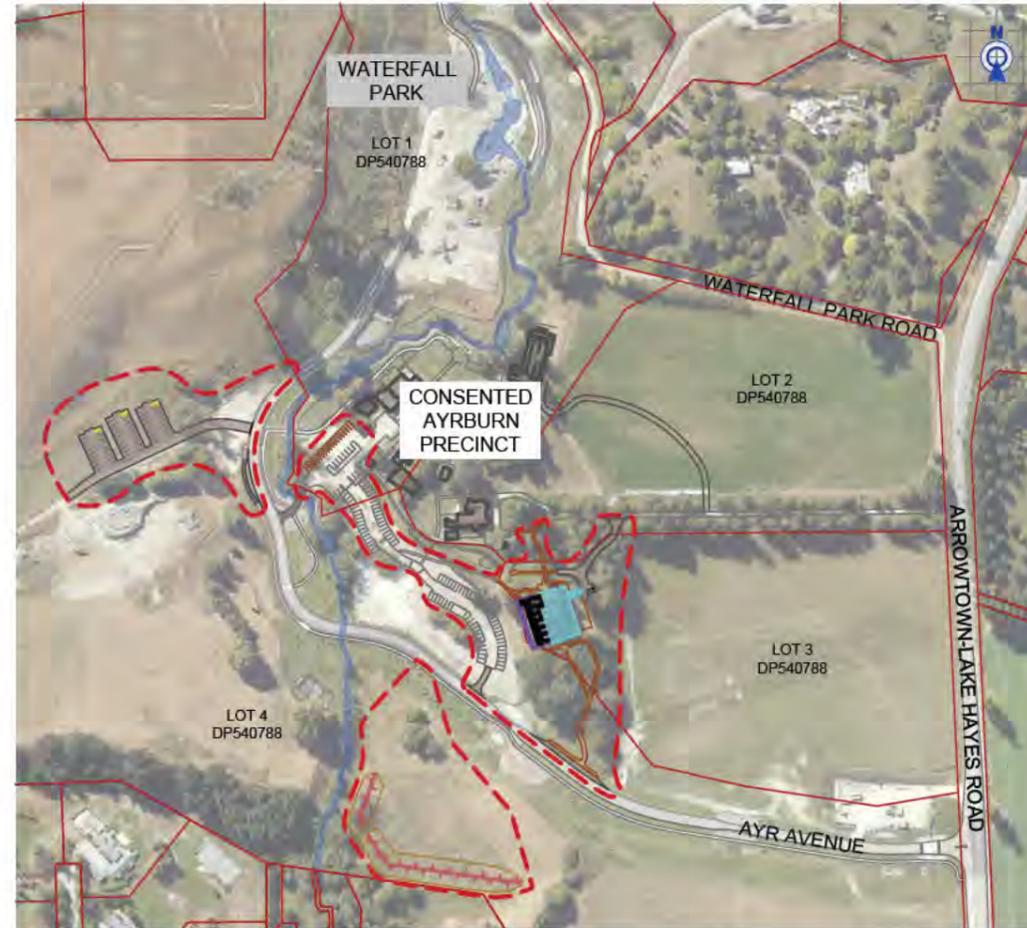
Exact fence location to be adjusted for environmental conditions

AYRBURN PRECINCT LTD

HAYBARN VENUE - RESOURCE CONSENT DRAWINGS

PLAN INDEX

SHEET	CONTENTS	REV	DATE
INDEX			
001	SHEET INDEX	D	07/03/2024
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100	SITE PLAN	C	8/12/2023
EARTHWORKS			
200	EXISTING CONTOUR PLAN	A	06/06/2023
210	PROPOSED CONTOURS	B	02/11/2023
211	PROPOSED AND DEPTH CONTOURS	B	07/03/2024
212	PROPOSED AND DEPTH CONTOURS	A	06/06/2023
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251	PROPOSED HAYBARN, BUS BAY AND CARPARK EXIT ESCP	C	28/11/2023
252	EROSION AND SEDIMENT CONTROL - DEB	A	06/06/2023
253	EROSION AND SEDIMENT CONTROL - ESC DEVICES	A	06/06/2023
254	EROSION AND SEDIMENT CONTROL - SRP DETAILS	A	06/06/2023
ROADING			
301	ROADING - CARPARK LAYOUT	B	8/12/2023
302	ROADING - HAYBARN LAYOUT	A	06/06/2023
310	VEHICLE TRACKING - TOUR COACH	A	06/06/2023
311	VEHICLE TRACKING - HAYBARN	A	06/06/2023
320	AYRBURN CARPARK ALLOCATION	A	06/06/2023
340	ROADING - CROSS SECTIONS	A	06/06/2023
350	ROADING - SIGHT LINE SECTIONS	A	06/06/2023
3 WATERS			
400	PROPOSED 3 WATERS - OVERVIEW	C	8/12/2023
410	PROPOSED 3 WATERS	B	8/12/2023
411	PROPOSED 3 WATERS	A	06/06/2023
412	PROPOSED 3 WATERS	B	02/11/2023
430	STORMWATER TREATMENT	B	02/11/2023
610	HYDRANT LAYOUT PLAN	A	06/06/2023



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DP540788

Purpose & Drawing Title:
HAYBARN VENUE
SHEET INDEX

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Checked by:	SW		
Approved by:		DO NOT SCALE	
Job No:	Drawing No:	Sheet No:	Revision No: Date:
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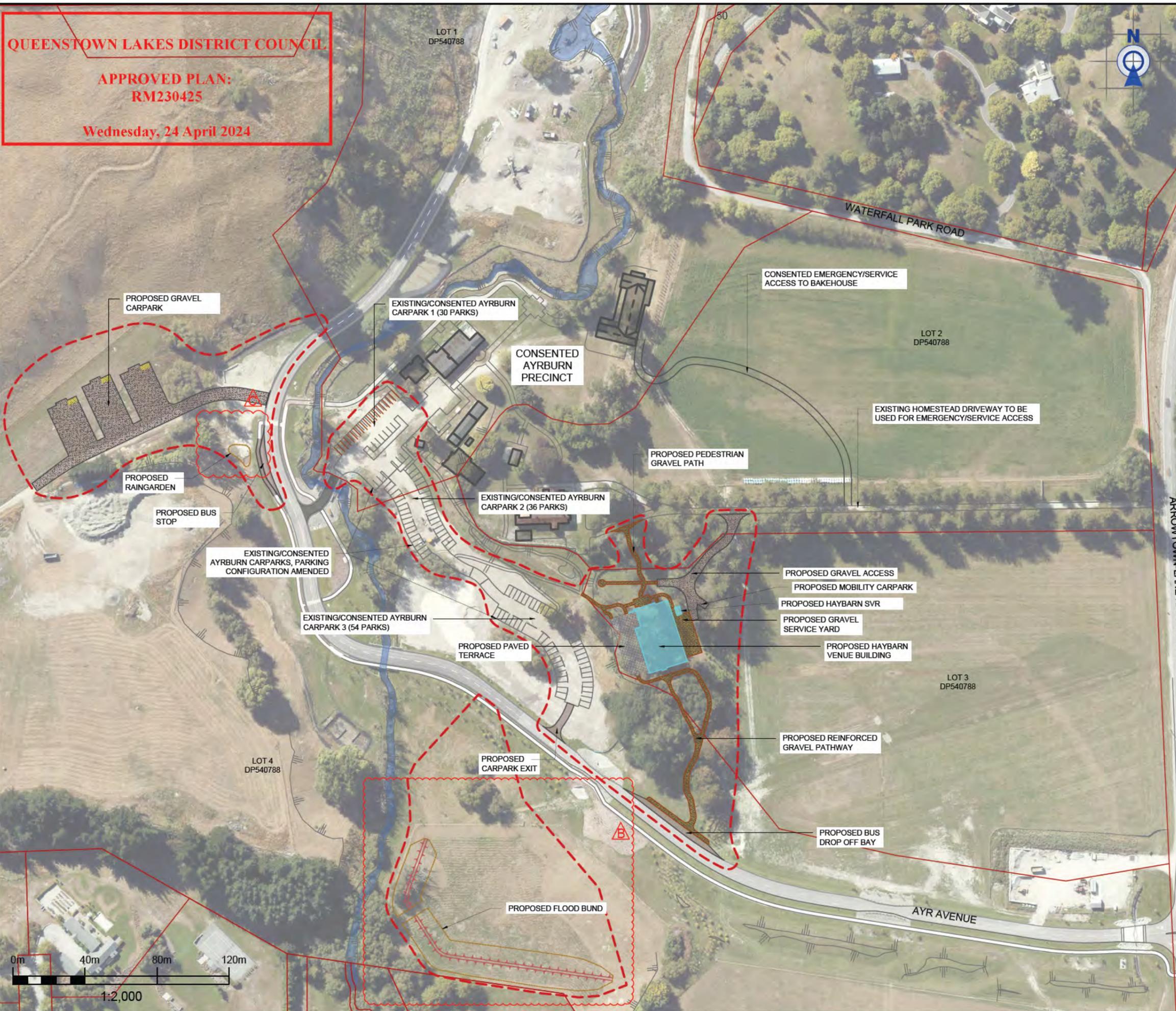
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**APPROVED PLAN:
RM230425**

Wednesday, 24 April 2024

LEGEND

-  LEGAL BOUNDARY
-  MILL CREEK
-  PROPOSED HAYBARN VENUE BUILDING
-  PROPOSED PEDESTRIAN GRAVEL PATHWAY
-  PROPOSED BUS DROP OFF BAY & CARPARK EXIT
-  PROPOSED GRAVEL CARPARK & ACCESS
-  PROPOSED PAVED TERRACE
-  EXISTING / CONSENTED BUILDINGS
-  SITE EXTENTS



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Purpose & Drawing Title:
HAYBARN VENUE
 SITE PLAN

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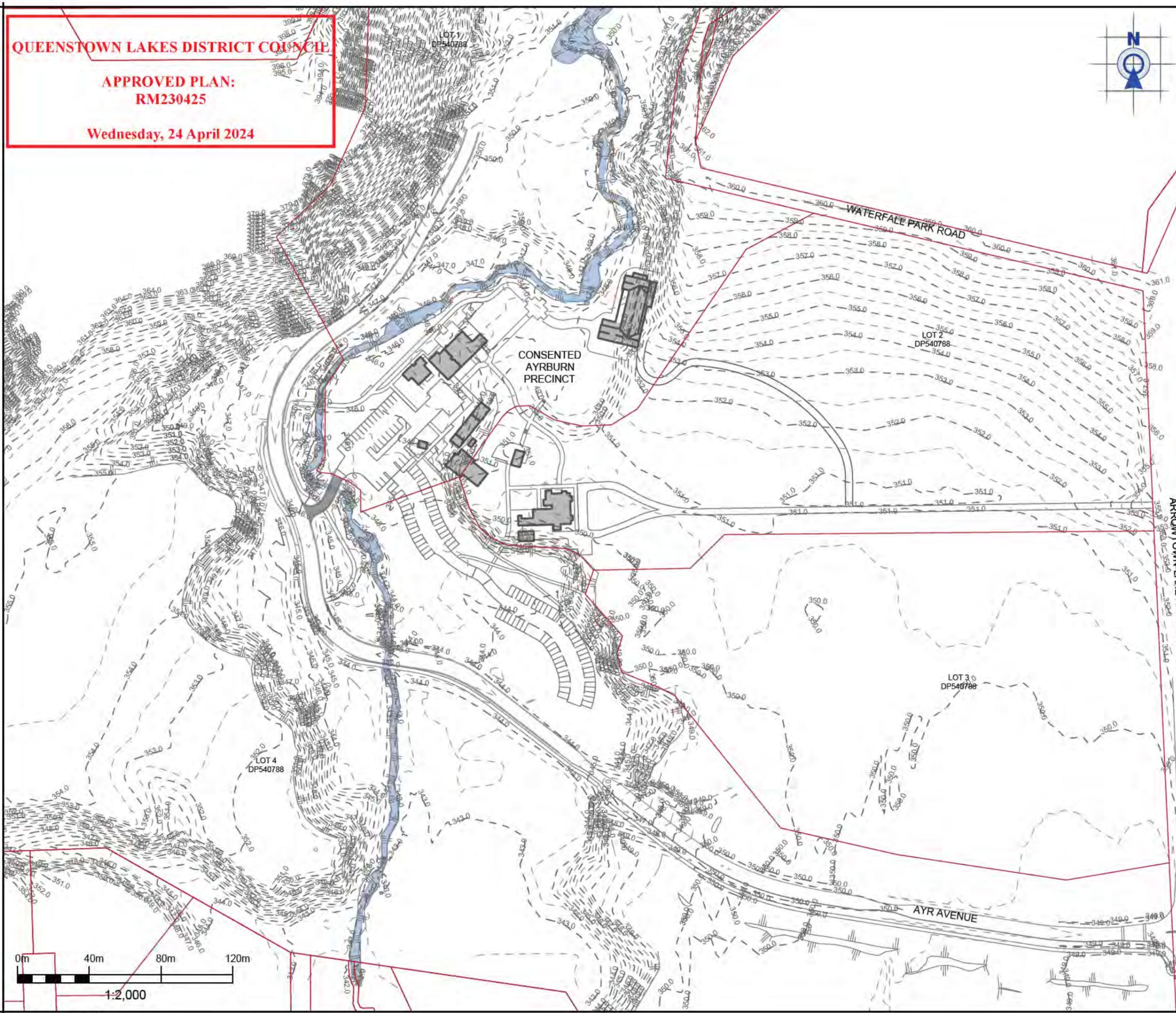
QUEENSTOWN LAKES DISTRICT COUNCIL

APPROVED PLAN:
RM230425

Wednesday, 24 April 2024

LEGEND

-  LEGAL BOUNDARY
-  MILL CREEK
-  EXISTING CONTOURS (0.25m INTERVAL)
-  EXISTING / CONSENTED BUILDINGS
-  SITE EXTENTS



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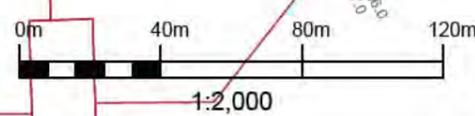
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 HAYBARN VENUE
 EXISTING CONTOURS

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		Revision No:	A
		Date:	06/06/2023



QUEENSTOWN LAKES DISTRICT COUNCIL

APPROVED PLAN:
RM230425

Wednesday, 24 April 2024

LEGEND

-  LEGAL BOUNDARY
-  MILL CREEK
-  PROPOSED CONTOURS (0.25m INTERVAL)
-  PROPOSED HAYBARN VENUE BUILDING
-  PROPOSED PEDESTRIAN GRAVEL PATHWAY
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-  PROPOSED GRAVEL CARPARK & ACCESS
-  PROPOSED PAVED TERRACE
-  EXISTING / CONSENTED BUILDINGS
-  SITE EXTENTS



REFER SHEET 211 & 301

REFER SHEET 212 & 302

REFER SHEET 213

CONSENTED
AYRBURN
PRECINCT

LOT 2
DP540788

LOT 3
DP540788

LOT 4
DP540788

WATERFALL PARK ROAD

ARROWTOWN LAKE HAYES ROAD

AYR AVENUE

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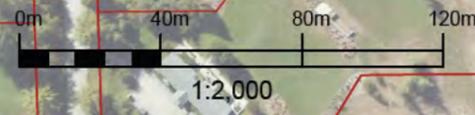
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Purpose & Drawing Title:
 HAYBARN VENUE
 PROPOSED CONTOURS - OVERVIEW

FOR CONSENT

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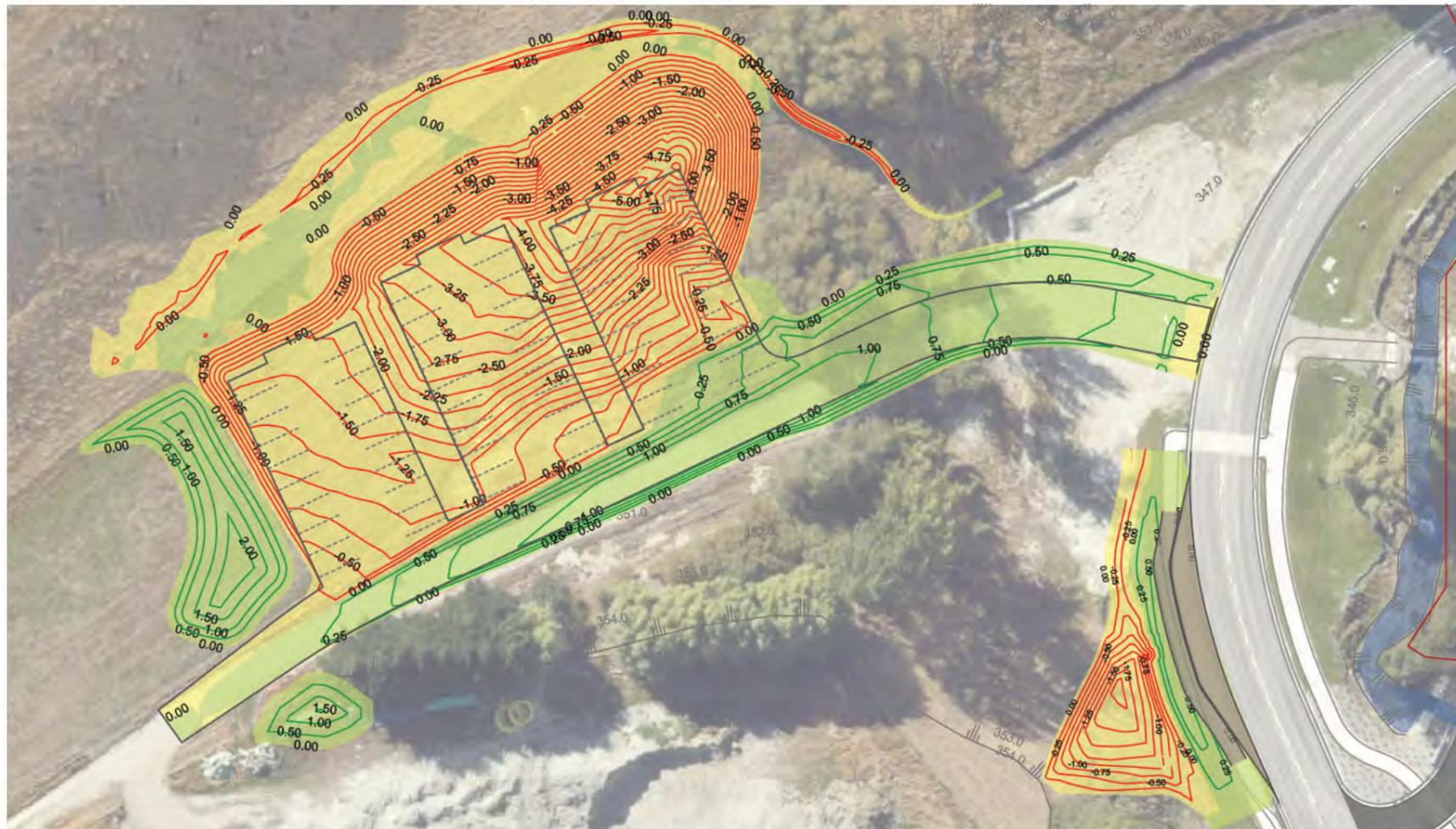
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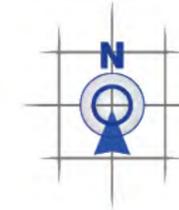
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PROPOSED CONTOURS



DEPTH CONTOURS



LEGEND

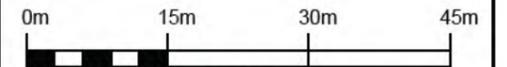
- LEGAL BOUNDARY
- MILL CREEK
- 354.0 PROPOSED CONTOURS (0.25m INTERVAL)
- 0.50 PROPOSED CUT CONTOUR (0.25m INTERVAL)
- 0.50 PROPOSED FILL CONTOUR (0.25m INTERVAL)
- PROPOSED GRAVEL CARPARK
- SITE EXTENTS

EARTHWORKS

1. TOPSOIL
 - 1.1 STRIP 4,100 m³
 - 1.2 RESPREAD 1,600 m³
 - 1.3 EXCESS 2,500 m³
2. EARTHWORKS
 - 2.1 CUT 6,500 m³
 - 2.2 FILL 4,400 m³
 - 2.3 EXCESS (WASTE OFF SITE) 2,100 m³
 - 2.4 IMPORTED TO FILL 2,000 m³
3. MAX CUT/FILL DEPTH -5.00m / 2.00m
4. AREA OF EARTHWORKS 1.3 Ha

NOTES

5. ALL SEDIMENT AND EROSION CONTROLS TO BE ESTABLISHED IN ACCORDANCE WITH AUCKLAND CITY COUNCIL GD05. REFER SHEETS 250-252 FOR FURTHER DETAIL.
6. CONTRACTOR TO ESTABLISH SEDIMENT AND EROSION CONTROLS PRIOR TO COMMENCING EARTHWORKS.
7. CONTRACTOR TO LOCATE ALL EXISTING UTILITIES PRIOR TO COMMENCING EXCAVATION.
8. ALL FILL TO BE PLACED IN ACCORDANCE WITH APPLICABLE GEOTECHNICAL OR ROAD PAVEMENT SPECIFICATION.



1:750

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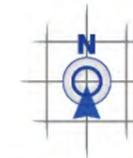
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Purpose & Drawing Title:

HAYBARN VENUE
PROPOSED AND DEPTH CONTOURS

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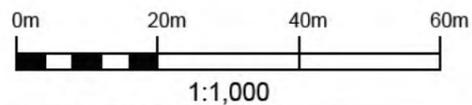
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PROPOSED CONTOURS



DEPTH CONTOURS



QUEENSTOWN LAKES DISTRICT COUNCIL
APPROVED PLAN:
RM230425
Wednesday, 24 April 2024

LEGEND

- LEGAL BOUNDARY
- MILL CREEK
- PROPOSED CONTOURS (0.25m INTERVAL)
- 0.50 PROPOSED CUT CONTOUR (0.25m INTERVAL)
- 0.50 PROPOSED FILL CONTOUR (0.25m INTERVAL)
- PROPOSED HAYBARN VENUE BUILDING
- PROPOSED BUS DROP OFF BAY, CARPARK EXIT AND GRAVEL ACCESS TO HAYBARN VENUE BUILDING
- PROPOSED PEDESTRIAN GRAVEL PATHWAY
- SITE EXTENTS

EARTHWORKS

1. TOPSOIL	
1.1 STRIP	4,100 m ³
1.2 RESPREAD	1,600 m ³
1.3 EXCESS	2,500 m ³
2. EARTHWORKS	
2.1 CUT	6,500 m ³
2.2 FILL	4,400 m ³
2.3 EXCESS (WASTE OFF SITE)	2,100 m ³
2.4 IMPORTED TO FILL	2,000 m ³
3. MAX CUT/FILL DEPTH	-5.00m / 2.00m
4. AREA OF EARTHWORKS	1.3 Ha

- NOTES**
5. ALL SEDIMENT AND EROSION CONTROLS TO BE ESTABLISHED IN ACCORDANCE WITH AUCKLAND CITY COUNCIL GD05. REFER SHEETS 250-252 FOR FURTHER DETAIL.
 6. CONTRACTOR TO ESTABLISH SEDIMENT AND EROSION CONTROLS PRIOR TO COMMENCING EARTHWORKS.
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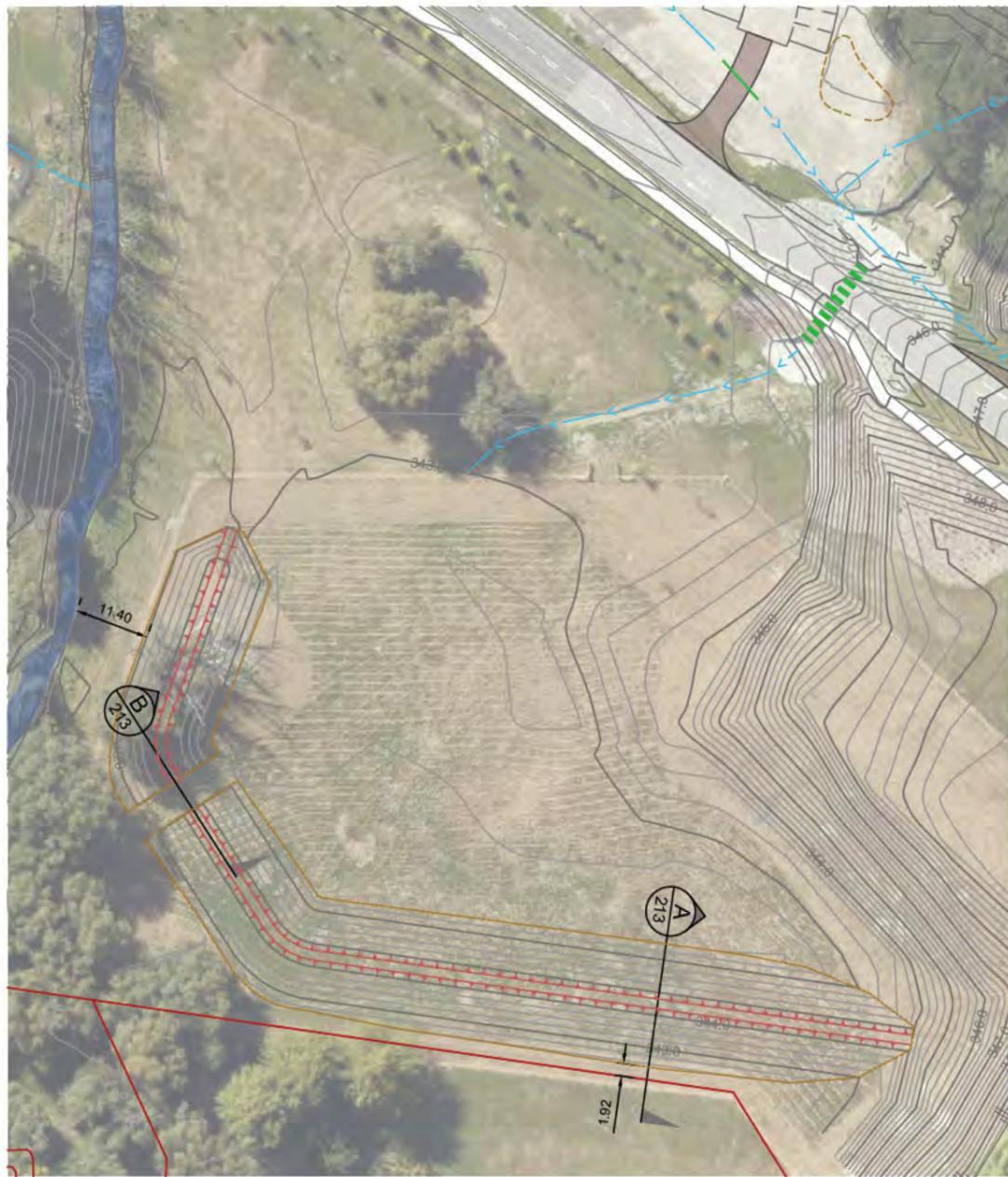
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PROPOSED AND DEPTH CONTOURS

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Approved by:		DO NOT SCALE	
Job No:	Drawing No:	Sheet No:	Revision No: Date:
Q6388	32 - 10	212	A 06/06/2023



PROPOSED CONTOURS
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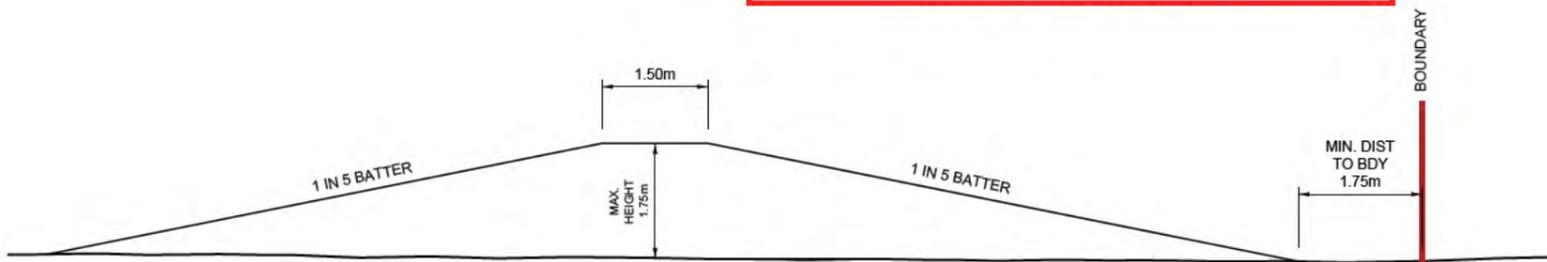
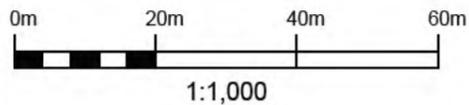


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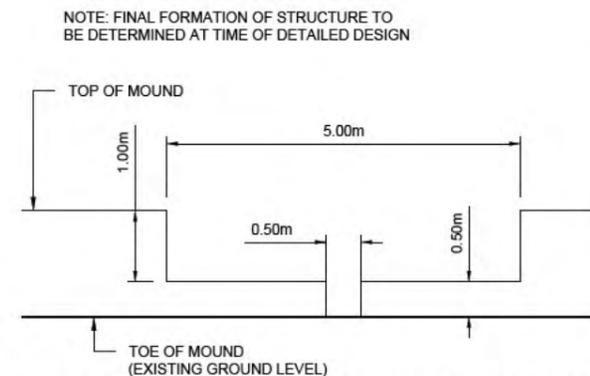
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Wednesday, 24 April 2024



SECTION A - FLOOD BUND CROSS SECTION
SCALE 1:100



SECTION B - FLOOD BUND OUTLET CONTROL STRUCTURE
SCALE 1:100

LEGEND

- LEGAL BOUNDARY
- MILL CREEK
- PROPOSED CONTOURS (0.25m INTERVAL)
- PROPOSED CUT CONTOUR (0.25m INTERVAL)
- PROPOSED FILL CONTOUR (0.25m INTERVAL)
- PROPOSED HAYBARN VENUE BUILDING
- PROPOSED BUS DROP OFF BAY, CARPARK EXIT AND GRAVEL ACCESS TO HAYBARN VENUE BUILDING
- PROPOSED PEDESTRIAN GRAVEL PATHWAY
- SITE EXTENTS

EARTHWORKS

1. TOPSOIL	
1.1 STRIP	4,100 m ³
1.2 RESPREAD	1,600 m ³
1.3 EXCESS	2,500 m ³
2. EARTHWORKS	
2.1 CUT	6,500 m ³
2.2 FILL	4,400 m ³
2.3 EXCESS (WASTE OFF SITE)	2,100 m ³
2.4 IMPORTED TO FILL	2,000 m ³
3. MAX CUT/FILL DEPTH	-5.00m / 2.00m
4. AREA OF EARTHWORKS	1.3 Ha

- NOTES**
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Purpose & Drawing Title:
HAYBARN VENUE
PROPOSED AND DEPTH CONTOURS

FOR CONSENT

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Checked by:	SW		
Approved by:		DO NOT SCALE	
Job No:	Q6388	Drawing No:	32 - 10
		Sheet No:	213
		Revision No:	B
		Date:	02/11/2023

FORM AND LINE SWALE ABOVE EARTHWORKS WITH PINNED OVERLAPPED GEOTEXTILE AND EXTEND THE CHANNEL TO THE EXISTING CULVERT UNDER AYR AVENUE.

CONSTRUCT 1% MAXIMUM GRADE CONTOUR DRAINS / DIVERSION CHANNELS IN THE CUT / FILL SURFACES TO DIRECT DIRTY WATER TO THE DECANTING EARTH BUND (DEB) AS THE EARTHWORK'S PROGRAMME PROCEEDS

STABILISED SITE ENTRANCE WITH CULVERT UNDER

SEDIMENT RETENTION POND (SRP) AT THE HEAD OF THE EXISTING SWALE TO TREAT EARTHWORK'S RUNOFF. 150m³ REQUIRED STORAGE VOLUME. FLOATING BOOM DECANT AS PER EMP

ROCK LINED DRAIN ALONG EDGE OF EXISTING FARM TRACK

CLEAN WATER DIVERSION CHANNEL TO CONVEY DOWN THE SLOPE INTO THE EXISTING GRASS SWALE

EARTH BUND AROUND STOCKPILE AREA WITH DECANTING EARTH BUND (DEB) AT LOW POINT, 0.5Ha CATCHMENT AREA. OUTLET TO LINED CLEAN WATER CHANNEL.

EXISTING WATERFALL PARK STOCKPILE AREA

EXISTING GRASS SWALE, RUNOFF FLOWS TO MILL CREEK VIA EXISTING SRP. SRP TO PROVIDE SECONDARY TREATMENT OF RUNOFF BEFORE DISCHARGE.

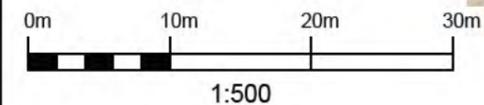
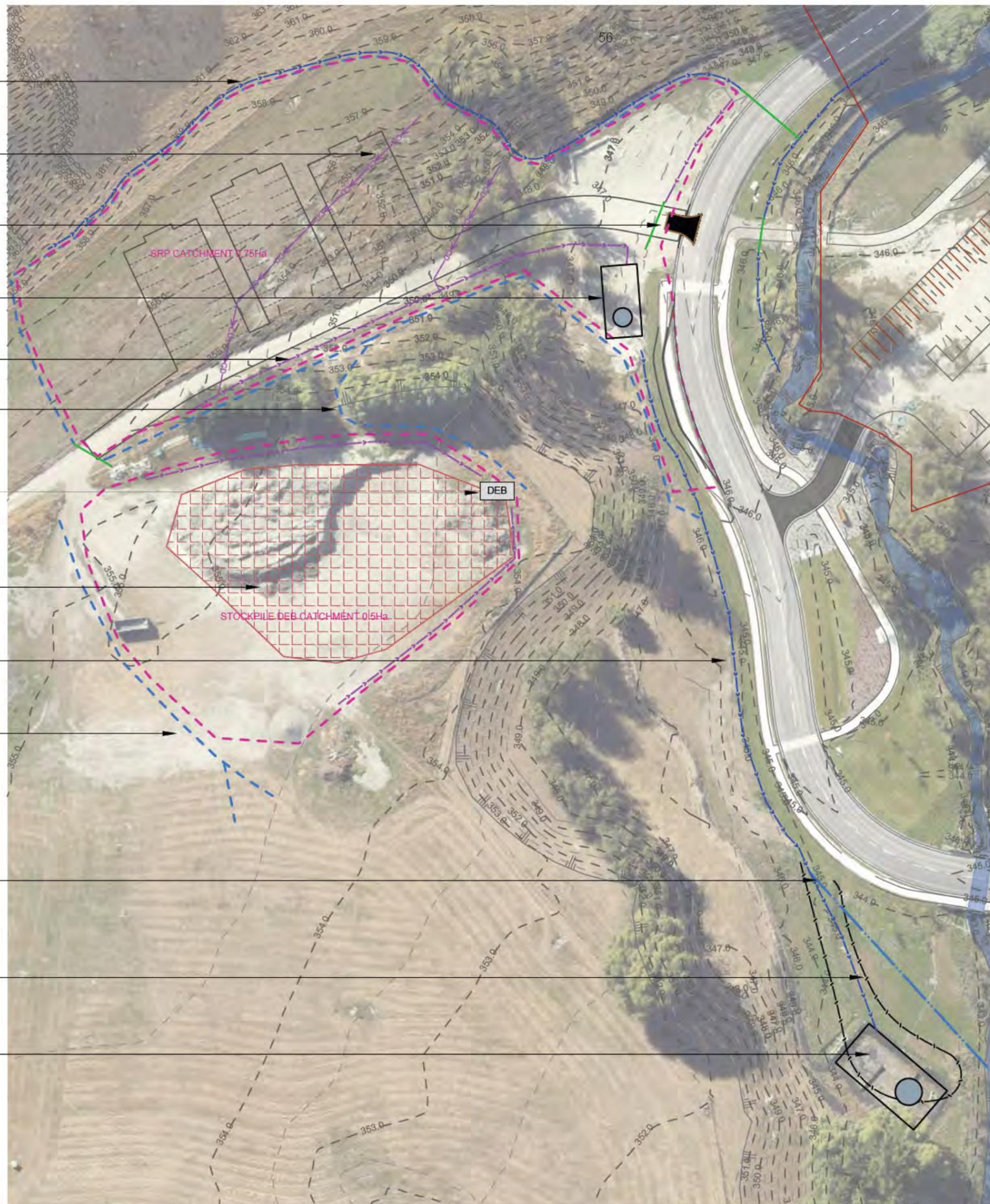
STABILISED CLEAN WATER DIVERSION CHANNEL UPSLOPE OF STOCKPILE AREA. DISCHARGE TO SHEET FLOW ACROSS VEGETATED PADDOCK

EROSION AND SEDIMENT CONTROL FOR RAINGARDEN AT THE CONCLUSION OF THE OVERFLOW CARPARK WORKS AND REMOVAL OF THE DECANTING EARTH BUND AND REINSTATEMENT OF THE SWALE

TEMPORARY PIPE TO DISCHARGE CLEAN WATER TO MILL CREEK FROM REINSTATED EXISTING SWALE AFTER BLOCKING THE ENTRANCE TO THE SEDIMENT RETENTION POND (SRP) AND REMOVAL OF OVERFLOW CARPARK EARTHWORK'S DECANTING EARTH BUND (DEB)

CLEAN WATER DIVERSION BUND CONSTRUCTED AROUND THE FOOTPRINT OF THE PROPOSED RAINGARDEN FOOTPRINT

EXISTING SEDIMENT RETENTION POND (SRP) SIZED FOR 1Ha CATCHMENT



LEGEND

- LEGAL BOUNDARY
- MILL CREEK
- TOP OF BANK
- EXISTING CONTOURS (0.5m INTERVAL)
- OVERLAND FLOW PATH
- DIRTY WATER DIVERSION CHANNEL
- CONTOUR DRAIN
- SILT FENCE
- CULVERT CROSSING
- STABILISED SITE ENTRANCE
- CONTAINMENT BUND / CATCHMENT AREA
- CLEAN WATER DIVERSION BUND
- DEB
- SEDIMENT RETENTION POND
- TEMPORARY PIPE

NOTE: CONCEPTUAL DESIGN ONLY AND NOT TO BE USED FOR CONSTRUCTION. THE LOCATION OF ANY OR ALL OF THE FEATURES MAY ALTER FROM WHAT IS DEPICTED ON THIS PLAN

QUEENSTOWN LAKES DISTRICT COUNCIL

**APPROVED PLAN:
RM230425**

Wednesday, 24 April 2024

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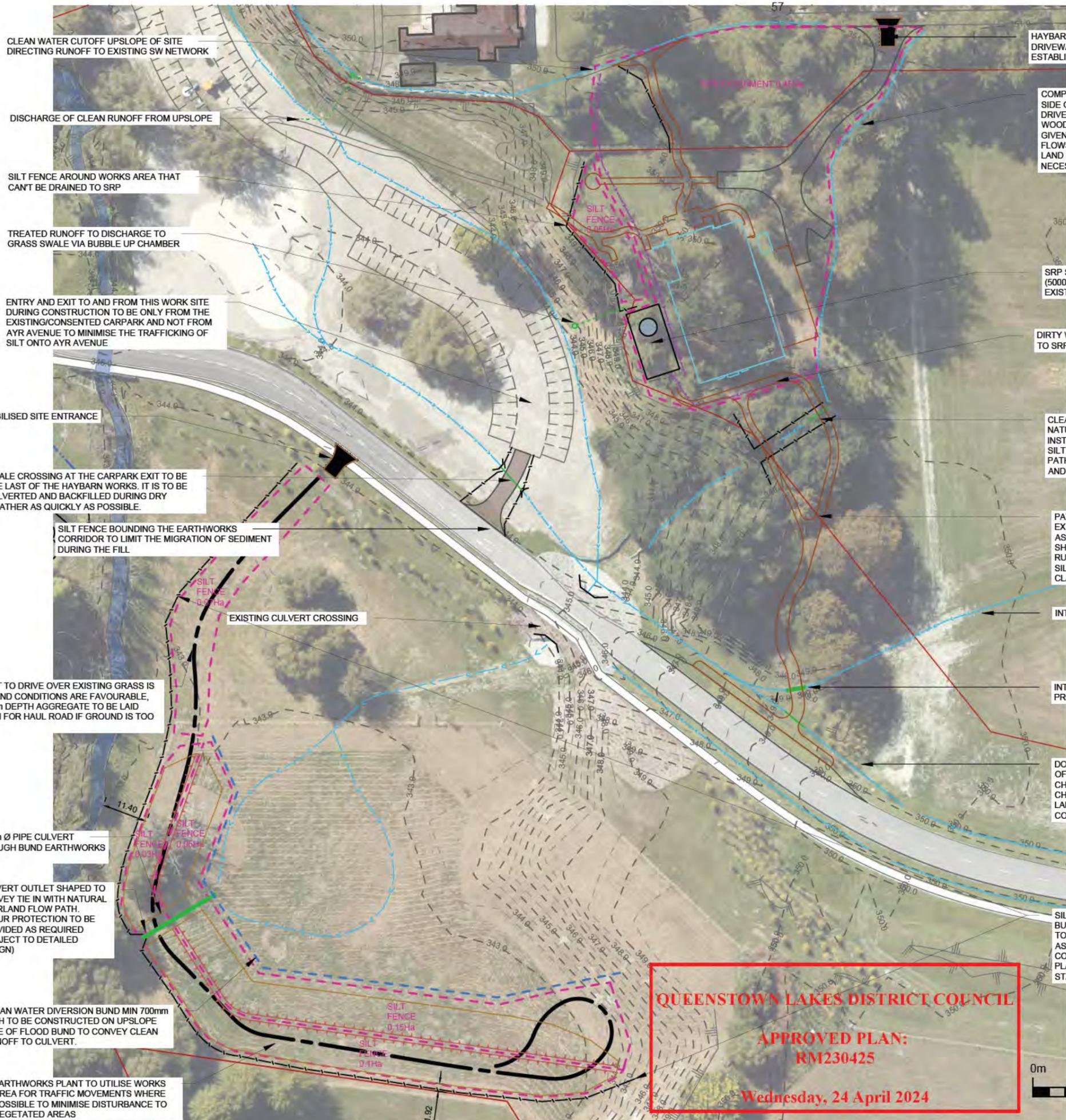
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Client & Location:
AYRBURN PRECINCT LTD
 AYR AVENUE - LOTS 1, 2, 3 & 4
 DP540788

Purpose & Drawing Title:
HAYBARN VENUE
 PROPOSED OVERFLOW CARPARK AND
 RAINGARDEN ESCP

FOR CONSENT

Surveyed by:	PPG	Original Size:	Scale:
Designed by:	MG	A3	1:1,000
Drawn by:	SB, EA		
Checked by:	SW		
Approved by:		DO NOT SCALE	
Job No:	Drawing No:	Sheet No:	Revision No: Date:
Q6388	32 - 10	250	C 28/11/2023



LEGEND

- LEGAL BOUNDARY
- MILL CREEK
- TOP OF BANK
- 353.0 EXISTING CONTOURS (0.5m INTERVAL)
- CLEAN WATER DIVERSION CHANNEL/BUND
- DIRTY WATER DIVERSION CHANNEL
- SILT FENCE
- EXISTING CULVERT
- STABILISED SITE ENTRANCE
- - - TREATMENT DEVICE CATCHMENT
- HAUL ROUTE
- DEB DECANTING EARTH BUND
- SEDIMENT RETENTION POND
- - - SITE EXTENTS

NOTE: CONCEPTUAL DESIGN ONLY AND NOT TO BE USED FOR CONSTRUCTION. THE LOCATION OF ANY OR ALL OF THE FEATURES MAY ALTER FROM WHAT IS DEPICTED ON THIS PLAN

THE CREATION OF THE FOOTPATH DOWN THE DOUBLE BUS BAY, THE DOUBLE BUS BAY AND THE EXIT FROM THE AYRBURN CARPARK TO AYR AVENUE ALL CROSS ESTABLISHED STORMWATER SWALES AND WILL BE CONSTRUCTED IN DRY WEATHER. AS THE TERRAIN IS FLAT AND THE SWALE GRADES ARE SHALLOW, NO FURTHER CONTROLS ARE PROPOSED FOR THESE WORKS.

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 DP540788

Purpose & Drawing Title:
HAYBARN VENUE
 PROPOSED HAYBARN, BUS BAY, EARTH BUND AND CARPARK EXIT ESCP

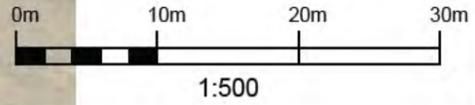
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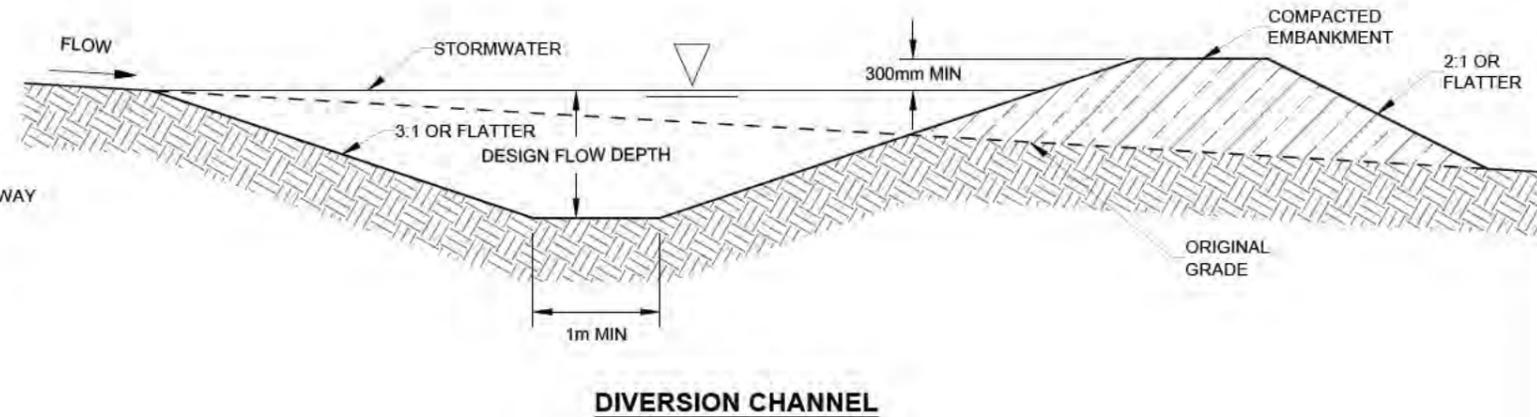
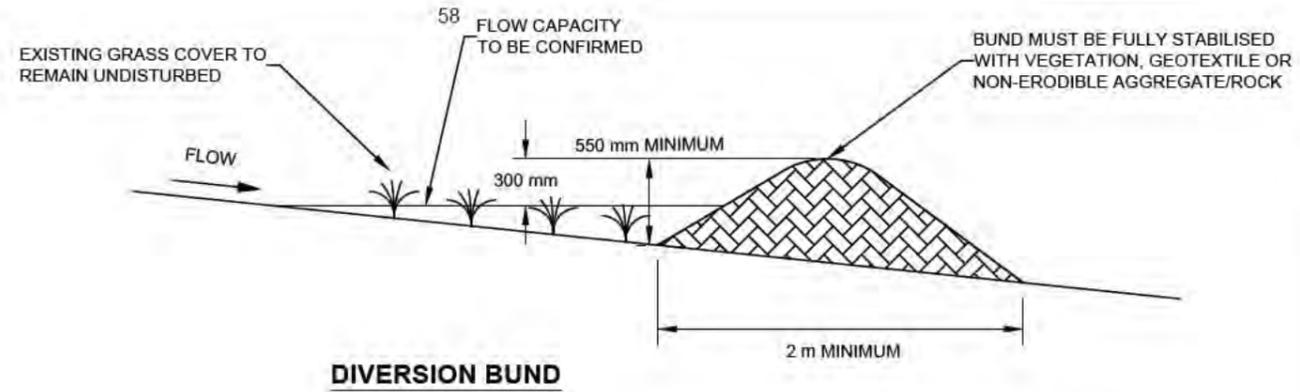
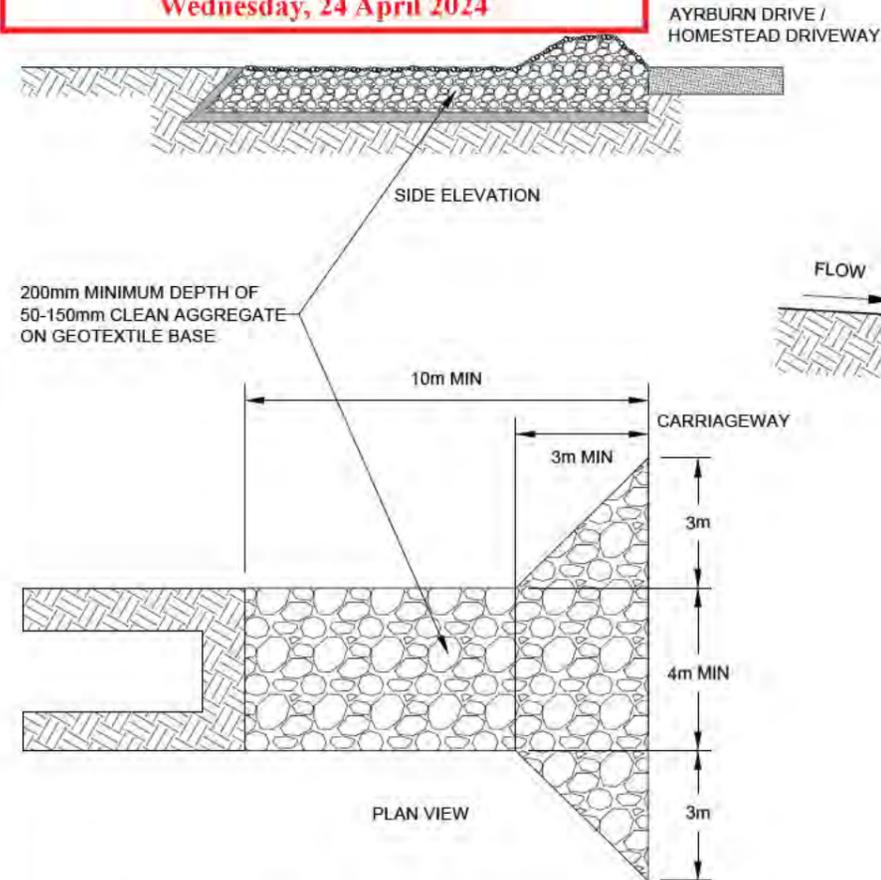
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RM230425**

Wednesday, 24 April 2024



- NB. 1. SOIL TO FORM BUND TO BE TAKEN FROM DISTURBED AREA
2. VEGETATION IN UNDISTURBED AREA TO REMAIN INTACT

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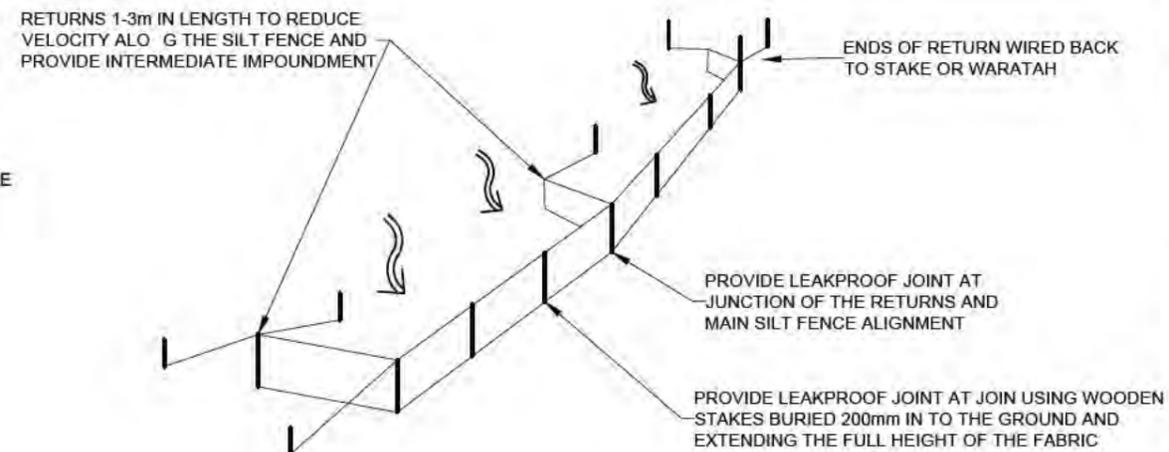
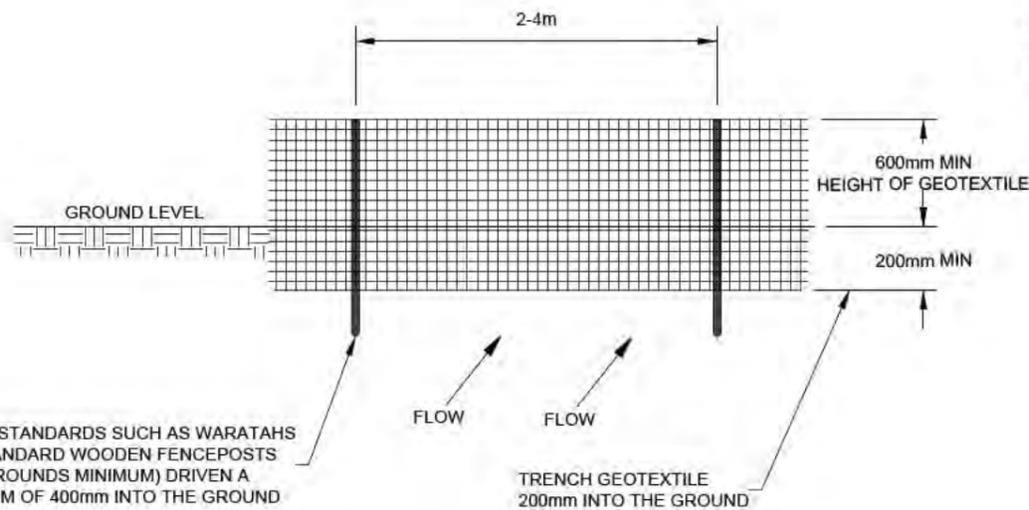
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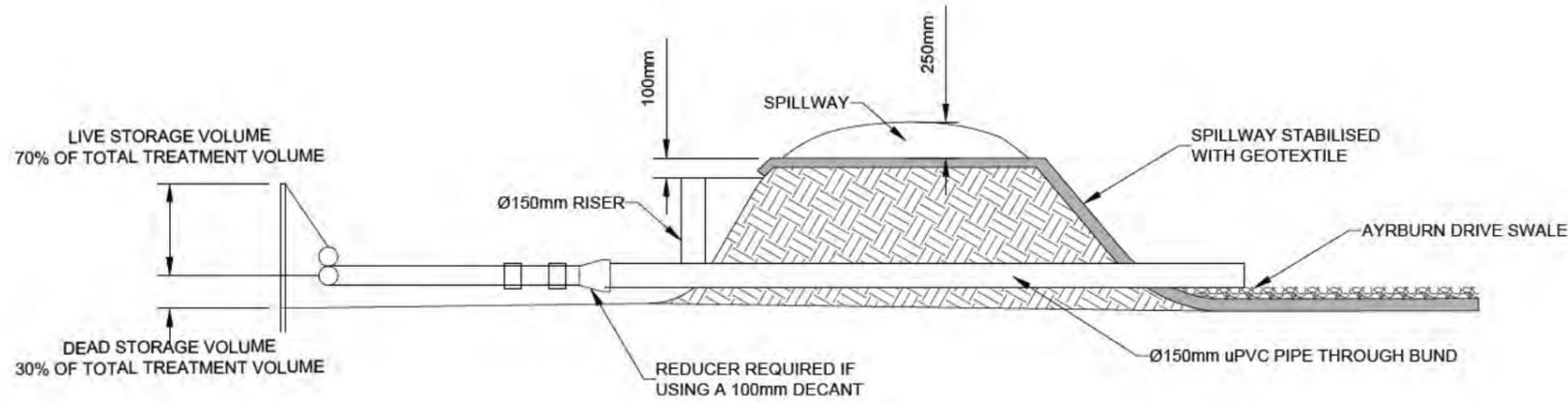
Client & Location:
AYRBURN PRECINCT LTD
AYR AVENUE - LOTS 1, 2, 3 & 4
DP540788

Purpose & Drawing Title:
HAYBARN VENUE
DEVICE CONCEPTS

FOR CONSENT

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DEB - CROSS SECTION

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Wednesday, 24 April 2024

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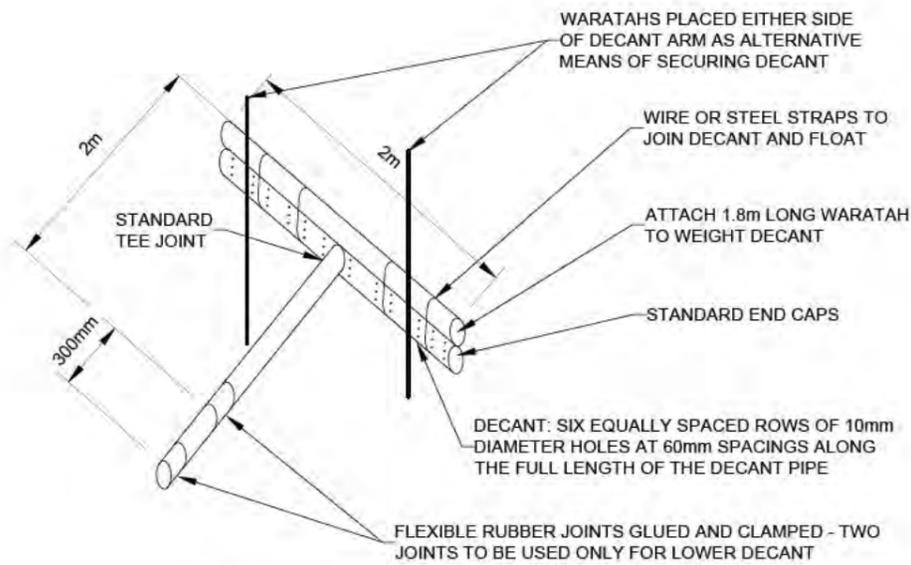
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 AYR AVENUE - LOTS 1, 2, 3 & 4
 DP540788

Purpose & Drawing Title:
HAYBARN VENUE
 DECANTING EARTH BUND

FOR CONSENT

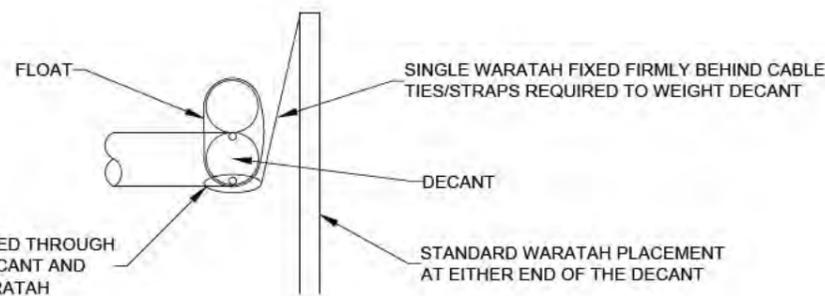
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Checked by:	SW		
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Q6388	32 - 10	253	A 06/06/2023



BOOM DECANT: T-BAR DESIGN



PHOTO OF DECANTING EARTH BUND

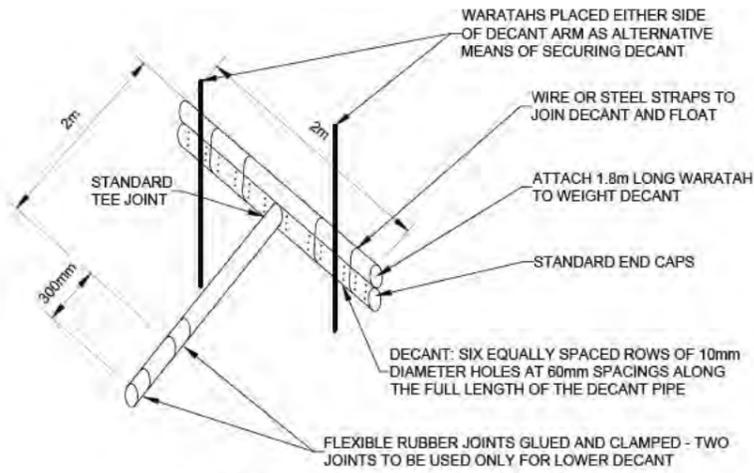


BOOM DECANT: T-BAR CROSS SECTION

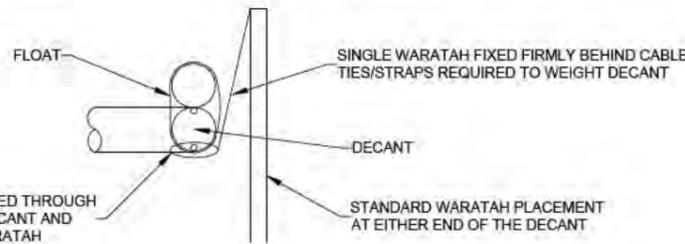
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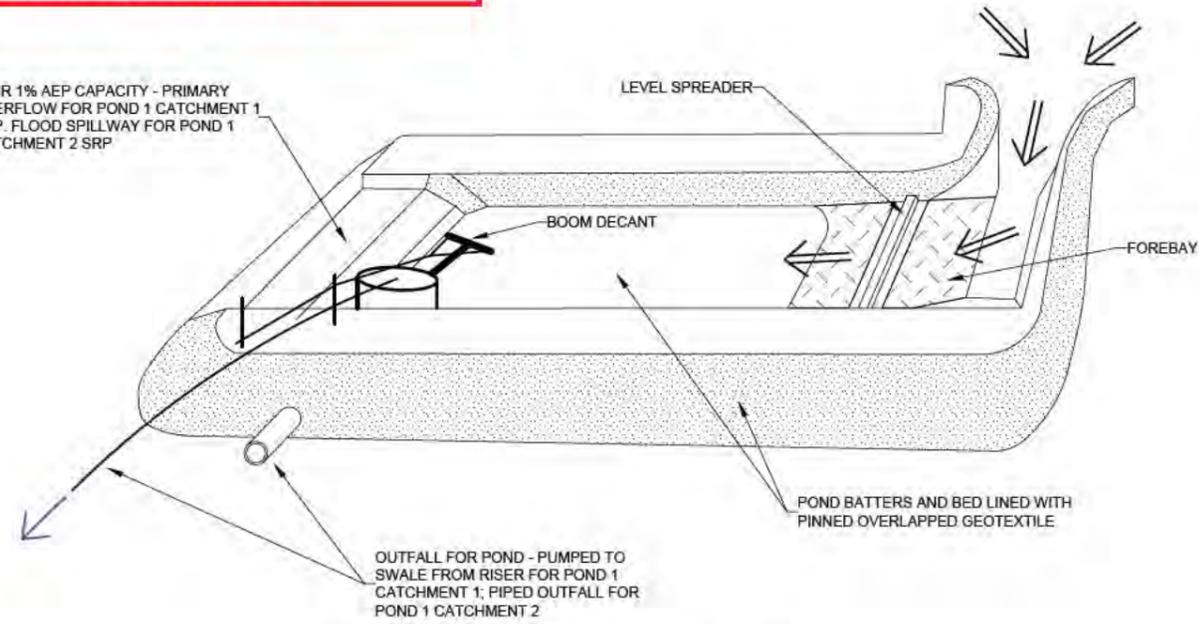


BOOM DECANT: T-BAR DESIGN

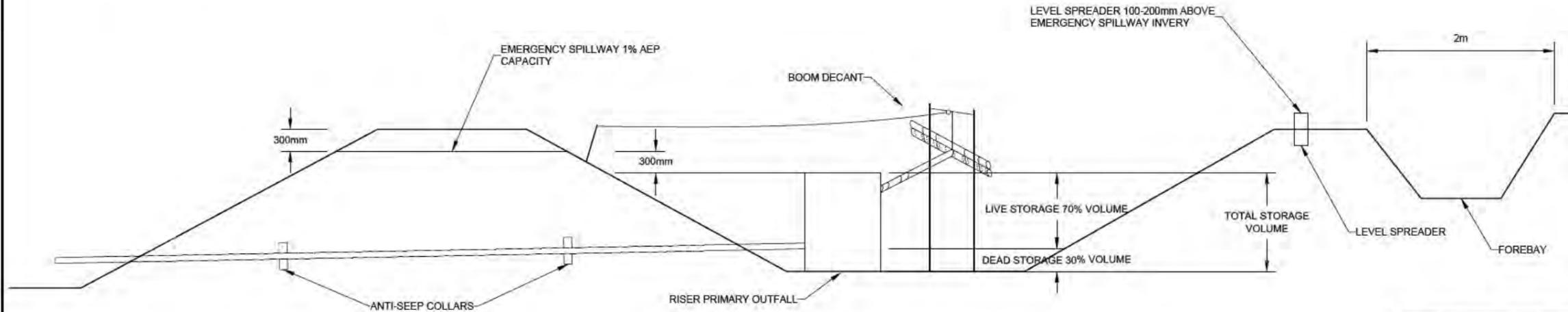


BOOM DECANT: T-BAR CROSS SECTION

WEIR 1% AEP CAPACITY - PRIMARY OVERFLOW FOR POND 1 CATCHMENT 1 SRP. FLOOD SPILLWAY FOR POND 1 CATCHMENT 2 SRP



SRP - PLAN VIEW



SRP - CROSS SECTION

NOTE: CONCEPTUAL DESIGN ONLY. RL OF KEY DESIGN FEATURES TO BE DETERMINED BY LOCAL SURVEY AND INCLUDED IN CONSTRUCTION INSTRUCTIONS

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Purpose & Drawing Title:
HAYBARN VENUE
SEDIMENT RETENTION POND

FOR CONSENT

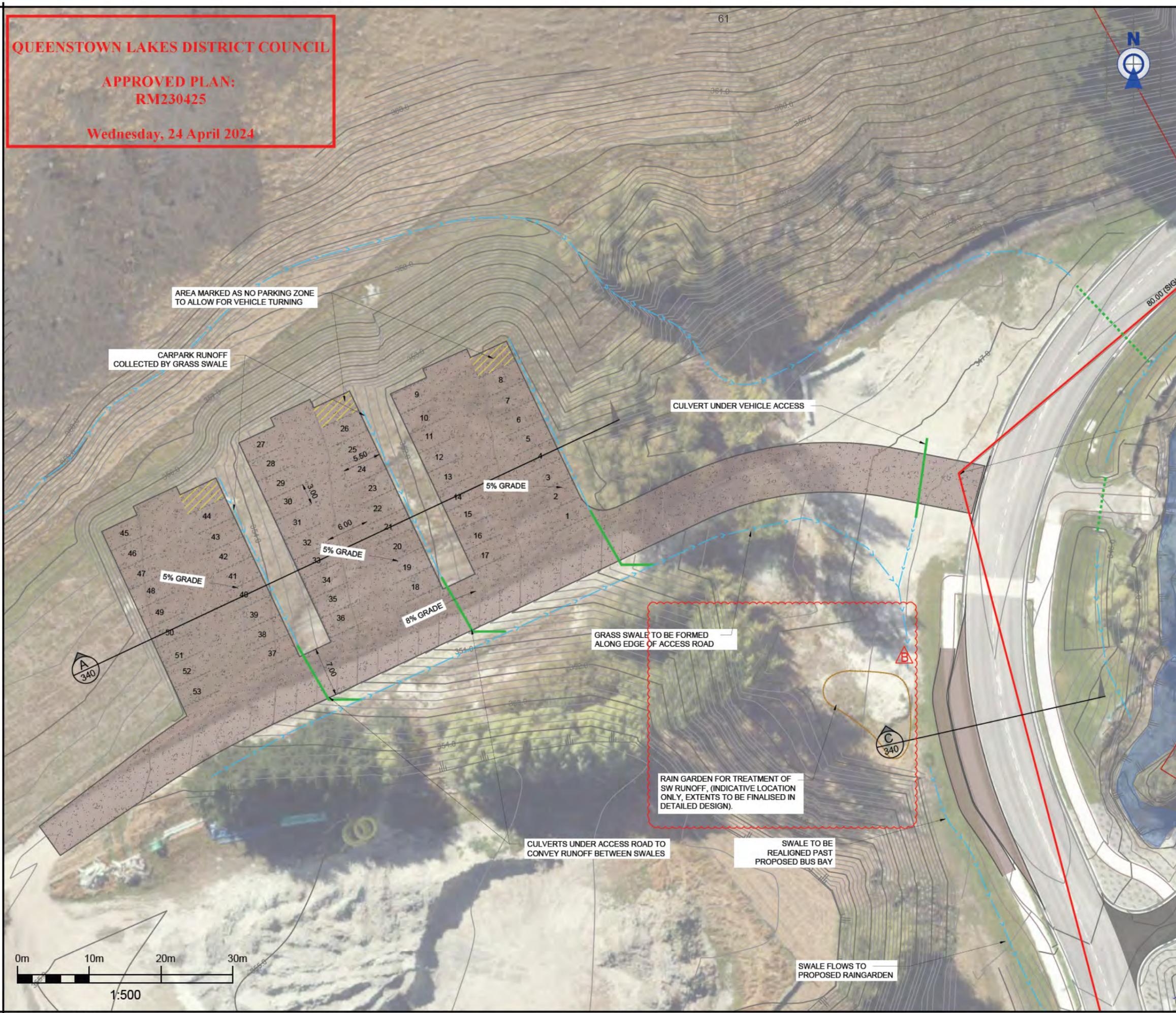
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Q6388	32 - 10	254	A 06/06/2023

QUEENSTOWN LAKES DISTRICT COUNCIL

APPROVED PLAN:
RM230425

Wednesday, 24 April 2024

- LEGEND**
- LEGAL BOUNDARY
 - MILL CREEK
 - PROPOSED CONTOURS (0.25m INTERVAL)
 - PROPOSED GRAVEL CARPARK
 - PROPOSED STORMWATER MAIN
 - EXISTING STORMWATER MAIN
 - STORMWATER OVERLAND FLOW PATH
 - SITE EXTENTS



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 AYR AVENUE - LOTS 1, 2, 3 & 4
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Purpose & Drawing Title:
 HAYBARN VENUE
 ROADING - CARPARK LAYOUT

FOR CONSENT

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Checked by:	SW		
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Job No:	Q6388	Drawing No:	Revision No: Date:
		32 - 10	B 8/12/2023



LEGEND

- LEGAL BOUNDARY
- MILL CREEK
- PROPOSED CONTOURS (0.25m INTERVAL)
- PROPOSED HAYBARN VENUE BUILDING
- PROPOSED PEDESTRIAN GRAVEL PATHWAY
- PROPOSED BUS DROP OFF BAY & CARPARK EXIT
- PROPOSED GRAVEL CARPARK & ACCESS
- PROPOSED PAVED TERRACE
- EXISTING / CONSENTED BUILDINGS
- SITE EXTENTS

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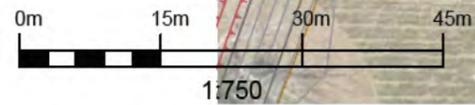
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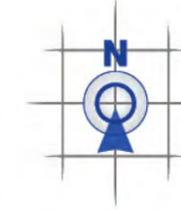
Client & Location:
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Purpose & Drawing Title:
HAYBARN VENUE
 ROADING - HAYBARN LAYOUT

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LEGEND

- LEGAL BOUNDARY
- MILL CREEK
- PROPOSED CONTOURS (0.25m INTERVAL)
- PROPOSED HAYBARN VENUE BUILDING
- PROPOSED PEDESTRIAN GRAVEL PATHWAY
- PROPOSED BUS DROP OFF BAY & CARPARK EXIT
- PROPOSED GRAVEL CARPARK & ACCESS
- PROPOSED PAVED TERRACE
- EXISTING / CONSENTED BUILDINGS
- - - SITE EXTENTS

NOTE

1. 12.5m TOUR COACH USED AS DESIGN VEHICLE. TOUR BUS CAN ENTER CARPARK IN CLOCK WISE DIRECTION.
2. TRACKING SHOWN INCLUDED 0.5m BUFFER AROUND EXTENTS OF SWEEP PATH.

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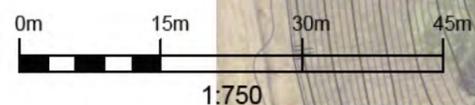
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 DP540788

Purpose & Drawing Title:
HAYBARN VENUE
VEHICLE TRACKING - TOUR COACH

FOR CONSENT

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Wednesday, 24 April 2024



LEGEND

- LEGAL BOUNDARY
- MILL CREEK
- PROPOSED CONTOURS (0.25m INTERVAL)
- PROPOSED HAYBARN VENUE BUILDING
- PROPOSED PEDESTRIAN GRAVEL PATHWAY
- PROPOSED BUS DROP OFF BAY & CARPARK EXIT
- PROPOSED GRAVEL CARPARK & ACCESS
- PROPOSED PAVED TERRACE
- EXISTING / CONSENTED BUILDINGS
- SITE EXTENTS

NOTE

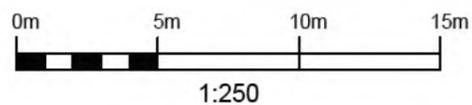
1. 8m MEDIUM RIGID TRUCK USED AS DESIGN VEHICLE FOR SERVICING
2. 99th PERCENTILE CAR HAS BEEN USED TO TEST SWEEP PATHS INTO THE ACCESSIBLE CARPARK



8m TRUCK VEHICLE TRACKING (SERVICE ACCESS)



99th PERCENTILE CAR (ACCESSIBLE PARK)



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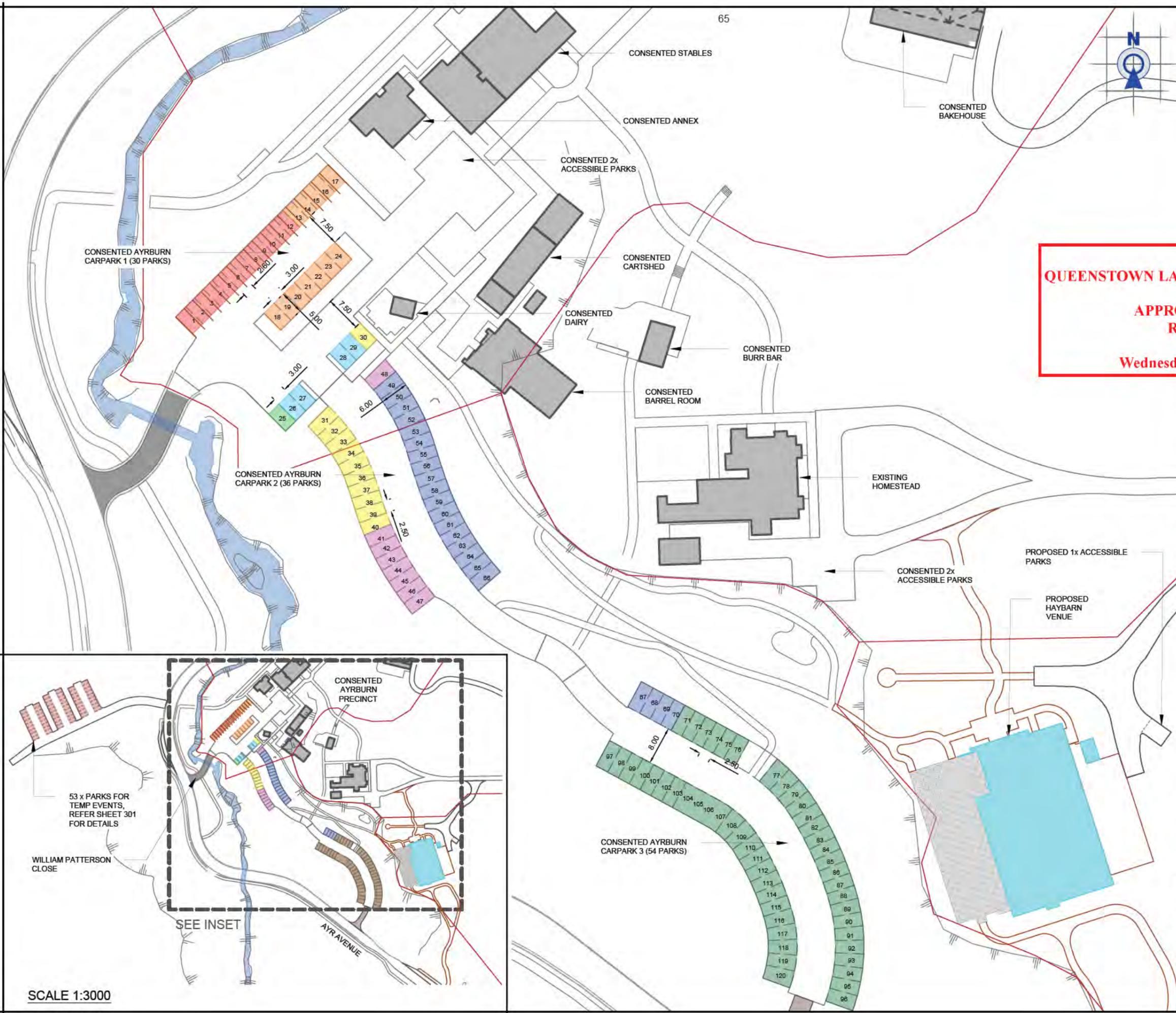
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Purpose & Drawing Title:
 HAYBARN VENUE
 VEHICLE TRACKING - HAYBARN

FOR CONSENT

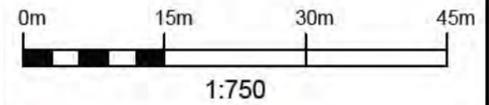
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LEGEND

[Red Box]	STABLES
[Orange Box]	CARTSHED
[Green Box]	DAIRY
[Light Blue Box]	BURR BAR
[Yellow Box]	HOMESTEAD
[Purple Box]	BARREL ROOM
[Dark Blue Box]	BAKEHOUSE
[Light Green Box]	HAYBARN
[Pink Box]	TEMPORARY EVENT PARKING

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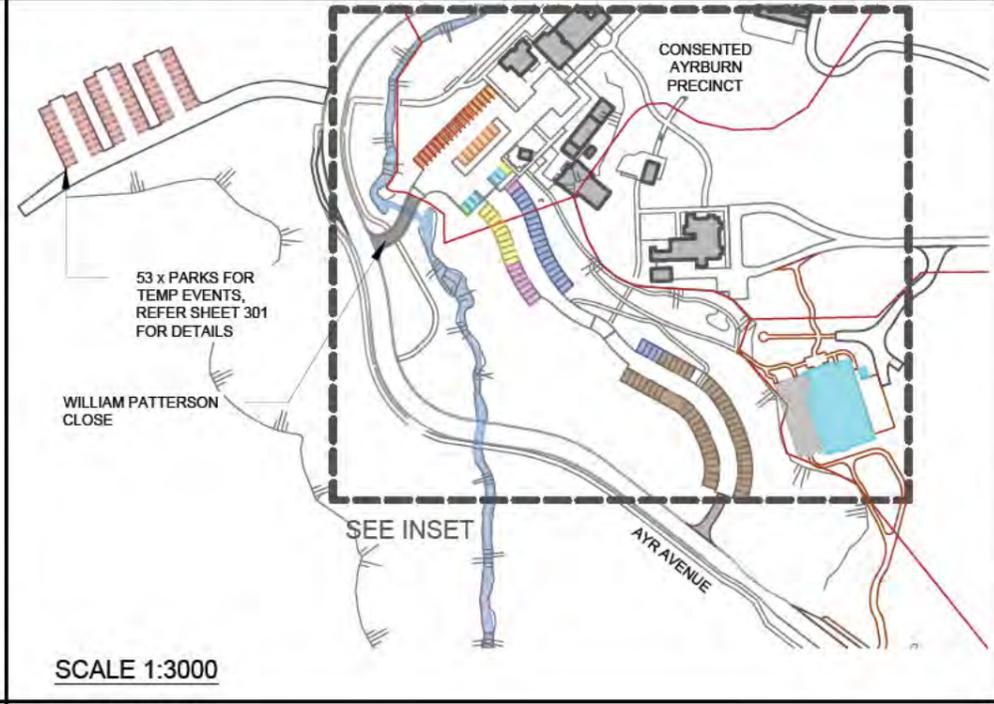
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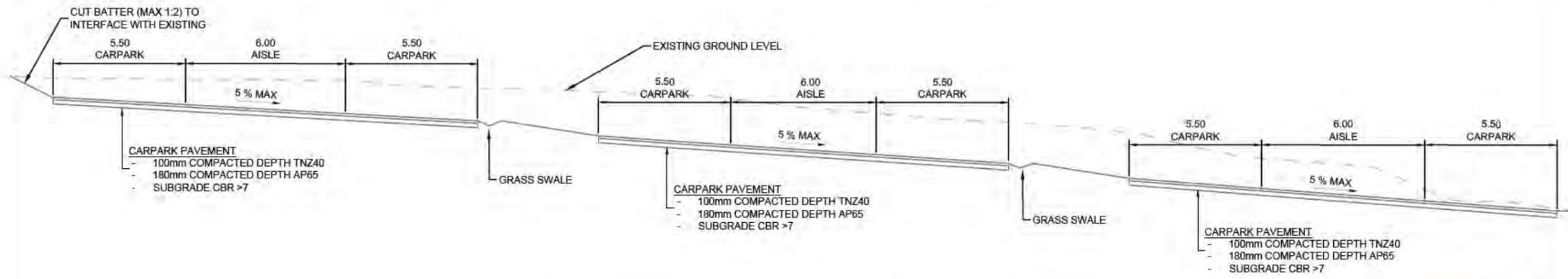
Client & Location:
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 AYR AVENUE - LOTS 1, 2, 3 & 4
 DP540788

Purpose & Drawing Title:
HAYBARN VENUE
 AYRBURN CARPARK ALLOCATION

FOR CONSENT

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Drawn by:	SB, EA		
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Job No:	Drawing No:	Sheet No:	Revision No: Date:
Q6388	32 - 10	320	A 06/06/2023





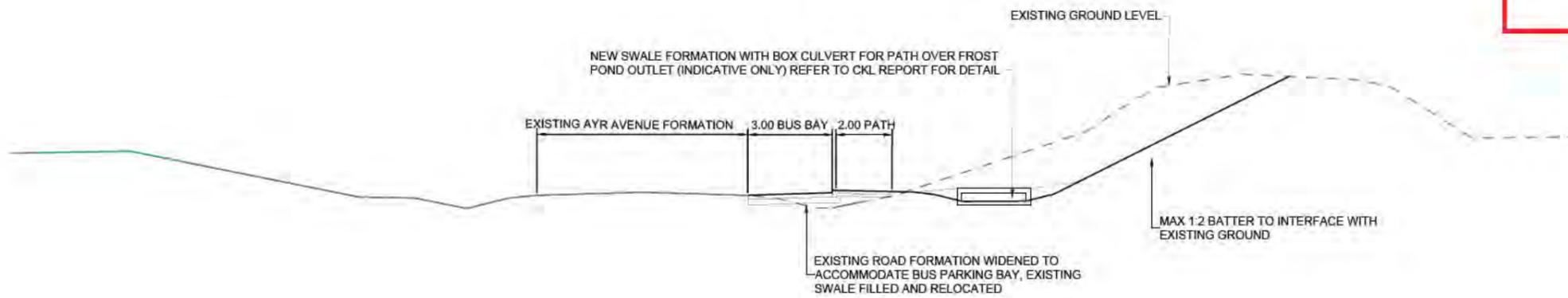
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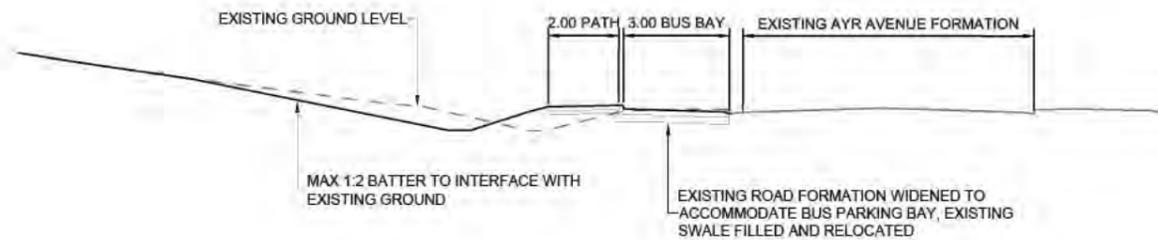
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RM230425

Wednesday, 24 April 2024



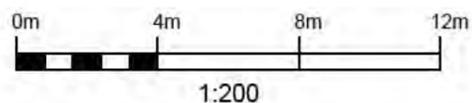
SECTION B - BUS BAY SECTION

SCALE 1:200



SECTION C - BUS BAY SECTION

SCALE 1:200



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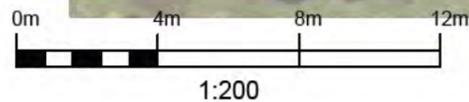
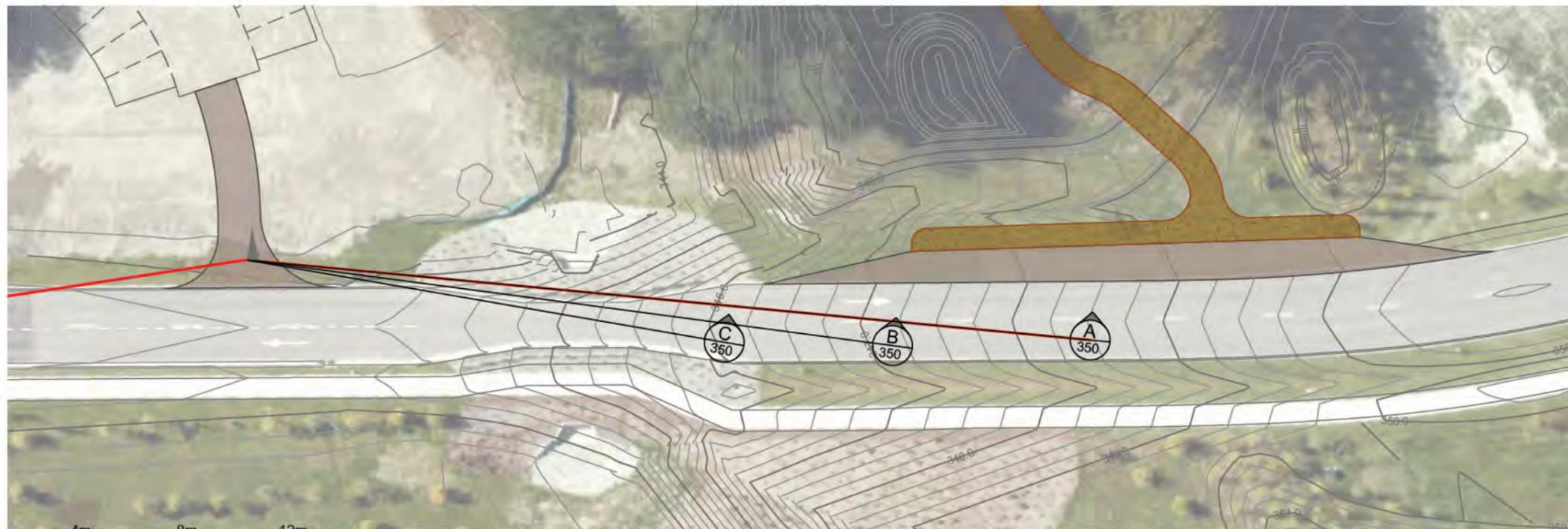
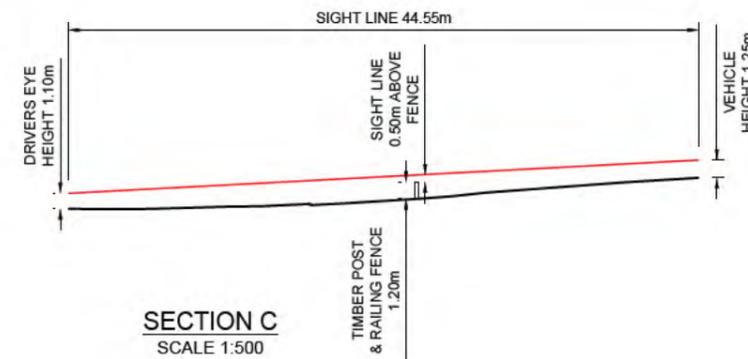
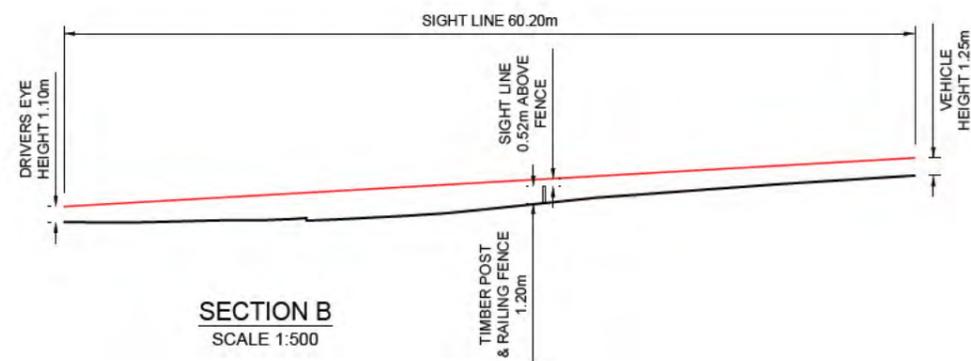
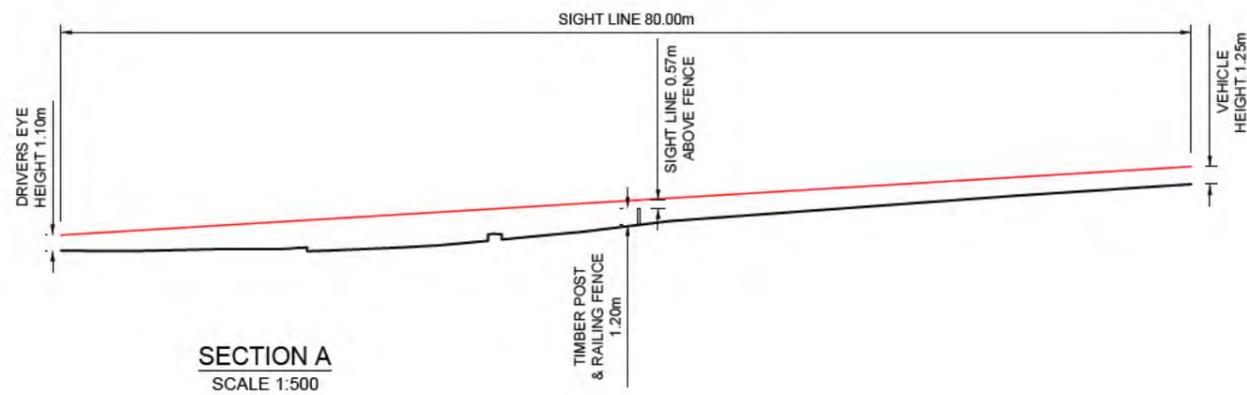
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 DP540788

Purpose & Drawing Title:
 HAYBARN VENUE
 ROADING - CROSS SECTIONS

FOR CONSENT

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		Sheet No:	340
		Revision No:	A
		Date:	06/06/2023

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 DP540788

Purpose & Drawing Title:
HAYBARN VENUE
 ROADING - SIGHT LINE SECTIONS

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		Sheet No:	350
		Revision No:	A
		Date:	06/06/2023

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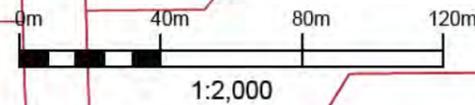
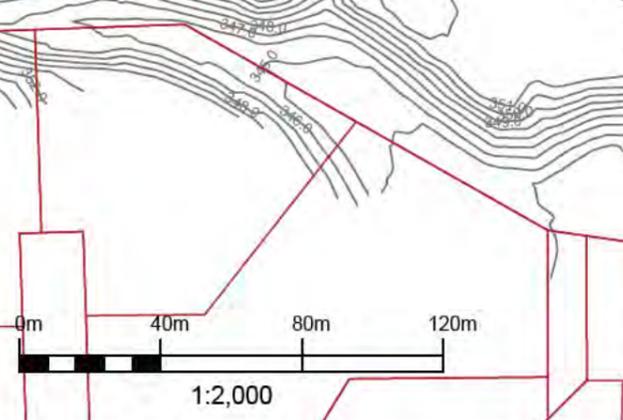
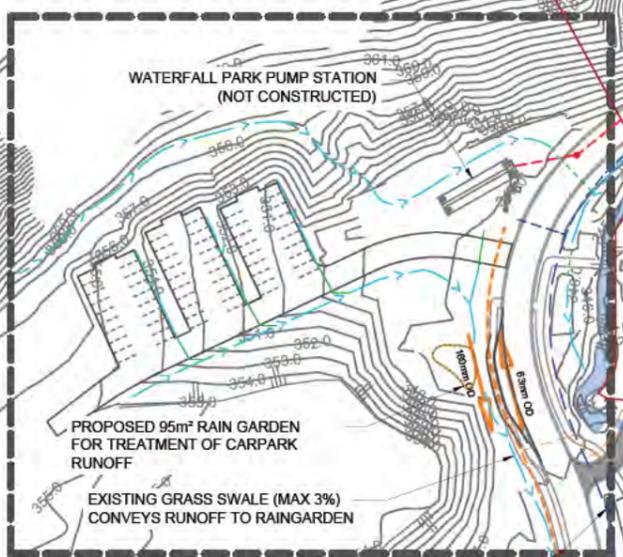
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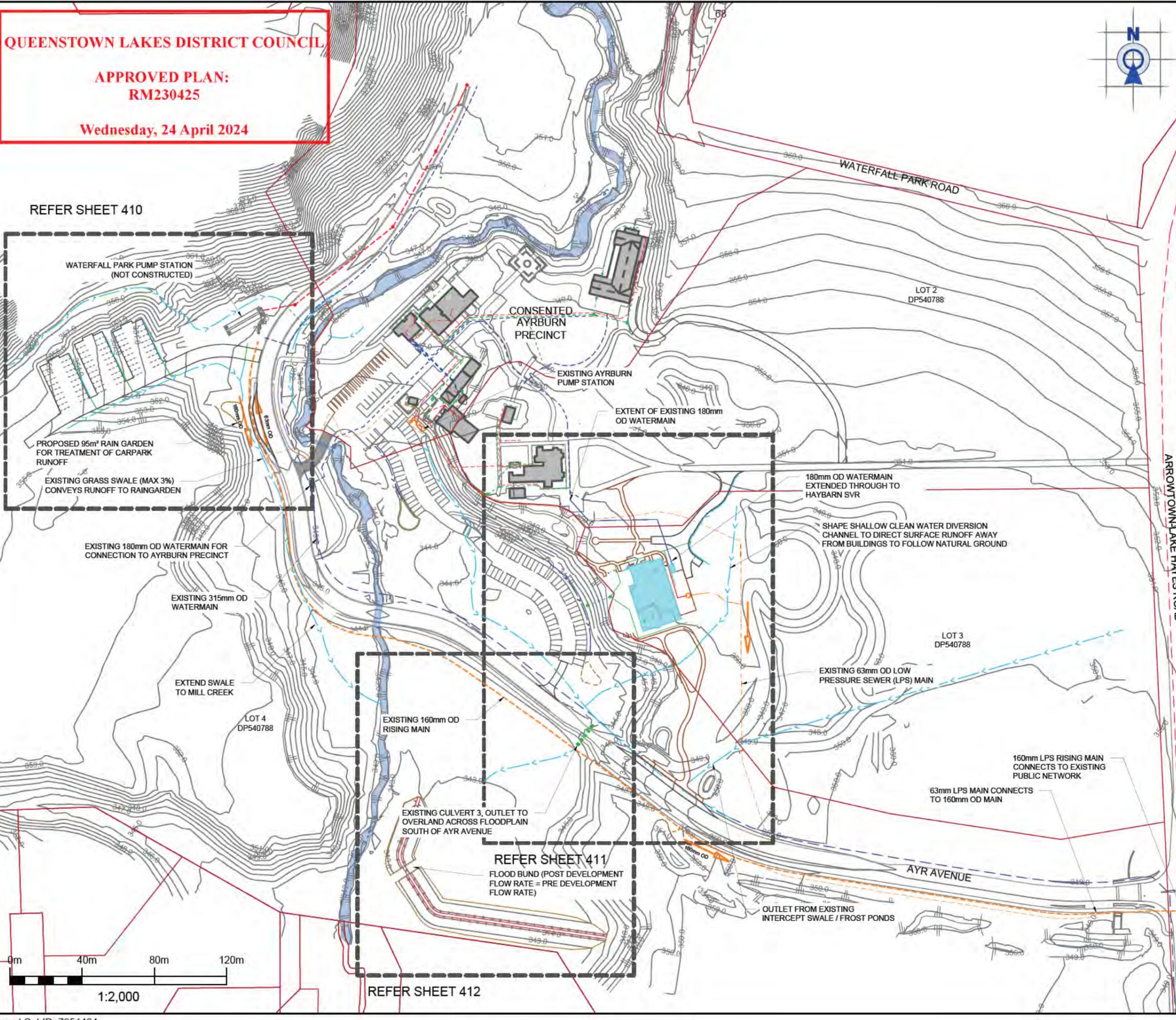


- LEGEND**
- LEGAL BOUNDARY
 - MILL CREEK
 - PROPOSED CONTOURS (1.00m INTERVAL)
 - PROPOSED LOW PRESSURE SEWER MAIN
 - EXISTING LOW PRESSURE SEWER MAIN
 - PROPOSED GRAVITY SEWER MAIN
 - - - EXISTING GRAVITY SEWER MAIN
 - PROPOSED STORMWATER MAIN
 - - - EXISTING STORMWATER MAIN
 - STORMWATER OVERLAND FLOW PATH
 - STORMWATER TREATMENT SWALE
 - RAIN GARDEN
 - PROPOSED WATERMAIN
 - - - EXISTING WATERMAIN
 - PROPOSED HAYBARN VENUE BUILDING
 - EXISTING / CONSENTED BUILDINGS
 - - - SITE EXTENTS

REFER SHEET 410



REFER SHEET 412



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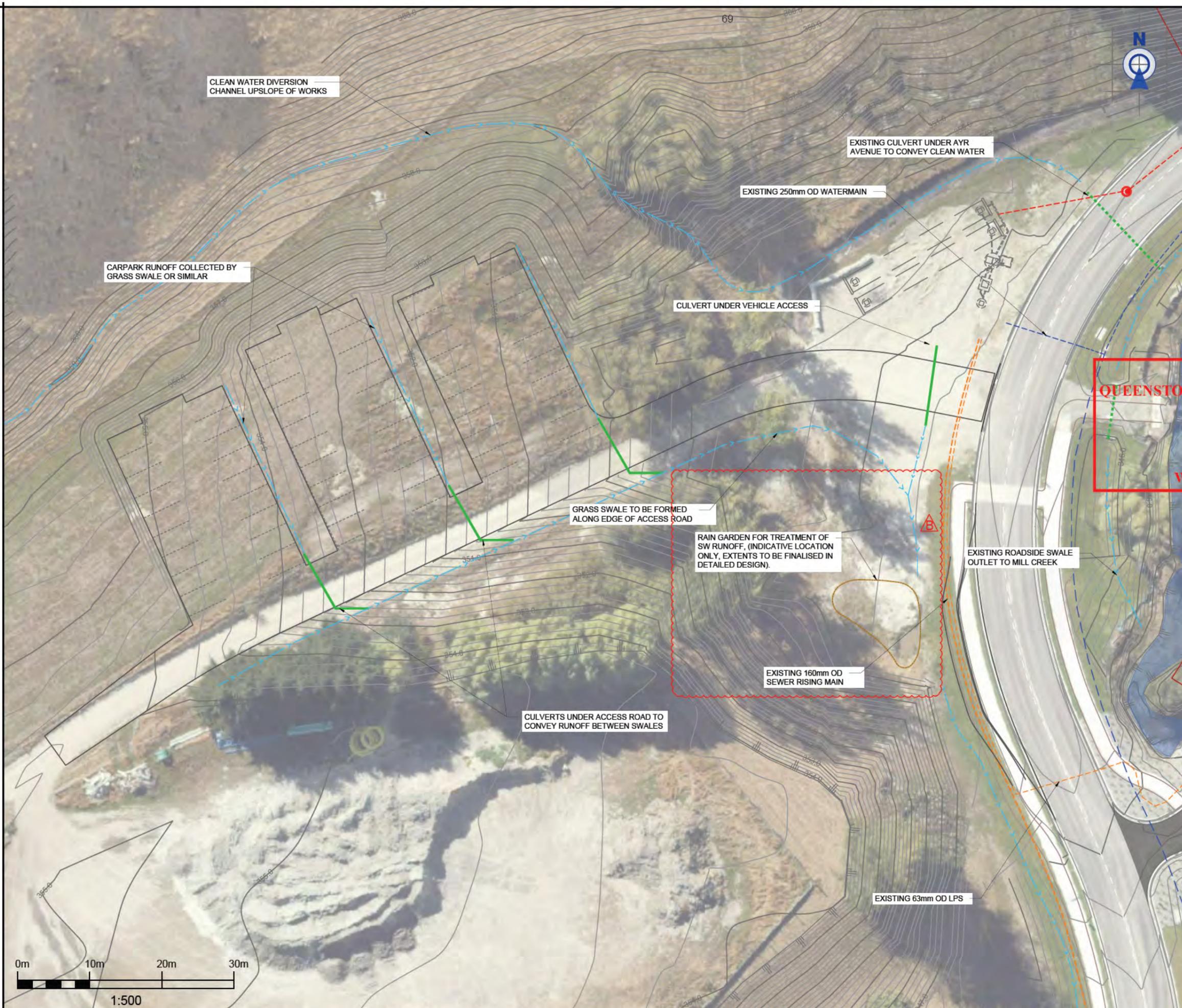
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 DP540788

Purpose & Drawing Title:
HAYBARN VENUE
 PROPOSED 3 WATERS - OVERVIEW

FOR CONSENT

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Approved by:		DO NOT SCALE	
Job No:	Q6388	Drawing No:	32 - 10
		Sheet No:	400
		Revision No:	C
		Date:	8/12/2023



LEGEND

- LEGAL BOUNDARY
- MILL CREEK
- PROPOSED CONTOURS (0.25m INTERVAL)
- PROPOSED LOW PRESSURE SEWER MAIN
- EXISTING LOW PRESSURE SEWER MAIN
- PROPOSED GRAVITY SEWER MAIN
- EXISTING GRAVITY SEWER MAIN
- PROPOSED STORMWATER MAIN
- EXISTING STORMWATER MAIN
- STORMWATER OVERLAND FLOW PATH
- STORMWATER TREATMENT SWALE
- RAIN GARDEN
- PROPOSED WATERMAIN
- EXISTING WATERMAIN
- PROPOSED HAYBARN VENUE BUILDING
- EXISTING / CONSENTED BUILDINGS
- TOP/BOTTOM OF MOUND
- SITE EXTENTS

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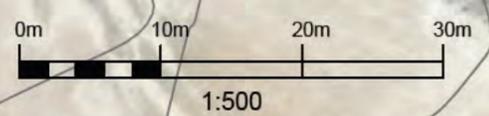
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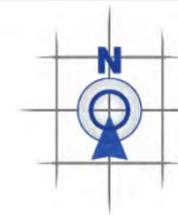
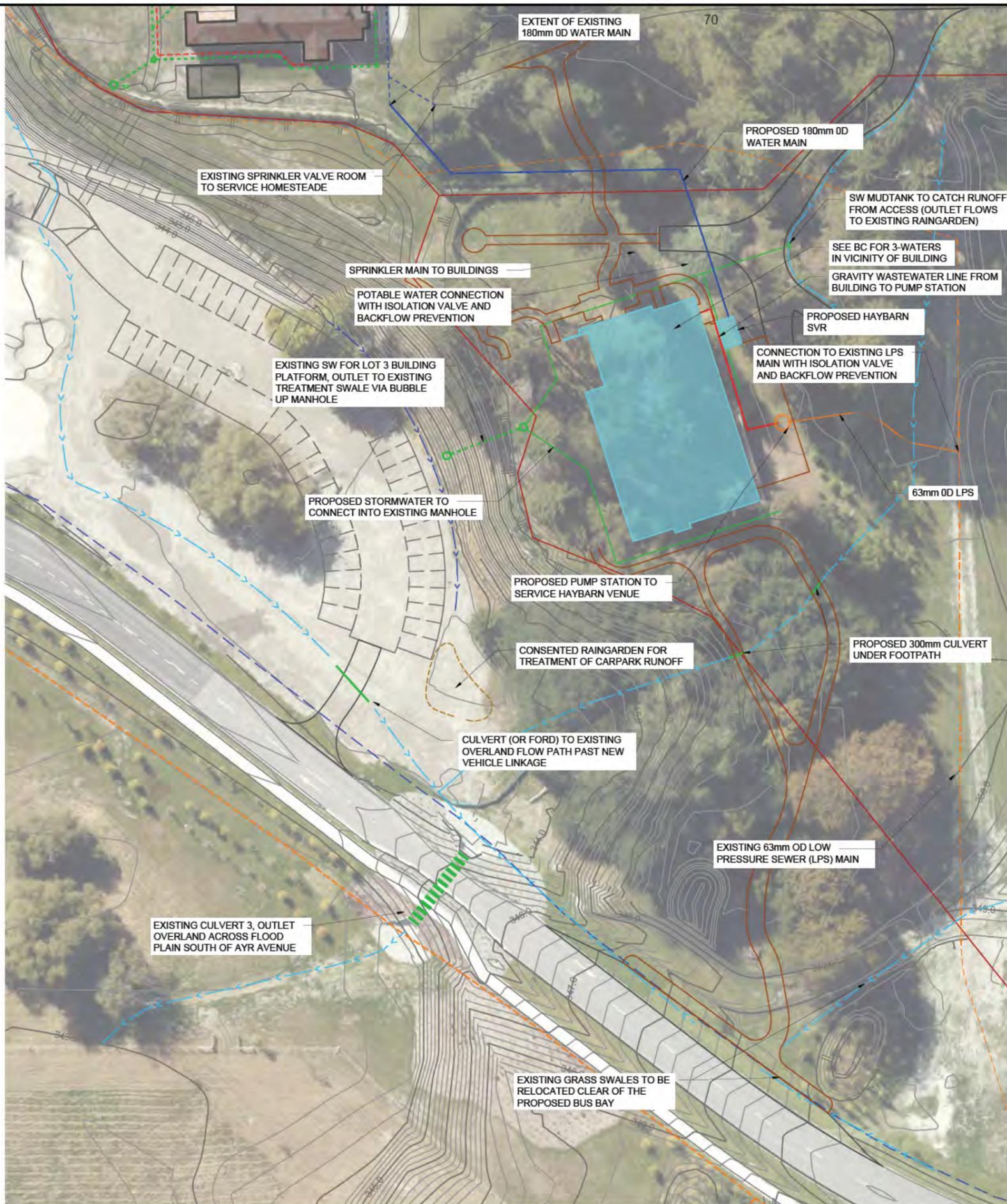
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DP540788

Purpose & Drawing Title:
HAYBARN VENUE
PROPOSED 3 WATERS

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- LEGEND**
- LEGAL BOUNDARY
 - MILL CREEK
 - PROPOSED CONTOURS (0.25m INTERVAL)
 - PROPOSED LOW PRESSURE SEWER MAIN
 - EXISTING LOW PRESSURE SEWER MAIN
 - PROPOSED GRAVITY SEWER MAIN
 - EXISTING GRAVITY SEWER MAIN
 - PROPOSED STORMWATER MAIN
 - EXISTING STORMWATER MAIN
 - STORMWATER OVERLAND FLOW PATH
 - STORMWATER TREATMENT SWALE
 - RAIN GARDEN
 - PROPOSED WATERMAIN
 - EXISTING WATERMAIN
 - PROPOSED HAYBARN VENUE BUILDING
 - EXISTING / CONSENTED BUILDINGS
 - TOP/BOTTOM OF MOUND
 - SITE EXTENTS

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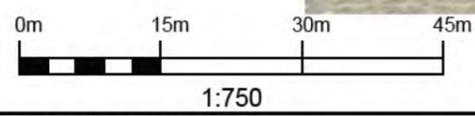
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 DP540788

Purpose & Drawing Title:
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 PROPOSED 3 WATERS

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Q6388	32 - 10	411	A 06/06/2023





- LEGEND**
- LEGAL BOUNDARY
 - MILL CREEK
 - PROPOSED CONTOURS (0.25m INTERVAL)
 - PROPOSED LOW PRESSURE SEWER MAIN
 - - - EXISTING LOW PRESSURE SEWER MAIN
 - PROPOSED GRAVITY SEWER MAIN
 - - - EXISTING GRAVITY SEWER MAIN
 - PROPOSED STORMWATER MAIN
 - - - EXISTING STORMWATER MAIN
 - STORMWATER OVERLAND FLOW PATH
 - STORMWATER TREATMENT SWALE
 - RAIN GARDEN
 - PROPOSED WATERMAIN
 - - - EXISTING WATERMAIN
 - PROPOSED HAYBARN VENUE BUILDING
 - EXISTING / CONSENTED BUILDINGS
 - - - TOP/BOTTOM OF MOUND
 - SITE EXTENTS

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RM230425

Wednesday, 24 April 2024

EXISTING CULVERT 3, OUTLET OVERLAND ACROSS FLOOD PLAIN SOUTH OF AYR AVENUE

CULVERT (OR FORD) TO EXISTING OVERLAND FLOW PATH PAST NEW VEHICLE LINKAGE

EXISTING 63mm OD LOW PRESSURE SEWER (LPS) MAIN

PROPOSED 300mm CULVERT UNDER FOOTPATH

EXISTING GRASS SWALES TO BE RELOCATED CLEAR OF THE PROPOSED BUS BAY

OUTLET STRUCTURE TO CONTROL SURFACE WATER FLOWS SO POST DEVELOPMENT FLOW RATE = PRE DEVELOPMENT FLOW RATE. REFER SHEET 213 FOR DETAILS.

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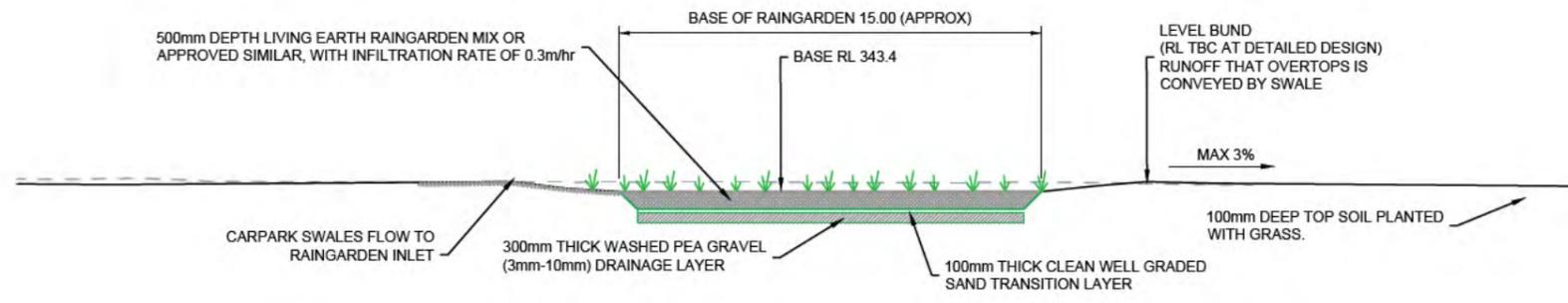
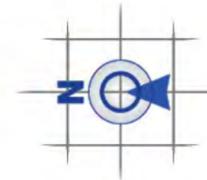
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 DP540788

Purpose & Drawing Title:
 HAYBARN VENUE
 PROPOSED 3 WATERS

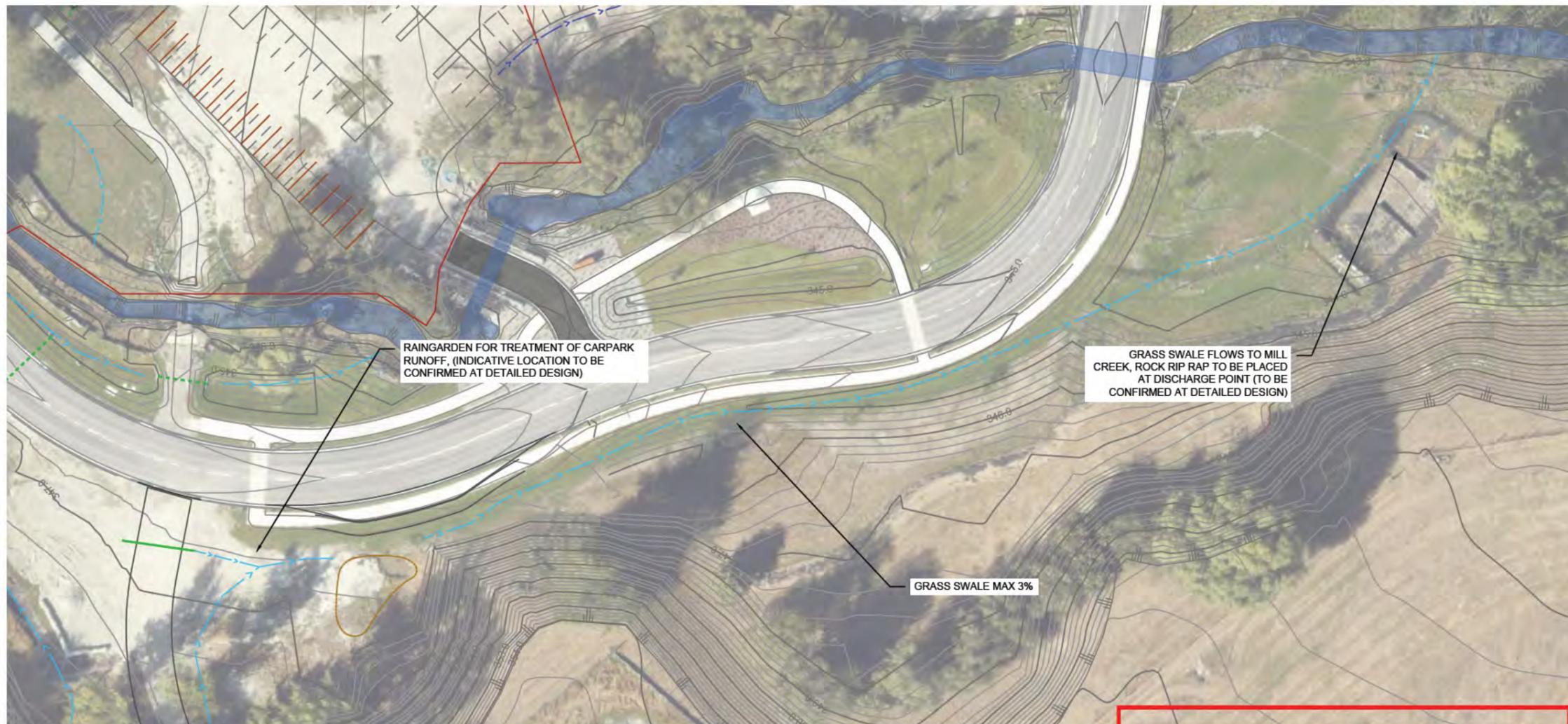
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RAIN GARDEN DETAIL (INDICATIVE ONLY, SUBJECT TO DETAILED DESIGN)



LEGEND

- LEGAL BOUNDARY
- MILL CREEK
- PROPOSED CONTOURS (0.25m INTERVAL)
- PROPOSED LOW PRESSURE SEWER MAIN
- - - EXISTING LOW PRESSURE SEWER MAIN
- PROPOSED GRAVITY SEWER MAIN
- - - EXISTING GRAVITY SEWER MAIN
- PROPOSED STORMWATER MAIN
- - - EXISTING STORMWATER MAIN
- STORMWATER OVERLAND FLOW PATH
- STORMWATER TREATMENT SWALE
- RAIN GARDEN
- PROPOSED WATERMAIN
- - - EXISTING WATERMAIN
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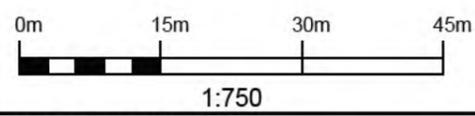
Purpose & Drawing Title:
HAYBARN VENUE
STORMWATER TREATMENT

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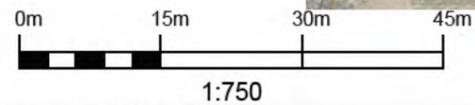
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APPROVED PLAN:
RM230425

Wednesday, 24 April 2024



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		Sheet No:	430
		Revision No:	B
		Date:	8/12/2023



LEGEND

- LEGAL BOUNDARY
- MILL CREEK
- PROPOSED WATERMAIN
- EXISTING WATERMAIN
- 4m x 11m HARDSTAND
- FIRE HYDRANT
- HYDRANT PIPE RUN DISTANCE

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 DP540788

Purpose & Drawing Title:
HAYBARN VENUE
HYDRANT LAYOUT PLAN

FOR CONSENT

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Approved by:		DO NOT SCALE	
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ATTACHMENT 2 - S42A REPORT

FILE REF: RM230425

FROM Courtney Briggs, Planner

SUBJECT Report on a publicly notified consent application.

SUMMARY

Applicant: Ayrburn Precinct Limited

Location: 341 and 339 Arrowtown - Lake Hayes Road, Arrowtown,
1 Ayr Avenue, Arrowtown

Proposal: Land use consent is sought to construct and operate an events venue known as "The Haybarn" on Lot 3 DP 540788, an overflow carpark and bus stops on Lot 4 DP 540788 and a service access on Lot 2 DP 540788, to undertake associated earthworks, landscaping.

Legal Description: Lot 2 Deposited Plan 540788 Held in Record of Title 929489, Lot 3 Deposited Plan 540788 Held in Record of Title 929490 and Lot 4 Deposited Plan 540788 Held in Record of Title 929491

Operative Plan Zoning: Rural General

Proposed Plan Zoning: Wakatipu Basin Rural Amenity Zone (Landscape Character Unit (LCU) 8 - Speargrass Flat; and located within the Lake Hayes Catchment)

Heritage Feature Listing (ODP and PDP) Ref. 110 - Ayrburn Homestead and Stone Farm Buildings
Ref. 196 and 275 – Heritage Trees

Public Notification Date: 10th August 2023

Closing Date for Submissions: 7th September 2023

Submissions: 2

- 2 submissions have been received in opposition to the application:
- 0 submissions have been received in support of the application:
- At time of submission 1 submitters requested to be heard;
- 1 of the submissions received were late submissions.

** the submitter wishes to speak at the hearing*

RECOMMENDATION

- (1) Pursuant to Section 37 it is recommended that the late submission be accepted. The submission was resolved on 17.11.2023
- (ii) That subject to new or additional evidence being presented at the Hearing, the application be GRANTED pursuant to Section 104 of the Resource Management Act 1991 (the RMA) for the following reasons:
1. It is considered that the adverse effects of the activity can be adequately managed and mitigated, and will be no more than minor.
 2. The proposal is consistent with the relevant objectives and policies of the District Plan for the following reasons:
 - The proposal is considered to maintain landscape character and amenity values of LCU 8 and the wider Wakatipu Basin Rural Amenity Zone.
 - The proposal will not exacerbate natural hazard risk.
 - Adverse noise effects on rural amenity will be appropriately mitigated.
 - The proposal will not adversely impact the safe and efficient operation of the local transport network.
 - Appropriate mitigation measures will be implemented to ensure that adverse effects of earthworks area adequately managed and mitigated.
 - The proposal will contribute to the improvement of water quality of the Lake Hayes Catchment at a level commensurate with the nature and scale of the proposal.
 3. The proposal does promote the overall purpose of the RMA.

1. INTRODUCTION

My name is Courtney Briggs. I have been employed as a resource consents planner with Queenstown Lakes District Council for the last 2.5years. During this time I have processed both land use and subdivision consents within the Queenstown Lakes District. I have a Bachelors of Science with Environmental Science endorsement and a Masters of Science majoring in Geology. I am an associate member of the New Zealand Planning Institute.

I confirm I have read the Code of Conduct for Expert Witnesses contained in the Environment Court Consolidated Practice Note 2014 and agree to comply with it. In that regard I confirm that this evidence is written within my area of expertise, except where otherwise stated, and that I have not omitted to consider material facts known to me that might alter or detract from the opinions expressed.

This report has been prepared to assist the Commission. It contains a recommendation that is in no way binding. It should not be assumed that the Commission will reach the same conclusion.

2. PROPOSAL AND SITE DESCRIPTION

The applicant has provided a description of the proposal, the site and locality and the relevant site history in Sections 2 to 4 of the report entitled "Haybarn Venue 339 Arrowtown – Lake Hayes Road Assessment of Environmental Effects and Statutory Analysis", prepared by Olivia Stirling of Barker and Associates Limited, and submitted as part of the application (hereon referred to as the applicant's AEE). This description is considered accurate and is adopted for the purpose of this report with the following additions:

The Haybarn Venue:

It is proposed to construct a 974m² (including accessory buildings for services and catering), two-storey building containing a function hall, a ceremony/lounge area, a kitchen, a bar, and dressing rooms, known as "The Haybarn". The proposed venue will have a maximum occupancy of 180 people and is to be used

for a variety of functions including weddings, funerals, and conferences. The application includes an acoustic assessment by Marshall Day Acoustics with volunteered conditions.

The proposed Venue and its service and pedestrian access ways are within a Woodland Area. It is proposed to remove five trees (1 Larch and 4 Elderberry) from the Woodland Area within the avenue of protected trees along the Homestead driveway (Ref: 196 and 275). Additional landscaping is proposed and the application includes a landscape assessment by Rough Milne Mitchell Landscape Architects.

A service access road to the Haybarn is proposed off the Historic Tree lined driveway on Lot 2. No structures or earthworks requiring consent are proposed on Lot 2, which contains Listed Heritage Feature (Ref: 196 and 275) the Ayrburn Homestead, and it is considered that development within the setting or extent of place is not proposed. A Heritage Assessment by Origin Consultants has been included with the application.

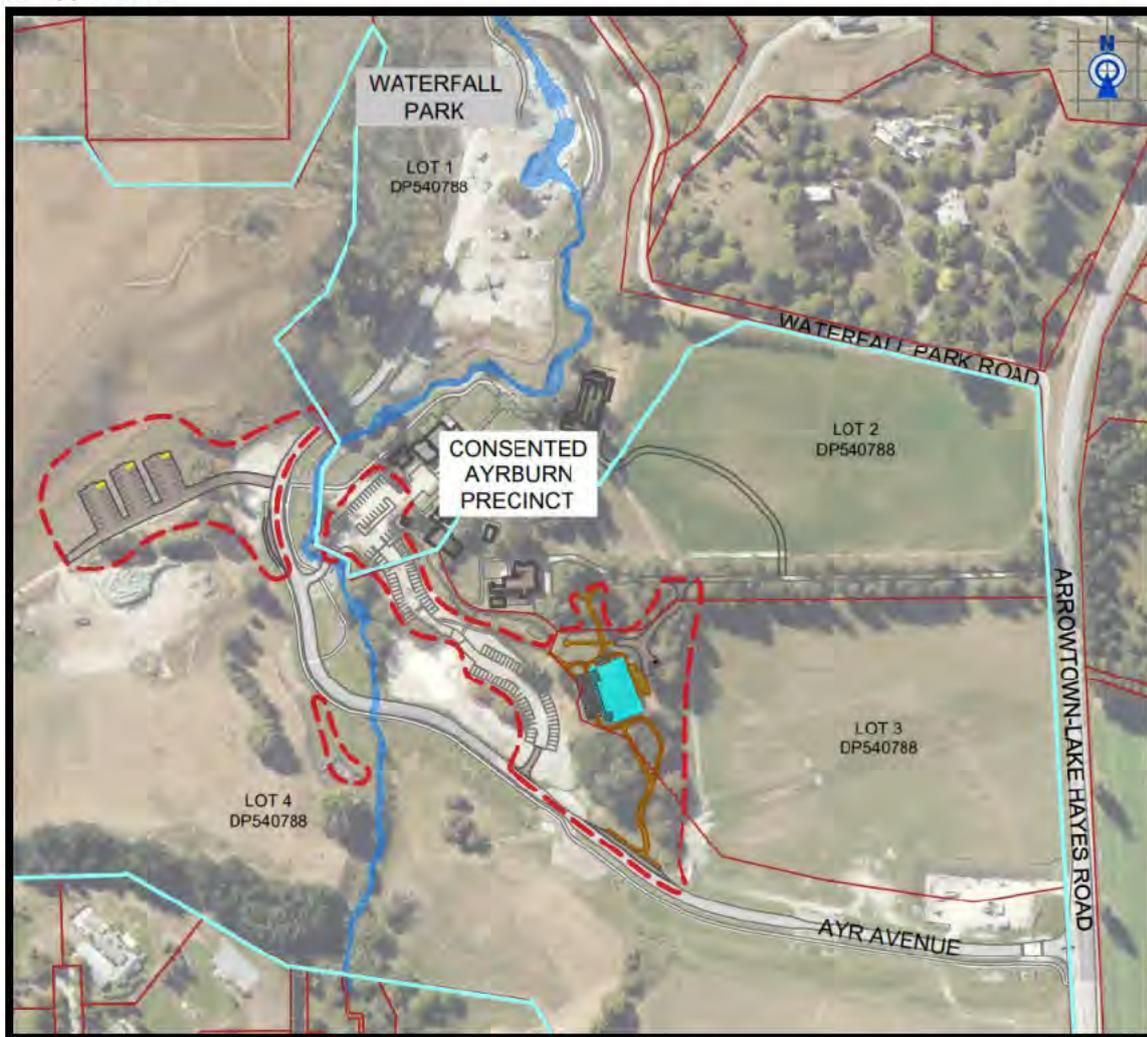


Figure 1: Aerial view of subject sites (Lots 2, 3 and 4) outlined in blue. Lot 1 is also owned by the applicant. The location of the proposed Haybarn is indicated in blue and its associated carparking areas and access areas are circled by red dashed lines.

Carpark 3 and Bus Stops:

Access to the venue will be provided from Ayr Avenue for private vehicles and buses. Three bus drop-off bays are proposed on Ayr Avenue along with footpaths to the venue. Carpark 3, consented by RM21193 and RM220874, will provide 50 carparks for the venue, and it is proposed to form a new connection directly to Ayr Avenue.

Carpark 4 – Overflow Carpark

To provide additional carparking for the venue and other consented commercial activities in the Ayrburn Precinct, another gravel, overflow carpark (for 53 cars) is proposed off Ayr Avenue on Lot 4 to the north-

west of the consented parking areas. Earthworks are required for the formation of the pedestrian and vehicle access. Earthworks, breaching volume, cut height and cleanfill are proposed to construct the overflow carpark. An Environmental Management Plan has been included with the application.

Stormwater

Additional stormwater treatment devices are proposed in relation to the addition of Carpark 4. The application includes a Stormwater Management Plan by CKL and an Environmental Management Plan by Patterson Pitts Group

Further Information

A request for further information (RFI) was sent to the Applicant on 18th July 2023.

RFI Response Date	Information Received
10 th October 2023	Woodland Management Plan – 1 August 2023 Updated Architectural Plans dated 26.09.2023 Updated Landscape Drawings dated 25.09.2023 Updated Cladding Detail dated 26.09.2023 Updated Architectural Drawing Memorandum Section 92 Request Response
26 th October 2023	Transport RFI Response provided by Carriageway Consulting
14 th November 2023	Updated Landscape Plan dated 28.11.2023 Volunteered Stormwater Conditions supported by Submitter on 17.11.2023
1 st December 2023	Updated EMP (Rev 4) EMP s92(1) – RFI table
5 th April 2024	Updated Landscape Plan

The s92(1) RFI information listed above has been assessed in the preparation of the peer review reports listed in section 7 of this report below.

3. SUBMISSIONS

3.1 SUBMISSIONS

A copy of submissions received can be found in the “Submission” section of the Agenda and are summarised below for the Commission’s benefit.

With reference to section 41D of the RMA, none of the submissions were considered to:

(a) be frivolous or vexatious:

(b) have failed to disclose a reasonable or relevant case:

(c) constitute an abuse of the hearing process to allow the submission or the part to be taken further:

(d) be supported only by evidence that, though purporting to be independent expert evidence, has been prepared by a person who is not independent or who does not have sufficient specialised knowledge or skill to give expert evidence on the matter:

(e) contains offensive language.

The key points raised from the submissions are in relation to (in no particular order):

Name	Location of Submitters Property	Summary of Submission	Relief Sought
Murray and Clare Doyle	336 and 338 Arrowtown Lake Hayes Road	The proposed commercial events venue is within a large-scale commercial development which is inconsistent with the Rural Zoning of the of the site. The site is close to a rural community with several residential homes. The proposal will generate significant noise, traffic and activity, especially in the evenings. The application relies on doors and windows being closed after 8pm, which in summer evenings is unlikely to be complied with. The applicant was an objector to the Thurlby Domains (RM201050) application which was declined. This application is similar and should be declined for consistency.	Decline the application
Friends of Lake Hayes Society Inc	NA	Not satisfied that the information provided satisfies the requirements to improve water quality in the Lake Hayes Catchment	Further information required Confirmed support of the application on 17.11.2023 following the inclusion of volunteered conditions

3.2 LATE SUBMISSIONS

Under Section 37 of the RMA the Commissioners may waive the requirement to make a submission within the required time period provided Section 37A(1) is considered.

Section 37A(1) states:

A consent authority or local authority must not extend a time limit or waive compliance with a time limit, a method of service, or the service of a document in accordance with section 37 unless it has taken into account -

- (a) The interest of any person who, in its opinion, may be directly affected by the extension or waive; and*
- (b) The interests of the community in achieving adequate assessment of the effects of any proposal, policy statement or plan; and*
- (c) Its duty under section 21 to avoid unreasonable delay.*

The issues raised in the late submission relate to the water quality of the Lake Hayes catchment which has not been covered by the other submission. It is in the interests of the community for all parties who wish to be involved in a notified resource consent to be able to do so such that an adequate assessment

of the effects can be undertaken. Inclusion of this submission will not affect the timings of this application. In addition, the applicant has engaged with this submitter and resolved the matter of concern.

For these reasons, it is recommended that the submission be received and accepted pursuant to the above section of the RMA.

4. CONSULTATION AND WRITTEN APPROVALS

No persons have provided written approvals

5. PLANNING FRAMEWORK

5.1 THE DISTRICT PLAN

QLDC currently has an Operative District Plan (ODP) and a Proposed District Plan (PDP).

Council notified its decisions on Stage 1 of the PDP on 7 May 2018, notified its decisions on Stage 2 of the PDP on 21 March 2019 and notified its decisions on Stages 3 and 3B of the PDP on 1 April 2021. There are a number of appeals on these decisions.

Where there are rules in the PDP that are treated operative under s.86F of the RMA, corresponding rules in the ODP are treated as inoperative. Consent is required under Section 9(3) of the RMA, pursuant to the ODP and PDP rules which are listed below, due to site specific appeals on the PDP zoning.

5.1.1 OPERATIVE DISTRICT PLAN

The subject site is zoned Rural General in the ODP. There are no relevant rules under the ODP as the relevant rules of Chapter 5, 14 and 22 are treated as inoperative given the relevant rules under the PDP are treated as operative pursuant to section 86F.

5.1.2 PROPOSED DISTRICT PLAN

The subject site is zoned Wakatipu Basin Rural Amenity Zone by the PDP and the proposed activity requires resource consent under the PDP for the following reasons:

Rules with legal effect (s.86B), that are not yet treated as operative under s.86F are:

Wakatipu Basin Rural Amenity Zone – Chapter 24

- A **restricted discretionary** activity resource consent pursuant to Rule 24.4.18 in regard to the construction of buildings for non-residential activities. The proposed Haybarn is commercial in nature.
- A **non-complying** activity pursuant to Rule 24.4.23 in regard to a commercial activity not otherwise provided for in Table 24.1. The application proposes the Haybarn Venue to be used as a commercial activity to provide for functions on site.
- A **restricted discretionary** activity pursuant to Rule 24.5.6 in regard to the building coverage of all buildings on a site not subject to Rule 24.5.4 not exceeding 15% of net site area, or 500m², whichever is the lesser. The proposed Haybarn Venue and its accessory buildings have a building coverage of 936m².
- A **restricted discretionary** activity resource consent pursuant to Rule 24.5.8.1 in regards to a breach to the maximum height of 6.5 metres by the proposed chimney. Chimneys and other structures can exceed the height limit by up to 1.5m, provided that no dimension in any direction exceeds 1.1m. In this case, the chimneys are 1.6m wide, and 3.05m in length and exceeds the 6.5m height limit by 0.8m and the turret contains windows and is 1.4m wide and 1.4m in length and exceeds the height limit by 1.4m.

Earthworks - Chapter 25

- A **restricted discretionary** activity pursuant to Rule 25.4.2 for earthworks exceeding maximum volume of 400m³ in the Wakatipu Basin Rural Amenity Zone, as set out in Rule 25.5.4. A total of 16,600m³ is proposed. Matters of discretion are listed in 25.7.1.
- A **restricted discretionary** activity pursuant to 25.5.18.1 for earthworks not supported by retaining walls, 300mm plus a batter slope angle of a maximum of 1:3 (vertical: horizontal), as measured from the crest of the cut. A batter slope of 1:2 is proposed next to the overflow carpark. Matters of discretion are listed in 25.7.1.
- A **restricted discretionary** activity pursuant to 25.5.21 for no more than 300m³ of Cleanfill shall be transported by road to or from an area subject to Earthworks. 6,600m³ of cleanfill is proposed, with 2000m³ being imported to site and 4,600m³ being removed from site. Discretion is restricted to the matters in 25.7.1.3, 25.7.1.7, and 25.7.1.9.

Additional Post Lodgement Rules that are treated as operative under s86F:

Earthworks - Chapter 25

- A **restricted discretionary** activity pursuant to Rule 25.5.11 for earthworks over a contiguous area of land shall not exceed the following area:
 - 2,500m² where the slope is 10° or greater.
 - 10,000m² where the slope is less than 10°

Several areas of earthworks are proposed over the subject sites, with a variety of slopes. The total area of earthworks proposed is 13,000m². Matters of discretion are listed in 25.7.1.

- A **restricted discretionary** activity pursuant to Rule 25.5.15 for cut depth that exceeds 2.4m. A maximum cut depth of 5.0m is proposed. Matters of discretion are listed in 25.7.1.
- A **restricted discretionary** activity pursuant to Rule 25.5.18(b) for earthworks not supported by retaining walls, 300mm plus a batter slope angle of a maximum of 1:3 (vertical: horizontal), as measured from the crest of the cut. A batter slope of 1:2 is proposed next to the overflow carpark. Matters of discretion are listed in 25.7.1.
- A **restricted discretionary** activity pursuant to Rule 25.5.21 for no more than 300m³ of Cleanfill shall be transported by road to or from an area subject to Earthworks. 8,900m³ of cleanfill is proposed, with 2000m³ being imported to site and 6,900m³ being removed from site. Discretion is restricted to the matters in 25.7.1.3, 25.7.1.7, and 25.7.1.9

Transport – Chapter 29

- A **restricted discretionary** activity pursuant to Rule 29.4.11 for high traffic generating activities including new land-use and changes in use that exceeds the traffic generation standards or thresholds set out in Table 29.5. In this case, 50 or more proposed carparking spaces. Discretion is restricted to effects on the transport network in relation to:
 - a) Integration with the existing transport network;
 - b) Measures to reduce traffic generation;
 - c) Measures to facilitate modal shift
 - d) Any functional and operational needs of the activity to locate in that environment;
 - e) Any positive effects on the efficient use or amenity of the site or overall subdivision layout;
 - f) Any positive effects on the urban design quality of the land use or subdivision activity; and
 - g) Any recommendations from and Integrated Transport Assessment.

A 53 park carpark is proposed for overflow carparking for commercial activities in the Ayrburn Domain.

- A **restricted discretionary** activity pursuant to Rule 29.5.10 for the use of an unsealed parking area. Matters of discretion are restricted to:
 - effects on the efficient use and maintenance, safety, and amenity of the site and of the transport network, including the pedestrian and cycling environment.

It is proposed to construct a gravel covered, overflow carpark.

- A **restricted discretionary** activity pursuant to Rule 29.5.13 all vehicular access shall be in accordance with Table 3.2 (Road Design Standards) of the QLDC Land Development and Subdivision Code of Practice 2018. Matters of discretion are restricted to:
 - a. Effects, including positive effects, on the safety, efficiency, and amenity of the site and of the transport network, including the pedestrian and cycling environment.
 - b. The design of the access, including the width of the formed and legal width.
 - c. The on-going management and maintenance of the access.
 - d. Urban design outcomes, including any positive effects on urban design quality.
 - e. The vesting of the access in Council.
 - f. Any positive effects on achieving planned intensification and compact urban form.

Table 3.2 requires the minimum width of accessways to be 5.5m which is for two-way traffic. A new exit from Car Park 3 on to Ayr Avenue is proposed for one-way traffic with a width of 4m.

- A **restricted discretionary** activity pursuant to Rule 29.5.15 for design of vehicle crossings in the Wakatipu Basin Rural Amenity Zone shall comply with Diagram 2 and with either Diagram 8, 9, or 10 of Schedule 29.2. Matters of discretion are restricted to:
 - effects on safety, efficiency, and amenity of the transport network, including the pedestrian and cycling environment.

The proposed vehicle crossings do not meet the requirements for vehicle crossing in Rural Zones.

- A **restricted discretionary** activity pursuant to Rule 29.5.20 for places of assembly or places of entertainment: (a) floor area: 2 Mobility Carparks Park shall be provided for with floor areas 101 – 1,000m² or (b) Number of Seats: 1-100 seats = 1 space, 101-1000 seats = 2 spaces. Whichever of (a) or (b) is the greater shall apply. Discretion is restricted to:
 - a. The number, location, and design of mobility parking spaces, including the accessibility of the spaces to the building(s); and
 - b. Effectiveness of the associated signage.

One mobility carpark is provided. The proposed public floor area of the Venue is 432m² and will include up to 180 seats.

Overall, the application is considered a **non-complying** activity.

5.2 NATIONAL ENVIRONMENTAL STANDARD FOR ASSESSING AND MANAGING CONTAMINANTS IN SOIL TO PROTECT HUMAN HEALTH

Based on the applicants review of Council records and site investigations the proposed activity is on a piece of land that is a HAIL site.

Section 5.2 of the applicant's AEE describes the Detailed Site Investigation and remediation work undertaken for RM180584 and RM181597. This work was also relied upon for RM200791, which approved the establishment of a residential building platform in the proposed location of The Haybarn Venue of this application. Site investigations include:

- EC Otago Ltd, 2016. Preliminary Site Investigation for Soil Contamination - Ayrburn Farm and Waterfall Park Residential Development, Wakatipu. Job Reference: 16-16 Waterfall.

- EC Otago Ltd, 2018. Detailed Site Investigation - 341-345 Arrowtown-Lake Hayes Road, Wakatipu. Job Reference: 54-17 Ayrburn.
- EC Otago Ltd, 2020. Site Remedial Action Plan v7 - 341 – 345 Arrowtown–Lake Hayes Road, Wakatipu. Job Reference: 112-18 Ayrburn Remediation.



Figure 2: Aerial view of subject site showing the areas on the site that have been remediated (A-C) and the encapsulation cell in relation to the proposed venue location (purple). The “possible landfill” (HAIL.01692.05 on the ORC HAIL database) is shown in yellow.

The EC Otago Ltd, 2016 PSI included sampling across the property that identified the only areas of contamination were associated with the farm homestead, the farmyard precinct and adjacent landfill area. The contaminated soil (the encapsulation cell) is well contained some distance from the earthworks and construction proposed in this application. The EC Otago Ltd, 2018 Detailed Site Investigation and 2020 investigation has confirmed that sites A – C have been remediated.

Possible Landfill

The proposal includes earthworks to construct an overflow carpark on Lot 4. A possible landfill area was identified and is recorded on the HAIL database (HAIL.01692.05) in the proposed location of the overflow carpark.

The former Ayrburn Farm Manager, occasionally observed metal scraps while grading the farm road and considered that this may indicate an old farm landfill. This observation led to the identification of the “possible landfill” being entered as HAIL.01692.05 on the ORC HAIL database. Soil samples collected during the EC Otago Ltd, 2016, PSI site inspection showed no signs of elevated contaminants. In May 2020 an additional investigation was undertaken of the possible landfill area with three trenches transecting the area excavated to a depth of 0.75 – 1.5 m. No indications of buried materials, rubble or rubbish were uncovered.

Based on these results, EC Otago Ltd conclude there is no evidence that this area was used as a landfill but rather earthworks have occurred in this area. As a result, the entry for HAIL.01692.05 on the ORC HAIL database has been updated to “Verified Non-HAIL” for the possible landfill site. Therefore, NES

does not apply because the PSI meets 6(3)(b) because the activity described in the HAIL has not been undertaken on the piece of land.

Based on the findings of the PSI and DSI, the May 2020 investigation and the remedial works undertaken, EC Otago Ltd conclude that only the areas A to C shown Figure 2 should be considered HAIL sites.

6. STATUTORY CONSIDERATIONS

This application must be considered in terms of Section 104 of the RMA.

Subject to Part 2 of the RMA, Section 104 sets out those matters to be considered by the consent authority when considering a resource consent application. Considerations of relevance to this application are:

- (a) *any actual and potential effects on the environment of allowing the activity; and*
- (ab) *any measure proposed or agreed to by the applicant for the purpose of ensuring positive effects on the environment to offset or compensate for any adverse effects on the environment that will or may result from allowing the activity; and*
- (b) *any relevant provisions of:*
 - (i) *A national environmental standards;*
 - (ii) *Other regulations;*
 - (iii) *a national policy statement*
 - (iv) *a New Zealand coastal policy statement*
 - (v) *a regional policy statement or proposed regional policy statement*
 - (vi) *a plan or proposed plan; and*
- (c) *any other matters the consent authority considers relevant and reasonably necessary to determine the application.*

In addition, Section 104D (Particular Restrictions on non-complying activity) states that:

- (1) *Despite any decision made for the purpose of section 95A(2)(a) in relation to adverse effects, a consent authority may grant a resource consent for a non-complying activity only if it is satisfied that either –*
 - (a) *the adverse effects of the activity on the environment (other than any effect to which section 104(3)(a)(ii) applies) will be minor; or*
 - (b) *the application is for an activity that will not be contrary to the objectives and policies of-*
 - (i) *the relevant plan, if there is a plan but no proposed plan in respect of the activity; or*
 - (ii) *the relevant proposed plan, if there is a proposed plan but no relevant plan in respect of the activity; or*
 - (iii) *both the relevant plan and the relevant proposed plan, if there is both a plan and a proposed plan in respect of the activity.*

The application must also be assessed with respect to the purpose of the RMA which is to promote the sustainable management of natural and physical resources. Section 10 of this report outlines Part 2 of the RMA in more detail.

Section 108 empowers the Commission to impose conditions on a resource consent.

7. INTERNAL REPORTS

The following reports have been prepared on behalf of QLDC and are attached as appendices.

- Landscape – Richard Denney
- Environmental Management – Jason Smith of Morphem Environmental
- Stormwater – Amanda Ling of Morphem Environmental
- Acoustic – Jamie Exeter of Styles
- QLDC Engineering – Catriona Lamont

The assessments and recommendations of the reports are addressed where appropriate in the following assessment.

8. ASSESSMENT

It is considered that the proposal requires assessment in terms of the following:

- 8.1 Effects on the Environment guided by Assessment Criteria (but not restricted by them)
- 8.2 Objectives and Policies Assessment
- 8.3 Other Matters (precedent, other statutory documents)

8.1 EFFECTS ON THE ENVIRONMENT

8.1.1 The Permitted Baseline and Existing Environment

The subject site is in the Wakatipu Basin Rural Amenity Zone (WBRAZ), while surrounding properties are also in the Waterfall Park Zone, Millbrook Zone and Wakatipu Basin Lifestyle Precinct. However, all zones have the following noise limits at any point within the notional boundary of a residential unit:

0800h to 2000h - 50 dB LAeq(15 min)
2000h to 0800h - 40 dB LAeq(15 min)

The permitted baselines for noise are considered relevant to the application and are discussed in the assessment below where relevant.

Overall, there are no permitted commercial activities in the Wakatipu Basin Rural Amenity Zone and only limited provision for small-scale permitted buildings. Therefore, I agree with the applicant, that the permitted baseline is of little relevance.

8.1.1.1 Existing Environment

I agree with the applicant that the existing consented environment is of relevance to this application. The subject sites have a complex consent history, starting with RM171280, which consented the construction of a private road known as Ayr Avenue, in 2018. RM180584 consented the establishment of the Ayrburn Domain and a Hotel Complex within Lots 1, 2 and 4 DP 540788. The consented hotel complex includes two restaurants, a bar and conference centre/large event facilities within the reception building, four accommodation blocks providing for 380 guest rooms. The establishment of a wedding chapel and wellness centre, containing a day spa, yoga studio, group therapy, and swimming pool was also consented.

RM180584 consented the establishment of the Aryburn Domain in the Rural General Zone (ODP), and includes the restoration and repurposing of existing heritage farm buildings to restaurants and bars, outdoor equipment hire and retail shops and storage. The construction of an outdoor pavilion known as the "dell" to be used for events and weddings was also consented.

Next to the Aryburn Domain, within the existing and historic trees, RM200791, consented the establishment of a building platform with a residential unit up to 500m² in the same location as the proposal. It also consented the removal of several trees.

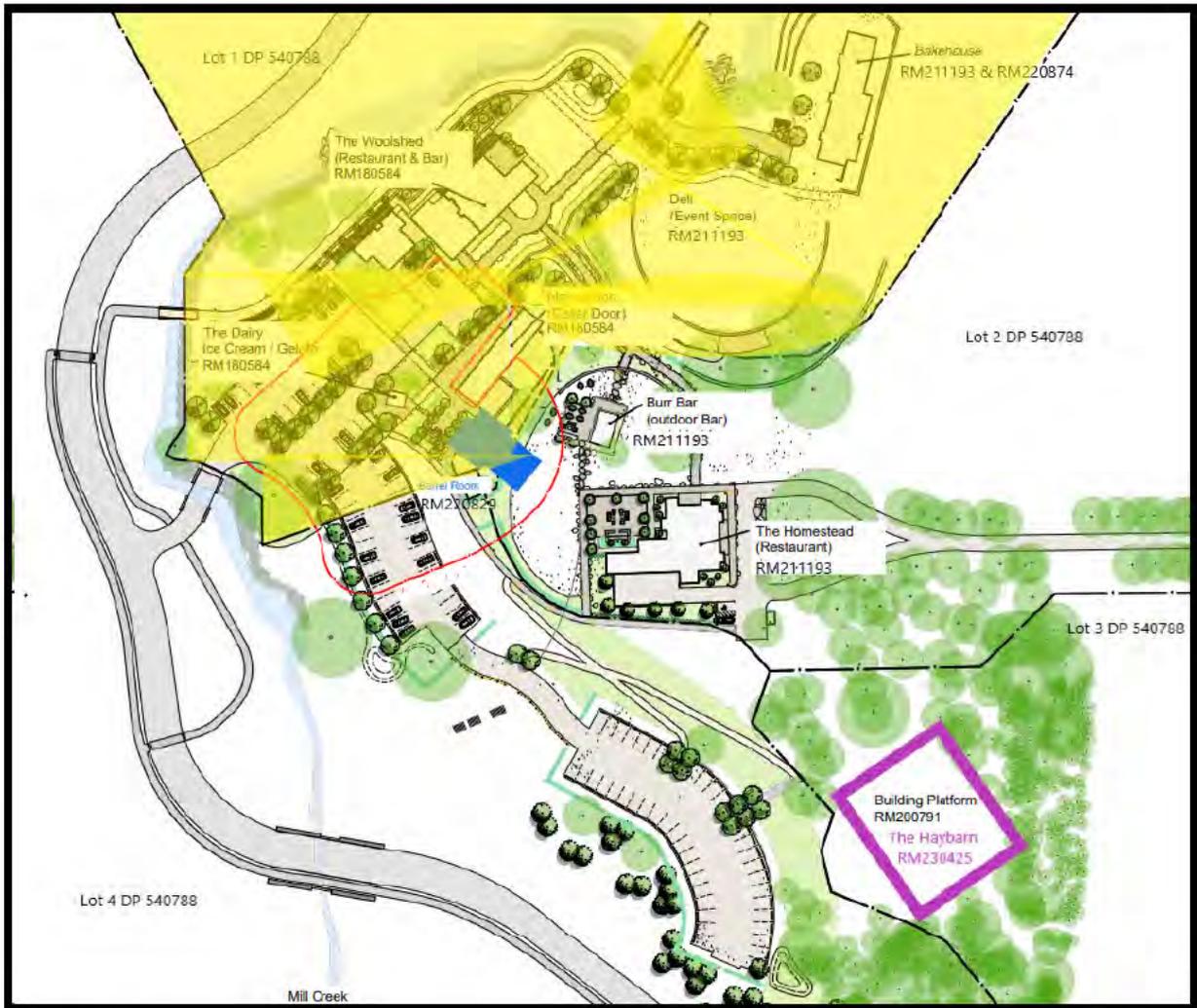


Figure 3: Consented buildings in the Ayrburn Domain, over Lots 1, 2, 3, and 4. Lot 1, shaded yellow is zoned Waterfall Park Resort, while Lots 2, 3 and 4 are zoned Wakatipu Basin Rural Amenity

Since the rezoning of parts of the subject sites from Rural General to Wakatipu Basin Rural Amenity Zone under the PDP, several subsequent resource consents have further consented the expansion of commercial activities in the Ayrburn Domain. RM211193 consented the restoration and repurposing of the historic Ayrburn Homestead to a restaurant and the restoration and repurposing of the historic Cookhouse to an outdoor bar, known as the “Burr Bar”. It also consented the construction and operation of a new commercial building known as the Bakehouse. In 2023, RM220874 varied RM211193, to consent the increased size of the Bakehouse and the inclusion of 4 commercial tenancies. RM220829 is another 2023 variation to RM211193 which consented another new commercial building known as the “Barrel Room”.

RM230926 consented the establishment and operation of a Retirement Village known as “Northbrook Arrowtown”. It consists of 5 buildings, a boutique hotel (16 rooms) and two accessory buildings and associated earthworks, landscaping, roading. Northbrook is in the same location as the Hotel component of RM180584 on Lot 1, therefore, the applicant may give effect to RM230926 or RM180584.

The sealed access road known as Ary Avenue has been constructed and provides access to the Ayrburn Domain. At the time of the site visit, all the historic buildings were at various stages of their consented restoration and repurposing for their commercial uses. The construction of the new Bakehouse and Barrel Room commercial buildings had also begun.

All of the consented activities in the Ayrburn Domain, shown in figure 2 have the potential to generate noise. RM180584 was the first to consent commercial activities on the subject sites and included the condition below to reduce the potential adverse noise effects on the surrounding environment. The

majority of the other subsequently consented commercial activities have also been consented with this condition.

Noise from the site shall comply with the following noise limits:

- a) *Sound from non-residential activities measured in accordance with NZS6801:2008 and assessed in accordance with NZS6802:2008 shall not exceed the following noise limits at any of the points marked R1-R12 in Figure 1 below:*
- (i) *daytime (0800 to 2000 hrs) 50dB LAeq (15 min)*
 - (ii) *night-time (2000 to 0800 hrs) 40dB LAeq (15 min)*
 - (iii) *night-time (2000 to 0800 hrs) 70dB LAFmax*
- b) *The noise limits in (a) shall not apply to construction sound which shall be assessed in accordance with NZS6803:1999.*

Figure 1: Noise measurement and assessment positions



ENV-2019-CHC-090 was issued in September 2023 and changed the zoning of Lot 1 DP 540788 to Waterfall Park Resort. The majority of the consented commercial activities are on Lot 1 under the Waterfall Park Resort Zoning, in the Village Sub-Zone. Licenced premises, theatres, conference, cultural and resort facilities, office and administration activities that are ancillary to Visitor Accommodation are controlled activities anticipated in the Village Sub-Zone of Lot 1. Lots 2, 3 and 4 remain under the Wakatipu Basin Rural Amenity Zoning (WBRAZ), in which commercial activities are not anticipated. The proposed Haybarn Venue is on Lot 3 and the only other consented commercial activities under the WBRAZ are the Homestead Restaurant and Burr Bar on Lot 2.

8.1.2 Actual and Potential Effects on the Environment

I consider the proposal raises the following actual and potential effects on the environment:

- 8.1.2.1 Noise
- 8.1.2.2 Landscape
- 8.1.2.3 Stormwater
- 8.1.2.4 Earthworks
- 8.1.2.5 Transport
- 8.1.2.6 Natural Hazards
- 8.1.2.7 Services
- 8.1.2.8 Heritage

My assessment uses the scale from the Quality Planning resources:

- Nil Effects:
No effects at all.
- Less than Minor Adverse Effects:
Adverse effects that are discernible day-to-day effects, but too small to adversely affect other persons.

- **Minor Adverse Effects:**
Adverse effects that are noticeable but will not cause any significant adverse impacts.
- **More than Minor Adverse Effects:**
Adverse effects that are noticeable that may cause an adverse impact but could be potentially mitigated or remedied.
- **Significant Adverse Effects that could be remedied or mitigated:**
An effect that is noticeable and will have a serious adverse impact on the environment but could potentially be mitigated or remedied.
- **Unacceptable Adverse Effects:**
Extensive adverse effects that cannot be avoided, remedied or mitigated.

8.1.2.1 Noise

The application includes an acoustic assessment by Damian Ellerton of Marshall Day, which has been peer reviewed on behalf of Council by Jamie Exeter of Styles Group..

It is proposed to use the Haybarn Venue for a variety of functions with amplified music, including weddings with the maximum proposed occupancy of up to 180 people. Overall, Mr Ellerton concludes that the acoustic assessment demonstrates that compliance with both night and daytime noise standards for 36.5.1 - Wakatipu Basin Rural Amenity Zone and 36.5.2 - Wakatipu Basin Lifestyle Precinct can be achieved. Therefore, noise will be controlled to an appropriate level and Mr Exeter generally agrees with Mr Ellerton's acoustic assessments.

Both Acoustic experts agree that an automatic sound limiting device installed and calibrated by a suitably qualified person (e.g., MASNZ) will ensure that music noise levels cannot exceed the permitted noise limits. The volunteered condition includes the requirement for all audio equipment to be used with the in-house system and limiter. No standalone amplification systems are permitted within the venue or its associated outdoor areas. Both acoustic experts agree that double access doors at the south-west corner of the Haybarn building will further assist with noise control. The applicant has updated the design of the Haybarn building to include this mitigation measure.

Both experts agree that outdoor speakers must be no louder than 85 dB LAeq(1 min) at 1m from the speaker, and must not be used between 8.00 pm and 8.00 am. Both experts also agree that an acoustic barrier to screen the courtyard to the west of the Haybarn venue will ensure noise outside the venue is adequately controlled. The applicant has amended the landscape plan to include a 2.4m high schist wall around the courtyard area, which meets the surface mass requirement of at least 10 kg/m².

Consent has already been granted to other activities within Ayrburn Domain that involve noise from amplified music and vehicle movements late at night up to the permitted noise limits. There are no restrictions on the timing, duration, or frequency of these events and they are considered to form part of the existing environment which is discussed in section 8.2.1.1 of this report.

The applicant is not proposing any operating hours for the Haybarn Venue, to allow maximum flexibility for its operation. Instead, it is proposed that noise generated by activities associated with the operation of the Haybarn must comply with the permitted zone noise standards. It is also proposed for the cumulative noise from the Haybarn Venue and all other consented activities in the Ayrburn Domain to cumulatively comply with the zone noise standards at the notional boundaries of all residential units.

Mr Exeter is satisfied that the proposal will not increase the noise levels, or change the character, timing, duration of noise that is already consented for activities within Ayrburn Domain. However, the proposed activity is likely to increase the number of nights per year that the neighbours are exposed to noise that is much louder than other sounds in the environment and has a character that is not anticipated in the zone. I rely on Mr Exeter's advice that noise associated with the operation of the Haybarn Venue will not cause sleep disturbance of occupiers at neighbouring properties because it can be monitored and managed to stay within the permitted noise standards.

Mr Exeter has recommended a condition that requires the formation and implementation of a Operational Noise Management Plan (ONMP). Procedures for noise monitoring and the requirement to update the document when there are changes to the noise generating activities within the Haybarn Venue are to be included in the ONMP. Further noise monitoring and updating of this document are also required when there are changes to other activities in the Ayrburn Domain. The aim of this procedure is to ensure cumulative noise compliance of all activities within the Ayrburn Domain with the permitted noise standards measured at the notional boundaries of residential units..

Mr Exeter recommends that the potential noise effects on the Venue's operation could be reduced by the implementation of the ONMP which could involve restricting the operating hours, duration of amplified sound and the number of large events that could occur within a given timeframe. Informing the nearest residents of any large events that are scheduled could also reduce potential adverse noise effects.

Overall, both acoustic experts agree that the proposed Haybarn Venue can operate cumulatively with other consented activities in the Ayrburn Domain and comply with the permitted noise standards. I rely on these assessments and recommend the use of mitigation measures discussed.

8.1.2.2 Landscape

The applicant provided a landscape assessment by Rory Langbridge which was peer reviewed by Richard Denney. The subject sites are within LCU8 – Speargrass Flat, next to LCU 23 – Millbrook.

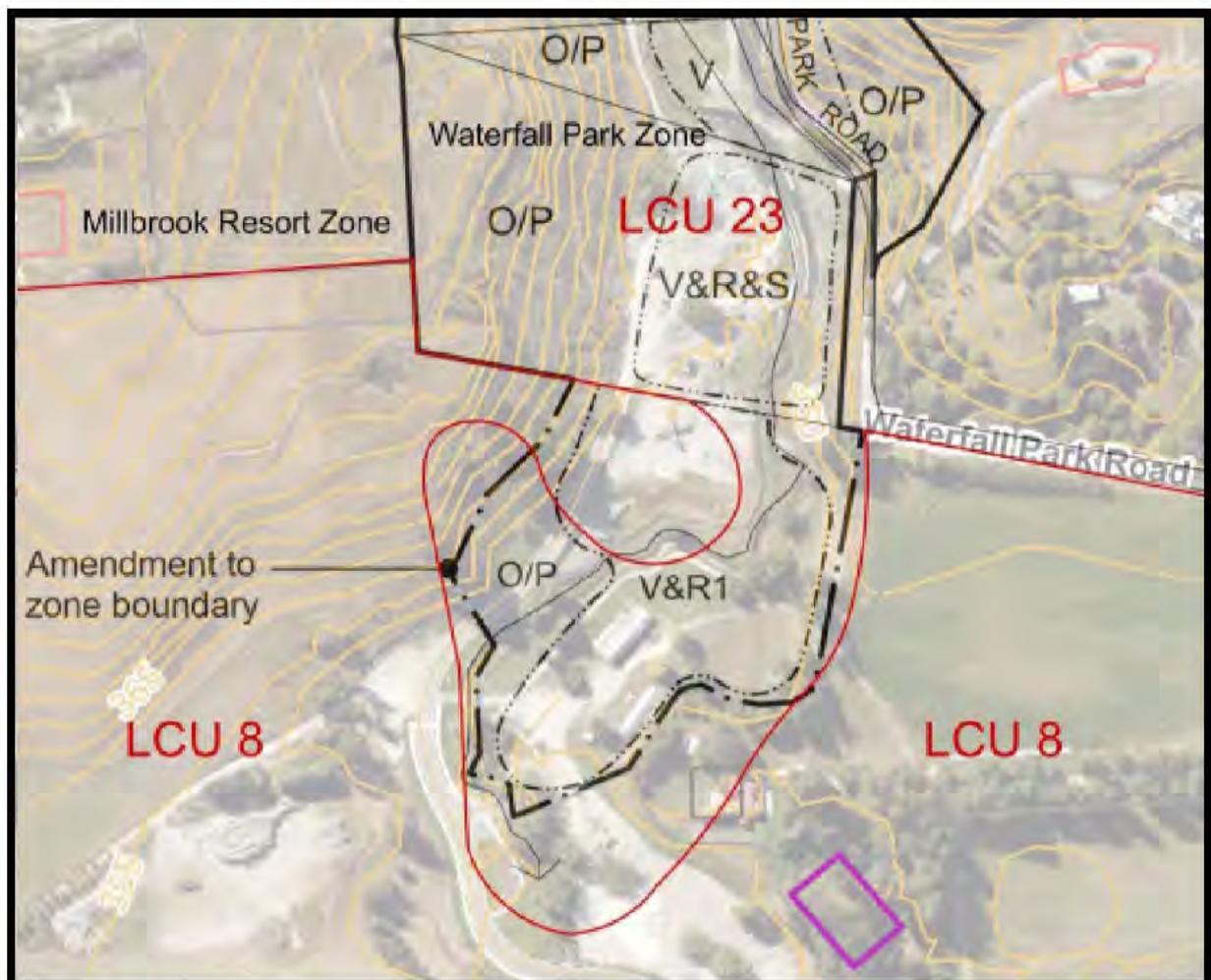


Figure 3: Landscape Character Unit boundaries shown in red. Updated Zone boundaries shown as dashed lines. The Haybarn Venue is indicated in purple.

Mr Denney considers that the consented activities in the Aryburn Domain are changing the landscape and blurring the definition between zones and LCUs. The more manicured landscape attributes of LCU 23 Millbrook are carrying through into the more rustic rural LCU8 Speargrass landscape. While Mr Denney does not consider the increasing areas with landscaped garden amenity, unattractive, they are however, reducing rural pastoral landscape character. The subject sites are within LCU8 Speargrass which largely retain the rural pastoral character beyond the historic homestead area, woodland and carparking areas. Mr Denney highlights that Waterfall Park is not part of the subject site and within in its own resort zone and LCU. Although it is of consideration, the key issues lie with effects on the Speargrass Flat LCU8.

Given the high degree of recent change to the subject sites, Mr Denney considers Mr Langbridge's site specific analysis of landscape values to be useful and applied in context of the LCU. Overall, Mr Denney considers Mr Langbridge's report to provide a clear landscape analysis and landscape assessment that follows best practice and has been tailored to the scale of development proposed. Mr Langbridge's report has determined adverse effects on landscape values of the site and landscape to be Very Low. While Mr Denney considers the effects to be greater, at Low, once works are completed and subject to mitigation planting establishing and the ongoing retention of a healthy mature woodland.

Mr Denney agrees with Mr Langbridge that the development is to be considered in context of the baseline consented by RM200791, but also all consents to date. It is noted that at the time of this application, the building platform consented by RM200791 had not been registered on the title, however, the consented planting has been undertaken and provides additional mitigation. The proposal includes the removal of an addition 5 trees to those consented by RM200791.

I agree that important public viewpoints are along Arrowtown-Lake Hayes Road, travelling to and from Arrowtown. Mr Langbridge considers this viewing corridor to be predominantly influenced by residential and urban development. However, I rely on Mr Denney's opinion that the viewing corridor is influenced by Rural and Rural Residential development.

The Haybarn Venue

Mr Denney considers that the proposed commercial activity generally does not align with the rural values of LCU8. However, the proposed activity would be viewed as an extension of the commercial activities consented within the Waterfall Park Zone and adjacent cluster of repurposed heritage farm buildings in the Aryburn Domain commercial area. Therefore, I agree with Mr Denney that the Haybarn Venue has some ability to be absorbed into the existing landscape and built environment.

RM200791 consented a residential unit (including any residential flat) with a maximum building coverage of 500m², however, scale of the proposed Haybarn Venue and its accessory buildings are larger with 936m² of building coverage proposed. The bulk of the proposed Venue is within the 6.5m height plane except for the turret and 2 stone chimneys. Mr Langbridge considers the greatest difference between the consented and proposed built form to be the longer façade length of the proposed Venue.

I agree with both Mr Denney and Mr Langbridge, that the existing woodland context has an ability to visually absorb the building into the LCU with low adverse visual effects at most. Both landscape architects advise that maintaining the health and scale of the woodland is essential landscape mitigation for the application. The proposed earthworks within the woodland are minimal but the health and stability of trees are potentially at risk. The application includes an arborist's assessment and a woodland management plan with mitigation measures, that have been volunteered by the applicant to ensure the health of the Woodland.

Some lighting from the Haybarn Venue may be intermittently visible from Arrowtown-Lake Hayes Road and in a location where there are currently no lights. Mr Langbridge considers the potential lighting effects on Arrowtown-Lake Hayes Road to be Low and similar to those anticipated from a residential unit in the consented building platform. However, the building coverage is much larger than the building coverage consented by RM200791 and Mr Denney concludes that the lighting at the venue that would be beyond that reasonably expected for a residential unit. Mr Langbridge, concludes that the eastern façade has been designed with minimal windows to reduce potential light spill. The proposed service area is located on the eastern side of the venue and the courtyard wall will provide additional screening. I consider the potential adverse dominance effects of the building long eastern façade and courtyard wall to be mitigated by the existing woodland trees to the east.

The largest area of glazing is on the western façade of the venue, facing the courtyard garden. As discussed in section 8.1.2.1 above, the applicant has amended the landscape plan to include a 2.4m high stone wall around the garden to mitigate noise. I agree with Mr Denney's assessment, that the addition of the wall would also assist in reducing and containing noise and light levels. Mass planting is proposed on the terrace slopes west of the wall, to reduce potential dominance effects of the wall.

Carpark 3, Footpaths and Bus Stops

Carpark 3 has been consented and further connecting paths to the Haybarn Venue are proposed. The applicant's landscape plan includes a lighting plan for both carparks 3 and 4 and for the connecting paths to the venue from these carparks and the bus stops. The proposed lighting style is in keeping with the rest of the consented Ayrburn Domain lighting.

Mr Langbridge has not considered the visual effects of carpark lighting. Mr Denney considers increased vehicle and parking activity, drop off and pick up, and lighting associated with the Haybarn Venue to be of a commercial nature and create lighting effects beyond those associated with a residential unit. Mr Denney concludes there would be an adverse cumulative effect on the surrounding open area beyond the Woodland Area.

Mr Denney considers that these carparking elements of the proposal do not enhance the landscape values of LCU 8 Speargrass. Collectively the proposal would contribute to an increasingly manicured park garden amenity, and further erode the 'natural' and 'working rural landscape' attributes of LCU8. Whilst this is anticipated in LCU23 Millbrook, the proposed encroachment of LCU23 elements into LCU8 further softens the boundary between the two. Mr Denney concludes that the adverse effects are an incremental erosion of the LCU8 landscape character with overall, low-moderate effects (minor).

The application includes 2 bus stops, to allow the applicant to provide bus services to the Venue as part of event packages. The potential use of busses, has the potential to reduce the potential adverse headlight effects. Mr Denney considers that recent tree planting opposite the proposed Carpark 3 junction would likely reduce vehicle light effects on neighbours as trees mature. To ensure landscape mitigation measures are sufficient, Mr Denney recommends a review clause to monitor lighting effects from vehicles turning for the first year of the loop road being operational. The applicant has agreed to volunteer this condition.

Carpark 4 - Overflow Carpark

Mr Denney considers the proposed overflow parking area is one of the more sensitive areas extending into the fringe of the more publicly and privately visible open pastoral areas of the LCU8.

Mr Denney considers the proposed cut into the terrace to be pronounced and unsympathetic to the natural topography but would be contained to a small area. However, the stabilisation and revegetation of the cut faces are conditions of consent discussed further in section 8.1.2.5. I agree with Mr Denney that the amended landscape plan offers a greater degree of containment and integration of the parking area with planting and earth mounding. I agree with Mr Denney that the addition of the low earth bund and planting will assist in containing light levels.

Overall, Mr Denney considers the adverse effects of Carpark 4 on the visual amenity would initially be low-moderate but reduce to low once re-grassed and planted. I agree with Mr Denney that, given the consented environment, the incremental change is considered relatively small and less than minor.

Summary

Overall, I consider the proposed landscape mitigation measures to be appropriate for the proposed development to maintain the visual amenity and landscape character of the existing environment.

8.1.2.3 Stormwater

The application includes Stormwater Management Plan, prepared by CKL Limited, which has been peer reviewed by Amanda Ling of Morphum Environmental. Both reports have been reviewed by QLDC Senior Land Development Engineer, Catriona Lamont and I rely on Ms Lamont's assessment for the purposes of this report.

A submission was received from Friends of Lake Hayes Society Inc, requesting further information to clarify if the proposal satisfies the requirements to improve water quality in the Lake Hayes Catchment.

The consented environment of the Ayrburn Domain has utilised and added to the treatment train approach for stormwater management and treatment. The application includes two areas of development; the Haybarn Venue and Carpark 4 (Overflow Carpark). It is proposed to add further to the treatment train approach. For the Haybarn Venue the surface flows discharge to the proposed network via the Car Park 3 swales and the Car Park 3 bioretention device, where the flows combine with other flows in the catchment and are conveyed through the culvert under Ayr Avenue and continue via existing overland flow paths. For Carpark 4 a bioretention device (vegetated swales or rain gardens) prior to discharge to Mill Creek. Both the swale and the bioretention device have been designed to for soakage of the Water Quality Flow (WQF) only, with the excess flows being carried on to Mill Creek. All experts are satisfied that this bioretention device is located outside of the flood plain.

CKL Limited, include a detailed assessment of contaminant loading and removal by the proposed treatment devices concluding that the proposed treatment regime will improve water quality treatment in the Lake Hayes Catchment. Ms Ling is also satisfied that the proposed additions to the treatment train approach proposed aids with achieving higher removal rates of contaminants.

Following consultation with Friends of Lake Hayes Inc, the applicant has volunteered conditions regarding stormwater treatment device monitoring, which are supported by both Ms Lamont and Friends of Lake Hayes Inc.

The applicant has also amended the engineering plans to include a bund at the southern boundary, following consultation with Friends of Lake Hayes Inc. The proposed bund will attenuate runoff from the Venue and the bus bay during rainfall events. Ms Lamont is satisfied that the proposed cut out weir along the bund will regulate flows for different duration events. After larger events, flows discharge to Mill Creek and ultimately Lake Hayes.

Overall, the proposed stormwater treatment and management methods are considered to contribute towards the improvement of water quality in the Lake Hayes Catchment. Friends of Lake Hayes Inc have confirmed that enough information has been provided to resolve their submission.

8.1.2.4 Transport

The application includes a Transport Assessment by Andy Carr of Carriageway Consulting which has been reviewed by Ms Lamont. I rely on Ms Lamont's engineering report in relation to assessing the effects of Transport.

Mobility Carparking

It is proposed to use the existing driveway leading from Arrowtown-Lake Hayes Road to the Homestead for drop-off of VIP guests, such as a wedding party and service vehicles. One mobility carpark is proposed in this area to provide the best access to the Venue. The proposed public floor area of the Venue is 432m² and will include up to 180 seats, therefore, 2 mobility carpark spaces are required.

For smaller functions with 100 or less seats, access to the public floor area of the venue is also likely to be reduced for smaller functions. Therefore, the provision of one mobility carpark is considered adequate. For larger functions up to 180 guest with access to the all public floor areas a shortfall of one mobility car park is proposed. However, the drop off area may also provide access for guests with mobility parking requirements. Overall, Mr Carr is satisfied that adequate mobility carparking is provided within the wider Ayrburn Domain parking areas. Mr Carr is also satisfied that the signposting requirements for the mobility parking space will be addressed at the time of building consent.

Miss Lamont is satisfied that the mobility parking and drop off area will be formed with a suitable building material is on a suitable level surface.

High Traffic Generating Activity

Carparks 1 to 3 have been consented and it is proposed to allocate 50 carparks within carpark 3 to the Haybarn Venue and construct a 53 space carpark (Carpark 4) for overflow carparking. The floor area of the proposed Haybarn Venue is 936m², therefore, it does not meet the 2000m² commercial floor area threshold for a high traffic generating activity. However, the 53 proposed carparks in Carpark 4 exceed the 50 park threshold for a high traffic generating activity. It is proposed for Carpark 4 to service existing commercial activities in the Ayrburn Domain, which have a combined floor area that exceeds 2000m².

Mr Carr concludes that the trip generation and transport effects of the proposed land use will be similar in character to those assessed in the approved Integrated Transport Assessments for the other consented commercial activities on the subject sites. Overall, Mr Carr is satisfied that the additional traffic generated by the proposal can be accommodated on the roading network without adverse efficiency or road safety issues arising.

Ms Lamont is satisfied that the proposed 50 carparks are adequate for the operation of the venue. As part of this application a new exit from Car Park 3 on to Ayr Avenue is proposed for one-way traffic with a width of 4m. A minimum width of 5.5m is required by rule 29.5.13, however, considering it is proposed to be for one-way traffic Ms Lamont is satisfied that the reduced width is suitable.

Ms Lamont is satisfied that the proposed gravel cover is appropriate for the proposed Overflow Carpark (53 parks) and its design provides for adequate car park sizes and manoeuvring areas. It is located at a higher elevation than Ayr Avenue and Ms Lamont is satisfied that its access can be formed to Council standards and adequate sight distance is available.

The proposal includes measures to facilitate potential modal shift through the provision of 2 coach laybys which are well-connected to the Haybarn Venue by footpaths. Due to the nature of events proposed at the Haybarn Venue, the applicant may provide bus services. The potential use of buses for functions could reduce potential adverse traffic effects on rural amenity by reducing the car movements, however, this cannot be relied upon.

Ms Lamont is satisfied that the tracking curves provided demonstrate that buses can manoeuvre in and out of both bays independently and the dimensions of the bays are in accordance with Auckland Transport Code of Practice.

Pedestrian access from the southbound bus bay and Car Park 3 is proposed with a maximum width of 3.0m and a minimum width of 1.5m. Pedestrian access from the overflow carpark is provided through existing internal footpaths, through the consented developments. Ms Lamont is satisfied that the layout can provide adequate provisions for pedestrian movements. As discussed above in section 8.2.2.2, the paths are considered adequately lit for guests.

Overall, I conclude that the potential adverse transport effects on the environment are less than minor.

8.1.2.5 Earthworks

The application includes an EMP prepared by Patterson Pitts Group which has been peer reviewed by Jason Smith of Morphem Environmental. Mr Smith is satisfied that the applicant's updated EMP is in accordance with QLDC's EMP guidelines.

The application includes a Geotechnical report prepared by GeoSolve, which has been reviewed by Ms Lamont. I rely on Ms Lamont's assessment for the purposes of this report. Ms Lamont accepts the applicant's Geotechnical report as evidence that the proposal is geotechnically feasible.

The proposed overflow carpark is located in a valley that runs southwest of the Ayrburn Domain. To form the flat carparking areas 1:2 batter cuts are proposed. Due to the valley topography, there will be limited views of the proposed carpark from the surrounding environment beyond the subject sites. The applicant proposes to re-grass the earthworks which aligns with Ms Lamont's and Mr Denney's recommendations to stabilise the area.

Overall, I conclude that the potential adverse earthworks effects on the environment are less than minor.

8.1.2.6 Natural Hazards

Ms Lamont is satisfied that the hazards for the Haybarn Venue were adequately assessed as part of RM200791, which relied on the Geosolve report included in the application. As part of the wider Waterfall Park and Ayrburn Development, a flood model report was completed by Fluent Solutions, which has been assessed by Ms Lamont. The Haybarn Venue and Car Park 4 (Overflow) are not within the flood plain. Ms Lamont is satisfied that a specific management plan to monitor creek levels is not a requirement of this consent.

The application includes a low bund along the southern boundary, which alters the flood plain. The applicant has provided an updated flood model to demonstrate that the post-development stormwater flow at the downstream boundary is no greater than pre-development stormwater flow.

Overall, I conclude that the proposal will not increase the flood risk.

8.1.2.7 Services

I rely on Ms Lamont's engineering report in relation to assessing the effects of servicing the proposed commercial building. The application includes a water supply, firefighting and wastewater servicing assessment by CKL Limited which has been assessed by Ms Lamont.

Commercial development is not anticipated in the Wakatipu Basin Rural Amenity Zone and the installation of additional services has been consented as part of the wider Waterfall Park and Ayrburn Domain developments. The site has access to Council's reticulated wastewater and water supply as well as power and telecommunications. The applicant proposes to utilise on-site stormwater disposal.

Ms Lamont is satisfied that there is suitable and reliable potable water supply available to service the proposed venue and there is sufficient fire fighting capacity. The venue will have a wastewater pump station (WWPS) that will, in the long term, pump water to the Waterfall Park WWPS. Ms Lamont concludes the new infrastructure with the Ayrburn development and Council's reticulation has sufficient capacity to cater for the Hayburn venue activities. Ms Lamont recommends conditions requiring detailed designs of services be submitted to Council for Engineering Acceptance prior to the commencement of works.

8.1.2.8 Heritage

I rely on the applicant's heritage assessment prepared by Origin Consultants. The applicant owns Lot 1 DP 540788, which contains five historic stone farm buildings (ref. 100) and no works are proposed on this Lot. Lot 2 DP 540788 contains the Homestead and Stone Cookhouse (ref. 100) and the avenue of heritage trees (ref. 196 and 275).

The Haybarn Venue is on Lot 3 and the Overflow Carpark is on Lot 4, with only minor works proposed to form vehicle and pedestrian access on Lot 2. Origin Consultants therefore, conclude that the proposed Hayburn venue is not contained within the setting of a heritage building as defined in the District Plan. Origin Consultants are satisfied that the proposal does not seek to amend any heritage features.

Overall, I consider the potential adverse heritage effects on the environment to be less than minor.

8.2 THE DISTRICT PLAN – ASSESSMENT MATTERS AND OBJECTIVES AND POLICIES

8.2.1 Operative District Plan

The relevant Objectives and Policies of the Operative District Plan are found in Parts 4 – District Wide Matters, 5 – Rural Zones, 14 – Transport and 22 - Earthworks;

Part 4: District Wide Issues

Objective 4.1.4.1 and Policy 1.13 aim to preserve the remaining natural character of the District's lakes, rivers, wetlands and their margins, and manage land resources of the District in such a way as to maintain and, where possible, enhance the quality and quantity of water in the lakes, rivers and wetlands. As discussed above, Ms Ling and Friends of Lake Hayes Inc are satisfied that the proposal will contribute to the improvement of the water quality of the Lake Hayes catchment. The proposal includes the addition of bioretention devices to the existing treatment train approach which has been implemented across the for sites for stormwater management. While no riparian planting is proposed as part of this application, the formation of bioretention devices includes the planting of wetland species, which will contribute to protecting the water quality of Mill Creek and the wider Lake Hayes catchment. The proposal is therefore considered to be consistent with this objective and associated policy.

Objective 4.2.5 aims for use and development being undertaken in the District to be in a manner which avoids, remedies or mitigates adverse effects on landscape and visual amenity values. For reasons discussed in Section 8.2 above, adverse effects on landscape and visual amenity values in the wider environment are considered to be avoided or mitigated and the proposal is considered to be consistent with this objective.

Policy 4.2.5.1 seeks to ensure that effects are avoided, remedied or mitigated within landscapes that are vulnerable to degradation, encourage development within those areas that have the potential to absorb change, and to encourage development to harmonise with topography. The proposal is considered well contained within the subject sites. Due to the large size of the subject sites, the viewing distances from the wider environment are in the order of 100s of meters. The topography of the site means the proposed development can be absorbed. The proposed landscape mitigation measures are considered adequate and the proposal is therefore consistent with this policy.

Policy 4.2.5.8 seeks to avoid the cumulative degradation of the landscape, to ensure the density of development does not increase to the point at which the benefits of planting are outweighed by adverse effects on the landscape, and to encourage sympathetic development of rural areas. As discussed in Section 8.2 above, the consented and proposed buildings are well contained within the site. The proposed landscape strategy relies on relatively small areas of planting to enhance the existing Woodland, which is considered to provide adequate screening of the Venue. Therefore, the proposal is consistent with this policy.

Policy 4.2.5.17 seeks to encourage land use that minimises adverse effects on the open character and visual coherence of the landscape. The proposal is considered consistent with this policy because the Haybarn Venue is considered to be contained within the existing Woodland Area and Carpark 4 is considered contained by the valley topography.

Objective 4.8.3.1 and relevant policies 1.4, 1.5 and 1.6, relate to natural hazards. These provisions seek to ensure that buildings and developments are to be constructed and located so as to avoid or mitigate the potential risk of damage to human life, property or other aspects of the environment. The Venue, Carpark 4 and bioretention devices are outside the flood plain. Therefore, the proposal is considered consistent with this objective and associated policies.

Overall, the proposal is consistent with, and therefore not contrary to, the provisions of Section 4 of the ODP.

Part 5: Rural Zones

Objective 1 seeks to protect the character and landscape values of the rural area by promoting sustainable development and controlling the adverse effects of inappropriate development. Policy 1.1 directs consideration of district-wide objectives and policies when considering subdivision, use and development. Associated policies 1.2 and 1.3 seek to provide for a range of activities which utilise the soil in rural areas in a sustainable manner and ensure that land with productive value is not compromised by development. The receiving environment includes consented commercial activities in the Ayrburn Domain. Due to the location, nature and scale of the proposal, it is not considered to compromise the productive value of the land.

Policy 1.4 seeks to ensure that activities not based on the rural resources of the area occur only where the character of the rural area will not be adversely impacted. For reasons outlined in Section 8.2.2 above, the proposal is not considered to adversely impact the character of the rural area to a significant extent.

Policy 1.6 seeks to ensure that adverse effects on landscape values have been avoided, remedied or mitigated. It is considered that adverse effects on landscape values will be appropriately managed and mitigated, therefore the proposal is consistent with this policy.

Policy 1.7 and 1.8 aim to preserve the visual coherence of the landscape by ensuring that structures can be absorbed by the landscape, and avoid, remedy or mitigate the adverse effects of structures on skylines and prominent hills and slopes. As discussed in Section 8.2.2 above, the proposed Haybarn Venue is on top of a terrace which is covered by a Woodland Area. The proposal includes measures for the maintenance of the health and scale of the Woodland to mitigate any potential prominence effects of the venue and integrate it into the environment.

Objective 2 and Policy 2.1 seek to ensure the ongoing protection of soils and avoid, remedy or mitigate adverse effects of subdivision and development on the life-supporting capacity of the soils. The proposal is not considered to adversely impact the life-supporting capacity of soils, and therefore, is consistent with this objective and policy.

Objective 3 aims to avoid, remedy or mitigate adverse effects on rural amenity. As discussed above, adverse effects of the proposal on visual rural amenity will be appropriately mitigated, therefore, the proposal is consistent with this objective.

Policy 3.1 and 3.3 aim to recognise that permitted rural activities can generate, noise, dust and odour, while also avoid, remedy or mitigate adverse effects of activities located in rural areas. The proposal is considered to be an addition to the consented commercial environment and will not result in reverse sensitivity effects on surrounding rural activities.

Objective 4 seeks to safeguard the life-supporting capacity of water through the integrated management of the effects of activities. The application will add to the consented treatment train stormwater management infrastructure which continue to improve the water quality of Mill Creek. Therefore, the proposal is considered to safeguard the life-supporting capacity of water and is consistent with this objective.

Overall, the proposal is consistent with the objectives and policies of Section 5 of the ODP.

Part 14 – Transport

Objective 2 aims to maintain and improve access, ease and safety of pedestrian and vehicle movement throughout the District. Relevant supporting policies aim to ensure that the intensity and nature of activities along roads are compatible with road capacity and function, and to ensure that accessways are designed and located to provide good visibility, accommodate vehicle manoeuvres and prevent reverse manoeuvring onto arterial roads. The proposal will use the existing Ayr Avenue access road off Arrowtown-Lake Hayes Road and will add a carpark, road links, bus stops and footpaths to the consented development at Ayrburn Domain. Ms Lamont has reviewed the proposal and is satisfied that these proposed additions will be formed to council standards. Therefore, the proposal is considered consistent with this objective and associated policies.

Objective 5 aims for sufficient accessible parking and loading facilities to cater for the anticipated demands of activities while controlling adverse effects. Policy 5.1 seeks to ensure that business uses have provision for suitable areas for loading vehicles on-site. The application includes a Traffic Assessment by Carriageway Consulting, which has been assessed by Ms Lamont. It is proposed to allocate 50 existing carparks within Carpark 3 for the Haybarn Venue and Ms Lamont considers this adequate to service the Venue. Carpark 4 will provide 53 overflow carparks for other consented activities in the Ayrburn Domain. Service vehicles will access the eastern side of the venue via the homestead access and a new accessway through the Woodland area which is assessed as adequate by Ms Lamont.

Policy 5.2 seeks to ensure that car parking is available, convenient and accessible to users including people with disabilities. Although, the application includes a mobility parking shortfall of one park, the

proposed drop off area is considered adequate for guests with mobility parking requirements. Overall, Mr Carr is satisfied that sufficient mobility carparking is provided for within the Ayrburn Domain. Therefore, the proposal is consistent with this policy.

Policy 5.3 seeks to ensure that all off-street parking areas are designed and landscaped in a manner which will mitigate any adverse visual effect on neighbours, including outlook and privacy. Mr Denney is satisfied that the additional landscaping of Carpark 4 will mitigate potential adverse outlook effects by containing lights and noise. I agree with Mr Langbridge that the valley topography and central location of Carpark 4, visually contains this area of development. Therefore, the proposal is consistent with this policy.

Policy 5.4 requires the design of parking areas to ensure the safety of pedestrians as well as vehicles. The proposal includes the addition of Carpark 4 for overflow carparking and the addition of walkways and bus stops. The proposed lighting plans for these areas are considered adequate for pedestrian safety. Ms Lamont is satisfied that the proposed parking area and bus stop designs provide for adequate park sizes and manoeuvring areas in accordance with Council standards. Ms Lamont is satisfied that the tracking curves provided demonstrate adequate space for vehicle manoeuvres.

Overall, the proposal is consistent with the objectives and policies of Chapter 14 of the ODP.

Part 22 – Earthworks

Objective 1 enables earthworks that are part of subdivision, development, or access, provided that they are undertaken in a way that avoids, remedies or mitigates adverse effects on communities and the natural environment. Policy 1.1 promotes earthworks designed to be sympathetic to natural topography where practicable, and that provide safe and stable building sites and access with suitable gradients. Policy 1.2 is for the use of environmental protection measures to avoid, remedy or mitigate adverse effects of earthworks. Policy 1.3 requires remedial works and re-vegetation to be implemented in a timely manner. The earthworks required to create a level building platform and access for the proposed Haybarn Venue are relatively minor. The majority of the proposed earthworks are required to form carpark 4 and the flood protection earth bund. Ms Lamont is satisfied that the proposed earthworks are feasible and the applicant proposes to re-grass these areas. The application includes an Environmental Management Plan for a high risk site, which has been peer reviewed by Mr Smith. Mr Smith is satisfied that the proposed erosion and sediment control methods in the applicants EMP have been updated to meet Council's EMP guidelines.

Objective 2 seeks to avoid, remedy or mitigate the adverse effects of earthworks on rural landscapes and visual amenity areas. Policy 2.2 seeks to ensure that cuts and batters are sympathetic to the line and form of the landscape. The proposed earthworks for the Haybarn Venue are generally sympathetic to the landscape and will not significantly modify the landform. While Mr Denney considers the earthworks required to form Carpark 4 to be initially unsympathetic to the landform, he considers the additional landscaping to provide visual mitigation. I agree with Mr Langbridge that the proposed earthworks are visually contained by the valley topography. I do not consider the earthworks to align with the line and form of the valley landscape by slightly widening the valley to allow the formation of the carpark. Therefore, I consider the proposal to be consistent with this objective and associated policy.

Objective 3 seeks to ensure that earthworks do not adversely affect the stability of land, adjoining sites or exacerbate flooding. Policy 3.1 seeks to ensure earthworks do not adversely affect the stability of adjoining sites. Policy 3.2 seeks to ensure earthworks do not cause or exacerbate flooding, and avoid, remedy or mitigate the adverse effects of de-watering. Both Ms Lamont and Mr Smith are satisfied that the proposal will not adversely affect the stability of adjoining sites. A flood model has been prepared for the applicant's 4 sites. The application includes a stormwater assessment which has been reviewed by Ms Ling and Ms Lamont, who are satisfied that the proposed Venue, Carpark 4 and bioretention devices are outside the flood plain. The application includes a low bund along the southern boundary, which alters the flood plain. The applicant has provided an updated flood model to demonstrate that the post-development stormwater flow at the downstream boundary is no greater than pre-development stormwater flow. Therefore, the proposal is considered consistent with this objective and associated policies.

Objective 6 is to maintain or improve water quality of rivers, lakes and aquifers. Policy 6.1 seeks to avoid the adverse effects of earthworks in close proximity to water bodies, where practicable. Where they

cannot be avoided, ensure that sediment control techniques are put in place to avoid, remedy or mitigate sediment run-off. The proposal involves the formation of bioretention devices and a bund which are considered to manage and treat stormwater to improve the water quality of Mill Creek and the wider Lake Hayes Catchment. The proposed earthworks are well setback from Mill Creek and are considered consistent with this objective and policy.

Objective 7 seeks to protect cultural heritage from the adverse effects of earthworks. Policy 7.2 seeks to ensure that Heritage New Zealand are consulted with where earthworks may affect any archaeological sites. The application includes a Heritage Assessment which concludes that the proposed earthworks are well separated from the Heritage Buildings and Trees on the subject sites and no changes are proposed to these features. Therefore, the proposal is considered to align with this objective and policy.

Assessment Summary - ODP

Overall, the proposal is considered to be consistent with and not contrary to the relevant objectives and policies of the ODP.

8.2.2 Proposed District Plan

The subject site is zoned Rural Zone in the PDP.

The relevant objectives and policies are contained within Chapter 3 – Strategic Direction, Chapter 6 – Landscapes and Rural Character, Chapter 24 – Wakatipu Basin Rural Amenity, Chapter 25 – Earthworks, Chapter 28 – Natural Hazards, Chapter 29 – Transport of the Proposed District Plan and Chapter 36 - Noise.

Chapter 3 – Strategic Direction

Objective 3.2.1 is for the development of a prosperous, resilient and equitable economy in the District. The proposal will create employment opportunities and contribute to economy in the District, therefore is consistent with this objective.

Policy 3.2.1.1 seeks to realise the significant socioeconomic benefits of well-designed and appropriately located visitor industry places, facilities and services across the District. The proposed activities will be complementary to those approved within the Ayrburn Domain and are considered appropriately located. The proposal is therefore consistent with this policy.

Policy 3.2.1.6 aims to diversify the District's economic base and create employment opportunities through the development of innovative and sustainable enterprises. The proposed events venue will host a variety of events and create employment opportunities and is considered consistent with this policy.

Policy 3.2.1.8 seeks to diversify land use in rural areas beyond traditional activities, provided that ONLs and ONFs are protected, the landscape character of RCLs is maintained and their visual amenity values are maintained or enhanced; and that significant nature conservation values and Ngai Tahu values, interests and customary resources are maintained. The subject sites are not located with an ONL, ONF or RCL, and is not within a wahi tupuna overlay. The proposal will diversify land use beyond traditional activities in line with the receiving environment. Therefore, the proposal is consistent with this policy.

Objective 3.2.3 seeks to achieve a quality built environment, taking into account the character of individual communities. The proposal is considered to be an addition to the commercial development consented in the Ayrburn Domain and will promote safety, health and social, economic and cultural wellbeing by constructing and operating an events venue.

Objective 3.2.4 aims to protect the distinctive natural environments and ecosystems of the District. For the reasons discussed in Section 8 above, the proposal is considered consistent with this objective.

Policy 3.2.4.1 seeks that development and land uses sustain or enhance the life-supporting capacity of air, water, soil and ecosystems, and maintain indigenous biodiversity. As noted above, Ms Ling is satisfied that the proposed additions to the treatment train approach will remove contaminants from stormwater

and lead to a water quality improvement in Mill Creek. The planting of indigenous wetland plants is also proposed in the bioretention devices. Therefore, the proposal is considered consistent with this policy.

Policy 3.2.4.3 aims to preserve, enhance where possible, and protect the natural character of the beds and margins of the District's lakes, rivers and wetlands from inappropriate subdivision, use and development. The proposal does not include any earthworks or riparian planting within the margins of Mill Creek. However, the proposed bioretention devices and bund will slow stormwater flows and reduce the volume of stormwater from the development entering Mill Creek, which is considered to protect its natural character. Therefore, the proposal is considered consistent with this policy.

Policy 3.2.4.4 seeks to maintain or enhance the water quality and functions of the District's lakes, rivers and wetlands. As above, the proposal will maintain water quality of Mill Creek, therefore the proposal is consistent with this policy.

Objective 3.2.5 seeks to retain the District's distinctive landscapes. The proposal is not within an ONL of ONF. The proposal is centrally located within the subject sites and is considered contained by the topography and existing woodland area. The proposed earthworks are not considered to significantly modify the natural topography. Therefore, the proposal is considered consistent with this objective.

Objective 3.2.6 seeks that the District's residents and communities are able to provide for their social, cultural and economic wellbeing and their health and safety. Policy 3.2.6.2 seeks to achieve a diverse, resilient and well-functioning community where opportunities for arts, culture, recreation and events are integrated into the built and natural environment. The proposed events venue is considered to provide opportunities for arts, culture, recreation and events within the Ayrburn Domain. The proposed built form is also considered to integrate with the built environment of the Ayrburn Domain. The existing woodland and proposed landscaping is considered to integrate the built form into the natural environment. Therefore, the proposal is considered consistent with this objective and policy.

Policy 3.3.20 seeks to manage subdivision and/or development that may have adverse effects on the natural character and nature conservation values of the District's lakes, rivers, wetlands and their beds and margins so that their life-supporting capacity is safeguarded; and natural character is maintained or enhanced as far as practicable. As discussed above, the proposal is considered consistent with this policy.

Policy 3.3.24 aims to provide for non-residential development that, due to its function, needs to locate in the rural environment, through a planning framework that recognises its locational constraints, while ensuring maintenance and enhancement of the rural environment. As discussed above in section 8.1.2, the existing trees and proposed landscaping are considered to maintain visual rural amenity. The volunteered noise management conditions are also considered to maintain rural amenity. Therefore, the proposal is considered consistent with this policy.

Policy 3.3.25 seeks to ensure that subdivision and/or development is designed in accordance with best practice land use management so as to avoid or minimise adverse effects on the water quality of lakes, rivers and wetlands in the District. The proposal will improve water quality of Mill Creek, therefore is consistent with this policy.

Overall, the proposal is consistent with and not contrary to the objectives and policies of Chapter 3 of the PDP.

Chapter 6 – Landscapes

Policy 6.3.1.4 provides for a separate regulatory regime for the Wakatipu Basin Rural Amenity Zone, and Chapter 6 does not directly apply to the WBRAZ. While the Wakatipu Rural Amenity Zone does not contain Outstanding Natural Features or Outstanding Natural Landscapes, it is a distinctive and high amenity value landscape located adjacent to, or nearby to, Outstanding Natural Features and Outstanding Natural Landscapes.

Policy 6.3.4.9 seeks in the Wakatipu Basin to avoid planting and screening, particularly along roads and boundaries that would degrade openness where such openness is an important part of its landscape character. The proposal does not include any planting of this nature, therefore, the proposal is considered to align with this policy.

Policy 6.3.4.11 aims to encourage development to utilise shared accesses and infrastructure, and to locate within the parts of the site where it will minimise disruption to natural landforms and to rural character. The proposal will utilise the existing site access and infrastructure and only minor additions are proposed. The proposal is contained by the existing topography and little landform modification is proposed. Therefore, the proposal is considered consistent with this policy.

Overall, the proposal is consistent with and not contrary to the objectives and policies of Chapter 6 of the PDP.

Chapter 24 – Wakatipu Basin Rural Amenity

Objective 24.2.1 aims for landscape character and visual amenity values in the Wakatipu Basin are maintained or enhanced. Policy 24.2.1.2 aims to ensure subdivision and development is designed (including accessways, services, utilities and building platforms) to minimise inappropriate modification to the natural landform. A relatively small volume of earthworks are proposed to form a level building platform for the proposed Haybarn Venue. The majority of the proposed earthworks are for the formation of Carpark 4, which is considered to be visually contained by the valley topography. Therefore, the proposal is considered consistent with this objective and policy.

Policy 24.2.1.3 aims to ensure that subdivision and development maintains or enhances the landscape character and visual amenity values identified in Schedule 24.8 - Landscape Character Units. The proposed venue is considered visually contained by the existing woodland area and the proposed overflow carpark is considered contained by the valley topography. Therefore, the proposal is considered to maintain a sense of openness and spaciousness which is considered characteristic of LCU 8. It is considered to be consistent with this policy.

Policy 24.2.1.4 aims to maintain or enhance the landscape character and visual amenity values of the Rural Amenity Zone including the Precinct and surrounding landscape context by (a) controlling the colour, scale, form, coverage, location (including setbacks) and height of buildings and associated infrastructure, vegetation and landscape elements. Although the scale of the proposed building is much larger than anticipated in the consented building platform and it will be the largest building in the Aryburn Domain, the existing woodland trees and proposed mitigation planting are considered to recede the building into the environment. The proposed building will be recessively coloured, and adverse effects on the landscape character and visual amenity values in the wider WBRAZ are considered to be acceptable. Therefore, the proposal is consistent with this policy.

Policy 24.2.1.5 requires all buildings to be located and designed so that they do not compromise the landscape and amenity values and the natural character of Outstanding Natural Features and Outstanding Natural Landscapes that are either adjacent to the building or where the building is in the foreground of views from a public road or reserve of the Outstanding Natural Landscape or Outstanding Natural Feature. The site is fairly well contained and not located within, adjacent to, or in the foreground of an ONF or ONL. Therefore, the proposal is consistent with this policy.

Policy 24.2.1.6 aims to provide for farming, commercial, community, recreation, tourism and other non-residential related activities that rely on the rural land resource, subject to maintaining or enhancing landscape character and visual amenity values. The proposed events venue can be enjoyed by the community, whilst maintaining landscape character and amenity values. Therefore, the proposal is considered consistent with this policy.

Policy 24.2.1.9 seeks to control earthworks and vegetation clearance to minimise adverse effects on landscape character and visual amenity values. The proposed Haybarn Venue relies upon maintaining the surrounding woodland trees for visual mitigation. The application includes a Woodland Management Plan which is considered to maintain the health of the Woodland and minimise potential adverse effects on landscape character and visual amenity values. The proposed earthworks required to form Carpark 4 are centrally located on the subject site and considered to be visually contained by the valley topography. The landscape plan includes planting and re-grassing of the earthworks area to maintain visual amenity values.

Policy 24.2.1.11 provides for activities that maintain a sense of spaciousness in which buildings are subservient to natural landscape elements. The proposal is consistent with this policy because it is within the existing Woodland and therefore, maintains the open space on the subject sites.

Policy 24.2.1.12 seeks to manage lighting so that it does not cause adverse glare to other properties, roads, public places or degrade views of the night sky. The proposal includes a lighting plan which is consistent with the existing lighting in the Ayrburn Domain for path lighting. The proposed courtyard walls around the venue will also reduce potential adverse lighting effects. Therefore, the proposal is considered consistent with this policy.

Objective 24.2.2 aims for non-residential activities maintain or enhance amenity values. Associated Policy 24.2.2.1 seeks to ensure traffic, noise and the scale and intensity of non-residential activities do not have an adverse impact on landscape character and amenity values, or affect the safe and efficient operation of the roading and trail network or access to public places. The use of buses for functions is considered to reduce potential adverse traffic effects on rural amenity by reducing the car movements. In particular, the use of buses for functions will reduce potential adverse headlight effects. Mr Carr considers that the traffic generated by the proposal can be accommodated on the roading network without adverse efficiency or road safety issues arising. Courtyard walls are proposed around the venue to provide screening of the proposed activity. The surrounding woodland trees and proposed landscaping are considered to blend the venue into the surrounding environment and reduce potential dominance effects of the walls. Therefore, the proposal is considered consistent with this objective and associated policy.

Policy 24.2.2.2 seeks to ensure the effects generated by non-residential activities (e.g. traffic, noise, and hours of operation) are compatible with surrounding uses. No operating hours are proposed for the Haybarn Venue to allow flexibility for its operation. It is proposed for the noise associated with the operation of the venue to comply with the zone noise standards by using a variety of methods discussed above. It is also proposed for the venue noise and noise generated by all other commercial activities in the Ayrburn Domain to cumulatively comply with the noise standards. Mr Exeter is satisfied that the proposal will not technically increase the noise levels, or change the character, timing, duration of noise that is already consented for activities within Ayrburn Domain. However, the proposed activity is likely to increase the number of nights per year that the neighbours are exposed to noise that is much louder than other sounds in the environment and has a character that is not anticipated in the zone. Mr Exeter has recommended a condition that requires the formation and implementation of a Operational Noise Management Plan (ONMP), which is considered to mitigate potential adverse noise effects from the venue's operation.

Policy 24.2.2.3 seeks to ensure non-residential activities other than farming, with the potential for nuisance effects from dust, visual, noise or odour effects, are located a sufficient distance from formed roads, neighbouring properties, waterbodies and any residential activity. The proposal is spread across 3 of the applicants 4 sites which contain other consented commercial activities. The subject sites contain a section of Mill Creek and several man-made water bodies. The proposed overflow carpark and venue are well setback from waterbodies. The proposal includes the addition of a bund and bioretention devices to the treatment train system that convey overland flows to Mill Creek. The proposal is considered centrally located within the subject site and partially screened by topography and existing trees. The subject sites are surrounded by Rural Residential sized properties. Mr Denney considers that the addition of the bund near the southern boundary will reduce potential adverse headlight effects associated with the operation of the events venue.

Objective 24.2.4 aims for development, and use of land, maintains or enhances water quality, ecological quality, and recreation values while ensuring the efficient provision of infrastructure. Associated policy 24.2.4.1 aims to avoid adverse cumulative impacts on ecosystem services and nature conservation values. Policy 24.2.4.2 aims to restrict development and use of land in the Lake Hayes catchment, unless it can contribute to water quality improvement in the catchment commensurate with the nature, scale and location of the proposal. The planting of indigenous wetland plants is proposed in the bioretention devices associated with the proposed development. Ms Ling is satisfied that the proposed additions to the treatment train approach utilised across the subject sites will remove contaminants from stormwater and lead to a water quality improvement in Mill Creek. Therefore, the proposal is considered consistent with this policy.

Policy 24.2.4.3 aims to provide for improved public access to, and the maintenance and enhancement of, the margins of waterbodies including Mill Creek and Lake Hayes. The bioretention devices are considered man-made additions which allow drainage and treatment of stormwater before it enters Mill Creek. These additions include wetland planting and accessways associated with this application will allow public view of these planted areas. Therefore, the proposal is considered consistent with this policy.

Policy 24.2.4.4 seeks to provide adequate firefighting water and emergency vehicle access to ensure an efficient and effective emergency response. Ms Lamont has assessed the proposed sprinkler infrastructure and concludes that adequate firefighting water and emergency vehicle access is provided. Therefore, the proposal is considered consistent with this policy.

Policy 24.2.4.7 seeks to ensure traffic generated by non-residential development does not individually or cumulatively compromise road safety or efficiency. The application includes a 'Parking and Access Assessment' by Carriageway Consulting, which has been assessed by Ms Lamont. The assessment considered the increase in traffic demand on Ayr Avenue and the Lakes Hayes / Ayr Avenue intersection and concludes that Ayr Avenue and the intersection can accommodate the additional traffic. Ms Lamont accepts this expert advice and therefore, the proposal is considered consistent with this policy.

Chapter 29 - Transport

Objective 29.2.1 seeks to achieve an integrated, safe and efficient approach to land use and transportation that will support alternative transport modes, reduce traffic generation and manage the effects of land uses on the transport network. The application includes bus stops and manoeuvring areas which have the potential to reduce vehicle movements when used for functions at the Haybarn Venue. Mr Carr considers that the traffic generated by the proposal can be accommodated on the roading network without adverse efficiency or road safety issues arising. Therefore, the proposal is consistent with this objective.

Objective 29.2.2 seeks to provide parking, loading, access and on-site manoeuvring that are consistent with the character, scale and intensity, and location of the zone and contribute towards providing a safe and efficient transport network. Relevant supporting policies seek to avoid or mitigate adverse effects on streetscape amenity and adjoining sites and provide adequate vehicle access width and manoeuvring for emergency vehicles. Ms Lamont is satisfied that the proposed parking and access arrangements are adequate, and that there is sufficient space for on-site manoeuvring for both buses and cars. The proposed parking areas are not considered to detract from streetscape amenity or amenity of adjacent sites. The proposal is therefore consistent with these provisions.

Policy 29.2.2.1 seeks to manage the number, pricing, location, type, and design of parking spaces, queuing space, access, and loading space in a manner that:

- (a) is safe and efficient for all transport modes and users, including those with restricted mobility
- (d) provides sufficient parking spaces to meet demand in areas that are not well connected by public or active transport networks
- (e) provides sufficient onsite loading space to minimise congestion and adverse visual amenity effects that arise from unmanaged parking and loading on road reserves and other public land
- (f) is compatible with the character and amenity of the surrounding environment, noting that exceptions to the design standards may be acceptable in special character areas and historic management areas.
- (g) avoids or mitigates adverse effects on the amenity of the streetscape and adjoining sites; and
- (h) provides adequate vehicle access width and manoeuvring for all emergency vehicles

Due to the rural setting of the subject sites, the application includes parking areas and footpaths connecting to the commercial buildings in the Ayrburn Domain. The Haybarn Events Venue has a maximum occupancy of 180 people. Carparks 1 to 3, within the Ayrburn Domain have been consented and it is proposed to allocate 50 carparks within carpark 3 to the Haybarn Venue. Ms Lamont is satisfied that the proposed 50 carparks are adequate for the operation of the venue. Although, the application includes a mobility parking shortfall of one park, the proposed drop off area is considered adequate for guests with mobility parking requirements. A 53 park, overflow carpark is also proposed to service other commercial activities in the Ayrburn Domain.

The proposed parking and loading areas are considered centrally located within the subject site and are screened by topography and landscaping from the surrounding Rural Streetscape. The proposed

carparking areas are not on the same sites as historic buildings in the Ayrburn Domain. The application includes a service access for service vehicles at the rear of the venue, which is considered will screened by existing trees. It is proposed to use the service area for emergency vehicle access and Ms Lamont is satisfied that adequate parking and manoeuvring space is provided.

The applicant has not applied for any restriction on the operating hours of the Hayburn Venue. Therefore, it is proposed to operate a variety of events at any time of the day, 7 days per week. The existing environment includes a Hotel Complex and therefore, guests can be expected to arrive and depart the subject sites at any time. The Hotel Complex includes a road network designed for buses to cater for the consented conference facilities. The application also includes an overflow carpark, bus stops and bus manoeuvring areas to cater for the Hayburn Venue. The use of buses for functions is considered to reduce potential adverse traffic effects on rural amenity by reducing the car movements.

Objective 29.2.4 seeks an integrated approach to managing subdivision, land use, and the transport network in a manner that: (c) reduces traffic generation. The application includes bus stops and manoeuvring areas which have the potential to reduce vehicle movements when used for functions at the Hayburn Venue. Therefore, the proposal is consistent with this objective.

Policy 29.2.4.2 seeks to ensure that commercial activities that are known to require storage space for large numbers of vehicles provide adequate vehicle parking either onsite or in an offsite carpark and do not store vehicles on roads. The application includes the allocation of 50 carparks within the consented carpark 3, the construction of the 53 carpark, overflow carpark and bus stops. Ms Lamont considers the provision of carparks for the operation of the Hayburn Venue to be adequate. Therefore, guests are unlikely to park to the surrounding rural roads and the proposal is consistent with this policy.

Policy 29.2.4.4 seeks to avoid or mitigate the adverse effects of high traffic generating activities on the transport network by adopting an integrated approach to addressing the following matters, as relevant to the application: (a) The design and layout of the activity, as it relates to integration with the transport network; (e) other methods to limit increases in traffic generation. Mr Carr is satisfied that the traffic generated by the proposal can be accommodated on the roading network without adverse efficiency or road safety issues arising. As part of this application a new exit from Car Park 3 on to Ayr Avenue is proposed for one-way traffic. The proposal includes measures to facilitate modal shift through the provision of 2 coach laybys which are well-connected to the Hayburn Venue by footpaths. Therefore, the proposal is considered consistent with this policy.

Policy 29.2.4.5 recognises, when considering the avoidance or mitigation of adverse effects of a high traffic generating activity, that land should be able to be developed in accordance with the purpose and objectives of the relevant zone that is included in the District Plan. The proposal is an additional commercial activity to the consented commercial activity in the Ayrburn Domain. While commercial activity is not anticipated in the Wakatipu Basin, the proposal is considered to align with the relevant objectives and policies of the Wakatipu Basin Chapter. Therefore, the proposal is considered consistent with this policy.

Chapter 36 - Noise

Objective 36.2.1 aims for the adverse effects of noise emissions to be controlled to a reasonable level to manage the potential for conflict arising from adverse noise effects between land use activities. Associated Policy 36.2.1.1 aims to avoid, remedy or mitigate adverse effects of unreasonable noise from land use and development.

As discussed above, it is proposed for the operation of the venue and other consented commercial activities in the Ayrburn Domain to cumulatively comply with the zone noise standards. The proposed activity is likely to increase the number of nights per year that the neighbours are exposed to noise that is much louder than other sounds in the environment and has a character that is not anticipated in the zone. Mr Exeter has recommended a condition that requires the formation and implementation of an Operational Noise Management Plan (ONMP), which is considered to mitigate potential adverse noise effects. Overall, the proposal is considered consistent with this objective and associated policy.

Policy 36.2.1.2 aims to avoid, remedy or mitigate adverse noise reverse sensitivity effects. The applicant's volunteered noise monitoring condition has been recommended by Mr Exeter and aligns with the

requirements of the PDP. The condition requires noise generated from the Haybarn Venue and other commercial activities in the Aryburn Domain to cumulatively comply with the noise standards at all notional boundaries of residential units. The use of the ONMP will ensure noise compliance at all notional boundaries of residential units. Therefore, it is considered that the proposal will not cause reverse sensitivity effects. Overall, the proposal is considered consistent with this policy.

8.3 WEIGHTING

In this case, as the conclusions reached in the above assessment lead to the same conclusion under both the ODP and PDP, no weighting assessment is required.

8.4 OTHER MATTERS UNDER SECTION 104(1)(b))

8.4.1 Regional Policy Statements

Proposed Otago Regional Policy Statement 2021 (PORPS 2021)

The Regional Policy Statement for Otago (RPS) 1998 is now revoked and the new Regional Policy Statement for Otago (PORPS) was made partially operative on 15 March 2021. Section 9.2.1 of the applicant's AEE contains an assessment of the relevant objectives and policies of PORPS which is considered adequate and therefore, adopted for the purposes of this report, with the following additions:

Freshwater

Freshwater Objective LF-FW-O10 seeks to preserve and protect the natural character of wetlands, lakes and rivers and their margins from inappropriate subdivision, use and development.

Policy LF-FW-P7 (1) seeks to maintain or, if degraded, improve, the health and wellbeing of water bodies.

Policy LF-FW-P12 seeks to protect the significant and outstanding values of outstanding water bodies by avoiding effects on those values.

Policy LF-FW-P15 seeks to minimise the adverse effects of direct and indirect discharges of stormwater and wastewater to fresh water, and outlines ways to achieve this.

The subject sites contain several man-made water bodies that flow into Mill Creek, which flows to Lake Hayes. Lake Hayes is considered to be a highly-valued natural resource and has been subjected to degradation. The proposed overflow carpark and venue are well setback from these waterbodies. The proposal includes the addition of bioretention devices to the treatment train system that convey overland flows to Mill Creek. Ms Ling is satisfied that the proposed additions to the treatment train system will effectively remove contaminants from stormwater runoff and therefore contribute towards the improvement of water quality in the Lake Hayes catchment.

Ms Lamont is satisfied that the proposal includes a new wastewater pumpstation that will connect to Councils reticulated system, therefore, no wastewater will discharge to land. Ms Lamont is satisfied that the new infrastructure within the Aryburn development and Council reticulation has sufficient capacity to cater for the Hayburn venue activities.

Overall, the proposal is therefore, considered to be consistent with the above provisions.

Land and Soil

Land and Soil Policy LF-LS-P21 seeks to achieve the improvement or maintenance of freshwater quantity or quality to meet environmental outcomes set for Freshwater Management Units and/or by reducing discharges of contaminants to water from the use and development of land; and managing land uses that may have adverse effects on the flow of water in surface water bodies. For the reasons above, the proposal is considered to be consistent with this policy.

Hazards and Risks

Objective HAZ-NH-01 seeks to ensure that levels of risk to people, communities and property from natural hazards within Otago do not exceed a tolerable level. As part of the wider Waterfall Park and Aryburn Development, a flood model report was completed by Fluent Solutions, which has been assessed by Ms Lamont. Ms Lamont is satisfied that the Haybarn Venue, Car Park 4 (Overflow) and bioretention devices

are not within the flood plain. The proposed bund will slow stormwater flows and reduce the volume of stormwater from the development entering Mill Creek. Therefore, the proposal will not exacerbate natural hazard risk and is considered consistent with this objective.

Proposed Regional Policy Statement (PRPS)

Section 9.2.2 of the applicant's AEE contains an assessment of the relevant objectives and policies of the PRPS which is considered adequate and therefore, adopted for the purposes of this report.

Overall, the proposal is considered consistent with the relevant sections of the PRPS.

8.4.2 National Policy Statements

The National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health 2011 (the NESCS)

As stated in section 5.3 of this report, the proposed activity is considered a permitted activity under regulation 5 (9) of the National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health.

The National Policy Statement for Freshwater Management 2020 (NPS - FM)

The National Policy Statement for Freshwater Management 2020 (NPS-FM) sets out the objectives and policies for freshwater management under the Resource Management Act 1991.

The objective of this National Policy Statement is to ensure that natural and physical resources are managed in a way that prioritises:

- (a) first, the health and well-being of water bodies and freshwater ecosystems
- (b) second, the health needs of people (such as drinking water)
- (c) third, the ability of people and communities to provide for their social, economic, and cultural well-being, now and in the future.

The below associated policies are considered relevant to this application:

Policy 5: Freshwater is managed (including through a National Objectives Framework) to ensure that the health and well-being of degraded water bodies and freshwater ecosystems is improved, and the health and well-being of all other water bodies and freshwater ecosystems is maintained and (if communities choose) improved.

Policy 9: The habitats of indigenous freshwater species are protected.

Policy 13: The condition of water bodies and freshwater ecosystems is systematically monitored over time, and action is taken where freshwater is degraded, and to reverse deteriorating trends.

As discussed above, the subject sites contain several man-made water bodies that flow into Mill Creek. Mill Creek flows to Lake Hayes, which has been subjected to degradation. Ms Ling is satisfied that the proposed additions to the treatment train system will remove contaminants from stormwater and contribute to an improvement in the water quality of the Lake Hayes Catchment. The application includes volunteered water monitoring conditions. The proposal will provide for the wellbeing of the applicant and the wider community by providing an events venue.

Overall, the proposal is considered to align with the objectives and policies of the NPS-FM.

9. DETERMINATION

9.1 Legislative Requirements (section 104D)

With respect to the assessment above, the first gateway test for a non-complying activity required under section 104D(1)(a) has been met in that the application will not have an adverse effect on the environment which is more than minor.

With respect to the second gateway test under section 104D(1)(b), the application is not contrary to the relevant policies and objectives of the Operative District Plan or the Proposed District Plan.

Accordingly, as the application has passed both of the gateway tests in s104D, consent can be granted for this non-complying activity.

9.2 Effects on the Environment

I consider the adverse effects on the character and landscape values are Low, which according to the Landscape Assessment Methodology prescribed under the PDP is a less than minor effect.

9.3 Objectives and Policies

I consider the proposal in its current form is able to achieve alignment with key high-level strategic objectives and policies for both the ODP and PDP, noting that the relevant objectives and policies in both the Proposed District Plan and those in the ODP with respect to the strategic direction, development outcomes and the landscape classification are otherwise closely aligned to each other and seek to achieve the same outcomes.

9.4 Overall Determination

As stated above, the application has passed both gateway tests in s104D, consent can be granted for this non-complying activity.

10. PART 2 OF THE RESOURCE MANAGEMENT ACT 1991

Part 2 of the RMA details the purpose of the RMA in promoting the sustainable management of the natural and physical resources. Sustainable management is defined as:

managing the use, development and protection of natural and physical resources in a way or at a rate which enables people and communities to provide for their social, economic and cultural well being and for their health and safety while:

- (a) *Sustaining the potential of natural and physical resources (excluding minerals) to meet the reasonably foreseeable needs of future generations: and*
- (b) *Safeguarding the life-supporting capacity of air, water, soil and ecosystems: and*
- (c) *Avoiding, remedying, or mitigating any adverse effect of activities on the environment.*

The following matters of national importance listed in Section 6 of the RMA are also considered relevant:

- (a) *the preservation of the natural character of the coastal environment (including the coastal marine area), wetlands, and lakes and rivers and their margins, and the protection of them from inappropriate subdivision, use, and development.*
- (b) *The protection of outstanding natural features and landscapes from inappropriate subdivision, use and development.*
- (d) *The maintenance and enhancement of public access to and along the coastal marine area, lakes and rivers.*
- (f) *the management of significant risks from natural hazards*

Under Part 2 of the RMA, regard must be had to the relevant matters of Section 7 – Other Matters, including:

- (b) *the efficient use and development of natural and physical resources:*
- (c) *the maintenance and enhancement of amenity values:*
- (d) *intrinsic values of ecosystems:*
- (f) *the maintenance and enhancement of the quality of the environment:*

(g) *any finite characteristics of natural and physical resources:*

The proposal will provide for the wellbeing of the applicant and the wider community by providing an events venue, the proposed bioretention devices and bund will slow stormwater flows and reduce the volume of stormwater from the development entering Mill Creek, which is considered to protect its natural character. The proposed development is located outside the flood plain. Ms Lamont is satisfied that additional flood modelling has been undertaken and the proposal will not exacerbate the flood hazard risk.

The proposal is considered to promote sustainable management natural and physical resources because it is considered to safeguard the life-supporting capacity of water and ecosystems through the implementation of the treatment train approach for stormwater management. The proposal is considered to contribute towards the improvement of water quality in the Lake Hayes Catchment.

The assessment of effects has concluded that the proposal is an efficient use and development of natural and physical resources in accordance with 7(b). The proposal is not located in an ONL or ONF, rather it is in the direct foreground. The proposal will continue to maintain public access to Mill Creek. The assessment above has concluded that the proposal will not detract from the amenity values of the Wakatipu Basin in accordance with section 7(c) and 7(d). It will have a positive effect on Lake Hayes in accordance with 7(f) and 7(g).

Overall, I consider the proposal does promote sustainable management.

11. RECOMMENDATION

- Adverse effects of the proposal will be appropriately managed and mitigated, and are considered to be acceptable, subject to the recommended consent conditions.
- The proposal is considered to be consistent with the objectives and policies of both the ODP and PDP.
- The proposal is considered to pass both gateway tests under s104(D), therefore consent can be granted.

Report prepared by



Courtney Briggs
PLANNER

Attachments:	Appendix 1	Summary of Submissions
	Appendix 2	AEE
	Appendix 3	Landscape Assessment
	Appendix 4	Landscape Assessment Peer Review
	Appendix 5	Acoustic Assessment
	Appendix 6	Acoustic Assessment Peer Review
	Appendix 7	EMP
	Appendix 8	EMP Peer Review
	Appendix 9	QLDC Engineering Report
	Appendix 10	Stormwater Management Plan
	Appendix 11	Stormwater Peer Review
	Appendix 12	Flood Hazard Assessment
	Appendix 13	Geotechnical Investigation Report
	Appendix 14	Soil Report
	Appendix 15	Transport Assessment
	Appendix 16	Infrastructure Assessment
	Appendix 17	Heritage Assessment
	Appendix 18	Tree Assessment

Report Dated: 24th April 2024

Sub #	Date Received	Name	Email Add	Support or Oppose	Wishes to speak @ Hearing	Late Submission
1	28.08.2023	Murray and Clare Doyle		Oppose	No	
2	12.09.2023	Friends of Lake Hayes Society Inc		Oppose	yes	yes

POSITION:	
Oppose	2
Support	
Seeks Changes	
Not Indicated	
	<hr/>
	2
Late Submissions	1
WISHES TO SPEAK AT HEARING:	
Yes	1
No	1
Not indicated	
	<hr/>
	2

FORM 13: SUBMISSION

ON A RESOURCE CONSENT APPLICATION



Resource Management Act 1991 Section 95, 96, 127(3), 136(4), 137(5)(c), 234(4) & 41D

TO // Queenstown Lakes District Council

YOUR DETAILS // Our preferred methods of corresponding with you are by email and phone.

Name: Murray and Clare Doyle

Phone Numbers: Work:

Home:

Mobile:

Email Address:

Postal Address:

Post code:

APPLICANT DETAILS

Applicant's Name: Ayrburn Precinct Limited

Application Reference Number: RM230425

Details of Application:

Application under Section 88 of the Resource Management Act 1991 (RMA) for land use consent to construct and operate an events venue known as "The Haybarn" on Lot 3 DP 540788, an overflow carpark and bus stops on Lot 4 DP 540788 and a service access on Lot 2 DP 540788, to undertake associated earthworks, landscaping.

Location of Application:

339-341 Arrowtown Lake Hayes Road
Arrowtown

SUBMISSION

I Support / Oppose the application

Do / Do not wish to be heard in support of my submission

SIGNATURE

Signature (to be signed for or on behalf of submitter) **

Date

28.8.23

** If this form is being completed on-line you may not be able, or required, to sign this form.

**MY SUBMISSION IS** // The particular parts of the application I support or object to are:

The proposed commercial events venue is on land currently zoned Rural General under operative plan and WBRAZ under the proposed district plan. Neither of these zonings are consistent with a large scale commercial development. A commercial development where noise and activity will be significant in the evenings within a rural community close to residential homes is at odds with both the legal zones and also what a reasonable person would expect of allowable activities close to their homes.

**THE REASONS FOR MY SUBMISSION ARE:**

We live directly opposite the proposed development referred by the applicant as "The Haybarn" and have concerns that granting of this consent will see significant increase in noise particularly in the evening and also the commensurate increase in traffic before, during and after events. The area is not only zoned rural but is predominantly rural in use and acoustically on still evenings the effects of noise are magnified to surrounding properties. The applicant's acoustic report relies on doors and windows being closed after 8pm which on a summer evening is unlikely to be complied with. The applicant is in the process of restoring and repurposing the farm buildings at Ayrburn and is doing a good job on these so we are not anti-development but do not support development in areas not suitable or zoned for commercial development. The application if successful will have a high negative impact on the surrounding properties. The major shareholder of the parent company of the applicant was an objector to Thurlby Domains (RM201050) application to hold weddings/events on their property which is also zoned rural. A number of their arguments against that application are applicable to their own application so for consistency sake this application we believe should also be denied.

**MY SUBMISSION WOULD BE MET BY THE QUEENSTOWN LAKES DISTRICT COUNCIL MAKING THE FOLLOWING DECISION** // Include any conditions sought:

Denying the application.





FORM 13: SUBMISSION

ON A RESOURCE CONSENT APPLICATION



Resource Management Act 1991 Section 95, 96, 127(3), 136(4), 137(5)(c), 234(4) & 41D



TO // Queenstown Lakes District Council



YOUR DETAILS // Our preferred methods of corresponding with you are by email and phone.

Name: Friends of Lake Hayes Society Inc

Phone Numbers: Work:

Home:

Mobile:

Email Address:

Postal Address: C/O

Post code:



APPLICANT DETAILS

Applicant's Name: Ayrburn Precinct Limited

Application Reference Number: RM230425

Details of Application:

Land use consent is sought to construct and operate an 887m2 events venue known as "The Haybarn" on Lot 3 DP 540788, an overflow carpark and bus stops on Lot 4 DP 540788 and a service access on Lot 2 DP 540788, to undertake associated earthworks, landscaping.

Location of Application:

339 Arrowtown - Lake Hayes Road, Arrowtown (Lot 2, 3 and 4 Deposited Plan 540788)



SUBMISSION

I Support

/

I Oppose

the application

I Do

/

I Do not

wish to be heard in support of my submission



SIGNATURE

Signature (to be signed for or on behalf of submitter) **

Date 12 September 2023

** If this form is being completed on-line you may not be able, or required, to sign this form.



Based on the information we have been provided, we are not satisfied that the current information and evidence satisfies the requirements to improve water quality (in particular 24.2.4.2).

Until such time as such evidence is provided that demonstrates this proposal will result in an improvement in water quality, as determined by an independent environmental expert, then this application should not be supported



THE REASONS FOR MY SUBMISSION ARE:

As above



MY SUBMISSION WOULD BE MET BY THE QUEENSTOWN LAKES DISTRICT COUNCIL MAKING THE FOLLOWING DECISION // Include any conditions sought:

As above



From: [REDACTED] <[REDACTED]>
Sent: Tuesday, 12 September 2023 11:47 AM
To: Courtney Briggs [REDACTED]
Cc: 'Mike Hanff' [REDACTED]; 'Andrew Davis' [REDACTED]
Subject: Public Notification - Ayrburn Precinct Limited (RM230425)

Hi Courtney

As a result of discussions with QLDC Friends of Lake Hayes have decided that we would now like to make a late submission on RM230425. Please find attached.

The reason for the late submission is that initially we thought that our needs could be met through informal discussions with the applicant and Council. However now it appears that in order to have our concerns about water quality and the possible impacts on Lake Hayes addressed we will need to be part of the formal submission and hearing process. Unfortunately there has been a little confusion over this.

Hence our request for a late submission.

We trust that is satisfactory and we thank you for your assistance in this matter.

Best regards

Richard Bowman
Secretary
Friends of Lake Hayes Society Inc.



Urban & Environmental

Haybarn Venue

339 Arrowtown-Lake Hayes Road

Assessment of Environmental Effects and Statutory Analysis

14 June 2023

B&A Reference:

QTN20155

Status:

Final Revision 1

Date:

14 June 2023

Prepared by:



Olivia Stirling

Senior Planner Barker & Associates Limited

Reviewed by:



Gerard Thompson

Director, Barker & Associates Limited

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- Appendix 7: Environmental Management Plan
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- Appendix 10: Tree Assessment
- Appendix 11: Landscape Assessment
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- Appendix 14: Water & Wastewater Assessment
- Appendix 15: Stormwater Management Plan
- Appendix 16: Parking and Access Assessment
- Appendix 17: Acoustic Assessment
- Appendix 18: Objectives and Policies Assessment

1.0 Applicant and Property Details

To:	Queenstown Lakes District Council
Site Address:	339 Arrowtown-Lake Hayes Road
Applicant Name:	Ayrburn Precinct Limited
Address for Service:	Barker & Associates Ltd PO Box 158, Queenstown 9348 Attention: Olivia Stirling
Legal Description:	Lot 1 DP 540788, Lot 2 DP 540788, Lot 3 DP 540788 and Lot 4 DP 540788 (refer to Records of Title 929488, 929489, 929490 and 929491 (attached as Appendix 1))
Site Area:	Lot 1 DP 540788 15.28ha Lot 2 DP 540788 5ha Lot 3 DP 540788 4.83ha Lot 4 DP 540788 34.46ha
Site Owner:	Waterfall Park Developments Limited
District Plan:	Queenstown Lakes Proposed District Plan
QLDC PDP Zoning:	Wakatipu Basin Rural Amenity Zone
QLDC ODP Zoning:	Rural Zone
Designations:	N/A
Additional Limitations:	Speargrass Flat Landscape Character Unit (LCU 8 and partially LCU 23)
Locality Diagram:	Refer to Figure 1 and Figure 4 below
Brief Description of Proposal:	Land use consent to establish an 887m ² Haybarn venue on Lot 3 DP 540788, an overflow carpark and bus stops on Lot 4 DP 540788 and a service access on Lot 2 DP 540788
Summary of Reasons for Consent:	QLDC – PDP : A restricted discretionary activity for the construction of a non-residential building, a breach to the site coverage, height, yard setback, earthworks, and transport standards; and a non-complying activity to undertake a commercial activity (refer Section 5).

2.0 Background

2.1 Introduction

This report has been prepared in support of a resource consent application by Ayrburn Precinct Limited (**'the applicant'**) for land use consent to establish an 887m² Haybarn Venue on Lot 3 DP 540788 and an overflow carpark and bus stops on Lot 4 DP 540788. The proposed development is proposed to be undertaken on a site legally described as Lot 1 DP 540788 as contained within Record of Title 929488, Lot 2 DP 540788 as contained within Record of Title 929489, Lot 3 DP 540788 as contained within Record of Title 929490 and Lot 4 DP 540788 as contained within Record of Title 929491. Lot 2 DP 540788 only forms part of this application to the extent of the service access and Lot 4 DP 540788 only forms part of the site to the extent of the public vehicle access and parking and manoeuvring areas.

This Assessment of Environmental Effects (**'AEE'**) has been prepared in accordance with the requirements of section 88 of and Schedule 4 to the Resource Management Act 1991 (**'the Act'**) and is intended to provide the information necessary for a full understanding of the activity for which consent is sought and any actual or potential effects the proposal may have on the environment.

2.2 Consent History

Various resource consents have been approved on the subject site and adjacent sites contained within the wider Ayrburn Farm and Waterfall Park. The particularly relevant resource consents have been summarised as follows:

RM171280 was granted for the construction of a private road (Ayr Avenue) on 1 June 2018.

RM180584 was granted on 6 September 2018 for the establishment of the Ayrburn Domain and a hotel complex within Lots 1, 2 and 4 DP 540788, including:

- i. The development of a 4+ star hotel, including two restaurants, a bar and conference centre/large event facilities within the reception building, four accommodation blocks providing for 380 guest rooms;
- ii. Alterations to restore and repurpose the existing heritage farm buildings at Ayrburn to include a restaurant and bar, an outdoor equipment hire, and retail shop and storage;
- iii. Construct two new storage buildings for hotel furniture/equipment and grounds keeping/maintenance;
- iv. The establishment of a wellness centre, containing a day spa, yoga studio, group therapy, and swimming pool;
- v. Construct a wedding chapel;
- vi. Construct an outdoor pavilion within the dell to be used for events and weddings;
- vii. Extensive re-vegetation and ecological enhancement of the valley landscape including the clearing of weed species and replanting of the valley walls and riparian margins of Mill Creek;

- viii. Construct bridges, culverts and crossings for vehicles and pedestrians over Mill Creek;
- ix. Construct weirs and aesthetic creek works for landscaping and the enjoyment of Mill Creek by visitors to the Site;
- x. Create a public access trail along Mill Creek to the waterfall at the northern end of the Waterfall Park Zone (WPZ).

RM190278 approved a variation to RM180584 on 12 July 2019 to amend Condition 1 to update the approved landscape plan and remove existing trees.

RM191096 was approved in November 2019 for a boundary adjustment between four existing records of title which created the subject site and approved consent under the National Environmental Standard for Assessing and Managing Contaminants in Soils to Protect Human Health (NES CS) for a subdivision of a piece of land under the NES.

RM200791 attached as **Appendix 2** was approved by Council on 17 May 2021 for an 801m² residential building platform (RBP) and residential building on the site with a maximum area of 500m² on Lot 3 DP 540788 with access via Ayr Avenue over Lot 4 DP 540788.

RM200897 approved a Right of Way under s348 of the Local Government Act for legal access to Lot 3 over Lot 4 DP 540788 (Ayr Avenue) on 3 April 2023.

RM210591 approved a variation to RM18584 in relation to the consented use of two of the Ayrburn stone farm buildings, to enable a broader range of commercial activity to be undertaken, and an extension to the existing carparking area for an additional six spaces. This consent was issued in October 2021 and is currently being implemented.

RM210609 approved a variation to RM171280 on 10 November 2022 to provide for the construction of a 720m³ stormwater detention pond.

RM211193 approved an extension to the Ayrburn Domain within Lots 1, 2 and 4 DP 540788 in July 2022, including additions and alterations to heritage buildings, the establishment of a restaurant, café/bakery and office activities, the undertaking of 12 temporary events per year, and associated earthworks and transport breaches.

RM220481 approved a Certificate of Compliance pursuant to section 139 of the Resource Management Act for the planting, cultivation and management of grapevines in the paddocks on Lots 2 and 3 DP 540788 on 7 July 2022.

RM220829 approved the establishment of a new building known as the Barrel Room on Lots 2 & 4 DP 540788 to provide for range of commercial activities to complement the commercial Ayrburn Domain activities consented under RM180584; and Application under section 127 of the Resource Management Act 1991 (RMA) to vary Condition 1 and 16 of RM211193 to enable the removal of one walnut tree on 24 February 2023 as re-issued on 17 March 2023.

RM220874 approved changes to buildings and activities consented under RM211193, located on Lots 1, 2 and 4 DP 540788, which includes utilising the bakehouse for a range of commercial purposes, that are not limited.

RM230163 seeks approval to undertake earthworks to construct ponds for frost-fighting on Lot 3 DP 540788

3.0 Site Context

3.1 Site Description

The site sits within the wider Ayrburn Farm, which contains an area known as ‘Ayrburn Domain’ and is made up of four parcels of land being Lots 1,2 3 and 4 DP 540788. Ayrburn Domain was originally approved through RM180584 and has been extended and varied through subsequent applications as detailed in section 2.2 above. Ayrburn Domain is partially located within the Waterfall Park Zone (WPZ) which provides for comprehensive visitor accommodation and residential development and partially located in the Wakatipu Basin Rural Amenity Zone.



Figure 1: Plan showing approved and existing development within Lots 1, 2, 3 and 4 DP 540788. (Source: Landscape Drawing Attached as Appendix 12).

Lot 3 comprises 4.83 hectares of primarily rural pasture land, with established grapevines on the eastern portion of the site adjacent to Arrowtown-Lake Hayes Road as approved by RM220481. There is an existing haybarn as shown in **Figure 2** which will be removed prior to the establishment of the proposed Haybarn venue. The topography of the site is predominantly flat with a gentle slope toward the western boundary.



Figure 2: Photo taken from within the eastern side of the site of the existing haybarn on Lot 3 DP 540788 which is proposed to be removed and replaced with the Haybarn venue.



Figure 3: Photo to demonstrate the topography of Lot 3 DP 540788, taken from within the western side of the site, looking east towards Arrowtown-Lake Hayes Road and the Ayrburn Homestead driveway of Lot 2 DP 540788.

Lot 2 DP 540788 is a 5-hectare allotment located adjoining and to the north of Lot 3 DP 540788 and contains a Category 2 heritage-listed building known as the Ayrburn Homestead. The access to this site is the original homestead driveway lined with mature established trees as shown in **Figure 3** above. Lot 4 DP 540788 is a 32.4-hectare allotment located adjoining and to the south of Lot 3 DP 540788 and is traversed by a private road (Ayr Avenue), which provides legal access to Lot 3 DP 540788 by a right of way approved by RM200897.



Figure 4: Screenshot of the subject site with Lot 3 DP 540788 outlined in blue. (Source: QLDC GIS)

In terms of landscape, the site is located in the Wakatipu Basin Rural Amenity Zone primarily within Landscape Character Unit 8 as described in the Landscape Assessment appended to this report as **Appendix 11**.

3.2 Surrounding Locality

The surrounding environment contains a mix of commercial, rural lifestyle and rural productive activities. Ayrburn Domain and the consented hotel location are located partially within and beyond the site, as they are contained within Lots 1, 2 3 and 4 DP 540788. Ayrburn Domain comprises primarily commercial activity.

There are a number of established wineries and associated restaurants within close proximity to the site, including, Mora Wines & Artisan Kitchen, approximately 570 metres to the south, Wet Jacket Wines 2.34 km to the south, and Amisfield Restaurant and Cellar Door 3km to the south. Millbrook Resort & Country Club which contains a range of commercial and resort activities is located approximately 500 metres to the north and north-west of the site and backs onto the wider Ayrburn Farm. The Arrowtown township is located approximately 2km north of the site.

In terms of rural lifestyle development in the surrounding environment, this is located predominately to the south of the site, adjacent to and around Lake Hayes as shown in **Figure 5**

below, within the North Lake Hayes Lifestyle Precinct. The land surrounding the site is otherwise in rural production with supporting rural structures and residences.

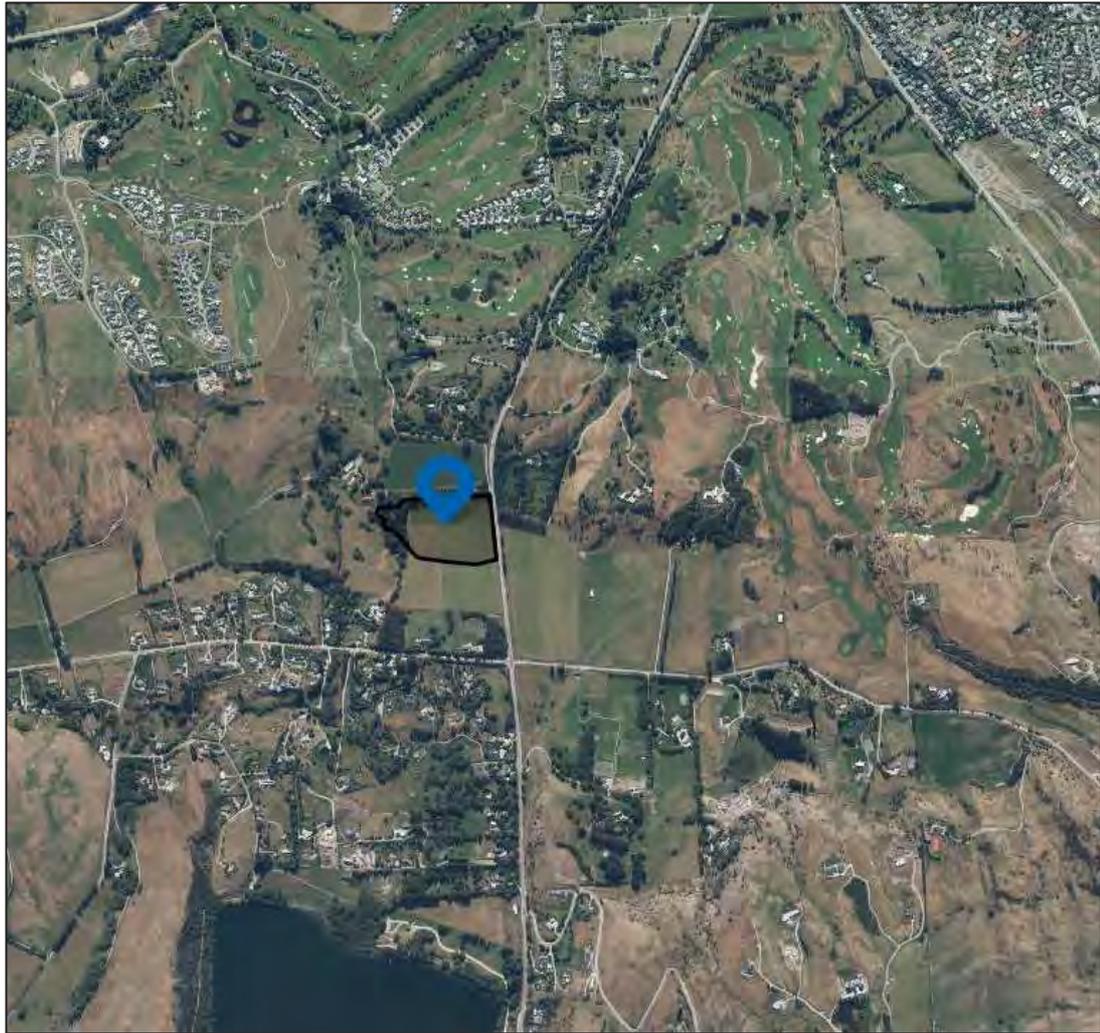


Figure 5: Locality plan, in the context of the surrounding environment (Lot 3 DP 540788 outlined in black) Source: Emap.

4.0 Proposal

A 801m² residential building platform and a 500m² dwelling were approved on Lot 3 DP 540788 by land use consent RM200791. The applicant now proposes to establish a Haybarn venue on the site instead of a residential dwelling, primarily within the approved building platform as shown in Figure 6.



Figure 6: Existing platform in relation to proposed building location.

The details of the proposed development are summarised as follows:

- A two-storey building (ground floor with mezzanine) as shown on the attached Haybarn venue drawings attached as **Appendix 3**, containing a function hall, a ceremony/lounge area, a kitchen, a bar, various office and storage areas, bathroom facilities, and dressing and day rooms on the second floor. The Haybarn building has a building footprint of 748m² and a total building coverage of 887m² when the external veranda and yard building is included.
- The Haybarn Venue is proposed to be used for a variety of uses including weddings, funerals, conferences, and other functions. Maximum occupancy is proposed to be 180 persons.
- Public vehicular access will be provided from Ayr Avenue to serve the venue, with a pedestrian access to be constructed from the bus drop off/turnaround area to the venue through the existing woodland as shown in the plans attached as **Appendix 3**.
- Service access is to be provided from the access way on Lot 2 DP 540788.
- Bus drop-off bays for three coaches is proposed on Ayr Avenue.
- The creation of a new overflow carpark 300 metres to the northwest of the existing carparking area to accommodate 53 parking spaces for temporary events consented under RM211193. Carpark 3 which was approved through RM211193 and RM220874 is to be repurposed for the Haybarn Venue.

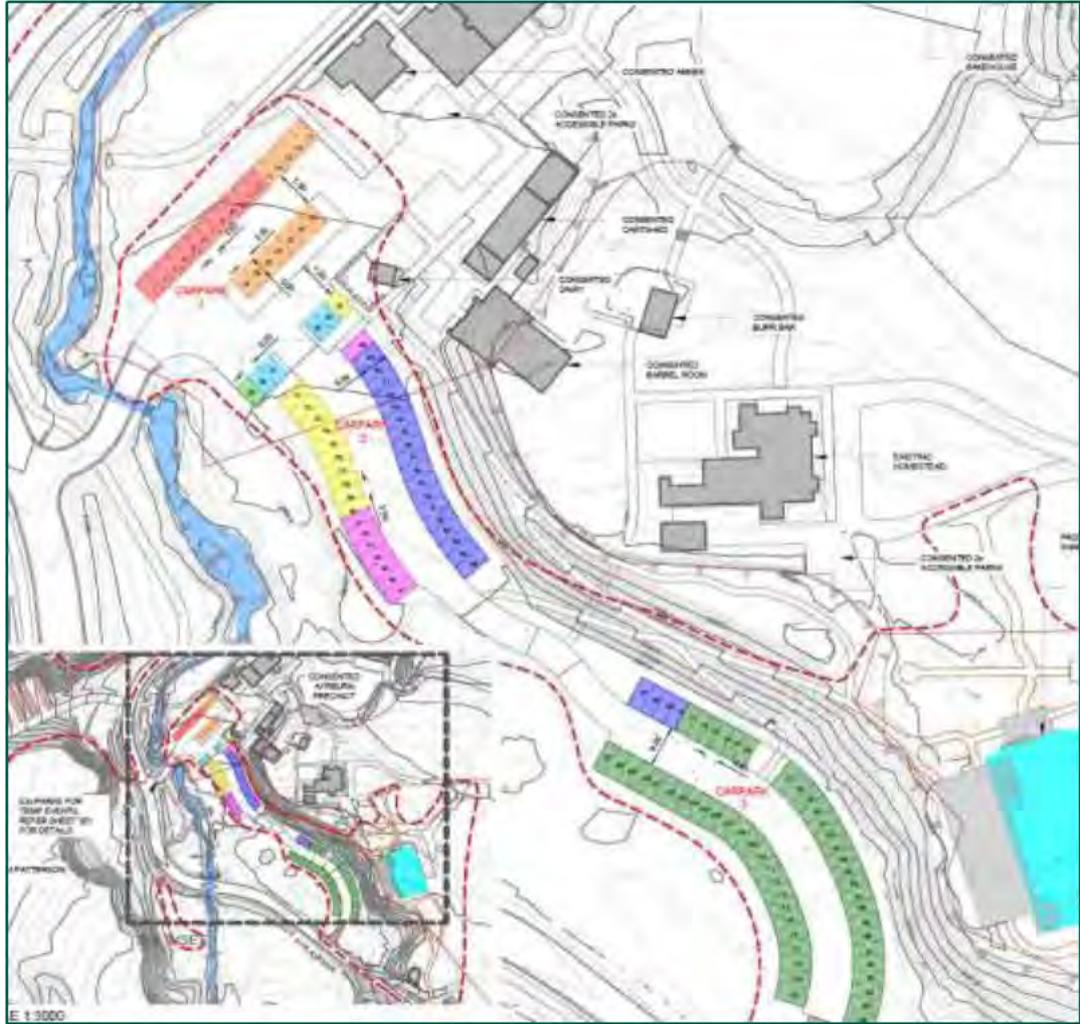


Figure 7: Plan showing carpark areas 1-3. (Source: Engineering Drawings attached as Appendix 5).

- The delineation of carparks within carpark areas 1, 2 and 3 to enable additional permanent carparks to be created and bus tracking. The total carparking across the site is summarised as follows and shown on the Engineering Drawings attached as Appendix 5:

Activity	Total Carparks	Carpark Area
Stables	12	1
Cartshed	12	1
Dairy	1	1
Burr Bar	4	1
Homestead	11	1 and 2
Barrel Room	8	2
Bakehouse	22	2 and 3
Haybarn venue	50	3
Temporary Event Parking	53	Overflow carpark

Table 1: Summary of carparks for all consented and proposed activities across the site.

- Earthworks are required to ensure a level building platform and for the carparking and turn around, access and pedestrian areas as follows:

Type	Quantity
Topsoil - Strip	3,000 m ³
Topsoil - Respread	1,100 m ³
Topsoil - Excess	1,900 m ³
Subsoil - Cut	6,500 m ³
Subsoil - Fill	1,500 m ³
Subsoil - Excess (waste off site)	5,000 m ³
Subsoil - Imported fill	2,000 m ³
Max Cut/Fill Depth	5.5 m/1.5 m
Total Area of Earthworks	1.0 Ha

Table 2: Earthworks volumes and type (Source: Engineering Drawings Appendix 5)

- Five existing trees will be removed from within the existing woodland contained within Lot 3 DP 540788 as a result of the formation of the pedestrian and vehicle access to the Haybarn venue. The five trees to be removed are shown as T15 Larch, T16 Elderberry, T31 Elderberry, T32 Elderberry and T142 Elderberry as shown in the Tree Assessment attached as **Appendix 10** and the Landscape Drawings attached as **Appendix 12**.
- Landscaping is proposed in accordance with the Landscape Drawings attached as **Appendix 12**. By way of summary, the landscaping involves the planting of Oriental Plane and Ornamental Pear around the Haybarn Venue and mass planted woodland groundcover within the existing woodland, including, Portugal Laurel, Bluebells, Heuchera, Daffodils, Snowdrops, Polystichum Vestitum, Ligularia, Hydrangea and Hellebore. The existing trees are to be retained as detailed in the Landscape Drawings attached as **Appendix 12**.
- External lighting will include wall spot downlights for way finding purposes consistent with the consented development elsewhere in Ayrburn Domain. All lighting specified is in accordance with the QLDC Southern Light Strategy.

5.0 Reasons for Consent

5.1 Queenstown Lakes District Council – Proposed District Plan

The site is zoned Wakatipu Basin Rural Amenity Zone under the Proposed QLDC District Plan (PDP) and is located primarily within the Speargrass Flat Landscape Character Unit (LCU8). Whilst the PDP is not fully operative, this is now considered to be the dominant planning document in terms of this application. Other than identifying relevant consent matters and taking into account the objectives and policies of the Operative District Plan (ODP), it is not considered that any other regard needs to be had to the Operative provisions as part of this application. That being the case, the consents sought are:

Wakatipu Basin Rural Amenity Zone – Chapter 24

- A **restricted discretionary activity** pursuant to Rule 24.4.18 in regard to the construction of buildings for non-residential activities. The proposed Haybarn is commercial in nature.
- A **non-complying activity** pursuant to Rule 24.4.23 in regard to a commercial activity not otherwise provided for in Table 24.1. The application proposes the Haybarn Venue to be used as a commercial activity to provide for functions on site.
- A **restricted discretionary activity** pursuant to Rule 24.5.6 in regard to the building coverage of all buildings on a site not subject to Rule 24.5.4 not exceeding 15% of net site area, or 500m², whichever is the lesser. The proposed Haybarn Venue building has a building coverage of 748m².
- A **restricted discretionary activity** pursuant to Rule 24.5.7 in regard to a breach to the 10m internal boundary setback with Lot 4 DP 540788. This rule is infringed in respect of Lot 4 by the south-western corner of the building (which is 7.1m from the boundary) and the north-western corner of the building (which is 8.95m from the boundary).
- A **restricted discretionary activity** pursuant to Rule 24.5.8.1 in regards to a breach to the maximum height of 6.5 metres by the proposed chimney. Chimneys and other structures can exceed the height limit by up to 1.5m, provided that no dimension in any direction exceeds 1.1m. In this case, the chimney is 1.6m wide, and 3.05m in length and exceeds the 6.5m height limit by 0.8m and the turret is 1.4m wide and 1.4m in length and exceeds the height limit by 1.4m.

Earthworks – Chapter 25

- A **restricted discretionary activity** pursuant to Rule 25.4.2 for earthworks exceeding maximum volume of 400m³ in the Wakatipu Basin Rural Amenity Zone, as set out in Rule 25.5.4. A total of 14,100m³ is proposed.
- A **restricted discretionary activity** pursuant to Rule 25.5.15 for cut depth that exceeds 2.4m.

Transport – Chapter 29

- A **restricted discretionary activity** pursuant to Rule 29.5.10 for the use of an unsealed parking area.

Any other consents

- Any other consents required for the proposal which are not detailed above.

5.2 National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health 2011 (NESCS)

A Detailed Site Investigation (DSI) was undertaken on the site for RM180584 and RM181597 and concluded that that some of the contaminants on site exceed the applicable standard outlined in Regulation 7 of the NESCS. Subsequent remediation works were undertaken on the site as a result of resource consents RM181597 and Otago Regional Council consent RM18.426.01-03.



Figure 8: Plan provided with the expert report showing the areas on the site that have been remediated (A-C) and the encapsulation cell in relation to the proposed siteworks. (Source: Soil Report Attached at Appendix 6).

This proposal includes earthworks within Lot 2 DP 540788, Lot 3 DP 540788 and Lot 4 DP 540788 for the overflow carpark area, the delineation of the existing carpark areas, the bus turnaround area, the pedestrian access, the service access and for the establishment of the building platform. It should be noted that there are no earthworks proposed within the Encapsulated Cell as shown in **Figure 8** and areas (A-C) have been fully remediated. It is noted that this remediation was relied on through the previous resource consent on the site which approved the building platform and dwelling (RM200791). In terms of this application, a letter has been prepared by Environmental Consultants Otago Ltd (ECOtago), attached as **Appendix 6** to address the proposed works and the associated risk to human health.

Overall, based on the letter prepared by ECOtago it is considered to be highly unlikely, that the use of the land for the proposed development will present a risk to human health as a result of soil contamination, as the contaminated soil is well contained some distance from the earthworks and construction proposed in this application. The proposal is therefore a permitted activity under Regulation 8(4) of the National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health.

5.3 Operative District Plan

Under the Operative Plan, consents would be required for:

Rural Zone – Chapter 5

- A **discretionary** activity resource consent pursuant to Rule 5.3.3.3 (i) (a) for:
 - (i) any building; and
 - (ii) any physical activity associated with any building such as roading, landscaping and earthworks.

- A **non-complying** activity resource consent pursuant to Rule 5.3.3.4 i (a) for Commercial activities.
- A **restricted discretionary** activity pursuant to Rule 5.3.5.1 (iii) in regard to nature and scale of activities.
- A **restricted discretionary** activity pursuant to Rule 5.3.5.1 (vi) in regard to minimum setback from internal boundaries.

Earthworks – Chapter 5

- A **restricted discretionary** activity pursuant to Rule 22.3.2.3 (a) in regard to earthworks that do not comply with one or more of the Site Standards within Rule 22.3.3(i) & 22.3.3 (ii)(a)(ii & iii).

The overall activity status would be a non-complying activity.

As discussed in 5.1 above, it is considered that the Proposed District Plan is now the dominant plan in respect of this application, and that all of the ODP rules listed above have been overtaken by operative PDP rules.

5.4 Activity Status

Overall, this application is for a **non-complying** activity.

6.0 Public Notification Assessment (Sections 95A, 95C and 95D)

6.1 Assessment of Steps 1 to 4 (Sections 95A)

Section 95A specifies the steps the council is to follow to determine whether an application is to be publicly notified. These are addressed in statutory order below.

6.1.1 Step 1: Mandatory public notification is required in certain circumstances

Step 1 requires public notification where this is requested by the applicant; or the application is made jointly with an application to exchange recreation reserve land under section 15AA of the Reserves Act 1977.

The applicant requests notification for this proposal, pursuant to Step 1.

6.2 Permitted Baseline

The consent authority may disregard an adverse effect of the activity if a rule or national environmental standard permits an activity with that effect. In this case there is no useful permitted baseline as there are no permitted commercial activities in the Wakatipu Basin Rural Amenity Zone and only limited provision for small-scale permitted buildings. However, resource consent RM200791 authorises the establishment of a 500m² residential dwelling in the same location and with a similar building profile to the building proposed under this application.

6.3 Public Notification Conclusion

Having undertaken the section 95A public notification tests, the under step 1 public notification is required as it has been requested by the applicant. The application will therefore proceed on a publicly notified basis.

7.0 Consideration of Applications (Section 104)

7.1 Statutory Matters

Subject to Part 2 of the Act, when considering an application for resource consent and any submissions received, a council must, in accordance with section 104(1) of the Act have regard to:

- Any actual and potential effects on the environment of allowing the activity;
- Any relevant provisions of a national environmental standard, other regulations, national policy statement, a New Zealand coastal policy statement, a regional policy statement or proposed regional policy statement; a plan or proposed plan; and
- Any other matter a council considers relevant and reasonably necessary to determine the application.

As a non-complying activity, section 104D of the Act states that a council may only grant the application if:

- (a) adverse effects will be no more than minor; or
- (b) the activity is not contrary to the objectives and policies of the relevant plans.

7.2 Weighting of Proposed Plan: QLDC Operative District Plan

As noted above, given the progression of the relevant sections of the Proposed District Plan through the process, it is considered with respect to all matters that the proposal can be assessed against the Proposed District Plan provisions only.

8.0 Effects on the Environment (Section 104(1)(A))

The following sections set out an assessment of the wider effects of the proposal having regard to the following matters:

- Earthworks;
- Geotechnical stability and natural hazards;
- Landscape and visual effects;
- Heritage effects;
- Servicing and access;
- Traffic generation;
- Acoustic effects;
- Cumulative effects; and

- Positive effects

These matters are set out and discussed below.

8.1.1 Earthworks

The proposal includes a draft Environmental Management Plan (EMP) attached as **Appendix 7**. As detailed in that Plan, appropriate silt and sediment controls will be established around all areas of earthworks to mitigate any adverse effects on nearby waterway areas. It is confirmed that the recommendations detailed in the EMP form part of the proposal and it is envisaged that these will form conditions of consent. A final EMP will have to be approved by the council.

For these reasons, it is considered that any adverse effects in regard to silt and sediment runoff effects will be less than minor.

8.1.2 Geotechnical Stability & Natural Hazards

A Geotechnical Memo prepared by Geosolve (attached as **Appendix 8**) provides recommendations in relation to geotechnical stability. The report indicates that so long as the recommendations of the report are followed for the foundation design and the carpark area, no adverse geotechnical effects are expected. Based on the advice from Geosolve, and subject to their recommendations being followed, it is considered that any adverse effects in relation to geotechnical stability will be no more than minor.

In terms of natural hazards, a flood hazard assessment has been undertaken by Fluent Solutions and is included as **Appendix 9**. The assessment considered the flood level for a 1:100-year event in relation to the proposed building floor level. The report concludes that the 100-year flood event will not impact the Haybarn building and that the building's ground floor level will comfortably meet freeboard requirements as set out in Council's Code of Practice. Based on Fluent's advice, it is not considered that there will be any adverse effects from flooding with respect to this development.

8.1.3 Landscape and Visual Effects

A Landscape Assessment prepared by Rough Milne Mitchell Landscape Architects Limited is attached as **Appendix 11**. This report identifies that the site is located in the Wakatipu Basin Rural Amenity Zone as identified in the Proposed District Plan (PDP) and that the Speargrass Flat Landscape Character Unit 8 encompasses most of the site (with only the southern tip of Millbrook LCU 23 extending a small way into the site). Given the spatially minor extension of LCU 23 into the site, their assessment focuses attention on the landscape setting and landscape values identified for LCU 8.

The Landscape Assessment provides an assessment against the relevant sections of the Proposed District Plan. This includes the relevant assessment matters contained within Chapter 3 (Strategic Direction), Chapter 6 (Landscapes and Rural Character), and Chapter 24 (Wakatipu Basin Rural Amenity Zone). The assessment concludes the following in relation to landscape effects on the wider environment:

- The existing characteristics of features in the wider landscape, including the prominent paddock in the foreground, the tree cover, and the mountains that provide the iconic backdrop, will all remain unaffected by this proposal;

- The proposed overflow carparking area is located proximate to other similar consented development that will not be visible from the Arrowtown-Lake Hayes Road;
- The proposal will have a very low degree of adverse effects on the landscape values of the site and its receiving environment; and
- Overall, the development will result in no adverse effects on landscape character and visual amenity and will be generally consistent with the provisions and expected outcomes sought by the PDP.

This proposal represents a level of built form that was anticipated by RM200791, being the resource consent that approved the building platform and dwelling on Lot 3 DP 540788. Whilst it is acknowledged that the proposed Haybarn venue, and the overflow parking and manoeuvring area will result in a change in visual appearance within the site, the resulting effects are considered to be mitigated through the proposed landscaping and the location of the building and overflow parking area in a way that it is largely screened from views from outside of the site.

Overall, when taking into account the conclusions of the report completed by Rough Milne Mitchell Landscape Architects Limited, it is considered that any adverse effects of the proposal with respect to landscape and visual effects on the wider environment will be less than minor.

8.1.4 Servicing

The provision of infrastructure to service the development has been assessed by CKL in the Water and Wastewater Assessment attached as **Appendix 14**. Stormwater has been assessed by CKL in the Stormwater Management Plan attached as **Appendix 15**. The assessments confirm that the proposed Haybarn venue can be adequately serviced in respect of stormwater, wastewater, and water supply.

Accordingly, it is considered that no adverse effects will result in terms of site servicing.

8.1.5 Transportation

Trip generation, parking, loading, and access have been considered in the assessment provided by Carriageway Consulting, included as **Appendix 16**. The assessment has considered a range of different scenarios and the resulting traffic volumes which could be generated from events in the Haybarn venue. It is not proposed to repeat the assessment, rather the following key conclusions are noted:

- The provision of carparking on site is considered to be appropriate and consistent with the Operative District Plan provisions (which have been used for guidance). The 50 carparks allocated to accommodate the Haybarn venue as approved by RM211193, and the proposed 53 additional spaces in the overflow carpark allocated for temporary events (with an additional potential seven spaces in the coach parking bay), are considered to be sufficient.
- The traffic generated by the proposed Haybarn venue can be accommodated on Ayr Avenue and at the Arrowtown – Lake Hayes Road / Ayr Avenue intersection without adverse effects arising on roading capacity or road safety.
- The low traffic volumes on the Ayrburn Homestead driveway means that adverse capacity or road safety effects on that access will be avoided.

Overall, having regard to the parking and access assessment, it is considered that any adverse effects associated with transportation matters will be less than minor.

8.1.6 Heritage Effects

Heritage matters have been assessed by Origin Consultants, with the memo attached as **Appendix 13**. The memo discusses the five historic buildings located on Lot 1 DP 540788 (stone farm buildings) and Lot 2 DP 540788 (Homestead and stone cookhouse) and the avenue of trees (which are protected under Chapter 32 of the PDP). As the development is to be carried out on Lot 3, the memo confirms that the proposed Haybarn venue is not contained within the setting of a heritage building as defined in the District Plan. Furthermore, this proposal does not seek to amend any heritage features. The memo concludes that the development is a sufficient distance from the Homestead building (approximately 60 metres) and that the design, characteristics, and materials of the Haybarn Venue and landscaping are considered to be appropriate within the historic setting. Having regard to the assessment provided by Origin, there are no adverse heritage effects anticipated as a result of this development.

8.1.7 Acoustic effects

A Noise Assessment has been prepared by Marshall Day and this is attached as **Appendix 17**. Marshall Day has considered a number of scenarios and conclude that the Haybarn venue can comply with the District Plan noise standards at all times.

It is noted that in order to achieve compliance with the night-time rules, the Haybarn venue doors and windows will need to be closed in some circumstances (e.g. if amplified music is to be played after 8pm). Conditions have been proposed by Marshall Day in respect of these matters and it is confirmed that these conditions form part of the proposal.

Overall, based on the advice received by Marshall Day Acoustics, and the adherence to the relevant conditions, it is considered that any adverse effects of the proposal in regard to acoustic effects on the wider environment and neighbouring properties will be less than minor.

8.1.8 Cumulative Effects

The Haybarn venue is located on a different record of title and is well separated from the other commercial activities within the Aryburn Domain. Notwithstanding this, when considering the receiving environment, the scale of the Haybarn venue is considered to be relatively modest in comparison with the larger activities which are already established or consented within the area, including those located within Aryburn Domain and Waterfall Park.

Overall, when taking into account the range of uses already being undertaken, and those that have been authorised (including the dwelling under consent RM200791), it is not considered that any adverse cumulative effects will be more than minor.

8.1.9 Positive Effects

It is considered that the proposal will give rise to significant positive effects. These include:

- The development of a high-quality, architecturally- commercial building, which will be visually integrated within the environment;
- A new venue which will provide for the wider community through the creation of a space for future events and functions; and
- Support for the local economy by enabling employment and increase spending in the area.

8.1.10 Summary of Effects

Overall, it is considered that any adverse effects on the environment as a result of this proposal will be less than minor. Further, it is considered that the proposal will also result in positive effects.

9.0 District Plan and Statutory Documents (Section 104(1)(B))

An assessment of the relevant provisions of the Operative District Plan, the Proposed District Plan, the Partially Operative Regional Policy Statement 2019 and the Proposed Regional Policy Statement 2021 has been undertaken as attached as **Appendix 18**. When viewed in the round, the proposed development is considered to be consistent with the anticipated outcomes of these statutory documents. The assessment of the PDP is summarised as follows:

9.1 Objectives and Policies of the QLDC Proposed District Plan

9.1.1 Strategic Direction – Chapter 3

The particularly relevant strategic objectives (SO) and the associated relevant policies that relate to this proposal are detailed as follows with the key parts underlined:

- **SO 3.2.1:** The development of a prosperous, resilient and equitable economy in the District.
- **SO 3.2.1.1:** The significant socioeconomic benefits of well and appropriately located visitor industry places, facilities and services are realised across the District.
- **SO 3.2.1.6:** Diversification of the District's economic base and creation of employment opportunities through the development of innovative and sustainable enterprises.
- **Policy 3.3.2** In rural areas, provide for commercial recreation and tourism related activities that enable people to access and appreciate the District's landscapes provided that those activities are located and are of a nature that:
 - a. *protects the landscape values of Outstanding Natural Features and Outstanding Natural Landscapes; and*
 - b. *maintains the landscape character and maintains or enhances the visual amenity values of Rural Character Landscapes.*

The proposal provides for an activity that diversifies the economic base within the Wakatipu Basin area and the wider District, through enabling a versatile function venue for up to 180 people per event. The Haybarn Venue will attract visitors from outside of the Queenstown area to attend events, encouraging spending in the local economy and providing for ongoing employment opportunities for residents. Flow on socioeconomic benefits are expected to be created by increasing revenue within the local community. It is therefore considered that this proposal will help contribute to a prosperous, resilient and equitable economy and is considered to be consistent with Objectives 3.2.1, 3.2.1.6, 3.2.1.1 and Policy 3.3.2.

- **SO 3.2.1.8:** Diversification of land use in rural areas beyond traditional activities, including farming provided that:
 - a. *the landscape values of Outstanding Natural Features and Outstanding Natural Landscapes are protected;*

- b. *the landscape character of Rural Character Landscapes is maintained and their visual amenity values are maintained or enhanced; and*
- c. *significant nature conservation values and Ngāi Tahu values, interests and customary resources, are maintained.*

In terms of Objectives 3.2.1.8, and 3.3.1 it is considered that the building is appropriately designed and located to maintain and enhance the character of the Wakatipu Basin and its associated visual amenity values. This proposal will result in a high-quality, architecturally-designed commercial building, which will be visually integrated within the environment as described in the Landscape Assessment provided in **Appendix 11**. The activity has been designed in a sustainable manner by enabling the use of existing services, including Ayr Avenue. The inclusion of the proposed bus parking allows the Haybarn Venue to be easily accessible for visitors that are accommodated off site. The accessibility of the proposed venue to the surrounding urban areas will enable spending and promote tourism in the local economy, as it is expected that the majority of visitors will stay offsite where they will be exposed to the variety of tourism opportunities within the wider Queenstown area.

- **SO 3.2.3:** *A quality built environment taking into account the character of individual communities.*
- **SO 3.2.3.1:** *The District's important historic heritage values are protected by ensuring development is sympathetic to those values.*

This proposal is considered to be consistent with Objectives 3.2.3 and 3.2.3.1 as the proposal has taken into account the existing heritage buildings in the built environment and ensures the values of these buildings are protected.

There are five historic buildings located on adjacent sites to this application, being Lot 1 DP 540788 (stone farm buildings) and Lot 2 DP 540788 (Homestead and stone cookhouse). A Heritage Assessment has been undertaken as attached as **Appendix 13** and confirms that the Haybarn Venue and associated works are not considered to impact on the historic heritage values of these existing buildings.

- **SO 3.2.4:** *The distinctive natural environments and ecosystems of the District are protected.*

The proposal has been positioned away from streams and wetland areas and therefore the natural character of these areas will be retained.

- **SO 3.2.5.8:** *Within the Wakatipu Basin Rural Amenity Zone:*
 - a. *the landscape character and visual amenity values of the Basin and of its Landscape Character Units, as identified in Schedule 24.8 are maintained or enhanced; and*
 - b. *the landscape capacity of each Landscape Character Unit and of the Basin as a whole is not exceeded.*

The proposal will protect and maintain the values of the Wakatipu Basin Rural Amenity Zone and the landscape character as required by Objective 3.2.5.8. This is evident within the Landscape Assessment attached as **Appendix 11**. As identified above in the effects assessment, the visual amenity values within LUC 8 will be maintained as the proposed building is located within an established woodland area, that has the capacity to absorb change without detracting from landscape values.

For the above reasons, the proposal is considered to be consistent with the objectives and policies located in Chapter 3 of the PDP.

9.1.2 Landscape – Chapter 6

The particularly relevant landscape policies are set out as follows, with the key parts underlined. These policies are addressed in the Landscape Assessment attached as **Appendix 11** and are further discussed below:

- **Policy 6.3.4.5:** Ensure incremental changes from subdivision and development do not degrade landscape character, or important views as a result of activities associated with mitigation of the visual effects of proposed development such as screen planting, mounding and earthworks.
- **Policy 6.3.4.8:** Avoid adverse effects on visual amenity from subdivision, use and development that:
 - a. is highly visible from public places and other places which are frequented by members of the public generally (except any trail as defined in this Plan);or
 - b. forms the foreground for an Outstanding Natural Feature or Outstanding Natural Landscape when viewed from public roads.
- **Policy 6.3.4.9:** In the Wakatipu Basin, avoid planting and screening, particularly along roads and boundaries that would degrade openness where such openness is an important part of its landscape character.

The proposal is considered to be consistent with Policy 6.3.4.8 which seeks to avoid adverse effects from development that is highly visible from public places. As outlined in the Landscape Assessment, the proposal will only have limited visibility from public places and other places which are frequented by members of the public, due to the site's topography and the location of the development, within the established woodland area.

The proposed Haybarn building and associated development will not degrade the landscape character of the Wakatipu Basin Rural Amenity Zone as detailed in the Landscape Assessment attached as **Appendix 11**. This proposal represents a level of built form that was anticipated by RM200791. Any changes to the visual appearance of the site as a result of the development, will be mitigated through the appropriately located landscaping, and the location of the building which is positioned in a way that is largely screened from views from outside of the site. The proposal also avoids incremental changes on the landscape character of the area and wider landscape context by establishing the proposed building primarily within the approved platform, where built form is anticipated, and is, therefore, consistent with Policy 6.3.4.5.

There is no landscaping proposed along site boundaries or any road, and the openness of the site will be maintained by this proposal, by locating the building within established vegetation on the western edge of the site, with good separation from the road and neighbouring properties. The proposal is therefore considered to be consistent with Policy 6.3.4.9.

For the above reasons, it is considered that the proposal will be consistent with the objectives and policies in Chapter 6 of the PDP.

9.1.3 Wakatipu Basin Rural Amenity Zone – Chapter 24

The subject site is located in the Wakatipu Basin Rural Amenity zone. An assessment against the relevant objectives and policies of this zone is outlined below.

- **Objective 24.2.1** - Landscape character and visual amenity values in the Wakatipu Basin are maintained or enhanced
- **Policy 24.2.1.3** - Ensure that subdivision and development maintains or enhances the landscape character and visual amenity values identified in Schedule 24.8 - Landscape Character Units.
- **Policy 24.2.1.11** - Provide for activities that maintain a sense of spaciousness in which buildings are subservient to natural landscape elements.

As detailed in the Landscape Assessment attached as **Appendix 11**, this development will be primarily screened from public places by the existing landscaping within the site. The location and design of the Haybarn Venue, located primarily within the approved building platform, with the use of sympathetic colours and materials, will ensure that the built form is integrated into the landscape and that the landscape character and visual amenity values will be maintained. The scale of the proposed development is appropriately sized to be absorbed within the receiving environment and the bulk and location of the Haybarn Venue is largely consistent with the development controls imposed through RM200791.

An area of open rural space is maintained between the neighbouring dwellings on Speargrass Flat Road and the development site, therefore, this proposal is considered to retain the spaciousness of the site as required by Policy 24.2.1.11. The proposed earthworks are located within an area that is either screened by existing planting or in an area that is already modified, through previous consents. Any works proposed by this application are well separated from neighbouring properties and existing buildings within the receiving environment.

Potential adverse effects on landscape and visual amenity values have been managed through the careful location of the building and proposed works within the existing landscape. This proposal is considered to be consistent with Objective 24.2.1 which requires that landscape character and visual amenity values are maintained or enhanced.

Overall, this proposal is considered to be consistent with Objective 24.2.1, Policy 24.2.1.3 and Policy 24.2.1.11.

- **Policy 24.2.1.2** - Ensure subdivision and development is designed (including accessways, services, utilities and building platforms) to minimise inappropriate modification to the natural landform.
- **Policy 24.2.1.9** Control earthworks and vegetation clearance to minimise adverse effects on landscape character and visual amenity values.

The landscape effects associated with the proposed earthworks and removal of trees have been considered through the landscape assessment provided in **Appendix 11**. It is considered that the site is able to adequately absorb any landscape character and visual amenity effects resulting from earthworks and the removal of trees. In general, the extent of earthworks have been minimised and, where earthworks are proposed, the Environmental Management Plan attached as **Appendix 7** ensures that potential adverse effects of the earthworks are mitigated. As the topography at the location of the works is relatively flat, there are not considered to be any adverse effects on the natural landform.

- **Objective 24.2.2** – Non-residential activities maintain or enhance amenity values.

- **Policy 24.2.1.6** - Provide for farming, commercial, community, recreation, tourism related and other non-residential activities that rely on the rural land resource, subject to maintaining or enhancing landscape character and visual amenity values.
- **24.2.2.1** Ensure traffic, noise and the scale and intensity of non-residential activities do not have an adverse impact on landscape character and amenity values, or affect the safe and efficient operation of the roading and trail network or access to public places.
- **24.2.2.2** Ensure the effects generated by non-residential activities (e.g. traffic, noise, hours of operation) are compatible with surrounding uses.

A range of permitted and discretionary non-residential activities are provided for in the Wakatipu Basin Rural Amenity Zone. Permitted activities include small scale recreational activities, farm-based retail, and residential visitor accommodation. Discretionary activities that are expressly provided for include visitor accommodation and cafes and restaurants.

A range of commercial activities are therefore contemplated in the zone and it is considered that the Haybarn Venue is not dissimilar in character to a café or restaurant. As set out elsewhere in this report, it is considered that the venue will be established in a way that maintains the amenity values of the site.

The effects relating to noise, traffic, and the scale and intensity of the development have been considered in Section 8 of this report. In particular, the traffic report (**Appendix 16**) confirms that the site will operate safely and efficiently from a traffic perspective and the acoustic report (**Appendix 17**) confirms that the venue will be operated in compliance with the District Plan noise rules. In this regard, the proposal is considered to be consistent with Policy 24.2.2.1 and Policy 24.2.2.2 which seek to manage effects on the roading network, public places and surrounding land uses.

Objective 24.2.3 seeks to manage the effects of reverse sensitivity. In this regard, the proposal is well separated well from any other horticultural and agricultural activities on adjoining properties. It is not considered, therefore, that any reverse sensitivity effects will result from the proposal.

For the above reasons, the proposal is considered to be consistent with the relevant objectives and policies for the Wakatipu Basin Rural Amenity Zone in Chapter 24 of the PDP.

9.1.4 Earthworks – Chapter 25

The objectives and policies relating to earthworks are set out in Chapter 25 of the PDP, and the key relevant objective (Objective 25.2.1) requires that earthworks are undertaken in a manner that protects the safety of people and avoids, remedies and mitigates adverse effects on the environment.

The proposed earthworks have been assessed in section 8.2 above and it was concluded that any adverse effects will be less than minor, as appropriate erosion and sediment controls will be in place to minimise sediment run-off, and dust suppressants will be in place to minimise nuisance effects.

The Environmental Management Plan included as **Appendix 7** will ensure that earthworks are undertaken in a manner that avoids adverse effects on the environment, and that inappropriate effects are avoided within the landscape. Māori cultural values, including wāhi tūpuna will be protected through the implementation of the management plan and Accidental Discovery Protocol.

9.1.5 Heritage– Chapter 26

The heritage chapter of the PDP seeks to recognise, protect, maintain and enhance the district’s historic heritage as stated in Objective 26.3.1. Objective 26.3.4 and Policy 26.3.1.2 seek to enhance the historic heritage value of heritage features through knowledge and understanding. A Heritage Assessment (**Appendix 13**) has been prepared to assess effects on the heritage values of the proposal on the heritage buildings within Lots 1 and 2 DP 540788, and to understand how this proposal may impact on these buildings. The Heritage Assessment concludes that this proposal will not result in any adverse effects on historic heritage. The proposed development is well separated from the scheduled heritage buildings and the new building will be of a sympathetic design. The proposal is considered, therefore, to be consistent with the objectives and policies in this chapter of the District Plan.

9.1.6 Natural Hazards – Chapter 28

The key provisions in the natural hazards section of the PDP are as follows:

- **Objective 28.3.1A** The risk to people and the built environment posed by natural hazards is managed to a level tolerable to the community.
- **Objective 28.3.1 B** - Development on land subject to natural hazards only occurs where the risks to the community and the built environment are appropriately managed.

The site is not located in an identified natural hazards area and the flood hazard report attached as **Appendix 9** confirms that there is no flood hazard risk associated with the proposed development. Standard building code provisions and specific stormwater design and overland flow management will mitigate the earthquake risk to the future building. As such, the risk of damage to human life, property and the environment from natural hazards can be adequately avoided or mitigated. In overall terms, the proposal is considered to be consistent with the proposed objectives and associated policies in Chapter 28 which seek to manage, determine and understand hazard risk.

9.1.7 Transport– Chapter 29

The transport related objectives and policies are set out in Chapter 29 of the Proposed District Plan.

- **Objective 29.2.1** seeks to achieve an integrated, safe and efficient approach to land use and transportation, that will support alternative transport modes, reduce traffic generation and manage the effects of land uses on the transport network.
- **Objective 29.2.2** ensures that parking, loading, access, and onsite manoeuvring are consistent with the character, scale, intensity, and location of the zone and contribute toward providing a safe and efficient transport network and economic development.
- **Policy 29.2.1.6** facilitates private coach transport as a form of largescale shared transport, through providing for off-site or non-accessory coach parking outside of specified zones where the site location and design measures mitigate adverse effects on the transport network, amenity of neighbouring sites, and the quality of the streetscape and pedestrian environment.

Based on Carriageway’s parking and access assessment attached as **Appendix 16**, it is considered that the proposed car and bus parking will be adequate to meet the likely demand associated with the development and that the anticipated vehicle movements will be able to be accommodated

within the capacity of the surrounding road network. Further, the proposed access arrangements will ensure the safety of pedestrians and other vehicle users is maintained.

Overall, based on Carriageway's advice, it is considered that the proposal will accord with Objectives 29.2.1, and 29.2.2 and Policy 29.2.1.6.

9.2 Operative & Proposed Regional Policy Statement

9.2.1 Partially Operative Regional Policy Statement

The Regional Policy Statement for Otago (RPS) 1998 is now revoked and the new Regional Policy Statement for Otago (PORPS) was made partially operative on 15 March 2021. Objectives and policies relevant to this application include:

- **Objective 1.1** Otago's resources are used sustainably to promote economic, social, and cultural wellbeing for its people and communities.
- **Policy 1.1.1** Provide for the economic wellbeing of Otago's people and communities by enabling the use and development of natural and physical resources only if the adverse effects of those activities on the environment can be managed to give effect to the objectives and policies of the Regional Policy Statement.
- **Objective 1.2** Recognise and provide for the integrated management of natural and physical resources to support the wellbeing of people and communities in Otago.

As detailed in Sections 8 and 9 of this report, this proposal is considered to provide for the economic, social, and cultural wellbeing for communities by providing a function facility that will contribute to the local economy. Potential adverse effects of the activity will be managed through the implementation of an EMP and through the landscaping that is proposed. Overall, it is considered that the proposal takes an integrated approach to the management of resources by utilising existing infrastructure and enabling a range of transport options.

9.2.2 Proposed Regional Policy Statement

The Proposed Regional Policy Statement (PRPS) has been notified and the submissions period closed on 3 September 2021 (with further submissions closing on 12 November 2021). When Otago Regional Council notified the PRPS, it was considered to be a freshwater document by the Council. The High Court in Dunedin subsequently determined that the PRPS is not a freshwater planning document in accordance with section 80A of the RMA and the document has to be amended to exclude parts of the document in relation to freshwater and hearings have not yet been held. Due to the stage that the PRPS is currently at, it is considered that limited weighting should be given to this document. Notwithstanding this, the relevant objectives and policies are considered to be as follows:

- **Objective IM-O1** - The management of natural and physical resources in Otago, by and for the people of Otago, including Kāi Tahu, and as expressed in all resource management plans and decision making, achieves healthy, resilient, and safeguarded natural systems, and the ecosystem services they offer, and supports the well-being of present and future generations, mō tātou, ā, mō kā uri ā muri ake nei.
- **Policy IM-P13** - Otago's environmental integrity, form, function, and resilience, and opportunities for future generations, are protected by recognising and specifically managing the cumulative

effects of activities on natural and physical resources in plans and explicitly accounting for these effects in other resource management decisions.

- **Objective HCV-HH-O3** - Otago's unique historic heritage contributes to the region's character, sense of identity, and social, cultural and economic well-being, and is preserved for future generations.

The Haybarn Venue manages the natural and physical resources of the site by enabling development within areas of the site that are already approved for built form (i.e. within the building platform approved by RM200791). As confirmed in the Heritage Assessment contained in **Appendix 13**, there will be no impact on historic heritage as a result of this proposal.

Overall, it is considered that this proposal is consistent with the relevant sections of the PRPS.

9.3 National Policy Statements

The National Policy Statement for Highly Productive soils (NPSHPL) came into effect on 17 October 2022. All land which is categorised as Land Use Capability (LUC) 1, 2 or 3 falls under the NPSHPL. The land subject to the proposed Haybarn Venue is located in an area where the soil is classed as LUC 3 as mapped by the New Zealand Land Resource Inventory.¹ The NPSHPL seeks to avoid inappropriate land use and development. Key relevant clauses of the policy are considered below:

- **Clause 3.9(2)** states that a use or development of highly productive land is inappropriate except where at least one of the specified activities in the clause applies. In this case the activities listed in Clause 3.9(2)(g) apply as specified below.
- **Clause 3.9(2)(g)** provides an exemption for small-scale or temporary land-use activity that has no impact on the productive capacity of the land. In this regard, an existing building platform and dwelling has been approved but not yet implemented so this can be considered as part of the existing environment. As already noted, the Haybarn Venue is of a similar scale as the approved dwelling and is generally located within the approved building platform. When having regard to the already-approved consent, it is not considered that the Haybarn Venue will have any further impact on the productive capacity of Lot 3.

When taking into account the assessment above, this application is not considered to be contrary to the NPS-HPL.

9.4 Summary

It is considered that the proposed development is consistent with the objectives and policies of the Operative and Proposed District Plans, the Partially Operative Regional Policy Statement 2019, the Proposed Regional Policy Statement 2021, and the NPS-HPL.

10.0 Relevant Rules and Assessment Criteria

The QLDC PDP specifies the relevant assessment criteria to be considered in assessing this application for each of the consent matters in the following sections:

¹ https://ourevironment.scinfo.org.nz/maps-and-tools/app/Land%20Capability/lri_luc_main

Wakatipu Basin Rural Amenity Zone - Chapter 24

- The construction of buildings for non-residential activities (Rule 24.4.18):
 - a) Landscape character;
 - b) Visual amenity;
 - c) Access;
 - d) Natural hazards;
 - e) Infrastructure;
 - f) Landform modification, landscaping and planting (existing and proposed).
 - g) Where the site is located within the Lake Hayes Catchment as identified in Schedule 24.9, the contribution of, and methods adopted by, the proposal to improving water quality within the Lake Hayes Catchment.
 - h) Where Electricity Sub-transmission Infrastructure or Significant Electricity Distribution Infrastructure as shown on the District Plan web mapping application is located within the adjacent road, any adverse effects on that infrastructure in regard to the construction of buildings for non-residential activities.
- The building coverage of all buildings on a site (Rule 24.5.4):
 - a) Effects on landscape character associated with the bulk and external appearance of buildings;
 - b) Visual prominence from both public places and private locations.
- A breach to the yard standards (Rule 24.5.7).
 - a) Building location, character, scale and form;
 - b) External appearance including materials and colours;
 - c) Landform modification/planting (existing and proposed).
- A breach to the maximum height (Rule 24.5.8.1)
 - a) Visual prominence from both public places and private locations;
 - b) External appearance including materials and colours;
 - c) Landform modification/planting (existing and proposed).

Earthworks – Chapter 25

- Breach of earthworks volumes (Rule 25.4.2).
 - a) Soil erosion
 - b) generation and run-off of sediment
 - c) Landscape and visual amenity values
 - d) Effects on infrastructure, adjacent sites and public roads
 - e) Land stability
 - f) Effects on water bodies, ecosystem services and biodiversity

- g) Cultural, heritage and archaeological sites
- h) Nuisance effects.
- i) Natural Hazards.
- j) Functional aspects and positive effects

Transport – Chapter 29

- The use of an unsealed parking area (Rule 29.5.10)
 - a) Effects on the efficient use and maintenance, safety, and amenity of the site and of the transport network, including the pedestrian and cycling environment

These criteria largely cover the same matters that have been discussed and assessed in the above report and in the specialist assessments forming part of this application. In particular:

- The assessment matters being relating landscape character and amenity values have been addressed in the landscape report attached as **Appendix 11**,
- The assessment matters relating to earthworks and natural hazards have been addressed in the geotechnical report attached as **Appendix 8**, the Environmental Management Plan attached as **Appendix 7**, and the flood hazard report attached at **Appendix 9**.
- The assessment matters relating to transport have been addressed in the parking and access assessment attached as **Appendix 16**.

Overall, for these reasons and those described in sections 8 and 9 above, it is considered that the proposal accords with the relevant District Plan assessment criteria.

11.0 Part 2 Matters

Section 5 of Part 2 identifies the purpose of the RMA as being the sustainable management of natural and physical resources. This means managing the use, development and protection of natural and physical resources in a way that enables people and communities to provide for their social, cultural and economic well-being and health and safety while sustaining those resources for future generations, protecting the life supporting capacity of ecosystems, and avoiding, remedying or mitigating adverse effects on the environment.

Section 6 of the Act sets out a number of matters of national importance including (but not limited to) the protection of outstanding natural features and landscapes and historic heritage from inappropriate subdivision, use and development. As detailed in Section 8 of this report, this proposal will not result in more than minor adverse landscape effects and will not impact any heritage buildings. In overall terms it is considered that proposal is appropriate.

Section 7 identifies a number of “other matters” to be given particular regard by Council and includes (but is not limited to) Kaitiakitanga, the efficient use of natural and physical resources, the maintenance and enhancement of amenity values, and maintenance and enhancement of the quality of the environment.

Section 8 requires Council to take into account the principles of the Treaty of Waitangi.

Overall, as the effects of the proposal are considered to be no more than minor, and the proposal accords with the relevant QLDC PDP objectives, policies and assessment criteria, it is considered that the proposal will be in accord with the general resource management principles set out in Part 2 of the Act.

12.0 Other Matters (Section 104(1)(C))

12.1 Record of Title Interests

The Records of Title for the site are subject to a number of interests (refer **Appendix 1**). All of the interests have been reviewed and none of these are anticipated to affect the resource consent application.

13.0 Section 104D(1) 'Gateway Test'

To be able to grant consent to a non-complying activity, a council must be satisfied that either the adverse effects of the activity on the environment will be minor (s104D(1)(a)), or the proposed activity will not be contrary to the objectives and policies of a proposed plan or plan (s104D(1)(b)). This consideration is commonly known as the 'threshold test' or the 'gateway test'. If either of the limbs of the test can be passed, then the application is eligible for approval, but the proposed activity must still be considered under section 104. There is no primacy given to either of the two limbs, so if one limb can be passed then the 'test' can be considered to be passed.

As identified in the assessment above, the adverse effects of the activity on the environment are considered to be no more than minor and the proposed activity will not be contrary to the objectives and policies of the relevant Plans. As such the application can be considered under section 104 and a determination made on the application as provided by section 104B.

14.0 Conclusion

The proposal involves the establishment of land use consent to establish an 887m² Haybarn venue on Lot 3 DP 540788, an overflow carpark and bus stops on Lot 4 DP 540788 and a service access on Lot 2 DP 540788. Based on the above report it is considered that:

- Public notification is required as it is requested by the Applicant.
- The adverse effects of the activity on the environment will be no more than minor and the proposed activity will not be contrary to the objectives and policies of the ODP and the PDP;
- There are positive effects including the creation of a venue for future events and functions, and by supporting the local economy by enabling employment and increase in spending in the area;
- The proposal is not contrary to the NPS-HPL;
- The proposal is considered to be consistent with Part 2 of the Act.

It is therefore concluded that the proposal satisfies all matters the consent authority is required to assess, and that consent can be granted subject to appropriate conditions of consent.

Landscape Assessment Report

The Haybarn Venue

11 June 2023



Document Quality Assurance

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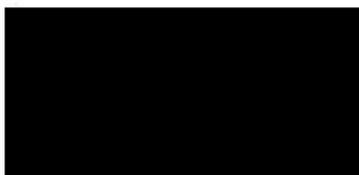
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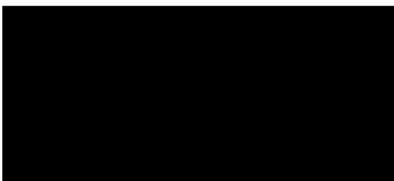
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1 Introduction

1.1 Purpose and Scope

Rough Milne Mitchell Landscape Architects (**RMM**) has been engaged by Ayrburn Precinct Limited (the Applicant) to assess the landscape and visual effects of the proposed Haybarn venue within the existing woodland at 339 Arrowtown-Lake Hayes Road, Arrowtown. An overflow carpark is also proposed on the west side of Ayr Avenue, opposite Ayrburn Domain.

Refer Figure 1 for the site locality and Extent of Works (the **Site**). The Site is made up of four parcels of land being Part Lots 1,2,3 and 4 DP 540788. The Haybarn venue is primarily being established for an events venue.



Figure 1: Site and Extent of Works Plan

For context, a 801m² residential building platform (RBP) and a 500m² dwelling were approved on Lot 3 DP 540788 by land use consent RM200791. The consent conditions attached to RM200791 included controls over the style and vertical height of the new building, the identification of existing trees to be removed, along with mitigation planting¹ to be undertaken.

The landscape assessment report is formatted as per the following:

- A description of the proposal.

¹ RM 200791, Landscape and Visual Assessment – Patch Landscape Architects. Appendix C, E and F

- An outline of the relevant statutory provisions that are within the District Plan. Those provisions directly relevant to landscape and visual matters are set out in the District Plan and form the framework for the assessment.
- The identification and description of the receiving environment, including the site. The receiving environment is described in terms of the landscape's landform, land cover and land use and how those landscape attributes contribute to the receiving environment's existing landscape values.
- An assessment of the actual and potential landscape, natural character, and visual effects, including cumulative effects.
- An assessment against the relevant statutory provisions.
- Conclusion.

This report is accompanied by a Graphic Attachment (**GA**), that contains maps and aerial images of the site location, the relevant District Plan planning maps, proposed landscape plans and photographs of the site taken from the surrounding public places.

1.2 Methodology

The methodology and terminology used in this report has been informed by the Te Tangi a te Manu: Aotearoa New Zealand Landscape Assessment Guidelines².

The site and its surrounds have been visited on numerous occasions over the last five years. A further site visit was made on 2 May 2023. This site visit was undertaken to assist in understanding the landscape character and values within the receiving environment and assessing the proposal's actual and potential landscape and visual effects.

This report is tailored to suit the nature of the project and its context including the framework of the governing legislation. The statutory documents containing provisions relevant to the proposal are found in the RMA and the District Plan. The District Plan gives effect to the RMA within the context of the site and provides the policy framework against which this landscape assessment has been evaluated.

The table included in **Figure 2** outlines the rating scales that are referred to in this report. The table included in **Figure 3** is a comparative scale for the RMA s95 notification determination test and the RMA s104D 'gateway' test for non-complying activities.

Very Low	Low	Low - Moderate	Moderate	Moderate - High	High	Very High
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Figure 2. The seven-point landscape and visual effects rating scale³.

Very Low	Low	Low - Moderate	Moderate	Moderate - High	High	Very High
Less than Minor	Minor		More than Minor		Significant	

Figure 3. The comparative scale of degree of effects⁴.

² 'Te Tangi a te Manu: Aotearoa New Zealand Landscape Assessment Guidelines'. Tuia Pita Ora New Zealand Institute of Landscape Architects, July 2022.

³ 'Te Tangi a te Manu: Aotearoa New Zealand Landscape Assessment Guidelines'. Tuia Pita Ora New Zealand Institute of Landscape Architects, July 2022. Page 140.

⁴ 'Te Tangi a te Manu: Aotearoa New Zealand Landscape Assessment Guidelines'. Tuia Pita Ora New Zealand Institute of Landscape Architects, July 2022. Page 151

2 The Proposal

2.1 Description of the Proposal

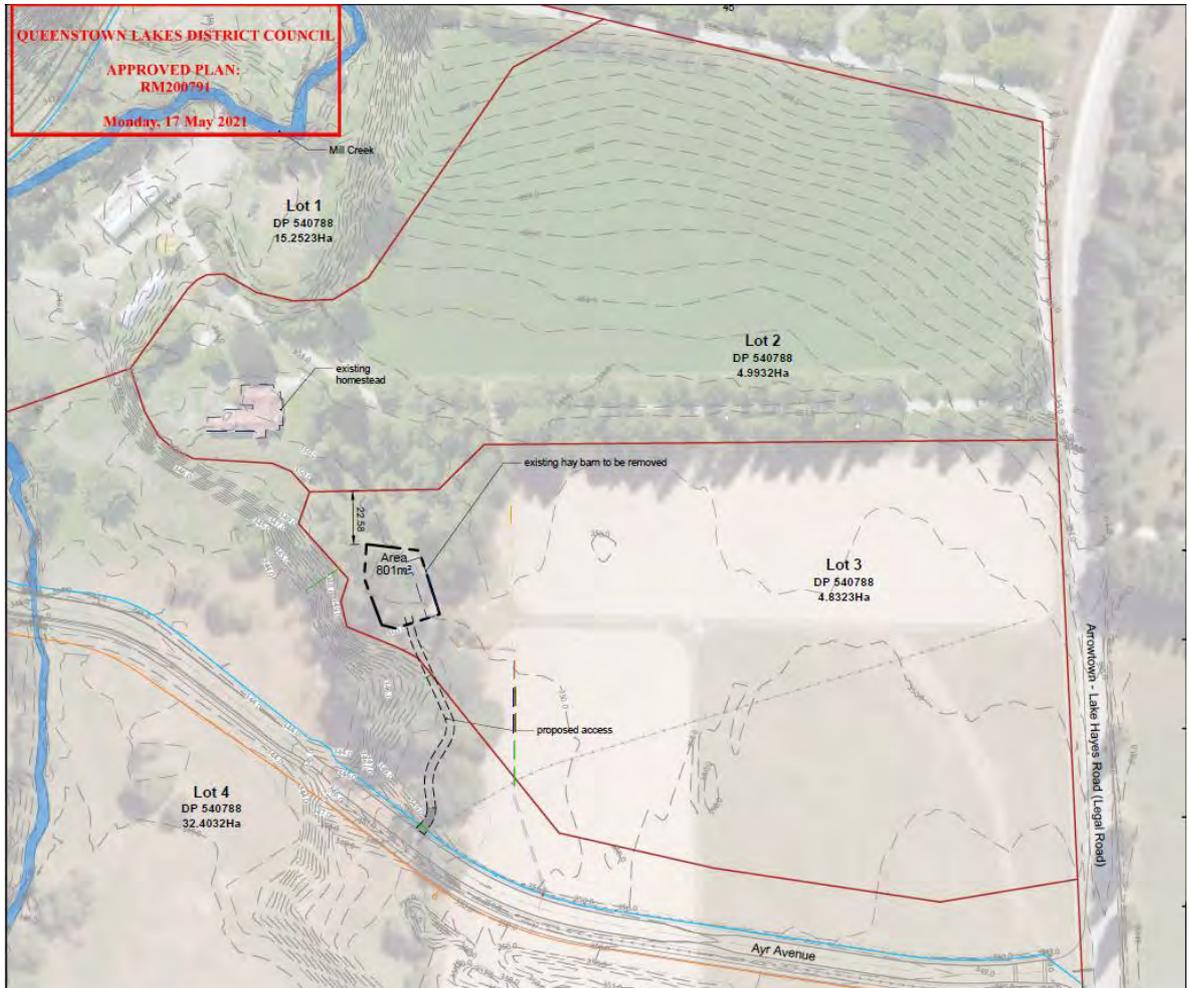


Figure 2: Location of Consented RBP and Cadastral Boundaries

The proposal is fully described elsewhere in the application. The aspects of the proposal most relevant to the assessment of landscape effects are:

- The location of the proposed new building in relation to the consented RBP (RM200791)
- The proposed paths and proposed landscape development associated with the proposed Haybarn venue.
- The architectural details that are being considered for the new building.
- The trees that are to be retained that provide mitigation and screening for the new development.
- The proposed new overflow carpark west of Ayr Avenue.
- The consent that is currently live that applies to this particular property and this site.

The proposal is to replace an existing haybarn (see *Figure 3 below*) with a new architecturally designed Haybarn venue building (748m² Ground Floor Area) as shown in Figure 4 and described in detail elsewhere. The new building has been designed to complement the architecture of the Ayrburn homestead and its various accessory buildings, has a proposed footprint including

verandas of 887m², a proposed building height of just under 6.5m (excluding two chimneys and a roof 'turret'/weather vane which are 7.2 and 7.9m in height respectively) and has been positioned on the site to substantially coincide with the consented RBP. The proposed Haybarn venue's footprint, access and landscaping is shown on the Landscape and Architectural Drawings included in the application.



Figure 3: Photographs of the Existing Haybarn and General Setting

Overflow carparking for temporary events consented under RM211193 is proposed to be located to the west of Ayr Avenue, as shown on Figure 1 above and on Sheet 7 of the GA.

Care has been taken to minimise the impact of development on the tree cover that currently occupies the development area. With the consented RBP care was taken to assess and survey the existing tree cover such that the identified building platform layout and access routes minimised impacts on these trees. The consent allowed for 38 trees to be removed. With the revised development now under consideration an additional five trees will need to be removed.



Figure 4. Proposed Haybarn venue (looking from the west)

2.2 Consented Development

The site is subject to RM200791 which forms the consented development for the site against which any proposed changes can be compared.

RM200791 sought consent to establish a residential building to be located within an identified curtilage area, on Lot 3 DP 540788. The identified RBP measuring approximately 801m², was to be located over and replace a smaller haybarn that existed in approximately the same location. (*Refer Sheet 7 of the GA*). A residential building up to 500m² would be built within the consented RBP.

The recognised intention of the application consented to was *“to provide for the erection of a future dwelling within a wooded area at the western end of Lot 3, with the balance of the lot comprising open pasture extending out to the frontage of Arrows-town-Lake Hayes Road. The curtilage would remain within the confines of the wooded area”*.⁵ Consent was granted in May 2021 and was subject to a range of conditions and design controls⁶.

The consent granted is for a residential building with a maximum floor area of 500m² and a building height of 6.5m. The consented building is subject to a range of design controls over exterior cladding, roofing materials, roof pitch, window and door glazing, gates, fencing and exterior lights. A specific outcome was noted within the decision, specifically *“the dwelling and curtilage area to be largely obscured from the Arrows-town-Lake Hayes Road and then when the additional matures the buildings would not be discernible”*.⁷

⁵ Decision RC200791 para 2 pg. 3

⁶ RC200791 – Application, Lot 3 – Proposed Design Controls

⁷ Decision RC200791 para 14 & 15 pg. 5

To this end, particular attention was given to the trees that occupied the site (all trees were individually surveyed and identified with regards to condition, age, and general tree health) and careful attention was given when identifying both the location of the buildings and access roads and paths, in terms of what impact the proposal would have for all existing trees. A plan that identified trees to be removed (38) and trees to remain (181) was developed and forms part of the conditions of consent.

Finally, the architectural design controls and the landscape masterplan forms an important component of the conditions of consent.⁸ Further to that, on the site visit undertaken on 02 May 2023, it was noted that the mitigation tree planting as required by RC200791 has been undertaken and these trees are in good health and growing well.

⁸ Decision RC200791 pg. 40-43

3 Relevant Statutory Provisions

3.1 Relevant Statutory Provisions

The following planning documents have been considered in the preparation of this assessment and are relevant to the assessment of landscape and visual amenity effects:

- Queenstown Lakes District – Proposed District Plan (**PDP**)

The Queenstown Lakes District Plan gives effect to the RMA and other statutory documents within the context of the Queenstown Lakes District.

The proposed Haybarn venue development is located in the Wakatipu Basin Rural Amenity Zone. It is within the Speargrass Flats Landscape Character Unit (LCU 8) as per Schedule 24.8 of Chapter 24 of the PDP. The application will be non-complying, overall, due to the proposed commercial activity within the building.

3.2 Proposed District Plan

The landscape related matters particularly relevant to the proposed development are addressed in;

- Chapter 3: Strategic Direction,
- Chapter 6: Landscapes and Rural Character,
- Chapter 24: Wakatipu Basin Rural Amenity Zone

Chapter 3: Strategic Direction

Chapter 3 sets out the over-arching strategic direction for the management of growth, land use and development in a sustainable manner, in the context of the District's special qualities. Regarding landscape matters, the key issues identified include: the protection of outstanding natural features and landscapes, identification of landscape values, character and visual amenity, protection of rural character landscapes, determination of landscape capacity.

In regard to landscape matters, the following Objectives are relevant:

- SO 3.2.3.1 The District's important historic heritage values are protected by ensuring development is sympathetic to those values.
- SO 3.2.5.8 Within the Wakatipu Basin Rural Amenity Zone:
 - a. the landscape character and visual amenity values of the Basin and of its Landscape Character Units, as identified in Schedule 24.8 are maintained or enhanced; and
 - b. the landscape capacity of each Landscape Character Unit and of the Basin as a whole is not exceeded.

Chapter 24: Wakatipu Basin (zone)

Chapter 24 applies to the Wakatipu Basin Rural Amenity Zone (Rural Amenity Zone) and its sub-zone, the Wakatipu Basin Lifestyle Precinct (Precinct). The purpose of the Rural Amenity Zone is to maintain or enhance the character and amenity of the Wakatipu Basin, while providing for rural living and other activities.

Integral to the management of the Rural Amenity Zone and Precinct is Schedule 24.8, which defines 24 Landscape Character Units. These Landscape Character Units are a tool that assists with the identification of the landscape character and amenity values that are to be maintained or enhanced. Controls on the location, scale and visual effects of buildings are used to provide a design led response to the character and values.

In regard to landscape matters relevant to this application, the following Objectives and Policies are relevant:

- Objective 24.2.1 and policies 24.2.1.2, 24.2.1.3, 24.2.1.4, 24.2.1.6, 24.2.1.9, 24.2.1.12, are concerned with the maintenance or enhancement of the visual amenity and landscape character of the Wakatipu Basin.
- Objective 24.2.2 and policy 24.2.2.1 seeks to ensure non-residential activities maintain or enhance amenity values.

4 Landscape Description

4.1 Description of the Receiving Environment

Site Location & Extent of the Receiving Environment

The site is north of the North Lake Hayes Lifestyle Precinct (**NLHLP**), west of the Arrowtown – Lake Hayes Road, south of the Waterfall Park Zone (**WPZ**) and the Millbrook Zone (**Millbrook**), and east of more rural areas associated with Speargrass Flat. It is located in the upper plateau flatlands east of Mill Creek, north of Ayr Avenue, west of the Arrowtown - Lake Hayes Road and south of a protected avenue of trees.

Further south of the site are the rural living areas associated with the NLHLP. To the west is the Mill Creek corridor and open, rural areas. Farther west is a portion of the Queenstown Trail and areas of open land. To the north is a terrace riser incised by a gully which contains the WPZ. The land north of Christine's Hill contains the urban parkland area of Millbrook and farther west, the rural and rural living areas associated with the 'Mooney Ponds' area. East of the WPZ is the slope known as McEntyres Hill. Atop this hill is rural living type development and farther north, Millbrook.

The Arrowtown - Lake Hayes Road splits McEntyres Hill to the east of the site and the land east of the road on the terrace riser is more densely vegetated holding a more dominant rural character, with a high ratio of open space to built form. South of the slope and east of the Arrowtown – Lake Hayes Road is an open paddock extending from the foot of McEntyres Hill to Hogans Gully Road. South of Hogans Gully Road are private properties. It is also understood that there several (at least 12) unbuilt consented residential building platforms which in time will change the open character of this part of the landscape to a more rural living character.

Overall, the landscape context of the site is a modified rural landscape. A variety of activities, including living, farming, golf courses, visitor accommodation and hospitality are located and take place within the wider setting of the site.

The site spans across two Landscape Character Units (LCU). The Speargrass Flat LCU 8 encompasses most of the site and the southern tip of Millbrook LCU 23 extends a small way into the centre of the site's boundaries. Given the spatially minor extension of LCU 23 into the site, this assessment focuses attention on the landscape setting of, and landscape values identified for, LCU 8.

The Speargrass Flat LCU 8 contains the relatively flat, and gently terraced landscape to the north of Lake Hayes. This LCU is characterised by a predominantly pastoral landscape, dwellings are concentrated along roads, shelter belts and other plantings assist in screening dwellings and built form from views. The unit has a reasonable level of naturalness due to the relatively limited level of built development evident across the unit.

Historical & Cultural Context

The regional history of the Wakatipu Basin has been shaped by three waves of Māori migration since the year 1200. Gold was first discovered in 1862 bringing a wave of European goldminers followed by Chinese goldminers in 1864. It is understood that there are no reported Māori artefacts or interest within the site, nor has there been any recording of gold found.

The first Lakes District Agricultural and Pastoral Show was held at Ayrburn Farm in 1904. The Giant Redwood, situated in front of the existing homestead, was originally sited in the centre of a carriage turning circle and is a focal point for the tree avenue drive.

Just north of the proposed Haybarn Venue is a collection of historic farm buildings (Ayrburn Domain) which, together with the Ayrburn Homestead, hold heritage values. A gravel drive through an avenue of protected trees accesses the Ayrburn Homestead (*refer Sheet 7 of the GA*).

Landform & Geology

The wider Wakatipu Basin has been formed by several growing and retreating glaciers that carved the wide U-shaped valley out of the schist bedrock, and left behind a varied landscape of moraine deposits, glacial till and outwash, roche moutonnees, depressions (lakes) and terrace formations. Following the most recent glacial retreat, flowing water and wind replaced the role of ice in eroding and shaping the landscape of the Wakatipu Basin. Rivers and streams carved terraces and valleys and moved around glacial deposits, while wind picked up and deposited fine sediment ground up by the glaciers.

Key views are formed by these geological processes. While the site is relatively densely vegetated, views from the proposed paths and accesses to the site and from the receiving environment are of Brow Peak and The Remarkables.

Landcover

Historically, the vegetation within the broad Wakatipu Basin would have been scrub, shrubland and tussock-grassland. Forests in the area would have been dominated by Beech or Podocarp (native conifers). Kowhai were also likely to have been a dominant species. The shore of Lake Hayes would have likely been a wetland with a diverse array of plant species including native sedges, flax and toi toi, providing habitat and food sources for native birds, lizards, insects, and bats.

Historical and present-day agricultural activity within the region has resulted in very low levels of indigenous planting and habitat today. Vegetation within the basin is fragmented and is dominated by exotic pasture and introduced trees. Research indicates that fires within the period 1280 – 1600AD destroyed a significant amount of the native forest cover within the Wakatipu Basin. Fire was also used by Europeans in the mid-19th century as they transformed native scrub to grassland.

Land Use & Built Form

The area of land to the south and west of the site, broadly considered as Speargrass Flat, has been used for agricultural activities, primarily grazing and crops since arrival of the first European settlers to the area in the mid 1800's. At present built form and domestication radiates out from Speargrass Flat Road and spreads towards Lake Hayes. An area of open rural space remains between the domestication of Speargrass Flat Road and the site.

4.2 Description of the Site

Site Location & Access

The site is located in the countryside between Arrowtown and Lake Hayes. The site is accessed from Arrowtown - Lake Hayes Road via the recently constructed Ayr Avenue (*refer Figure 2 above*).

The proposed Haybarn venue is located primarily on the consented RBP, while the proposed venue parking will be located in the consented carpark below the venue, a new overflow car park for temporary events consented under RM211193 will be located to the west of Ayr Avenue (*refer Figure 1 above*).

Planning Context

There are no Outstanding Natural Landscape, Outstanding Natural features, or Rural Character Landscape overlays that need to be taken into consideration for this site.

As discussed, the site is positioned on the north-eastern edge of LCU 8 but extends to a very limited extent into LCU23. Given the majority of the site sits within LCU 8, this assessment focuses on this LCU as it is described in Schedule 24.8, Chapter 24 – Wakatipu Basin of the PDP.

Historical Context

The site is located just south of the historic Ayrburn Homestead, initially established as a vegetable, cereal and cropping farm to provide for the local mining population and flour mills. The farm was first settled by William Paterson in 1862, named after Ayrburn, West Kilbride, Scotland where he was born. The buildings, originally forming the farm centre, have previously been identified and recorded as a Category 2 historic heritage feature within the PDP.

Landform & Landcover

The location of the proposed Haybarn venue is relatively flat and sits on an upper terrace of Mill Creek. It is a relatively confined area, enclosed by the Mill Creek corridor to the west which has a more varied topography, and its edges are adorned with mature rural character trees, including extensive swathes of willows and patches of specimen trees such as alders, birch, and oaks.

The protected avenue of *Picea breweriana* and *Larix decidua* (Avenue of Spruce and Larch) along the driveway to Ayrburn Homestead frame the Site to the north. A large copse of mixed established exotic trees currently exists around the existing haybarn and around the consented BRP (see *Figure 3 above*). Many of these existing trees in good health will be retained (*refer NZ Tree Care report - RC RC200791*).

The flat open paddock that fronts onto Arrowtown-Lake Hayes Road dominates the local landscape.

4.3 Landscape Values of the Receiving Environment

The following identified values relate mainly to the receiving environment, rather than the application site itself.

Physical Attributes

“**Physical**⁹ means both the natural and human-derived features, and the interaction of natural and human processes over time.”¹⁰ Typical physical factors include geological, ecological, and biological elements within the landscape.

The physical values of the site and receiving environment include:

- Geological processes that have led to the formation of the landscape setting as described in Sections 4.1 and 4.2 of this report.
- The topographic features of the wider site setting including steep valley walls, valley floor, amphitheatre, and waterfall.
- Mill Creek is the main ecological feature of the locality and is an important part of the wider ecological corridor. The creek provides habitat for brown trout and a species of native galaxiid

⁹ 'Physical' means both natural and human-derived features, whereas 'biophysical' is potentially problematic if it is taken to mean only the natural aspects of the landscape. 'Te Tangi a te Manu: Aotearoa New Zealand Landscape Assessment Guidelines'. Page 35.

¹⁰ 'Te Tangi a te Manu: Aotearoa New Zealand Landscape Assessment Guidelines'. Page 35.

(koaro). The creek environment is also home to a handful of native birds including pukeko and native scaup.

- The established and mature exotic specimen trees surrounding the existing haybarn in the area that includes the consented RBP.
- The avenue of protected trees that line the driveway to the Ayrburn Homestead.

Perceptual Attributes

“Perceptual means both sensory experience and interpretation. Sensory appreciation typically occurs simultaneously with interpretation, knowledge, and memory.”¹¹ Typical perceptual factors relate to experiential and aesthetic qualities such as naturalness, visual coherence, legibility as well as transient aspects.

The perceptual values of the site and receiving environment include:

- The public’s main experience of the site is when traveling along the Arrowtown - Lake Hayes Road and the western extents of Hogans Gully Road. The Site presents as part of a highly aesthetic landscape that has a high visibility when viewed from Arrowtown-Lake Hayes Road.
- Part of the Site, in tandem with the currently undeveloped land to the east of the Arrowtown - Lake Hayes Road, offers some open relief from an otherwise rural living and urban character corridor.
- A high level of naturalness exists in the underlying topography (and geomorphology) of the site. Naturalness is also derived from the exotic trees on the site, and recently planted trees.
- With the earthworks and construction of the private Ayr Ave and the Mill Creek upgrades that are underway, the natural character (and visual amenity) of the Site’s wider landscape setting has been temporarily affected.

Associative Attributes

“Associative means the intangible things that influence how places are perceived – such as history, identity, customs, laws, narratives, creation stories, and activities specifically associated with a landscape.”¹² Typical Associative factors includes cultural (tangata whenua) and historic values as well as shared and recognised attributes such as recreational opportunities.

The associative values of the wider site and receiving environment include:

- Within the valley of Mill Creek, a wooden waterwheel and steel piping water-race remnants are located near the Mill Creek waterfall. It is thought that water directed through this waterwheel may have generated power for the farm and possibly also for the homestead.
- Remnants of a water race constructed some time in 1910 exist along the upper western valley edge. It is thought the water, diverted through this race from Mill Creek, was transported via an elevated timber aqueduct to the Lake Hayes Flour Mill downstream.
- History associated with the avenue of protected trees lining the driveway to the Ayrburn Homestead and the buildings themselves.

¹¹ Ibid

¹² Ibid

4.4 **Summary of Landscape Values**

In summary, from a landscape perspective it is considered the Site has moderate physical values, low - moderate perceptual values, and moderate associative values. The wider site and immediate receiving environment have high physical values, moderate-high perceptual values, and moderate associative values.

5 Assessment of Landscape and Visual Effects

5.1 Identifying Potential Issues

The potential landscape and visual effects arising from the proposal include the following:

- Effects on the character and values of Waterfall Park.
- Effects on visual amenity as experienced from the receiving environment.

An important factor in any consideration of visible change, is the allowance that needs to be made for the baseline impact of those developments already consented (RM 200791) to but not yet developed.

5.2 Assessment of Visibility and Visual Effects

“Visual effects are a subset of landscape effects. They are consequences of change on landscape values as experienced in views. They are one technique to understand landscape effects.”¹³

The criteria applied to the assessment of visibility and effects on visual amenity includes the viewing distance, the viewing elevation and/or the elevation of the works or proposal, the area of change, whether the proposal is in character with the view context, the level of activity visible and the degree of change in the view.

In this instance, allowance can be made for the visual change and effects of RM200791 that has been consented. An important factor in this is that RM200791 provides for development on the Site and assesses that visual amenity effects can be appropriately managed. RM200791 provides for the following.

- The construction of a 500m², 6.5m high private residence, and
- The removal of 38 identified trees and the retention of 181 others, and
- The planting of additional trees such that *‘the dwelling and curtilage area will remain largely obscured’* and when mature the *‘buildings would not be discernible.’*

In undertaking an assessment of the proposal on visual amenity, viewpoints representative of the views most likely to be important are identified and form the basis of this assessment. The selected viewpoints are points along Arrowtown-Lake Hayes Road and the views that would be enjoyed travelling towards and away from Arrowtown. It is noted that due to the deciduous nature of some of the trees that provide screening, there is variation in the screening that these trees provide any development due to the seasonal screening effect of the existing deciduous trees.

For each of the viewpoints, the following are outlined:

- Existing landscape character and amenity values within the current scene.
- Extent of visibility of the site and proposed development.

¹³ ‘Te Tangi a te Manu: Aotearoa New Zealand Landscape Assessment Guidelines’. Page 61.

- Extent of visibility of development anticipated by the proposal and permitted as part of the consented baseline.
- Assessment of the effects of the changes to the visual impact that will result from the implementation of the proposed development on landscape character and amenity values, taking into account development consented under RM200791.

The nature and degree of effects on visual amenity is described for each representative viewpoint, using a seven-point scale **Very Low – Low – Low-Moderate – Moderate – Moderate-High – High – Very High** according to the common dictionary meaning of these terms.

Viewers will typically be residents and seasonal visitors throughout the year. Public views of the site are limited due to the site's topography and location. Motorists may get oblique and filtered views when travelling down Lake Hayes-Arrowtown Road and from Ayr Ave (which is a private road).

The Arrowtown - Lake Hayes Road corridor is predominantly influenced by residential and urban development. This corridor is bookended to the north by the urban areas of Arrowtown and to the south by Amisfield and the rural lifestyle areas on Morven Hill. The more southern portions of the road near Lake Hayes are lined by the Low-Density Residential areas on its eastern edge and the rural living areas on its western edge. The part of the road between Amisfield and the site is complemented with occasional open views of Lake Hayes to the west.

The proposed development is not anticipated to be visible from Speargrass Flat Road. It is noted that viewers will be passing the site at around 80km, with the open pastoral landscape (typical of Speargrass Flat LCU 8) dominating the foreground views.



Figure 4: Viewpoint 1 - Looking west across the paddocks towards the Site.

Viewpoint 1

Viewpoint 1 is taken from Lake Hayes-Arrowtown Road, looking in a north-westerly direction approximately 400m from the Site. (*Refer to Sheet 9 of the GA*).

The audience at the viewpoint will primarily be persons travelling towards Arrowtown from the Lake Hayes area. This view is most likely to be a transient one experienced from a vehicle. It is also considered representative of a section of gradually rising road approximately 100m long, where there is potential to view the site when looking in a northwest direction.

The existing character of the scene is characterised by pastoral open space backed by rows and groupings of mature, exotic trees. The landscape is very aesthetic and typical of the Wakatipu Basin rural character, resulting in a high level of visual amenity value.

The south facing flanks of the Millbrook LCU 23 are visible in the background and the ONL of Coronet Peak and Brow Peak Mountain range is visible beyond the ridge. A limited amount of development is visible both north of the subject site and south towards the Speargrass Flats LCU 8.

The location of the consented building is substantially screened by a mixture of large evergreen and deciduous trees, to the extent that the existing haybarn that currently occupies the site, and the historic Ayrburn Farm buildings, are difficult to see from Arrowtown-Lake Hayes Road.

RM200791 established that the consented 500m² dwelling would 'not be discernible'. When viewed from the southeast, the scale of the consented building facade and the Haybarn venue building that is now proposed, is very similar. The difference therefore between the consented house and the proposed building relates to the length of the building which would not be discernible from this direction.

It is noted that the trees to be removed increase by five. These are however internally located within the tree copse seen in this view, and therefore are not seen. Obviously, those trees to be retained as per the existing consent lessen by this corresponding number. In addition, the height and materiality of the proposed building remain consistent with all the design constraints of the current consent. Further to that the mitigation planting imposed by RC200791 has been undertaken and this provides an additional 'vegetated layer' to the front of the existing trees.

This open relief will be maintained by the proposal and the proposed venue building will be well screened from this view by existing vegetation. Despite this land being more open, it is influenced by the residential areas of the NLHLP, those south of Hogans Gully Road, and those atop Christine's Hill and McEntyres Hill.

Visual Effects Summary

When compared to what has been consented, the application will only differ with respect to the removal of five additional trees, a modest increase in its size, and its use as a venue versus as a dwelling. The additional mitigation planting proposed with the application will ensure no proposed built form will be visible from this location. The visual effect will therefore be at most **very low**, if not **nil**.



Figure 5: Viewpoint 2 - Looking along the Avenue of Heritage Protected Trees towards the Site from Arrowtown - Lake Hayes Road

Viewpoint 2

Viewpoint 2 is taken from Arrowtown-Lake Hayes Road near to the end of the historic avenue of trees that provides access to Ayrburn Homestead. The view is looking west at approximately 250m from the proposed building site. (*Refer to Sheet 10 of the GA*).

The paddock as open space dominates this view with the established trees around the proposed RBP and the historic avenue reinforcing the open space. A small vineyard is currently being

established within the paddock. Residential development associated with Speargrass Flat Road is partially visible to the south.

While in this view the longer length of the eastern façade of the new Haybarn venue, would align with the Arrowtown – Lake Hayes Road, it would be difficult to discern. This is because of the existing tree cover, and therefore the screening that these provide remains very similar to the current consent. These establish a substantial screen which will be retained and that have already been enhanced through recent planting as required by RC200791, with the established outcome being to the make building in this location ‘not discernible’.

Visual Effects Summary

While the floor area of the proposed building has increased by 248m², views of the building from Arrowtown-Lake Hayes Road will be substantially screened from the outset and totally screened in time. The materiality and three-dimensional scale of the building will be similar.

The adverse effects related to the new application when compared to the effects anticipated by the existing consent would be at most **very low**, if not **nil**.



Figure 6: Viewpoint 3 - Looking from Arrowtown - Lake Hayes Road towards the Site

Viewpoint 3

Viewpoint 3 is taken while travelling south along Arrowtown-Lake Hayes Road approximately 435m from the proposed Haybarn venue building site. (*Refer to Sheet 11 of the GA*).

The existing scene comprises a foreground of undulating to flat pastoral land, surrounded by the avenue connected to the Ayrburn Farm buildings, and other framework plantings associated with the overall development within the wider landscape setting of Waterfall Park.

In the summer months when the trees are in full leaf, when looking from this direction, the proposed Haybarn venue will be totally screened from view. In winter when some of the avenue trees lose their leaves, some glimpses through the avenue may be possible. Such views would also reveal glimpses of the historic buildings associated with the Ayrburn Farm – which include an existing haybarn in a similar location to what is now proposed.

Visual Effects Summary

Proposed buildings, if temporarily visible, will be difficult to discern and will appear to be complementary to other historic buildings found in this general location. Therefore, if visible, the adverse effects will be **very low**, and when not visible the adverse effects will be **nil**.

Visual Effects of the Overflow Car Parking

The proposed overflow car parking, refer Sheet 7 of the GA for its location, is 'tucked away' within the wider site. Given its proposed location, the site topography and existing trees, it will not be able to be seen in any public views from beyond the site. Users of the private Ayr Ave may get a glimpse of it when travelling through the site. The extent of visibility will also be dependent on whether there are cars within the car park or not, bearing in mind it is for overflow parking only. Therefore, given that it will not be readily visible, the adverse effects will be **nil**.

Visual Effects of Lighting at Night

The proposed development will be adequately lit to provide a safe environment for users and guests at night. Some of the lighting emanating from the building at night may be intermittently visible from Arrowtown-Lake Hayes Road and in a location where there are currently no lights.

It should be noted however that the design of the building is such that east facing windows have been kept to a minimum. In addition, house lights associated with a 500m² domestic dwelling would have a similar effect. All lighting will be specified to meet the QLDC Southern Light standards.

The anticipated difference between the effect consented to and the effect created by the application will be **low**.

5.2 Assessment of Landscape Effects

"A landscape effect is a consequence of changes in a landscape's physical attributes on that landscape's values. Change is not an effect: landscapes change constantly. It is the implications of change on landscape values that is relevant¹⁴."

Any natural or physical activity has the potential to alter the character or values of a landscape. Change need not necessarily be adverse. Whether effects are adverse or not depends to a large extent on public expectation of what can be reasonably anticipated to occur in the landscape. Allied to this is the receiving environment in terms of its existing degree of naturalness/modification, patterns, scale, visibility, levels of public appreciation and to what degree these will change with the proposed development.

Effects on the Character & Values of WBRAZ – LCU 8

The character and values have been described in Section 4 of this report. Chapter 24 of the QLDC PDP describes the scenic and character and environmental values of the zone. Further to that, Schedule 24.8 in Chapter 24 of the QLDC PDP describes the scenic and environmental values of the Site as part of the wider Speargrass Flat setting. Given these qualities, it is required that any development maintain and/or enhance those values. The Schedule also describes the capacity of the LCU for future development.

¹⁴ Ibid. Page 61.

As stated earlier, the anticipated outcome of RM200791 granted for this site was for “*the erection of a future dwelling within a wooded area at the western end of Lot 3, with the balance of the lot comprising open pasture extending out to the frontage of Arrowtown-Lake Hayes Road. The curtilage would remain within the confines of the wooded area.*” Essentially this remains the anticipated outcome, albeit with a slightly larger building that is serving a different function.

Focusing on the consequences of the difference between the current application and that existing consent, the materiality of the proposed building and the building height are both fully consistent with the existing conditions of consent.

The building floor plan extends beyond the north-eastern corner of the consented RBP by a distance of approximately 7.5m along the eastern façade of the building (the façade most likely to have some visibility from Arrowtown-Lake Hayes Road when seen from a distance of around 250-300m. It is noted that currently the eastern façade of the existing haybarn measures approximately 25m in length. This building is very difficult to discern from the public road. It is also noted that the minor extension of the floor plan does not impact on the trees to be retained or removed. The prominent paddock that dominates the foreground of any view from Arrowtown-Lake Hayes Road, and the drama of the mountains that forms the skyline, remain totally unaffected.

The design of the Haybarn venue proposed to replace the existing haybarn is specifically intended to complement the historic buildings associated with the Ayrburn Farm cluster. Natural visually recessive materials have been proposed on the buildings and associated yard walls which will retain the recessive nature of the existing building.

The landscape plan that has been submitted with the application shows additional landscape development associated with the new Haybarn venue which will provide further amenity within the immediate grounds. There is no new planting proposed to the eastern side of the Haybarn venue as all necessary screening is via the existing woodland and the new trees required, and that have been planted, under RM200791.

Given the discrete nature of the difference between this application and the consented RM200791 development, the Haybarn venue has very limited potential to be viewed from the wider landscape. As a result, change that occurs on the Site is not likely to influence to any great degree the landscape character and values of the surrounding environment.

Ultimately, the proposed landscape treatment (*refer Haybarn Venue – Landscape Drawings, as well as Sheet 7 of the GA*) as discussed above, will result in additional amenity planting to the north and west of the proposed building and connecting pathways, the result of which will be additional trees as well as more detailed landscape treatment than exists at the minute. The resulting landscape of the application site will still appear as a treed copse from external views, but will appear more manicured with defined garden beds, specimen trees and areas of lawn and terracing within internal site views. Overall, the proposal will not adversely affect natural character to any greater extent than the consented RM200791 development.

Amenity will be derived through the high-quality building, existing treed landscape setting and landscape design that in turn will be maintained at a very high level. The attributes that contribute existing rural amenity - namely the open paddocks to the east of the proposed Haybarn Venue will remain.

The wider site and immediate receiving environment are in a state of flux, with new planting, the Mill Creek stabilisation and works being undertaken around the Ayrburn buildings. There is an expectation of change across the wider Waterfall Park site largely due to the recent consents and

work. The proposed overflow car parking will sit within this context too. It is considered that on balance the changes to the consented environment surrounding the Site will only result in at most a **very- low** adverse effect.

5.3 Summary of Visual Amenity and Landscape Effects

In summary, adverse effects of the proposed development will be mitigated by:

- The anticipated and accepted visual effects of a consented building;
- The similarity in the vertical scale of the proposed new building when compared to that consented;
- The compliance of the materiality;
- The substantial screening that will be provided by the trees that will be retained along with those already planted as required by RC200791;
- The distance that any viewer would be from the proposed Haybarn Venue: and.
- Additional planting that will render the proposed Haybarn Venue 'not discernible' in the short to medium term.

Overall, it is considered that the adverse impact of the proposal on landscape and visual amenity values will be **very low**.

5.4 Schedule 24.8 of Chapter 24 for Landscape Character Unit (LCU) 8 Speargrass Flat

The focus of the LCU's is to identify the landscape characteristics and visual amenity values to be maintained and enhanced, while identifying development absorption capacity and associated landscape and visual change.

Following a review of the key landscape characteristics and visual amenity values identified, along with an understanding of the potential issues, constraints and opportunities identified for LCU 8 it is considered adverse effects of the proposed development on these values will be reasonable and well managed.

While Schedule 24.8 identifies the capability of LCU 8 to absorb additional development as low, it is considered the proposed development is of a scale, and in a location, that satisfactorily maintains and enhances landscape character and visual amenity values of LCU 8, therefore avoiding inappropriate cumulative adverse effects on landscape values identified for the LCU.

Overall, it has previously been established that the Site has the potential to absorb development similar to what is now being proposed whilst maintaining the environmental characteristics and visual amenity values of the LCU. It is considered the proposed development satisfactorily maintains landscape character and visual amenity values, and the increase in the floor area of the proposed building is such that cumulative adverse effects on landscape values will not result.

6 Conclusion

The application is to establish a new commercial Haybarn venue in a location where a previous consent for a 801m² RBP and 500m² private dwelling was granted by RM200791 in May 2021.

In addition to the new building, it is also proposed to provide an area of overflow car parking to serve temporary events consented under RM211193. The carparks are to be located proximate to other similar consented development that will not be visible from the Arrowtown-Lake Hayes Road.

The important components of the wider landscape, the prominent paddock in the foreground, the tree cover that currently frames and emphasises the open space and views of the mountains that provide the iconic backdrop all remain unaffected.

The visual differences and therefore effects of the application when compared to effects that have been established for RM200791, the difference between them is considered to be very low.

The proposal will have a **very low** degree of adverse effects on the landscape values of the site and its receiving environment. Overall, it is considered that the proposal will be generally consistent with the provisions and expected outcomes sought by the PDP.



The Haybarn Venue
Graphic Attachment to Landscape Assessment Report

09 June 2023

Document Information

172

Contents

Project
The Haybarn Venue
Address
Ayrburn, Lakes Hayes-Arrowtown Road
Client
Ayrburn Precinct Ltd
Document
Graphic Attachment to Landscape Assessment Report
Status
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Revision
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Prepared By
Rough Milne Mitchell Landscape Architects Ltd
Project Number: 23076
Author: Rory Langbridge
Peer Reviewed: Tony Milne

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Context - Wakatipu Basin

Legend



Application Site



Scale 1:80,000 @ A3



Legend

 Application Site



Scale 1:80,000 @ A3

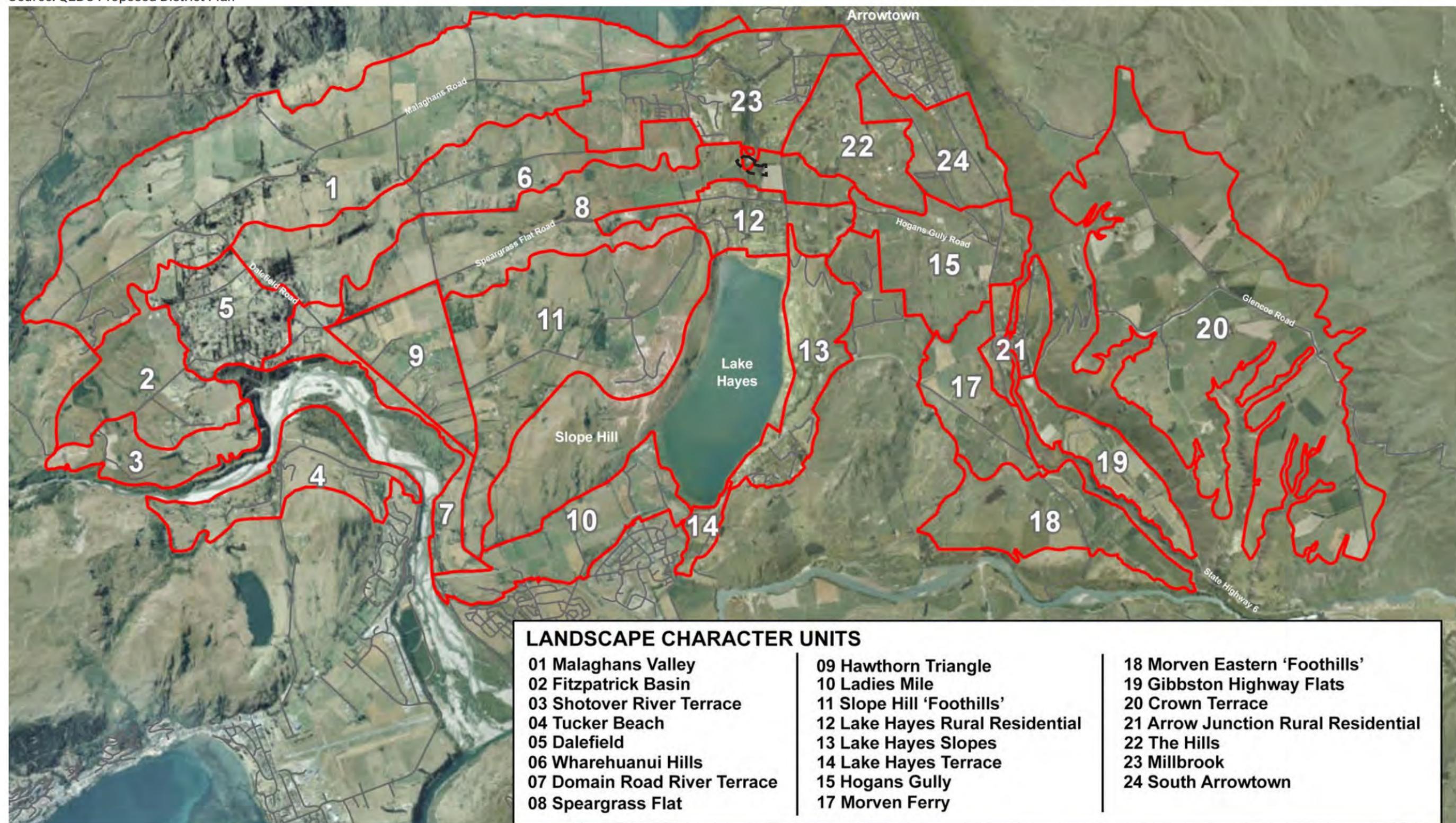


Planning Context - Landscape Character Units¹⁷⁵

Legend

■ ■ ■ Approximate Extent of Application Site

Source: QLDC Proposed District Plan

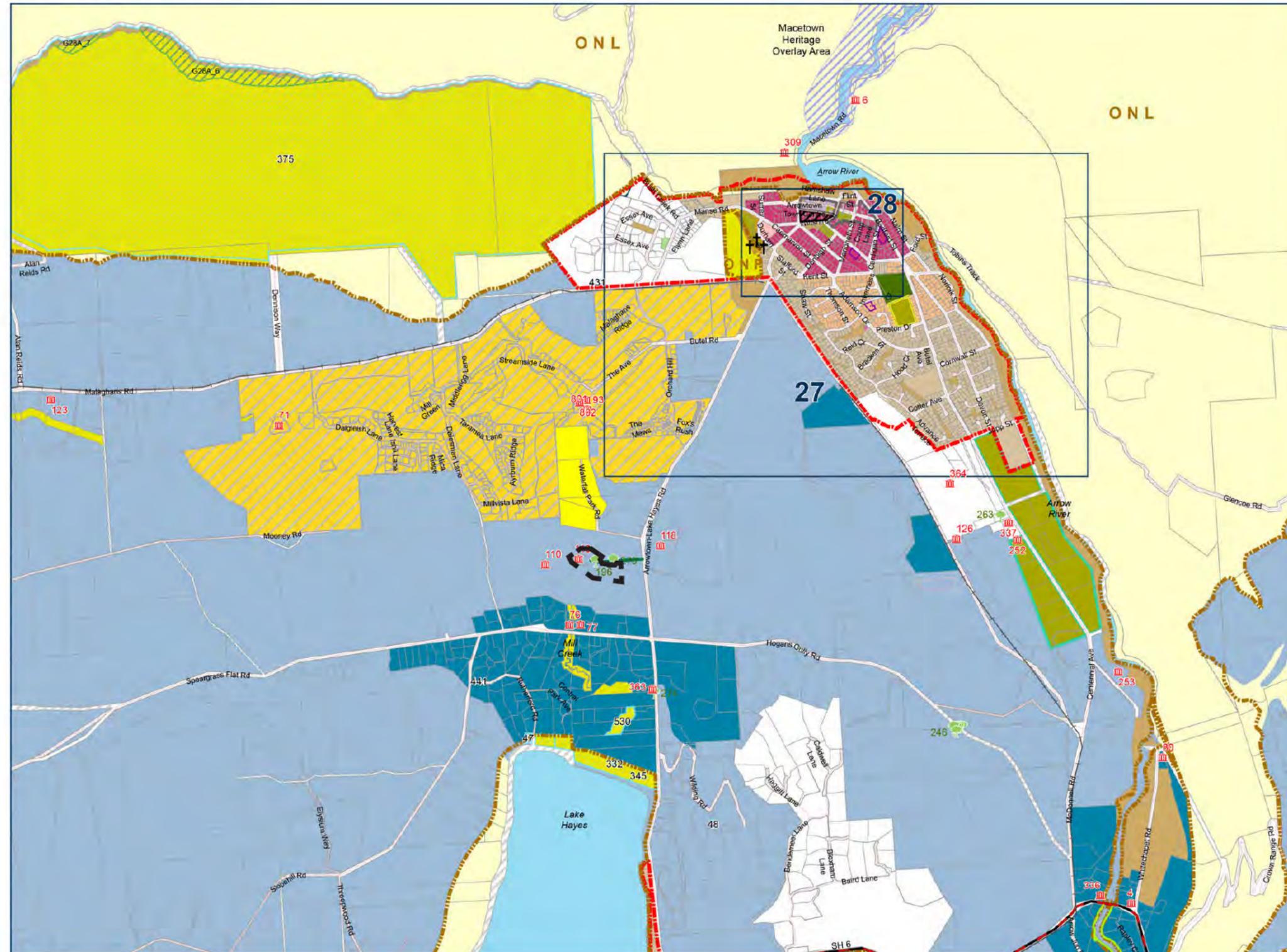


Planning Context - Proposed District Plan (PDP) ¹⁷⁶

Legend

■ ■ ■ Approximate Extent of Application Site

Source: QLDC Proposed District Plan



Legend

- † Open Cemetery
- Historic Heritage Features
- Protected Tree
- Protected Avenue of Trees/Other Vegetation
- Aurora Distribution Lines - For Information Only
- Roads
- State Highway
- Ridge/Escarpment Line
- Parcel/Road Boundary
- Landscape Classification (ONF, ONL, RCL)
- Urban Growth Boundary
- Heritage Overlay Area
- Significant Natural Area
- Unformed Roads
- Designated Areas
- Historic Heritage Precinct
- Heritage Protection Order
- Town Centre Transition Overlay
- Rural Industrial Sub-Zone
- Visitor
- Accommodation Sub-Zone
- Community Purpose - Golf Course
- Active Sports and Recreation
- Civic Spaces
- Community Purposes
- Informal Recreation
- Nature Conservation
- Wakatipu Basin Lifestyle Precinct
- Wakatipu Basin Rural Amenity Zone
- Arrowtown Town Centre
- Local Shopping Centre
- Residential Arrowtown Historic
- Medium Density Residential
- Lower Density Suburban Residential
- Rural
- Rural Lifestyle
- Water (zone Rural unless otherwise shown)
- Millbrook
- Waterfall Park

Application Site

Legend

..... Approximate Extent of Application Site

Source: QLDC Proposed District Plan



Viewpoint Photo Locations

Legend

	Application Site
	Parcel Lines
	Photo Location





Viewpoint Photograph 1: From Arrowtown - Lake Hayes Road looking west towards site.

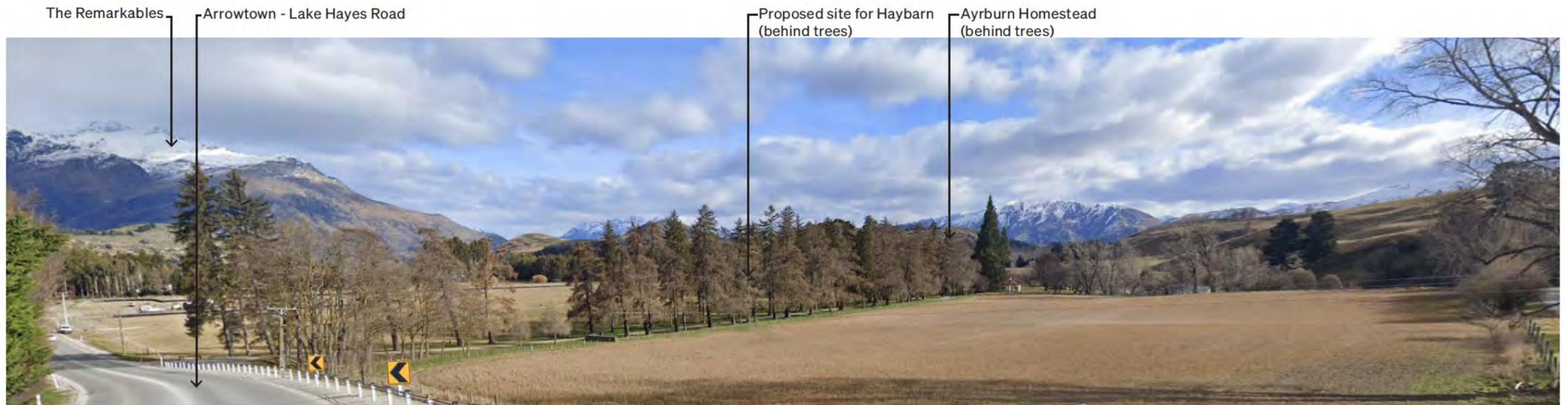
Photograph Information:

Date of Photography: 3 May 2023
Camera: Olympus OM-D E-M10 Mark II
Print Size: A3



Viewpoint Photograph 2: From Arrowtown - Lake Hayes Road looking north west towards site

Photograph Information:
Date of Photography: 3 May 2023
Camera: Olympus OM-D E-M10 Mark II
Print Size: A3



Viewpoint Photograph 3: From Arrowtown - Lake Hayes Road looking south west towards the site

Photograph Information:
Date of Photography: 16 June 2022
Camera: Olympus OM-D E-M10 Mark II
Print Size: A3

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LANDSCAPE ASSESSMENT

Peer Review Report

RM230425 AYRBURN PRECINCT LTD



5th December 2023

Prepared for Courtney Briggs, QLDC Planner,
Queenstown Lakes District Council.

Prepared by Richard Denney,
Landscape Architect, DLA.

DLA
Landscape

APPLICATION DETAILS

Application:	Landuse consent to establish an 887m ² events venue known as the 'Haybarn' on Lot 3 DP 540788, an overflow carpark and bus stops on Lot 4 DP 540788, and service access on Lot 2 DP 540788.
Address:	339 Arrowtown Lake Hayes Road, Whakatipu Basin.
Legal Description:	Lots 2, 3 and 4 DP 540788 and is 42.23 hectares in total area.
Operative District Plan (ODP):	Rural General Zone
Proposed District Plan (PDP):	Whakatipu Basin Rural Amenity Zone (WBRAZ) Landscape Character Units - <i>Speargrass Flat LCU 8</i> with a low capability to absorb additional development, and a small section within <i>Millbrook LCU 23</i> (east of Ayrburn Ave around carpark 2) with a moderate capability. PDP appeal – Waterfall Park Developments Ltd, Appeal ENV-2019-CHC-090, Topic 31 seeking plan change to a 'Ayrburn Zone'. Appeal is active.
Application Status:	Non-complying to undertake a commercial activity not provided for in table 24.1. Restricted discretionary for construction of a building for commercial activity, building coverage exceedance, 10m internal boundary setback breach, building height breach (chimney), earthworks exceeding 400m ³ and cut depth exceeding 2.4m depth.
QLDC Request:	Peer review landscape report.

PROPOSAL

1. A resource consent application has been received to:

Commercial building

- Construct a two-storey commercial building within the site of a consented residential building platform (RM200791). To contain a function hall, ceremony lounge area, kitchen, bar, office and storage areas, bathrooms, and dressing and day rooms for weddings, funerals, conferences, and other functions with a maximum occupancy 180 persons.
- The venue would be 6.5m in height above an undefined ground level, with a proposed turret and weathervane, and chimneys with a total area of 9.5m² breaching the 6.5m height control (and associated 1.5m height allowance by area). Building footprint would be 887m² in area including a 34m² yard building. Total floor area over two levels would be 1012m² in area.
- External materials and cladding would be:

Roof	Corrugate steel coloured <i>Flaxpod</i> a dark warm grey with a LRV ¹ of 7%, aged copper on the turret, bay windows.
Walls	Rustic vertical timber (undefined) Stone veneers – Gibbston schist Fascia – rustic timbers
Joinery	Black steel
Spouting	Copper
Other	Stone chimney, timber barn doors, wrought iron balustrade, yard building cladding to match venue roof, kitchen ducts on roof (undefined in colour etc).

Vehicle parking areas and access

- Public vehicle access via Ayr Avenue, with a pedestrian access to the venue from a proposed bus stop/drop off area south of the venue on Ayr Avenue.
- Service access would be the existing homestead accessway on Lot 2.
- Formation of a new overflow gravel carpark for 53 vehicles to the west of Car Park 1, referred to in this report as 'Car Park 4' to service temporary events consented by RM211193 (45 parks of stabilised grassed parking formation within Car Park 3 for overflow parking), and the existing Car Park 3 consented by RM21193 and RM220874 (gravel surface carpark gravel with 50 parks for overflow parking/ temporary events and 6 for the bakery) to be repurposed for the Haybarn venue. A net gain of additional 53 parks within Car Park 4 are proposed. Intending to allow 120 car parking spaces available at all times.
- A new connection from Car Park 3 onto Ayr Avenue to enable coaches and vehicles to circulate through a loop to enter and exit the carparking area.

Earthworks

- 3000m³ of topsoil stripped, 6500m³ of subsoil cut and 2000m³ of fill. Maximum cut depth of 5.5m and a fill depth of 1.5m. Total area of earthworks 1 hectare.



Proposed contours for proposed overflow parking area with a steep 1:2 batter cut into the slope (as submitted in the application).

¹ LRV - light reflectivity value is the percentage of light that is reflected from the selected 'colour' and does not represent light reflectance from the selected material which varies depending on paint finish, surface treatments, and the nature of the material.

Landscaping

- Removal of five existing trees from a protected woodland area (RM200791) for formation of service vehicle access.
- Construction of external yards, accessible and service vehicle parking and access, pedestrian path network, formal gardens and lawns, and formal structural framework of a grid exotic trees. Underplanting of exotic amenity woodland species, formal clipped hedges, lawns, and mass planting under existing woodland trees. External bollard lighting along pedestrian paths and service vehicle access areas.
- Earth mounds up to 1.5m high, with mixed native shrubs and grasses around the proposed overflow parking area, with formal rows of Plane trees within the parking area.
- Of note the proposed works would require amendments to the consented landscape plans for the site (RM211193), including parking areas with removal of consented tree planting. A variation to these plans is however not included in the application.

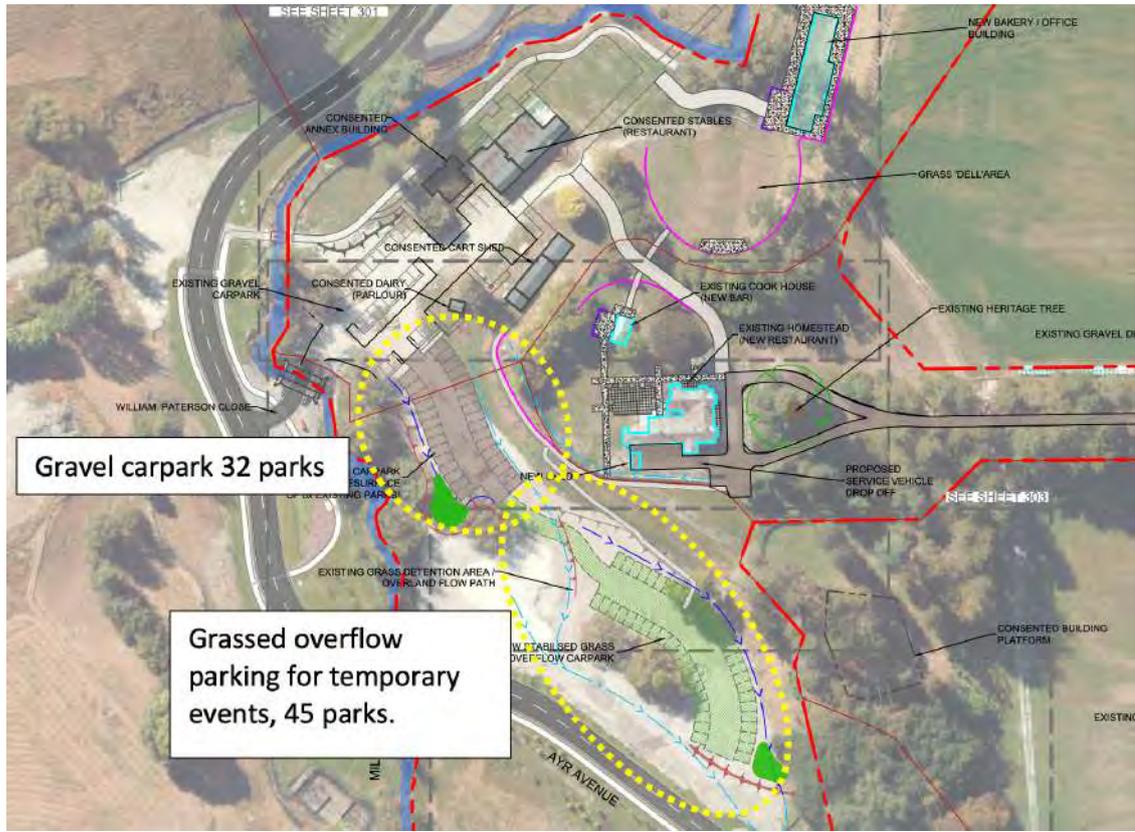
Commercial activity

- Haybarn Venue to be used as a function venue for weddings, funerals, conferences etc., with a maximum occupancy of 180 persons.
- A limit to hours of operation and frequency of events is not proposed.
- Controls on internal noise is proposed via conditions of consent volunteered by the applicant. In addition, a 2.4m high stone wall around the western courtyard has been added since the application lodged to assist in reducing noise levels.

BACKGROUND

2. The submitted AEE provides a detailed consent history. The consents of most relevance to landscape matters are as follows.
3. RM171280 and RM180584 in regard to the formation of Ayr Avenue, and associated landscaping in context of the subject site, and the hotel development within the adjacent Waterfall Park Resort Zone. Subsequent variations RM190278 to amend the consented landscape plan for RM180584.
4. RM200791 for a residential building platform and residential building within the subject site (Lot 3). Includes a consented:
 - *Woodland Management Plan* for the existing woodland around the consented building platform;
 - woodland tree replacement conditions;
 - an open space covenant within Lot 3 for the paddock (vines) along the Lake Hayes Arrowtown Road frontage;
 - controls on the residential curtilage area, fencing, lighting, vehicle gateways, and building design controls including - 500m² building coverage, 6.5m maximum building height above existing ground level excluding chimneys with an additional 1.5m allowance, and external building materials and colours control.
5. RM210591 for the use of two of the Ayrburn stone buildings for commercial use and extend an existing carparking for an additional six spaces.

- RM211193 for additions and alterations to historic heritage buildings to establish a restaurant, café/bakery and up to 12 events per year with associated earthworks and additional vehicle gravel parking area for 32 carparks and an overflow parking for 45 vehicles on stabilised grass for temporary events where required.



- The overflow grassed parking was later varied through RM220874 to a gravel carpark to be used on a daily basis. External lighting is included for both parking areas. Landscape plan below. A new connection to Ayr Road at the southern extent of the carpark is proposed under this application (RM230425).



8. RM220829 establishment of a building on Lots 2 and 4 for commercial activities and to vary conditions of consent for RM211193 to enable removal of a walnut tree.
9. RM220404 consent granted in part subject to conditions and refused in parts (includes Aye Avenue from the Arrowtown Lake Hayes Road to the crest of the creek eastern terrace) to plant trees, shrubs and grasses within Ayrburn Farm and Ayrburn Domain.
10. Environment Court Decision (2023) NZEnvC 97 (22 September 2023). Interim decision of the Environment Court:

- The portion of the site known as Ayrburn Domain to be rezoned Waterfall Park Zone, and the mapped boundaries of LCU23 and LCU8 in Schedule 24.8 to ensure those boundaries are aligned.
- Ayrburn Farm to remain WBRAZ, although the court reserves determination of whether this can include modifications identified, which include:
 - Moderate Landscape capacity rating for Ayrburn Farm 3.8ha in area bounded by the edge of Mill Creek valley down to the LCU12 boundary.
 - A structure plan based on WPDL Plan A1 subject to amendments (following page).

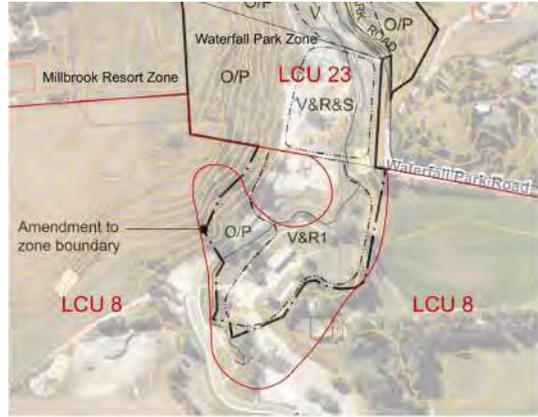
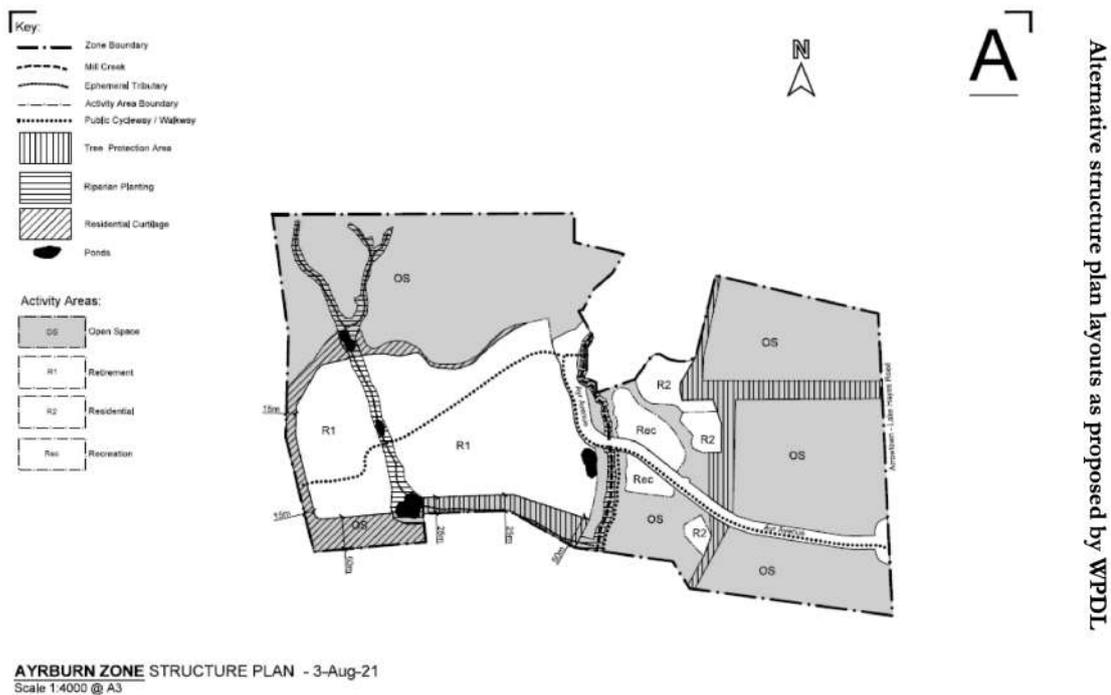


Figure 4 – LCU8/LCU 23 boundary in Sch 24.8

[17] As we understand it, the hook seeks to align LCU 8 and LCU 23 with zone boundaries in this locality. We direct that the LCU 23 boundaries be further realigned as a consequence of our decision to extend to Ayrburn Domain as will be included in WPZ as WPDL seeks.





LANDSCAPE AND SITE DESCRIPTION

11. The submitted landscape report provides a general description of the landscape context to the site which I generally concur. In regard to the description of the site in a 'domesticating' sense versus 'rural' character sense I have some differences on this and this is a key matter of importance to the landscape context and LCUs.
12. I agree that the surrounding rural landscape context is modified in a pastoral sense with areas of rural living along Speargrass Flat Road as anticipated by the rural living zoning in that area. The subject property in parts has become increasingly more 'park like' in appearance with recent development of manicured gardens, formal amenity trees, lawns, and a prominent formal entrance onto the Lake Hayes Arrowtown Road and amenity planting along Ayr Avenue. Recent planting of vineyards along the paddocks fronting along the Lake Hayes Arrowtown Road replace the open pastoral fields but maintain a rural open space buffer to the more intensive building and commercial development alongside the upper Mill Creek and the homestead building.
13. The Millbrook LCU 23 has a resort park landscape amenity with a greater presence of built forms as expected within the Millbrook and Waterfall Park resort zones. LCU 8 Speargrass is a more traditional pastoral landscape of the Whakatipu Basin, with open fields, large mature farm trees and few farm buildings.
14. There is tension between the manicured park like amenity that is developing within the subject property as part of development originally centred within the Waterfall Park Resort Zone and a historical traditional farming context with open fields, large mature trees and heritage farm buildings. Recent consents have enabled incremental accumulation and concentration of commercial development around the farm homestead and farm buildings with an enhanced domestic ornamental landscape amenity aligned to the Millbrook aesthetic rather than the naturalistic rustic creek side farming landscape of the original homestead and farm outbuildings. Ayr Avenue presents an urban parklike aesthetic with a wide access road, concrete kerbs, concrete footpath, mown lawn verges and amenity planting. The parking provision around the fringe of the heritage site has incrementally migrated down the creek gully and flats with each subsequent consent. Parking has advanced from grassed overflow parking to formalised gravel marked bay

parking. An extensive belt of car parking is now consented along the southern and western fringe of the building development within the rural creek side open space.

15. The changing landscape is blurring the definition between zones and LCUs, with the more manicured landscape attributes of LCU 22 Millbrook carrying through into the more rustic rural LCU8 Speargrass. This is not to say parts of the LCU8 Speargrass landscape within the subject site are unattractive within the landscaped garden amenity sense but they are less of a rural pastoral character. The site within LCU8 Speargrass however retains a prominent rural character and a rural spatial quality.
16. The changing landscape character is relevant to this application in regard to cumulative effects, the values of the relevant LCUs to be maintained or enhanced, and thresholds of landscape capability to absorb additional development within LCU8 Speargrass, and the wider WBRAZ.
17. The historic context is of early pastoral/arable farming of the basin with the cluster of heritage farm buildings forming the nucleus of recent commercial development outside of the Waterfall Park Zone (but to be extended over this area via the Environment Court's decision).
18. I agree with the landscape report that the Haybarn venue site is generally a contained site, but not by topography, but by the existing mature woodland. The wooded context is a primary supporting characteristic of the site that supports capacity to absorb a residential building platform as consented by RM200791. The woodland is protected by conditions of consent of RM200791, as is the open space frontage between the woodland and the Lake Hayes Arrowtown Road which has recently been planted in grape vines. An application is also currently lodged with council (RM230163) for an amenity type pond for frost fighting purposes within the open space. The pond is shown on page 1 of the landscape report, but does not form part of the consented landscape context of the proposed development at the time of writing.
19. The report provides an analysis of the landscape values of the receiving environment, which I generally agree with. The analysis appears independent of the values as listed in the PDP for Speargrass Flat LCU. Given the high degree of recent change the site-specific analysis of landscape values provided is useful and can be applied in context of the LCU. The WBRAZ assessment matters are however directed to the landscape values listed within *Landscape Character Units - Schedule 24.8* within the PDP. The site is not an entity separated from the LCU and I consider the LCU scheduled values remain relevant. I include the following values from the LCU8 Schedule 24.8 to be considered within the assessment.

Physical

- Open pastoral flats.
- Watercourse and overland flow paths draining to Lake Waiwhakaata (Hayes).
- Distinct hill face escarpment to north side of valley and provides a strong sense of containment.
- Predominantly pastoral.

Perception

- Relatively open character, highly visible from the public road network and elevated hills.
- Key views from Speargrass Flat Road, cycle trail and Lake Hayes Arrowtown Road.
- Hillslopes and escarpment face to the north and south display a reasonable high degree of complexity from landform and vegetation patterns, and the valley floor is relatively lower complexity due to open flat nature.
- Impression of coherence due to bold legible valley landform pattern, with predominately open pastoral character of the landform and vegetation patterns.

- Reasonable degree of naturalness as a consequence of relatively limited level of built development evident.
- Predominately working rural landscape character with scattered relatively subservient rural residential development in places.
- Rural breathing space between rural living zones.
- Absence of robust edge to Lake Hayes Rural Residential Zone LCU make Speargrass Flat vulnerable to development creep. Open character makes it sensitive to landscape change.
- Spacious and open outlook in views from the Queenstown Trail and Arrowtown Lake Hayes Road including southbound views as descending Christine's Hill.
- Building integrated with landforms and planting.
- Sense of openness and speciousness as a foil to the more intensively developed rural residential areas nearby.

Associative

- Key route of Lake Hayes Arrowtown Road and Speargrass Flat passes through the LCU and presents a variety of views that are associated with the basin and Arrowtown rural fringe landscape.
- Heritage homestead and side farm buildings.
- Queenstown Trail passes through the site from Millbrook to Lake Waiwhakaata.
- Part of the Lake Waiwhakaata catchment with associated land use effects on lake water quality.

Capability to absorb additional development for Speargrass Flat LCU8 is LOW.

20. The Millbrook LCU23 differs in that the landscape values are more aligned with the underlying zoning and resort development of that LCU. The urban parkland character and landscape coherence are landscape values identified to be maintained and enhanced. Capability to absorb additional development for the Millbrook LCU is moderate.
21. The difference between the LCUs I consider to be a primary matter of consideration as they are largely located in differing zones and differing established landscape contexts with differing landscape values. The development to date within the subject property is generally aligned towards the Millbrook LCU characteristics with a high degree of landscape amenity and shifting away from the rural character of the traditional farming and arable landscape of the valley floor.

ASSESSMENT REVIEW

22. The landscape report sets out the methodology used and is consistent with general best practice. I note however that the report refers a comparative scale of degree of effects in figure from Te Tangi a te Manu (July 2022) which is inconsistent with the actual scale in the guidelines in regard to minor effects. The guidelines place 'low' effects as straddling less than minor and minor, rather than minor as noted in the landscape report. I am aware that this threshold had some changes prior to the final issue of the Te Tangi a te Manu in July 2022 and this may be a reference to an earlier version.
23. For this report I will follow the landscape assessment guidelines within *Te Tangi a te Manu Aotearoa*², and apply the scale of effects shown on the lower line below, with correlating reference to RMA effects terms above:

² 'Te Tangi a te Manu : Aotearoa New Zealand Landscape Assessment Guidelines', Tuia Pito Ora, New Zealand Institute of Landscape Architects, July 2022.

			SIGNIFICANT			
LESS THAN MINOR	MINOR		MORE THAN MINOR			
VERY LOW	LOW	LOW-MOD	MODERATE	MOD-HIGH	HIGH	VERY HIGH

24. The report provides a brief description of the proposal and those landscape aspects of most relevance to which I generally concur with. I note however that the proposal also includes changes to the existing consented landscaping, and a commercial activity that are aspects to also be considered in an assessment. There are also some minor changes to the application since lodged, with the inclusion of 2.4m high stone wall to the west of the Haybarn building, and mounding and landscaping around the overflow carpark 4.
25. The description of the proposed 'Haybarn' venue replacing an existing haybarn is correct although I consider not relevant as the design, scale and purpose of these two buildings differs substantially. One is an open sided farm haybarn and a relatively inert farm structure and the other is a larger 'barn' themed building for the purposes of a commercial venue.
26. The report provides a clear outline of the PDP chapters relevant to the application, although I note chapter 25 Earthworks has not been included and is relevant.
27. The recent Environment Court decision, *Dec No. 2023 NZEnvC 91*, dated 12 May 2023, directs QLDC to amend the proposed District Plan (PDP) in regard to the Whakatipu Basin Rural Amenity Zone (WBRAZ). As the submitted landscape report predates this decision this is not accounted for in the report. The following report will review in the context of the amended chapters of the PDP as per the court's decision. As the LCU is defined as having a 'low' capacity to accommodate subdivision and development, the proposal is to be assessed against the landscape character and amenity values of the LCU as well as the Whakatipu Basin as a whole (24.1 Zone purpose, Mar 2023).
28. The assessment of landscape and visual effects within the landscape report starts with identification of potential issues including effects on Waterfall Park. Waterfall Park is not part of the subject site and within in its own resort zone and LCU, and although of consideration the key issues lie with effects on the Speargrass Flat LCU8.
29. I agree with the report that the development is to be considered in context of the baseline consented by RM200791, but also of all consents to date including consented landscape plans etc., which include several landscape mitigation measures that are to be maintained.

VISIBILITY AND VISUAL EFFECTS

30. The report provides clear explanation and definition of the visual effects assessment. As noted in regard to the venue building, the anticipated residential building development and activity is taken into consideration.
31. There is general agreement that the existing woodland provides a high degree of visual containment to the site as viewed from the Lake Hayes Arrowtown Road. This doesn't change a great deal from that consented by RM200791. I consider the trees proposed to be removed from the woodland be reinstated into the woodland to maintain the longevity and form of the woodland as part of the mitigating context, and to be consistent with consent conditions of RM200791. I recommend replacement trees be of large grade

(3m plus and 30mm calliper) and of species selected from the Woodland Management Plan.

32. A visual assessment is not made from private viewpoints, but there are nearby landowners with views towards the site that are to be considered and effects assessed.
33. I disagree with the landscape report's description that the Arrowtown – Lake Hayes Road corridor is predominantly influenced by residential and urban development. The landscape is clearly predominantly influenced by a rural amenity character, and not by urban or residential, although these elements are evident, they are not prominent. I consider the assessment places a disproportionate emphasis on the presence of nearby residential dwellings within the landscape as having an influence above the open rural characteristics. The photos within the visual assessment part of the report (pages 15 to 17) clearly demonstrate a prominent rural open character in views.
34. The report provides a visual effects summary of the hay barn venue, but follows with a separate additional visual assessment of the overflow carpark and night lighting rather than including these (and the other parts and activity that should have been included) within the main visual assessment. I consider the report has focused on the visibility of the hay barn venue building rather than the visual effects of proposal overall.
35. I however agree with the report there are several landscape attributes and consented landscape outcomes that support the visual integration of the proposal into the landscape as follows:
 - The consented residential building platform enabling an anticipated 500m² residential building with a domestic curtilage area that forms part of the consented landscape context of the Haybarn venue building.
 - The consent for the building platform was supported by its woodland context that provides high capacity to visually absorb residential development with limited presence in the surrounding landscape. The woodland context would perform the same function for the larger hay barn venue building, subject to maintaining its density, health and large-scale rural trees, which is recommended through conditions of consent and the Woodland Management Plan.
 - The majority of the large remaining trees throughout the site and supporting tree planting would maintain a dominance of trees as a backdrop, a larger scale vegetated context to built form, and a degree of treed landscape cohesion across the site (although this has been degraded by recent ornamental and domestic scale planting). This assists in visually absorbing built form and activity changes in the landscape.
 - The consented retention of open space via vineyards alongside Lake Hayes Arrowtown Road maintains a rural foreground to views from the road towards the woodland.
 - The natural topography of the creek valley and gully restricts that part of the site from public view from formed public roads, and private views are localised.

and differ in regard to the following:

- The hay barn venue building would be larger than an anticipated dwelling at the site, and from observation would be partially visible from the Lake Hayes Arrowtown Road. Visibility is likely to reduce as recent planting on the eastern edge of the woodland matures within the next three to five years.

- I consider the nearby residential development does not have the high degree of influence on views from Lake Hayes Arrowtown Road as suggested in the landscape report. The primary view is across vineyards to a mature woodland that defines a rural view from the road. This would not change to a substantive degree with the proposal subject to maintaining and sustaining the woodland.
 - The hay barn venue courtyard stone wall and Car Park 4 landscaping were not assessed in the landscape report as they are recent additions to the proposal. Carpark 4 would be effectively screened from public and private views with very little discernible effect on the views. The addition of a 2.4m stone wall to the west of the hay barn building would screen the ground level activity and lights of the courtyard area from private views to the south and west.
 - The proposed 'drop off' area to the hay barn venue on Ayr Avenue and the carpark exit forming a Car Park 3 loop road would add to activity and lights in views. Adverse effects would be minimal except in regard to vehicle lights that in the evening may swing lights from turning vehicles towards nearby houses off Speargrass Flat Road. This would be more of a nuisance effect than effect on views. Recent tree planting opposite the new junction would likely reduce car light effects on neighbours as trees mature. I recommend a review clause to monitor lighting effects from vehicles turning for the first year of the loop road being operational.
36. In general, I disagree with the visual effects summary on several points, although I end up with a similar conclusion of low or less adverse visual effects. This is due to amendments made to the application since the landscape report was written, the recent Environment Court's interim decision (NZEVC 97 22 September 2023), and the mitigating value of the established treed context of the site. I recommend the identification and protection of this mature established framework of trees for the proposed development, including the large willows by Carpark 4, as a mitigating context.

ASSESSMENT OF LANDSCAPE EFFECTS

37. I agree with the report on the following:
- The landscape context for the development would not change substantially, with open space retained alongside the Lake Hayes Arrowtown Road, retention of the mature woodland a local feature of note, and consented commercial development around the core area of the historic farm buildings and farm homestead.
- and differ on the following:
- The proposed haybarn building and activity are not consistent with existing conditions of consent (RM200791). The proposed building is larger and different in activity. This results in changes to the surrounding landscape to accommodate the proposed increase in scale of built form and activity otherwise anticipated for the consented building platform. There is a proposed displacement and increase in parking areas, a new overflow parking area, increased activity on site, including vehicle movements day and night, and noise and lighting at the venue that would be beyond that reasonably expected for a rural dwelling.
 - The additional amenity planting, courtyard stone wall, parking areas, path network, signs, lighting and general increase in activity would be of a commercial nature. I consider it would not enhance the landscape values of LCU 8 Speargrass. Collectively the proposal would contribute to an increasingly manicured park garden amenity, and further erode the 'natural' and 'working rural landscape' attributes of LCU8. Whilst this is anticipated in LCU23 Millbrook, the proposed encroachment of LCU23 elements into LCU8 further softens the boundary between the two. Adverse effects on landscape character would however be incremental rather than abrupt. I

disagree with the landscape report that this level of change would not be above that anticipated by the residential building platform.

- I consider adverse effects on landscape character to be low-moderate with the incremental erosion of the landscape values within LCU8.

PROPOSED DISTRICT PLAN

24 Whakatipu Basin Rural Amenity Zone (Sept 2023)

38. The landscape report provides a summary response to the assessment matters and concludes the proposal would:
- have adverse effects on the landscape values of LCU8 that would be reasonable and well managed;
 - the scale and location would satisfactorily maintain and enhance landscape character and visual amenity values of LCU8;
 - and therefore, avoid inappropriate cumulative effects.
39. I agree that the scale of proposed development in the context of:
- existing consented development at this site;
 - the direction set by the Environment Court that extends LCU 23 and the Waterfall Park Resort zone further down the creek corridor, and investigation of a modified WBRAZ within the property with a defined structure plan that consolidates areas of development, open space and tree protection;
 - and within an existing established treed context;

would be within a localised landscape context with some ability to absorb the development.

40. In response to the assessment matters of Chapter 24, I note the following:

24.7.5 New buildings and landscape character

41. The proposed building would be larger, with height breaches, but the woodland context has an ability to visually absorb the building into the LCU with low adverse visual effects at most.
42. Existing conditions RM200791 remain relevant to this application in regard to:
- sustaining the woodland as mitigating context, including the ongoing replacement of trees removed;
 - the ongoing protection of the rural open space alongside the Lake Hayes Arrowtown Road;
 - maintaining and defining a curtilage area around the building to contain domestic elements within the woodland context and to avoid spread of domestic elements associated with the building/activity into the rural open space areas;
 - the standard rural design controls regarding lighting etc.

24.7.7 Non-residential activities

43. The proposed activity would be an extension of the nature of commercial activities consented within the Waterfall Park Zone, and adjacent cluster of heritage farm buildings. I consider the activity in general to be less compatible with the rural values of LCU8, but the hay barn venue location offers a localised context with some ability to absorb the proposed activity immediately associated with the building in a landscape sense.

44. Noise effects from the activity, including from within hay barn venue, traffic and people movement, on neighbours, is a matter for the relevant noise experts. Noise that is not of a 'working' rural landscape may however affect the experience of the rural landscape. Given there is already a degree of existing background noise from road traffic, a consented level of noise from adjacent commercial development within the subjected property, and the consented residential building platform at the haybarn site with a degree of anticipated residential noise, the overall change or increase of noise not of a working rural landscape is expected to be relatively small. The addition of a 2.4m high stone wall at the western side of haybarn venue building, and low earth bund around Car Park 4 would also assist in reducing and containing noise, and also light levels.
45. There would be an adverse cumulative effect on the surrounding more open context outside the hay barn woodland site with increased vehicle and parking activity, drop off and pick up, and lighting. The proposed overflow parking area is perhaps one of the more sensitive areas extending into the fringe of the more publicly and privately visible open pastoral areas of the LCU8. The amended landscape plan however has been amended to offer a greater degree of containment and integration of the parking area with planting and earth mounding. I recommend that the large willows adjacent to the carpark site are identified to be retained as these maintain a dominance of a large rural trees in context of the parking area.

25 Earthworks

25.8.3 Landscape and visual amenity values

46. Earthworks within the woodland would be minimal but the health and stability of trees are potentially at risk. The ongoing health and sustaining the landscape and mitigating values of the woodland I consider to be essential to this application. I rely on the information of the submitted tree assessment, the submitted woodland management plan (1 August 2023) and an onsite meeting with the applicant's arborist. I understand a methodology will be in place to ensure proposed earthworks within the drip line of retained/protected trees within the woodland to avoid affecting the health of trees. The management plan recommends a perimeter fence around the woodland to protect the woodland from the surrounding site, but does not provide measures for earthworks and construction activity within the woodland which is a priority given the larger scale of building and landscaping proposed. I consider the 'works site' within the woodland needs to be defined and fenced to ensure construction works, material storage, vehicle parking, movements, etc., typical of construction sites avoids areas of tree roots. I recommend that the woodland management plan is amended to demonstrate that a works site within the woodland will be clearly defined, fenced and maintained for the duration of works. I recommend all fenced areas are inspected and certified by council prior to construction works beginning on site.
47. Car Park 4 has more substantive proposed earthworks. The proposed cut into the terrace would be pronounced and I consider unsympathetic to the natural topography but would be contained to a small area. Proposed planting would soften the cut face and I recommend that the large willow is retained in context to the earthworks, and that the main cut face is re-grassed to match the surrounding slope to integrate it into the surrounding context. The location I consider borderline in terms of starting to impact on the more open field and slope that forms part of the rural outlook and character of LCU8. Subject to the above I consider however that it can be mitigated within minimal impact. Adverse effects on the visual amenity would be low-moderate initially but once re-grassed, and planted as proposed adverse effects would reduce to low.

CONCLUSION

48. The submitted landscape report provides a clear landscape analysis and landscape assessment that follows best practice and has been tailored to the scale of development proposed. Overall, from my observations and understanding of the application, and considering recent changes to the application, I reach a similar scale of effects to that in the report. Despite this I differ to several of the landscape analysis and assessment determinations made in the report. I consider the existing and proposed encroaching resort type amenity displacing the working rural landscape character, and the resulting adverse effects on landscape values of LCU 8 Speargrass are very relevant to the application.
49. The proposal relies heavily on the woodland context to absorb the haybarn development, and I agree that the woodland is an essential and valued landscape attribute for this application and LCU8. Subject to ensuring its ongoing protection of scale, form and mature presence in the landscape it would visually provide an adequate level of 'natural' containment to the haybarn venue site. This is further supported by a proposed schist wall to the west of the building.
50. There would be wider spin off 'cumulative' effects from the haybarn venue, with the addition of a proposed overflow parking area to the west of the site, additional general vehicle and people activity within the site, and additional noise associated with a commercial activity. The incremental change is however relatively small given the consented and anticipated context, but would incur a small adverse cumulative effect on LCU 8 character.
51. The landscape report has determined adverse effects on landscape values of the site and landscape to be very low. I consider effects to be greater, at low, once works are completed and subject to mitigation planting establishing and the ongoing retention of a healthy mature woodland. The proposal I consider has recognised the value of the woodland as supporting context to integrate the haybarn venue into the landscape, but I also consider the mitigating context of the woodland is not unlimited and is vulnerable to degradation, and there are some spill over effects of the proposal in the surrounding context. Subject to the conditions below I consider adverse effects can be adequately mitigated and managed within the context of landscape character units, but is increasingly marginal in context of LCU 8 Speargrass.

RECOMMENDED CONDITIONS

52. ***Should consent be granted I recommend the following conditions of consent.***

Landscape

- i. The landscape plan set submitted with the application as, *Haybarn Venue, Landscape Drawings*, (drawings dated 13th November) are to be amended and resubmitted to council for certification prior to works beginning on site. The plans shall be amended to achieve the following:
- To identify a commercial curtilage area boundary on the plan around the Haybarn venue building to define the extent of activities associated with the building including outdoor seating areas, service storage areas, amenity gardens etc.
 - To show the location and species of all trees to be removed from the woodland, including wilding species, and to show the replacement trees by species and location. All replacement trees location and species to be shown on the landscape plan and the planting schedule. Replacement trees must be of large grade (a minimum 3m height and 80mm calliper) and be of the woodland replacement

species identified within the Woodland Management Plan (council certified under RM230425).

- To show the existing two large mature willows east to northeast of Car Park 4 (overflow parking) on the *Proposed Overflow Carpark Lighting and Surface Treatment Plan* to be retained, and on the same plan the pale green shaded area as re-grassed is pastoral grasses to match surrounding paddock.
 - To amend the planting schedules in the plans to reflect the planting shown on the plans (appears to include plants in the schedule such as coastal plants, not shown on the plan), and the amendments to the plans as noted above.
 - To define and label an 'open space area' between the woodland area eastern boundary and the Lake Hayes Arrowtown Road boundary within Lot 3 DP 540788.
- ii. All trees and shrubs, grassed areas and all native species as shown on the council certified landscape plan shall be fully implemented within 12 months from the completion of the building and thereafter be maintained and irrigated in accordance with the plan. All existing vegetation as shown on the plans shall be retained and maintained as per the plan. If any plant or tree shall die or become diseased it shall be replaced within 12 months as per the landscape plan. All existing trees within the woodland shall be maintained as per the council certified Woodland Management Plan (certified under RM230425). All other existing trees, shrubs, and hedges shall be maintained as per the plan and if requiring replacement shall be no less than a minimum 3m height and 30mm calliper for all trees, PB8 and 1m height for all shrubs and hedges. All existing evergreen trees shown on the certified landscape plan and Woodland Management Plan if requiring replacement must be replaced with an evergreen species.
- iii. The woodland vegetation must retain visual screening of the Haybarn venue building and associated fences, side buildings, service area and parking, and structures as viewed from the Lake Hayes Arrowtown Road and private properties to the south of the woodland once existing trees and planting has reached above the height of the building (expected to be achieved within three years of granting consent).
- iv. At least 15 working days prior to any works commencing on site, the Consent Holder shall resubmit an amended *Woodland Management Plan* (WMP) to Council for certification. The WMP is to demonstrate:
- How the woodland area surrounding the building is to be managed on an ongoing basis to ensure the health and safety of users of the Haybarn venue building, and the ongoing screening of the building from views along the Lake Hayes Arrowtown Road and private dwellings south of the woodland.
 - To ensure the trees within the woodland are maintained to sustain the large collective scale and presence of the existing mature woodland rural trees as a context for the development and a feature in the local landscape, and must ensure that woodland is managed with replacement of trees only where absolutely necessary for hazard and wilding tree management.
 - The 'works site area' for all construction works for the access drive, hay barn venue building works and landscaping works within the woodland must be defined on a plan, and identified to be fenced prior to construction works beginning. The works site area is anticipated to be a similar area to the curtilage area defined by condition i) above. The fenced area is to ensure construction works, material storage, vehicle and machinery parking, temporary buildings, worker activity etc., is contained to a defined area to minimise damage to tree roots. The defined works

site within the woodland will be clearly defined, fenced and maintained for the duration of works.

- To remove point i), ii) iii) and vi) from *Tree removal and Replacement* paragraph for 'trees will only be removed if' as tree removal only applies to health and safety reasons and/or if the tree is a wilding species. Points i), ii) , iii) and vi) to move down a paragraph and to only apply to those trees required to be removed as per the above paragraph, and to be replaced as per i) ii) iii) and vi).
- v. The existing woodland that contains the Haybarn Venue building shall be maintained and managed in accordance with the council certified *Woodland Management Plan* (certified by RM230425). Any tree requiring replacement shall be carried out within 12 months of removal of the tree to be replaced.
 - vi. Any works carried out within the dripline of the woodland trees as defined within the approved landscape plan and council certified woodland management plan shall be carried out in accordance with the measures as defined within the management plan.
 - vii. The works site area within the woodland as defined in the council certified *Woodland Management Plan* (certified by RM230425) must be fenced with temporary security fencing no less than 1.5m in height and securely fixed to exclude any access beyond such areas and shall be installed prior to works beginning on site as per the council's certified *Woodland Management Plan (RM230425)*. The works site area fenced areas, and all other recommendations for site preparation works to protect trees within the woodland are to be inspected and certified by council prior to construction works beginning on site.
 - viii. Any external lighting shall be located within the Haybarn Venue curtilage area as defined on the certified landscape plan (except lighting shown on the council certification landscape plan for parking areas and footpaths). All lighting shall be downlighting only and shall not create light spill beyond the boundary of the property. External lighting shall not be used to accentuate or highlight built form as viewed from beyond the property. Lighting shall not be used on the access drive or at the vehicle entrance.
 - ix. All exterior lighting fixed to the Haybarn venue building shall be fixed no higher than 1.5m above finished ground level and be:
 - Low intensity, indirect light sources are to be used for all exterior lighting applications.
 - External light sources are to be incandescent, halogen or other white light, not sodium vapour or other light.
 - No exterior lighting is to be installed outside of the curtilage area and driveway.
 - x. All areas of exposed earth shall be re-sown in grass, planted as per the certified landscape plans, or covered in leaf litter within the woodland area within three months of completion of earthworks.
 - xi. All exterior surfaces for the Haybarn Venue building, fences, walls and structures must be coloured in the range of browns, greens or greys with a light reflectance value (LRV) not greater than 20% for the roof, and no greater than 30% for all other exterior surfaces including timber cladding, but excludes soffits, windows and skylights. Includes cladding and built landscaping that cannot be measured by way of light reflectance value but is deemed by the Council to be suitably recessive and have the same effect as achieving a LRV of 30% or less. All materials and colours for the Haybarn Venue building and associated fencing and walls shall be submitted to council for certification prior to construction. Samples of materials may be requested by council for certification.

- xii. All commercial activities associated with the Haybarn venue building, including but not limited to amenity garden landscaping, lawns, outdoor seating areas, pergolas, external lighting, tables, garden furniture, marquees, event decorations, sculptures etc., shall be confined to the Haybarn Venue curtilage area as shown on the council certified landscape plan.
- vii. All existing wilding tree species as shown on the certified landscape and tree survey plans within the property are not protected by this consent and may be removed at any time. Trees removed (excluding those trees identified to be removed on the approved survey plans) shall be replaced in accordance with the council certified Woodland Management Plan and shall exclude all wilding species. Wilding species are defined as Radiata pine (*Pinus radiata*); Contorta or lodgepole pine (*Pinus contorta*); Scots pine (*Pinus sylestris sylvestris*); Douglas fir (*Pseudotsuga menziesii*); European larch (*Larix decidua*); Corsican pine (*Pinus nigra*); Bishops pine (*Pinus muricate*); Ponderosa pine (*Pinus Ponderosa*); Mountain pine (*Pinus mugo uncinata*); Dwarf Mountain pine (*Pinus mugo*); Maritime pine (*Pinus pinaster*); Sycamore (*Acer pseudoplatanus*); Hawthorn (*Crataegus monogyna*); Boxthorn (*Lycium ferocissimum*); Buddleia (*Buddleja davidii*); Grey willow (*Salix cinereal*); Crack willow (*Salix fragilis*); Cotoneaster (*Simonsii*); Rowan (*Sorbus aucuparia*); and Spanish heath (*Erica lusitanica*).
- vii. An open space covenant or similar shall be registered on Lot 3 DP 540788 by the landowner with council for an 'open space area' between the woodland area eastern boundary and the Lake Hayes Arrowtown Road boundary within Lot 3 to ensure the open space area is:
- Managed as open pastoral land and/or seasonally cut meadow to ensure the open pastoral character of field is retained. The area shall not be maintained as a regularly mown lawn.
 - To exclude storage of vehicles such as cars, caravans, boats, trailers etc., and the storage of containers, piled earth, building materials etc., to ensure the area is maintained as an open space free of clutter.
 - Exclude any lineal planting along the boundaries of the open space such as hedges and shelterbelts, and exclude any tree or shrub planting within the open space except for no more than 10 scattered specimen trees planted to maintain open views across the landscape from the Arrowtown Lake Hayes Road and to exclude ornamental species such as flowering cherry, variegated or yellow summer foliage.
- viii. All services and utilities shall be located below ground.

Review clause

- ix. If turning vehicles exiting Car Park 3 onto Ayr Avenue are reported as nuisance on nearby residential dwellings accessed from Speargrass Flat Road within the first year of operation of the carpark connection road, then additional evergreen shrubs and trees shall be planted opposite the Car Park 3 exit within 6 months of council notifying the consent holder to mitigate such effects. Proposed planting shall be submitted to council for certification prior to planting to ensure planting will be effective and consistent with consented planting design within the site.

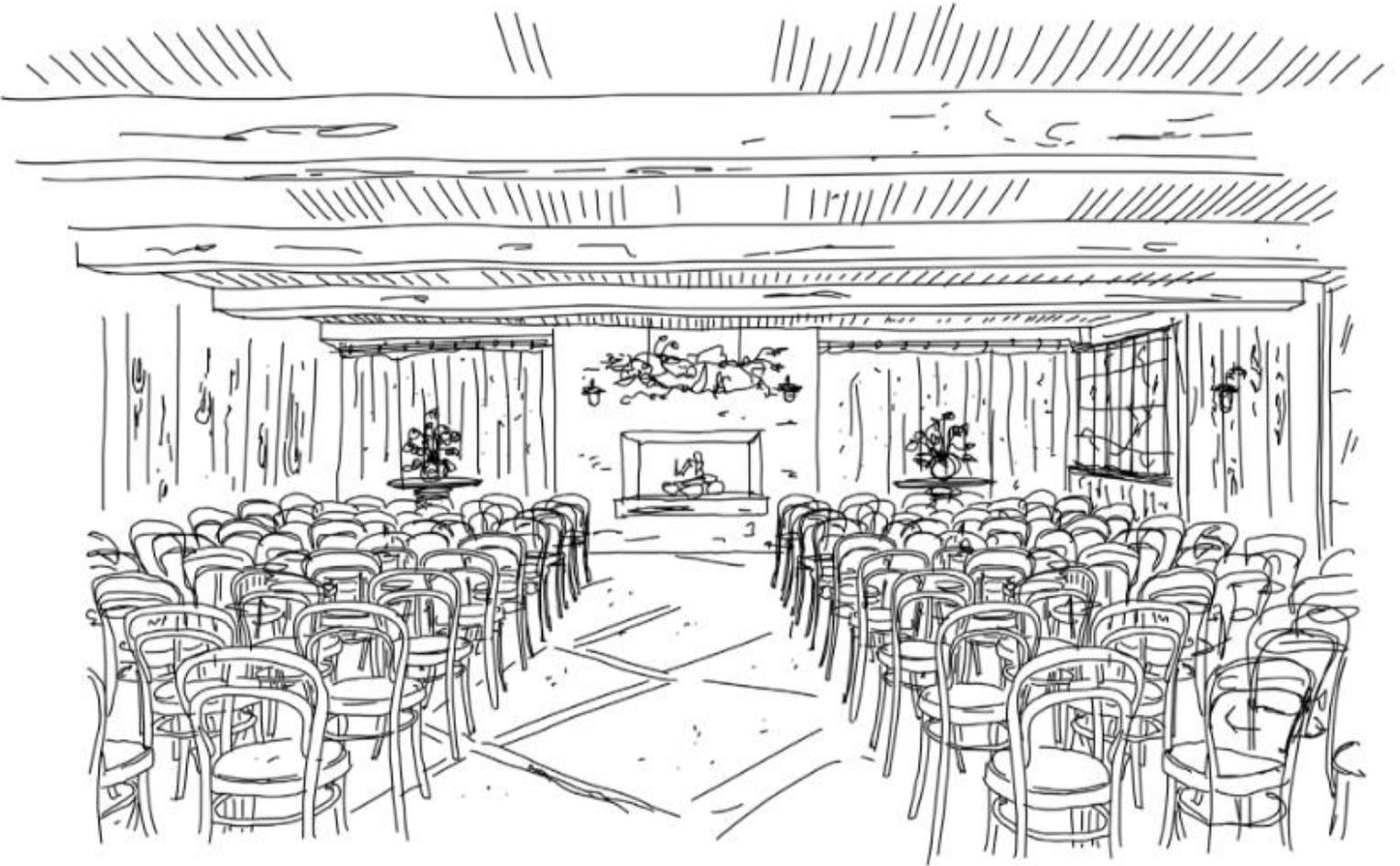
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MARSHALL DAY 
Acoustics

HAYBARN VENUE
PREDICTED NOISE

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APPENDIX A GLOSSARY OF TERMINOLOGY

1.0 INTRODUCTION

Marshall Day Acoustics has been commissioned to determine the potential site noise emissions from the proposed Haybarn venue at 339 Arrowtown-Lake Hayes Road, Arrowtown.

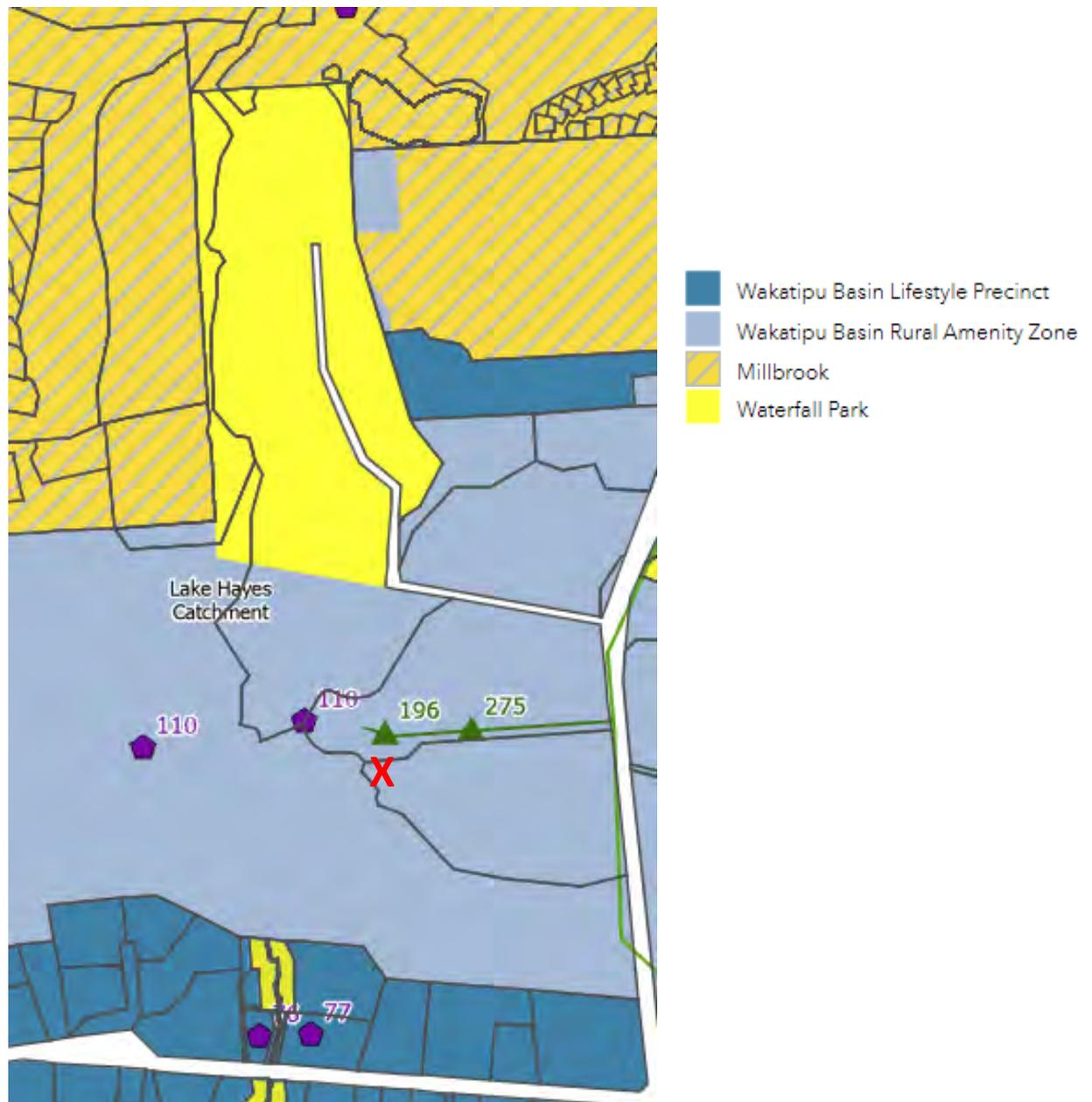
The proposed development will include a purpose-built function centre in the form of a pitched roof building. The types of events will range from wedding receptions for up to 180 people with amplified music to quieter functions such as conference seminars and funeral receptions.

The site is within the Proposed Queenstown Lakes District Plan (PDP) Wakatipu Basin Rural Amenity Zone (WBRAZ). The noise limits for this zone are consistent with those throughout the District in requiring night-time noise levels between 8pm - 8am.

Figure 1 illustrates the general site location as **X** and the surrounding site zoning.

Appendix A is a glossary of acoustic terminology.

Figure 1: Site location and PDP zoning



2.0 NOISE LIMITS

The site is within the WBRAZ. The receiving sites are a mixture of Wakatipu Basin Lifestyle Precinct (Speargrass Flat Rd), Millbrook, Waterfall Park and other sites within the same zone.

The PDP requires compliance with the following noise limits in Section 36.5.1 and 36.5.2 which state:

36.5 Rules- Standards

Table 2: General Standards

Rule Number	General Standards				Non-compliance Status
	Zone sound is received in	Assessment location	Time	Noise Limits	
36.5.1	Wakatipu Basin Rural Amenity Zone	Any point within the notional boundary of a residential unit.	0800h to 2000h	50 dB $L_{Aeq(15\ min)}$	NC
	Rural Zone (Note: refer 36.5.14 for noise received in the Rural Zone from the Airport Zone - Queenstown). Gibbston Character Zone Airport Zone – Wānaka Gibbston Valley Resort Zone - AA1, AA2, AA4, AA7, PL, LMA and OSR Activity Areas		2000h to 0800h	40 dB $L_{Aeq(15\ min)}$ 75 dB L_{AFmax}	NC

Rule Number	General Standards				Non-compliance Status
	Zone sound is received in	Assessment location	Time	Noise Limits	
36.5.2	Wakatipu Basin Lifestyle Precinct	Any point within any site.	0800h to 2000h	50 dB $L_{Aeq(15\ min)}$	NC
	Hills Resort Zone (Note: for noise received in the Hills Resort Zone, the noise limits specified do not apply to noise from activities within the Hills Resort Zone) Hogans Gully Resort Zone (Note: for noise received in the Hogans Gully Resort Zone, the noise limits specified do not apply to noise from activities within the Hogans Gully Resort Zone) Low, Medium, and High Density and Large Lot Residential Zones (Note: refer 36.5.14 for noise received in the Residential Zones from the Airport Zone - Queenstown). Arrowtown Residential Historic Management Zone Settlement Zone Rural Residential Zone Rural Lifestyle Zone Waterfall Park Zone Millbrook Resort Zone - Residential Activity Areas only		2000h to 0800h	40 dB $L_{Aeq(15\ min)}$	NC

2.1 Noise Limit Discussion

The wording of the PDP is clear in the requirement to comply with noise limits for the day and night-time within the notional boundary for those zones listed in 36.5.1 and within the site boundary for those properties listed in 36.5.2.

The subtle differentiation between notional and site boundary is of little consequence in this case as the potentially affected residential properties are not generally on large land blocks where this could otherwise be problematic with regard to pure site boundary compliance.

The Haybarn venue will not generate impact noise events that are controlled by the L_{AFmax} criteria and therefore we will not consider the L_{AFmax} noise levels further in this report.

3.0 NOISE MODEL

In calculating the potential noise levels generated by proposed Haybarn venue we have constructed a noise model using SoundPLAN v8.2 computer software. SoundPLAN is internationally recognised software for the prediction of environmental sound. SoundPLAN implements the calculation of sound using ISO9613-2 algorithms and includes consideration of 3-dimensional terrain features as well as light downwind conditions.

Our calculations include use of detailed terrain data supplied by Paterson Pitts Group. The use of terrain data with a resolution of 1 metre is considered to provide a robust prediction result regarding the receivers to the east, north and west of the site because of the steep nature of the terrain.

3.1 Potential receivers of noise

Figure 2 illustrates the nearest potentially affected receivers of noise and Table 1 summarises the Property ID, Lot #, address (where known) and our short reference for each. Compliance at the nearest receivers will ensure compliance at receivers further away. The red rectangle represents the Haybarn venue.

Figure 2: Potential receivers of noise



Table 1: potential receivers of noise

MDA reference	QLDC Parcel ID		Address	Comment
R1	6502877	Lot 3 DP27422	347 Arrowtown Lake Hayes Rd	-
R2	7786912	Lot 1 DP507367	-	-
R3	6706837	Lot 2 DP337565	397 Arrowtown Lake Hayes Rd	-
R4	3032180	Lot 1 DP342045	-	Golf course
R5	6503768	-	Malaghans Rd	-
R6	3032180	-	-	Immediately north of site
R7	6716416	Lot702 DP404025	Dalgleish Lane	-
R8	6716416	Lot2 DP338753	Dalgleish Lane	-
R9	3011019	Lots 1-2, 4-5 DP23930	557 Speargrass Flat Rd	South of site
R10	6711792	Lot 1 DP334133	575 Speargrass Flat Rd	South of site
R11	6588664	Lot 1 DP313872	589 Speargrass Flat Rd	South of site
R12	6698877	Lot 3 DP336908	531 Speargrass Flat Rd	South of site

4.0 PREDICTED NOISE LEVELS

In carrying out the noise predictions it should be noted that two different acoustic terms – sound power and reverberant sound pressure level have been used. In simple terms, the sound power term applies to a noise source outside, while the reverberant sound pressure level is used to describe sound within a building.

Table 2 summarises the predicted noise level for each operational scenario.

The distinction between ‘normal’ and ‘function’ reflects the difference between a low-key activity such as a conference or funeral reception with background music (normal) compared to a wedding reception function with amplified music.

The reference to ‘open’ and ‘closed’ relates to whether external windows and doors are open or not.

The assumed noise levels for each of the noise prediction scenarios are as follows:

Haybarn Venue

We understand the use of this space may be varied – from small to large groups, perhaps conference activities and funeral reception, to weddings and functions for up to 180 people.

During functions such as a wedding reception, we have modelled a reverberant noise level within Haybarn venue of 100dBA which is considered to be loud. It is therefore considered the worst-case

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Rp 001 20230384 dpe (Haybarn Noise Emission) 6 June 2023

scenario and where compliance is demonstrated means quieter events will comfortably comply and provide benchmark for any noise limiting equipment as part of conditions of consent.

We have also assumed that guests will congregate outside and this will be confined to an area immediately West of the Haybarn venue building on the proposed paved terrace shown on landscape drawings dated 2 June 2023.

Access road

Noise from the access road was the subject of a previous consent (RM171280) and we have included this for the sake of completeness. It is assumed that generally speaking any noise from the access road and any site activity will not occur at their highest degree at the same time.

This is because guests have to arrive before they can attend a function and there will be a finite number of attendees. Once all guests have arrived the traffic component becomes nil and the function becomes the noise source of interest. Therefore the predicted noise will be elevated in some cases because it assumes vehicle movements occur at all times when this will not occur.

Table 2: Predicted noise levels for each operational scenario

MDA Receiver	Predicted noise level dB, L_{Aeq} for different operational scenarios				
	Haybarn Venue closed		Haybarn Venue open		Access road 200/hr
	Normal	Function	Normal	Function	
R1	36	40	36	43	32
R3	32	36	32	39	28
R4	29	31	29	34	<25
R5	27	29	27	31	<25
R6	24	28	24	30	<25
R7	31	36	31	39	<25
R8	36	39	36	42	29
R9 - 557	38	40	38	41	38
R10 – 575	37	38	37	38	38
R11 - 589	37	37	37	37	37
R12 - 531	35	39	35	39	35

It should be noted the noise limits to consider are 50/40 dB L_{Aeq} for day/night respectively. Where a cell is highlighted, it denotes potential non-compliance with the day and/or night-time noise limit.

From Table 2 we conclude:

- Noise from the Haybarn venue for functions can comply with the daytime noise limits in all use cases.
- Noise from the Haybarn venue for functions can comply with the night-time noise limits with appropriate management. For instance closing all doors and windows for some use cases.

- Noise from the access road is predicted to contribute however we consider it is an over estimation as it will not occur during an event.
- Noise from the proposed Haybarn venue activities can be mitigated to ensure that compliance with the PDP noise limits can and will be achieved at all times.

4.1 Discussion

The predicted noise levels in Table 2 demonstrate that the use of the Haybarn venue for functions such as weddings where high levels of amplified music are present, can be mitigated to ensure compliance is achieved at all times. Good building design and management of functions can and will ensure noise is mitigated to achieve compliance with the PDP noise limits.

5.0 CONDITIONS OF CONSENT

The site is subject to compliance with the PDP WBRAZ requirements. Compliance with the PDP noise standards 36.5.1 and 36.5.2 will ensure noise can and will be appropriately controlled.

Should consent be granted, we recommend the following noise related conditions be included:

1. *Noise from the application site shall comply with the following noise limits:*

(a) *Sound received at any point within the site of land zoned Wakatipu Basin Lifestyle Precinct, Waterfall Park and Millbrook Resort when measured in accordance with NZS6801:2008 and assessed in accordance with NZS6802:2008 shall not exceed the following noise limits:*

(i) daytime	(0800 to 2000 hrs)	50dB L_{Aeq} (15 min)
(ii) night-time	(2000 to 0800 hrs)	40dB L_{Aeq} (15 min)
(iii) night-time	(2000 to 0800 hrs)	75dB L_{AFmax}

(b) *Sound received within the notional boundary of a residential unit in the Wakatipu Basin Rural Amenity Zone when measured in accordance with NZS6801:2008 and assessed in accordance with NZS6802:2008 shall not exceed the following noise limits:*

(i) daytime	(0800 to 2000 hrs)	50dB L_{Aeq} (15 min)
(ii) night-time	(2000 to 0800 hrs)	40dB L_{Aeq} (15 min)
(iii) night-time	(2000 to 0800 hrs)	75dB L_{AFmax}

(iv)

2. *Prior to commencement of operations, the consent holder shall provide to the Planning Manager a letter from a suitably qualified acoustic consultant that noise from all building services plant on site has been designed to adopt the best practicable options to mitigate and control noise beyond the application site to an appropriate level in addition to meeting the noise limits in 1 above.*
3. *Prior to commencement of operations, the consent holder shall provide to the Planning Manager a letter from a suitably qualified acoustic consultant that all building envelope constructions have been designed to adopt the best practicable options to mitigate and control noise beyond the application site to an appropriate level in addition to meeting the noise limits in 1 above. The letter shall state the maximum sound level assumed in each space.*
4. *The use of amplified music in any outside area shall cease at 8pm. Should outdoor speakers be used during the day, they shall not exceed a noise level of 85dB L_{Aeq} at 1m.*
5. *The Haybarn venue shall have all windows and doors closed between the hours of 8pm and 8am when it is used for a function where amplified music is being used.*

6. *Amplified music in the Haybarn venue shall only be played through the installed inhouse systems. The system shall have an automatic sound limiting device installed that has been commissioned by a suitably qualified and experienced acoustic consultant or specialist. Prior to commencement of operations, the consent holder shall provide to the Planning Manager a letter from a suitably qualified acoustic consultant that an automatic sound limiting device has been installed and the sound level at which the system has been set.*

For clarity, the sound limiting device will need to be set at a level that ensures compliance with condition 1 at the nearest potentially affected receiver who has not provided their written approval for the noise limits not to be complied with.

6.0 CONCLUSION

Marshall Day Acoustics has been commissioned to determine the potential site noise emissions from the proposed Haybarn venue, the details of which are provided for in the application documentation.

The proposed Haybarn venue activities range from a low key conference/funeral reception to amplified music during a wedding reception.

Our noise predictions indicate that compliance with noise standards 36.5.1 and 36.5.2 as required in the Proposed District Plan can be achieved, and therefore noise will be controlled to an appropriate level.

We have recommended conditions of consent appropriate to control noise from the proposed Haybarn venue activity.

APPENDIX A GLOSSARY OF TERMINOLOGY

Octave Band	A range of frequencies where the highest frequency included is twice the lowest frequency. Octave bands are referred to by their logarithmic centre frequencies, these being 31.5 Hz, 63 Hz, 125 Hz, 250 Hz, 500 Hz, 1 kHz, 2 kHz, 4 kHz, 8 kHz, and 16 kHz for the audible range of sound.
Noise	A sound that is unwanted by, or distracting to, the receiver.
Ambient	The ambient noise level is the noise level measured in the absence of the intrusive noise or the noise requiring control. Ambient noise levels are frequently measured to determine the situation prior to the addition of a new noise source.
Special Audible Characteristics	Distinctive characteristics of a sound which are likely to subjectively cause adverse community response at lower levels than a sound without such characteristics. Examples are tonality (e.g. a hum or a whine) and impulsiveness (e.g. bangs or thumps).
SPL or L_p	<p><u>Sound Pressure Level</u> A logarithmic ratio of a sound pressure measured at distance, relative to the threshold of hearing (20 μPa RMS) and expressed in decibels.</p> <p><u>Reverberant Sound Pressure Level</u> The sound pressure within a space, assumed to be at equilibrium and intensity at all surfaces.</p>
SWL or L_w	<p><u>Sound Power Level</u> A logarithmic ratio of the acoustic power output of a source relative to 10^{-12} watts and expressed in decibels. Sound power level is calculated from measured sound pressure levels and represents the level of total sound power radiated by a sound source.</p>
dB	<p><u>Decibel</u> The unit of sound level.</p> <p>Expressed as a logarithmic ratio of sound pressure P relative to a reference pressure of $P_r=20 \mu$Pa i.e. $dB = 20 \times \log(P/P_r)$</p>
dBA	The unit of sound level which has its frequency characteristics modified by a filter (A-weighted) so as to more closely approximate the frequency bias of the human ear.
A-weighting	The process by which noise levels are corrected to account for the non-linear frequency response of the human ear.
$L_{Aeq}(t)$	<p>The equivalent continuous (time-averaged) A-weighted sound level. This is commonly referred to as the average noise level.</p> <p>The suffix "t" represents the time period to which the noise level relates, e.g. (8 h) would represent a period of 8 hours, (15 min) would represent a period of 15 minutes and (2200-0700) would represent a measurement time between 10 pm and 7 am.</p>
L_{Amax}	The A-weighted maximum noise level. The highest noise level which occurs during the measurement period.

Acoustics review

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Date:	20 November 2023
From:	Jamie Exeter
To:	Courtney Briggs
Application reference:	RM230425
Applicant:	Ayrburn Precinct Limited
Application details:	Consent is sought to establish an events venue known as "the Haybarn" on Lot 3 DP 540788 including an overflow carpark and bus stops on Lot 4 DP 540788, and a service access on Lot 2 DP 540788
Location:	339 Arrowtown-Lake Hayes Road
Zoning:	Rural General (ODP) Wakatipu Basin Rural Amenity Zone (PDP)
Activity status:	Non-complying

1.0 Introduction

Queenstown Lakes District Council (**QLDC**) has engaged Styles Group to review the acoustic assessment submitted with the application. We have reviewed the documents *Haybarn Venue Predicted Noise* dated 6 June 2023 (the **Acoustic Report**) and *RM230425 Response to S92(1) Request – Haybarn Venue* dated 27 September (the **s92 Response**), both prepared by Marshall Day Acoustics.

We have read the relevant documents available on eDocs and discussed the application with the processing planner and the applicant's planning and acoustics consultants. We have not undertaken a site visit.

The proposal is based on the cumulative noise emissions from the operation of the Haybarn and all other activities within Ayrburn Domain complying with the Proposed District Plan (**PDP**) permitted noise limits.

2.0 Summary of proposal and site description

The proposal, the site, and the nearest noise receivers are all set out in the Acoustic Report. This information is consistent with other application documents.

The S92 Response provides an update to include a proposed 2.4 m high acoustic barrier around the external courtyard and double access doors at the south-west corner of the building. The final noise modelling includes these updates.

3.0 Permitted noise standards

The Acoustic Report sets out the PDP permitted noise limits in Section 2.0, summarised (as relevant to the proposal) below:

- 50 dB L_{Aeq} from 8.00 am to 8.00 pm and 40 dB L_{Aeq} and 75 dB L_{Amax} from 8.00 pm to 8.00 am at any point within the notional boundary of a residential unit in the Wakatipu Basin Rural Amenity Zone.
- 50 dB L_{Aeq} from 8.00 am to 8.00 pm and 40 dB L_{Aeq} from 8.00 pm to 8.00 am at any point within any site in the Wakatipu Basin Lifestyle Precinct, Waterfall Park Zone, or Millbrook Resort Zone.

4.0 Methodology and reference sound levels

We generally agree with the methodology, reference sound levels, and reductions through the building facades used in the modelling and analysis. The noise has been assessed in accordance with NZS 6802:2008, as required by the PDP. Adjustments have been included in the calculations for special audible characteristics for music noise. The internal reverberant noise levels assumed inside the building are representative of the proposed activity in our experience.

5.0 Proposed mitigation

The Acoustic Report and S92 Response include the following noise mitigation measures:

- i. A 2.4 m high acoustic barrier (a solid schist wall) will be constructed around the courtyard to the west of the Haybarn venue.
- ii. Installation of double access doors at the south-west corner of the building.
- iii. All doors and windows will be closed during events involving amplified sound indoors.
- iv. The building will only be accessed via the proposed double access doors after 8.00 pm.
- v. Any speakers used in the courtyard will not exceed a level of 85 dB L_{Aeq} at 1 m. No amplified sound will be used outside after 8.00 pm.
- vi. The cumulative noise levels from the Haybarn and all other activities within Ayrburn Domain will be managed to comply with the permitted noise limits.
- vii. An Operational Noise Management Plan (**ONMP**) will be submitted to Queenstown Lakes District Council for verification. The ONMP will set out noise management and mitigation measures (including iii-v above) to ensure that cumulative noise from the

Haybarn and other activities within Ayrburn Domain does noise exceed the permitted noise limits.

The proposed mitigation measures will be effective in reducing noise emissions. There are no restrictions proposed on the timing, duration, or frequency of events involving amplified sound and vehicle movements at night. In our experience, restrictions on these factors are typically imposed where the activity status is non-complying and the neighbouring sites include dwellings.

6.0 Predicted noise levels

The noise emissions are predicted to comply with the PDP permitted noise limits during the day and night-time periods at all receiving sites based on worst-case scenarios. We agree this is achievable through noise mitigation and management measures. The predicted noise levels are consistent with the reference sound levels, the separation distances to the nearest receivers, and the proposed mitigation.

7.0 Potential noise effects

We have considered the potential effects of noise from the proposed activity in the context of the level, character, timing, duration, and frequency of sound in the existing environment. The existing sound environment is characterised by ambient sound (e.g., from road traffic or natural sources in the area), the type of noise that could be generated by permitted activities in the zone, the permitted noise limits, and noise from other activities in the area that are already consented.

The proposal is based on noise being generated by music and vehicles up to the permitted noise limits at any time of the night on all days of the year.

There is no data provided on the ambient sound present in the area. Based on our experience with other applications in similar zones and environments, we expect that the current ambient sound levels at night would be low (quiet). We expect that noise levels up to the permitted limits generated by music during a large event and vehicles leaving the site late at night would dominate the noise environment and would be clearly audible above the ambient sounds and especially prominent in calm meteorological conditions.

We understand that the activity status is non-complying. The character of music noise (including an audible low frequency bass beat) would not be expected from permitted activities in the zone (other than for up to seven temporary events per year). The tonal and impulsive noise generated by amplified music can cause annoyance at night depending on the level, and how late, for how long, and how often it occurs. Noise from the proposed activity will comply with the permitted noise limits, but these are not necessarily designed to control the potential noise effects of amplified music in a rural amenity zone late at night.

There are no restrictions on the timing, duration, or frequency of noise proposed by the applicant to mitigate the potential noise effects on the neighbouring sites. The noise could therefore occur at all hours of the night and on any night of the year e.g., on consecutive Fridays and Saturdays until late at night throughout the summer months.

Noise at the proposed levels will not cause sleep disturbance. But the character of the noise, and the timing, duration, and frequency that would be enabled by the proposed conditions, could cause annoyance at the nearest residential dwellings. Particularly in the evenings and at night. The potential noise effects could be reduced by restricting the operating hours, duration of amplified sound over the day, and the number of large events that could occur within a given timeframe.

However, consent has already been granted to other activities within Ayrburn Domain that involve noise from amplified music and vehicle movements late at night up to the permitted noise limits. We understand that there are no restrictions on the timing, duration, or frequency of these consented events, and that this forms part of the existing environment.

The proposed noise limits require the cumulative noise from Ayrburn Domain to comply with the permitted noise limits. The proposal therefore will not technically increase the noise levels, or change the timing, duration, or frequency of noise in the context of the existing consents that already enable music noise up to the permitted noise limits on every night of the year. In practice however, we expect it unlikely that the already-consented activities would generate noise throughout the night on every night of the year. The proposed activity would therefore increase the number of nights per year that the neighbours are exposed to noise that is much louder than other sounds in the environment and has a character that is not anticipated in the zone.

8.0 Recommended conditions

We agree with the proposed conditions set out in the S92 Response except where recommended amendments are set out below.

We have recommended an update to the proposed noise limit condition (condition 53 as referenced in the S92 Response) to be consistent with the limits and assessment locations specified by the PDP permitted standards. The proposed noise limit condition specifies single points on the neighbouring sites where the limits would apply. We don't support this deviation from the permitted noise limits because the notional boundaries on the neighbouring sites could change in the future.

Our recommended changes to conditions 56 and 58 are to include an objective for the noise management plan, to include provisions for noise monitoring and updates to the ONMP as activities within Ayrburn Domain change over time, and to correct typos. We have also included conditions for the proposed acoustic barriers and double access doors.

53. Noise generated by activities associated with the operation of the Haybarn must comply with the following limits when measured and assessed cumulatively with any other noise generated by consented activities within Ayrburn Domain (Lots 1-4 DP 540788). Noise must be measured and assessed in accordance with NZS 6801:2008 *Acoustics – Measurement of environmental sound* and NZS 6802:2008 *Acoustics – Environmental noise*.
 - i. At any point within the notional boundary of a residential unit in the Wakatipu Basin Rural Amenity Zone:
 - 8.00 am to 8.00 pm: 50 dB $L_{Aeq(15\ min)}$.
 - 8.00 pm to 8.00 am: 40 dB $L_{Aeq(15\ min)}$ and 75 dB L_{AFmax} .

- ii. At any point within any other site:
 - 8.00 am to 8.00 pm: 50 dB $L_{Aeq(15\text{ min})}$.
 - 8.00 pm to 8.00 am: 40 dB $L_{Aeq(15\text{ min})}$.
56. The Haybarn venue must be operated in accordance with an Operational Noise Management Plan (ONMP). The ONMP must be prepared by a suitably qualified person and submitted to Queenstown Lakes District Council for verification before the first event involving amplified sound at the Haybarn. The objective of the ONMP is to set out noise management and mitigation measures for the operation of the Haybarn to ensure that the cumulative noise levels from the Haybarn and all other consented activities within Ayrburn Domain comply with the noise limits in Condition 53. The ONMP must include procedures for noise monitoring and for updating the document when there are changes to the noise generating activities within Ayrburn Domain.
58. Amplified music in the Haybarn venue shall only be played through the installed in-house system. The system must have an automatic sound limiting device installed that has been calibrated by a suitably qualified person (e.g., MASNZ) to ensure that music noise levels cannot exceed the noise limits in Condition 53. Written confirmation of the calibration must be provided to the satisfaction of Queenstown Lakes District Council before the first event involving amplified sound at the Haybarn. All audio equipment to be used for live performances or reproduction of speech or music at the event centre must be inserted into the signal chain of the in-house system before the limiter. No standalone amplification systems are permitted within the event centre or associated outdoor areas. Outdoor speakers must be no louder than 85 dB $L_{Aeq(1\text{ min})}$ at 1 m and must not be used between 8.00 pm and 8.00 am.
59. Before the first event at the Haybarn involving amplified sound, the consent holder must install the following:
 - i. An acoustic barrier to screen the courtyard to the west of the Haybarn venue. The barrier must be solid, at least 2.4 m high, and have a surface mass of no less than 10 kg/m².
 - ii. Double access doors at the south-west corner of the Haybarn building.

9.0 Conclusion

Styles Group has reviewed the acoustic information submitted with the application for the proposed Haybarn Venue.

We generally agree with the acoustic assessments provided.

Consent has already been granted to other activities within Ayrburn Domain that involve noise from amplified music and vehicle movements late at night up to the permitted noise limits. We understand there are no restrictions on the timing, duration, or frequency of these events and they are considered to form part of the existing environment..

The proposed noise limits require the cumulative noise from Ayrburn Domain to comply with the permitted noise limits. The proposal is consistent with the existing consents. It will not technically increase the noise levels, or change the character, timing, duration, or frequency of noise that is already enabled for activities within Ayrburn Domain. In practice, we expect the already-consented activities would not generate noise throughout the night on every night of the year. The proposed activity is therefore likely to increase the number of nights per year that the neighbours are exposed to noise that is much louder than other sounds in the environment and has a character that is not anticipated in the zone.

The noise will not cause sleep disturbance at the nearest residential dwellings, but it could cause annoyance if it is not effectively managed. The potential noise effects could be reduced by restricting the operating hours, duration of amplified sound over the day, and the number of large events that could occur within a given timeframe, and by informing the nearest residents of any large events that are scheduled.

We recommend that noise monitoring and reviews of the ONMP are undertaken when there are changes to other noise generating activities within Ayrburn Domain. This will ensure that the cumulative noise emissions remain compliant with the consented noise limits.

We have recommended updates to the proposed conditions based on our findings.

Please contact me for further information.

Yours sincerely,



Jamie Exeter, MASNZ, Assoc. NZPI
Principal

Environmental Management Plan

(CONSENT DRAFT)

PROJECT	HAYBARN VENUE
PRINCIPAL	AYRBURN PRECINCT LTD
OUR REF	Q6388/D
DATE	29 NOVEMBER 2023

Rev:	Date:	Prepared By:	Reviewed By:	Comments:	Signature
0	8/06/2023	SB	AN (CPESC 7510)	Issued as draft	
1	6/7/2023	AN (CPESC 7510)		Post RFI	
2	11/7/2023	AN (CPESC 7510)		Rev	
3	01/11/2023	AN (CPESC 7510)		Rev	
4	29/11/2023	SB	AN (CPESC 7510)	Further RFI response	

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INTRODUCTION

1.1. INTRODUCTION

This Earthworks Management Plan (EMP) has been prepared to guide the earthworks associated with the construction of the Haybarn venue (the Project) for Ayrburn Precinct Limited at 339 Arrowtown-Lake Hayes Road. It does this by:

- Describing the Project and its physical/legal context.
- Identifying the site environmental risk factors potentially impacted by the Project.
- Providing a comprehensive and adaptive range of measures to address the identified risks.
- Nominating environmental representatives that can oversee the day-to-day environmental management of the project.
- Describing a system of induction that ensures all persons associated with the earthworks are aware of their environmental responsibilities.
- Establishing procedures for inspection, monitoring, and record keeping that demonstrate environmental management is undertaken efficiently and effectively.

Prior to ground disturbance, the EMP will be submitted for review and acceptance by Queenstown Lakes District Council (QLDC). Earthworks for the Project shall not start until the EMP is accepted by QLDC, and erosion and sediment control devices are installed in accordance with the EMP. This report should be read in conjunction with the Paterson Pitts Group drawing set “Q6388 Ayrburn Precinct Limited” sheets 211 - 213 and 250 – 254.

This EMP:

- Is a live document which is intended to respond to changing site conditions and staging. Any significant departures will be dealt with by submission of a revised document/part document to the QLDC.
- Has been prepared by Andrew Nichols (MSC (hon) and CPESC), who is acknowledged as a Suitably Qualified and Experienced Person (SQEP) under the criteria of QLDC.

1.2. PROJECT DESCRIPTION

The Project comprises the earthworks associated with construction of an overflow carpark, a building, and associated bus parks, accessways and paths, a raingarden and a flood bund as shown in red within Figure 1. The site location occupies parts of land parcels legally described as Lots 1 – 4, DP540788.



Figure 1- Site Location Plan

1.3. SCOPE

The scope of this EMP covers all phases of the project associated with the earthworks, through to the decommissioning of the proposed environmental measures. The level of detail supplied in the EMP, and the extent of recommended controls is commensurate with the degree of environmental risk posed by the Project.

1.4. RISK STATUS

Under the *QLDC Guidelines for Environmental Management Plans 2019* because there will be greater than one hectare of land exposed the High-Risk status requires the EMP to be prepared by a Suitably Qualified and Experienced Person.

2. PROJECT DESCRIPTION

The construction of the Haybarn Venue Project will comprise the following two stages in no set order.

1. Haybarn site, Carpark access to Ayr Avenue, footpaths, Service Access, Double Bus Bay.

- a) Definition of earthworks boundaries using earth bunds to divert clean water from site, silt fence below earthworks to intercept site runoff, and waratahs and bunting to locate stockpiles, haul roads carparks and direct earthmovers and vehicles.
- b) Removal of trees and root bolls in the footprints of the proposed Haybarn venue and service access way off the homestead driveway.
- c) Construction of the service accessway as the haul road for works and a stabilised construction entrance at its intersection with the Ayrburn Homestead driveway.
- d) Construction of the Haybarn.
- e) Sealing of accessway
- f) Laying of the chip gravel walkways and associated crossing of the Interceptor Swale/widening of Ayr Avenue/relocation of swale at the southeast of the site.
- g) Construction of the southern carpark access across the swale and decommissioning of the decanting earth bund.

2. Overflow Carpark, Raingarden and Flood Bund

- a) Fencing of the earthworks boundaries with bunting/waratahs along the sides of the site, and silt fence below it.
- b) Establishment of designated construction entrances off Ayr Avenue.
- c) Construction of sediment retention pond (SRP and decanting earth bund (DEB)
- d) Establish perimeter controls (clean and dirty water diversion channels/bunds) to isolate works area. Dirty water diversion to convey site runoff to sediment treatment devices, clean water diversion channels to convey runoff upslope catchment around the work extents.
- e) Initial filling in and shaping of flow path in the area occupied currently by the civil contractors' office at the head of the Ayr Avenue (western side) swale to enable construction/operation of a Sediment Retention Pond.
- f) Cut and fill, lay of basecourse, grid and gravel for carpark surface.
- g) Reinstatement of the swale and connection to new length of swale along southeastern border of Overflow carpark.
- h) Piped bypass of the SRP for swale and stockpile area slope toe drain.
- i) Decommissioning of the SRP and construction of the raingarden.
- j) Removal of the bypass and live commissioning of the raingarden.
- k) Fill, compact and stabilise basin bund.
- l) Removal of ESC controls.

A description of the required ESC measures is covered in Section 5.

3. SITE RISK FACTORS

3.1. EROSION RISK FACTORS

3.1.1. Topography and Drainage

Ayrburn Carpark, Services Access, Paths and Bus bay

As shown in Figure 2, this part of the site is located at the top of a short steep batter slope. The Haybarn, Services Access and footpaths occupy an area 50 to 70 metre wide and 150-metre-long strip of average 1 in 75 south-west grade. The site flanked by the Ayrburn Homestead and its driveway to the north (under construction, soon to be completed), completed Ayrburn Precinct carparks to the west, completed Ayr Avenue to the south and an open grassed area near the Ayrburn vineyards along the Arrowtown Lake Hayes Road to the east, where frost fighting ponds are proposed.

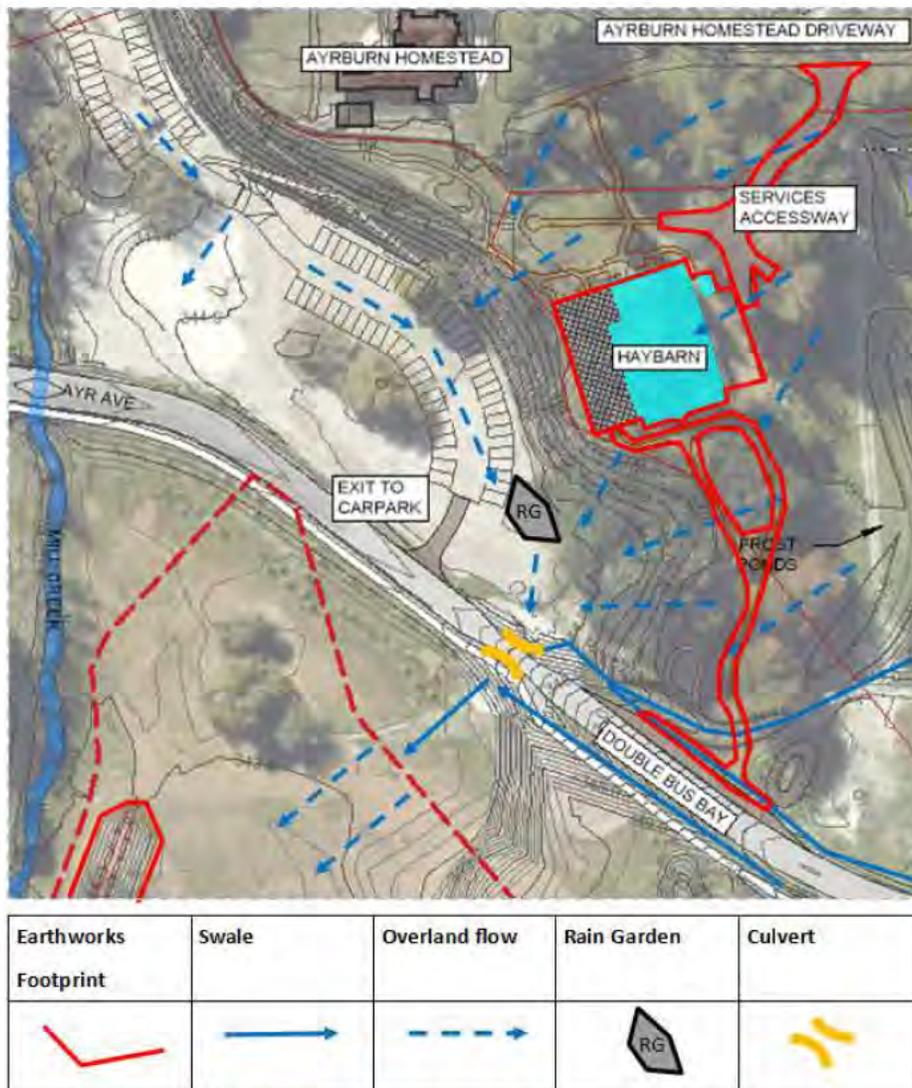


Figure 2 – Site Topography – Haybarn

Haybarn catchment runoff flows overland through the site from the civil works area of the Ayrburn Homestead and driveway to the north and a clear grassed area (where frost fighting ponds are to be built) to the northeast. The bulk of this runoff then flows down the bank where it will be conveyed to a raingarden via grassed swales formed in conjunction with the recently established carpark. Runoff flows from the completed Ayrburn Precinct are conveyed via grass swales from the northwest. Additional flows of the swale on the northern side of Ayr Avenue and the Interceptor Swale that serves vineyards along the Arrowtown Lake Hayes Road and a short length of the public road, all the runoff is received at a culvert under Ayr Avenue which discharges an average 150 metres overland to Mill Creek across open grassland (in the proposed flood bund area).

Flood Bund

The proposed flood bund is situated on a vegetated flood plain south of Ayr Avenue. The flood plain receives runoff from a catchment of approximately 18Ha via an existing boxed culvert under Ayr Avenue. The upslope catchment is largely pastoral land, it also includes the recently completed Ayrburn Precinct infrastructure and handful of residential dwellings at the northern extent of the catchment. With exception of hills in the northern extent of the catchment the grade is predominantly flat in nature with grades averaging between 1-5%.

Overflow Carpark

This area, shown in Figure 3 is 300 metres northwest from the Haybarn Building site. It occupies the bulk of a southeast facing terrace of between 1 in 5 and 1 in 15 grade at the base of steep slopes above the north-western side of an access track near the civil works contractors' depot within Waterfall Park.

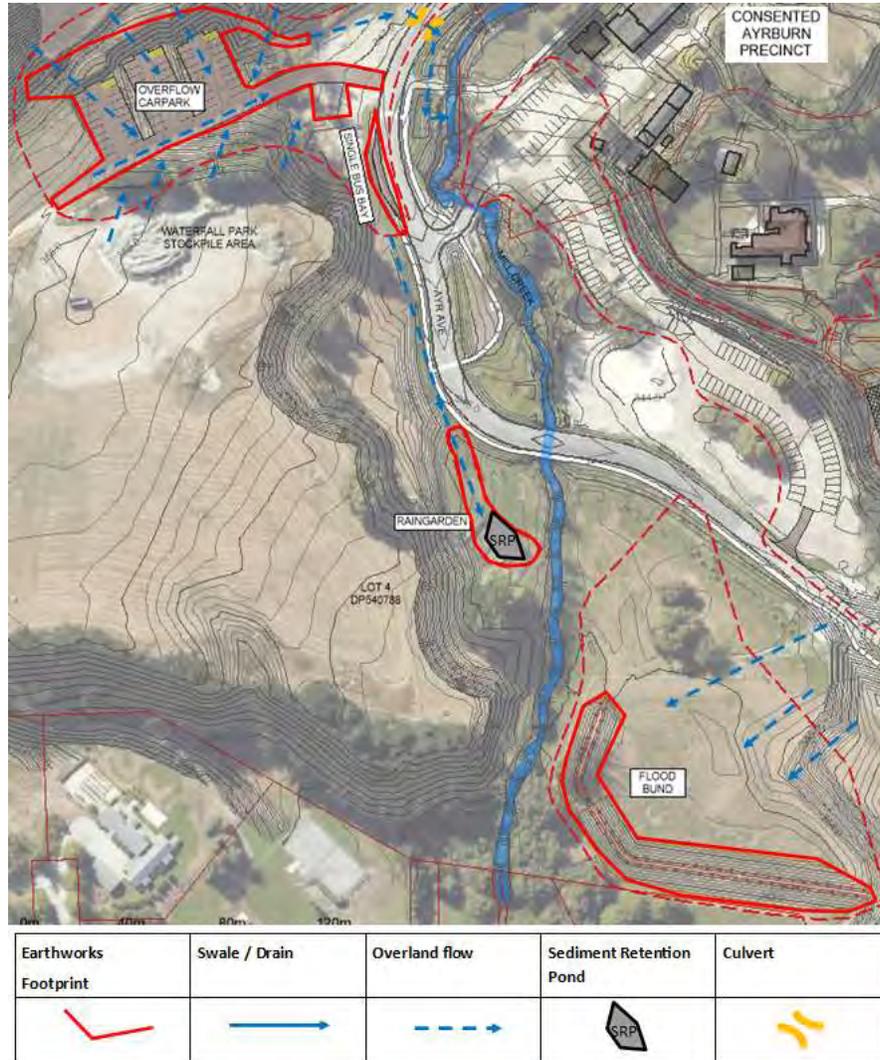


Figure 3 – Site Topography - Overflow Carpark, Raingarden and Flood Bund

Runoff from the slopes above the site is intercepted by an existing diversion drain and then crosses overland through the Civil Contractors' laydown area to Mill Creek via a culvert under Ayr Avenue. The site runoff and a short slope from the Waterfall Stockpile Area runs down to the access track and into the top of the swale on the western side of Ayr Avenue. This swale discharges into Mill Creek after interception and treatment in an existing sediment retention pond.

3.1.2. Soil Characteristics

The soil of the Project in all areas is classified by Landcare Research as a Barhill Loess Silt pallic soil derived from the weathering of schist. These soils have pale-coloured subsoils, due to low contents of iron oxides, a weak soil structure and high density in subsurface horizons. The subsoils have dominantly silt textures, with a gravel content of less than 3%. They tend to be dry in summer and wet in winter. Generally, these soils are well drained¹ with very low vulnerability of water logging in non-irrigated conditions, and have high soil water holding capacity, typical of loess. Figure 4 shows the soil profile revealed in a recently excavated dropout pit.

¹ Permeability tests conducted on the native soils in the Northbrook Development revealed K_{Sat} in excess of 250 mm/hr.



Figure 4 - Soil Profile in a dropout pit

3.1.3. Groundcover

As shown in Figure 5, the groundcover of the

- Building, Services Access, and Pedestrian Access footpaths is well-maintained exotic grass cover under exotic trees.
- Overflow Carpark area is unimproved pasture at the base of a slope across an existing construction access road; and
- Bus bays is grassed swale.



Figure 5 - Groundcover

3.1.4. Area and Duration of Soil Exposure

Sheets 211, 212 and 213 in Appendix A are the respective earthworks plans for the major works of the Overflow Carpark and Flood Bund, and the Haybarn complex. Table 1 summarises the earthworks quantities.

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Table 1 - Earthworks Quantities

Topsoil	Strip	4,100 m ³
	Respread	1,600 m ³
	Excess	2,500 m ³
Subsoil	Cut	6,500 m ³
	Fill	4,400 m ³
	Excess (waste off site)	2,100 m ³
	Imported fill	2,000 m ³
Max Cut/Fill Depth		-5.0 m/2.0 m
Total Area of Earthworks		1.3 Ha

The Project is scheduled to begin upon receipt of consent, in the last two months of 2023.

3.1.5. Weather

Rainfall

Table 2 indicates the levels of rainfall expected in each month at the Arrowtown Rain gauge which is the nearest climate record to the site. It is preferable for earthworks to be conducted during periods of lower rainfall erosion/flood risk. Regardless, all reasonable and practicable steps should be taken to minimise the amount of exposed earth at any one time and to apply appropriate best practice erosion and sediment control.

Table 2 - Monthly Rainfall – Arrowtown (Station 48981)

Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec
64	48	53	56	70	72	49	69	67	66	68	76

The HIRDS generated rainfall intensity shown in Table 3 is an indication of the erosive force of a rainfall event.

Table 3 - HIRDS4 Rainfall Intensity-Duration-Frequency for the Haybarn and Overflow Carpark Sites (RCP8.5 for the period 2081-2100)

Annual Exceedance Probability	10	20	30	1h	2h	6h	12h	24h
0.633	16.5	12.8	11.0	8.4	6.3	3.8	2.7	1.8
0.5	18.5	14.3	12.3	9.3	7.0	4.2	3.0	2.0
0.2	26.2	20.0	17.0	12.8	9.5	5.6	3.9	2.6
0.1	32.5	24.6	20.8	15.6	11.5	6.8	4.7	3.1
0.05	39.4	29.7	25.2	18.7	13.7	7.9	5.4	3.6
0.02	50.0	37.5	31.4	23.2	16.8	9.7	6.6	4.3

While short duration storms have the highest intensity and thus erosive power, long duration events can saturate the ground, increase the magnitude of flood events, and mobilise sediment in runoff. It shows the importance of maintaining groundcover by minimising the amount of exposed earth at any time and the prompt stabilisation of disturbed surfaces.

Rainfall of 20 mm over 24 hrs has been shown to be the minimum storm event for site management purposes (that initiates runoff at the adjacent Ayrburn Precinct).

Wind

An analysis of airflow from Queenstown Airport (Table 4) gives an indication of the risk of dust generation at the site and consequent air quality issues for adjacent downwind residents (sensitive receptors)

Table 4 – Mean monthly and annual wind speed (km/hr) for Queenstown Airport

Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	Ann
13.9	13.3	12.2	11.0	10.2	10.0	9.7	10.2	11.8	13.2	14.1	13.6	11.9

Windrose data from the same location show the predominant airflow is from the SW quarter and the NE with another peak in frequency from the south. The nearest potential receivers are residents to the south of the works between 150 and 200 m in distance. The dwellings are in the direction of the two most common airflows.

Topographic channelling will be a factor in this. Although the risk of generation is low, given the even rainfall throughout the year, management of dust shall be conducted by

- Monitoring the weather
- Proactive application of water on the earthworks surface

3.2. FLOOD RISK

It is considered the risk of flooding at the site and the risks of that flooding occurring on any assets are less than minor.

3.3. HUMAN USE NATURAL VALUES

The site is within the catchment of Mill Creek and treated construction water will be discharged back into the Mill Creek catchment. Refer to 4Sight Consulting *Assessment of Aquatic Ecology Effects*, May 2023 for a discussion of human use values. Properly treated construction water will not have a significant adverse effect on such values.

3.4. KAI TAHU CULTURAL/SPRITUAL BELIEFS, VALUES AND USES

The following quote from Chapter 4 of the Regional Water Plan clearly expresses what Kai Tahu expects from proposals such as this:

“4.2 Kai Tahu’s priority is to maintain the properties of water that are necessary to ensure the sustainability of customary uses. Customary uses range from the use of water for ceremonial purposes to the maintenance of the quality and quantity of water to sustain mahika kai populations and habitats.”

Kai Tahu values will best be served by minimising sediment entering the stream from these works.

4. KEY ROLES & CONTACT DETAILS

4.1. ENVIRONMENTAL REPRESENTATIVE

The nominated Environmental Representative is responsible for overseeing day-to-day implementation of environmental controls and administrative activities as well as active support of other key management roles. The purpose of the Environmental Representative is to verify that the management measures prescribed in this EMP are present, functional, and adequate (i.e., reasonable, and practical), observe the site for actual or potential adverse environmental effects, identify maintenance requirements for implemented management measures, verify preparedness for adverse weather conditions where rain and/or wind is forecast, and undertake all necessary monitoring, documenting, and reporting.

Other functions of the role include:

- Monthly environmental reporting to QLDC (as per requirements in Reporting Section 7.4)
- Undertake environmental site inspections of the project (minimum daily occurrence)
- Undertake and document weekly and pre and post rain event site inspections of all environmental controls
- Undertake any maintenance work required to ensure the effectiveness of all environment controls
- Undertake reporting of environmental incidents
- Undertake environmental monitoring
- Keep project leadership informed of environmental performance of the project
- Inform staff of procedures and constraints applicable to managing specific environmental issues
- May be responsible for providing environmental inductions to all staff and sub-contractors
- Assist the project leadership in attending to environmental incidents and complaints

The Environmental Representative should be familiar with reference documents outlining best practice measures for environmental management of high-risk sites and apply these in the context of the Site Management Plans.

Name: (position yet to be filled)

Qualifications: Postal address Email:

Phone:

4.2. OTHER ROLES

Site Supervisor

Name: (position yet to be filled)

Postal address:

Phone:

Queenstown Lakes District Council (Senior Monitoring & Enforcement Officer)

Name: Sam Marsh Postal address:

Email: [REDACTED]

Phone: [REDACTED]

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Queenstown Lakes District Council (Resource Management Engineer)

Name: (representative to be advised)
Postal address:
Email:
Phone:

Heritage New Zealand – Pouhere Taonga

Name: Dr Matthew Schmidt
Postal address:
Email: [REDACTED]
Phone: [REDACTED]

5. EROSION & SEDIMENT CONTROL MEASURES

5.1. DESIGN PRINCIPLES

Along with the erosion risk assessments, the design of ESC controls for this project is informed by application of the following GD05 principles:

- Minimise disturbance through staging
- Protect the receiving environment of Mill Creek
- Rapidly stabilise disturbed areas
- Install perimeter controls and diversions
- Employ sediment retention devices
- Adjust the ESC Plan as needed

The resulting ESC plans for the Project indicating the indicative application of controls are contained in Appendix A. Plans 250 251 and 252 are the overall conceptual designs for the Overflow Carpark and Haybarn/Flood Bund respectively. Plans 252, 253 and 254 are conceptual designs of proposed ESC measures. Note that all plans in Appendix A are solely concept plans. When constructing any ESC measure, detailed plans and instructions for this purpose will be prepared.

5.2. SITE SETUP

1. At all sites, define the work areas and haul roads/accessways for all locations with fencing using silt fence downslope and waratahs/ bunting upslope. This will ensure vehicles and equipment are confined and minimise the disturbed area.
2. Construct stabilised site entrances (Plan 252 of Appendix A) for the
 - a. Overflow Carpark/Raingarden and Flood Bund off Ayr Avenue.
 - b. Haybarn works at the entrance from Ayrburn Homestead on the Service Accessway which will be used as the main haul road access to works on the top of the terrace.
Access to the carpark entrance works off Ayr Avenue shall be via the existing construction access for the Cart Shed/ Stables civil works area and the new carpark.
3. Define and fence off stockpile/laydown areas for both sites.

5.3. CLEAN WATER DIVERSION

It is necessary to minimise the amount of stormwater runoff coming through earthworks to minimise the erosion of disturbed soil and thus the amount of dirty water requiring treatment. Diversion bunds and drains will be employed on this site for this purpose for clean (and dirty) water diversion. A conceptual design of both is contained in Plan 252 of Appendix A.

5.3.1. Overflow Carpark

A new channel lined with pinned overlapped geotextile will be formed on the northern extent of works. This will be extended to the culvert under Ayr Avenue for a discharge to the stormwater swale system on the other side of the road. There is a table drain lined with rock rip rap on the edge of the existing farm track. This will be used to convey dirty flows within the works area. The upslope side of the channel (southern extent of the works area) will be adjusted to form a clean water diversion

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channel to convey runoff from the batter above. Collected runoff will be directed to the existing roadside swales.

The stockpile area will be contained by earth bunds with a DEB at the low point. A clean water diversion will be formed down the existing earth batter to convey runoff from the DEB down the bank, linking in with the channel described above.

5.3.2. Haybarn

Construct a compacted earth bund along the southern side of the Ayrburn Homestead driveway and down the boundary of the wooded area with the open grass paddock (along the alignment proposed as a dirty water bund for the construction of the frost fighting ponds). Given the low likelihood of concentrated flows due to the shallow grade of the land, it is unlikely that lining with geotextile or grass cover will be necessary to prevent scour. Monitoring will be conducted, and lining/grassing applied if necessary.

5.3.3. Flood Bund

Following installation of a silt fence on the western/southern extent of the proposed works the topsoil stripping operation will begin. Stripped topsoil will be side cast and used to form a clean water diversion bund on the eastern/northern extent of the flood bund. The bund will direct runoff from upslope to a 600mm diameter culvert to convey flows through the work area. The culvert outlet will be formed to align with the natural overland flow path, discharge will sheet flow across the vegetated paddock before reaching Mill Creek.

The culvert has been sized to cater for the 20yr ARI 24hr storm event. The flood plain detained by the clean water diversion bund has a storage capacity of approx. 1000m³, if periods of more intense rainfall are encountered over the course of the storm runoff will back up in this area and drain down when the intensity eases.

5.4. SILT FENCE

5.4.1. Haybarn

As indicated in the site setup section, silt fence will be established downslope of all the individual Haybarn catchment work sites and path/road alignments at the outset of works including the tree and root clearance, and the Mill Creek boundary of the Flood Bund prior to construction. Silt fence installation concepts are included in Plan 252 of Appendix A.

5.4.2. Flood Bund

Silt fence shall be installed along the western and southern extents of work to contain runoff during the initial earthworks phase. Once installed the topsoil will be stripped from the bund extent and used to make a clean water diversion bund on the upslope side of the bund. As the flood bund fill operation commences the fence will only be capturing runoff from the external fill slope of the flood bund. This will comprise a 300m² catchment and a 1000m² catchment. Refer to sheet 251 of the drawings for reference.

5.5. DECANTING EARTH BUND (DEB) AND SEDIMENT RETENTION POND (SRP)**5.5.1. DEB**Overflow Carpark

A decanting earth bund (DEB) will be installed at the low point of the stockpile area to treat the runoff prior to discharge. For the 0.5 Ha catchment, the DEB will have a minimum storage volume of 100m³. While it is acknowledged that the catchment is larger than the recommended maximum in GD05 the choice of control is considered suitable given the:

- the semi vegetated nature of the contributing catchment,
- the grassed swales and the existing sediment retention pond (SRP) will provide secondary treatment.

Plan 253 of Appendix A shows a conceptual design for a DEB and its boom decant.

Prior to commencing works, soil samples will be taken to assess the reactive properties with flocculant solution. A decision regarding installation of flocculant sheds/boxes will be made on receipt of these results. A chemical treatment management plan (CTMP) specifying procedures and quantities for the dosing of the proposed detention is contained in Appendix B.

5.5.2. SRPOverflow Carpark

As shown on Plan 250 of Appendix A, Treating the earthworks runoff from the Overflow Carpark shall feature a sediment retention pond (SRP) at the low point of the works catchment which will discharge to the existing grassed swale.

The required storage is 150 m³ as per the GD05 formula of 200 m³/ha applied to the 7500 m² catchment. To achieve the design 3L/sec/ha discharge from the 7500 m² catchment, the floating boom decant of this pond will have 68 holes as per the area-discharge-hole number formula of GD05. The geotextile wrapped bund shall feature a spillway sized to accommodate the 1% AEP event.

Haybarn

As shown on Plan 251 of Appendix A, an SRP will be created to capture and treat the runoff from the proposed Haybarn earthworks.

For the combined low gradient catchment area of 4,500 m² the required storage is 90 m³ as per the GD05 formula of 200 m³/ha. The boom decant will have 60 holes as per the same formula that was used for the DEB boom in Section 5.5.1. The riser primary outfall will be a 150 mm pvc pipe. A geotextile wrapped emergency spillway over the bund with a weir crest 300 mm above the top of the riser outlet will be designed to convey the 1% AEP storm event. Flocculation will be required as per the CTMP in Appendix B.

Plan 254 of Appendix A is a conceptual design for this SRP.

5.6. DIRTY WATER DIVERSION.

Dirty water drainage will be constructed according to the conceptual designs for diversion bunds and drains contained in Plan 252 of Appendix A.

5.6.1. Overflow Carpark

To direct dirty water to the DEB, diversion channels (contour drains) will be created in the cut and fill surfaces as the programme proceeds. To minimise the scour and generation of dirtier water such channels should ideally not be steeper than 1% in grade.

In the initial stages, contour drains of the same design as diversion bunds across will be created across the slope of the cut to prevent concentrated flows directly down the slope scouring uncontrolled channels down to and through the fill platform. Constructed in a long zigzag this will remove the need to create lined chutes down the cut. The gentler grade of the finished surface will remove this necessity.

5.6.2. Haybarn/Ayrburn Civil Works site

A dirty water drain will be constructed along top of the natural batter (on the downslope extent of works) to convey runoff to the SRP. Treated runoff from the SRP will be discharged to recently grass swales at the toe of the natural batter via an existing stormwater pipe. Small areas that can't be conveyed to the SRP will be contained by silt fence, collected runoff will soak to ground.

5.6.3. Flood Bund

The clean water diversion bund installed on the upslope side of the works will detain dirty runoff from the eastern batter of the flood bund. Collected runoff will soak to ground once the storm has passed.

5.7. CONTROLS FOR WORKS IN SWALES

The creation of the

- Foot path/buggy path down the Double Bus Bay
- Double Bus Bay; and
- Exit from the Ayrburn Carpark to Ayr Avenue

All cross established stormwater swales and will only be constructed in dry weather.

The Double Bus Bay requires the shifting of the swale north. It will be constructed offline, and the new channel only made live, and the old channel filled in once the culvert has been laid and back fill complete.

The swale crossing at the Carpark Exit is the last of the Haybarn works. It will be culverted and backfilled as quickly as possible. Bounding the earthworks corridor with silt fence will limit the migration of sediment in the fill/decommissioning process. Entry and exit from this work site during construction will only be from the carpark and not from Ayr Avenue to minimise the trafficking of silt onto the latter.

The Interceptor Swale will be crossed by the footpath/buggy path to the Double Bus Bay with a concrete pad.

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Any spillage of fill into the swale beyond the works site will be removed immediately.

As the terrain is flat and the swale grades are shallow, no further controls are proposed for these works.

5.8. CONTROLS FOR RAINGARDEN CONSTRUCTION

At the conclusion of the Overflow Carpark works and the removal of the DEB/reinstatement of the swale, the entrance to the SRP will be blocked and the swale will discharge clean water via a temporary pipe to Mill Creek. A clean water diversion bund will be constructed along the base of the slope above the proposed raingarden footprint that will also discharge to Mill Creek.

These controls will remain in place till the live commissioning of the raingarden.

5.9. CONTROLS FOR FLOOD BUND CONSTRUCTION

A silt fence will be established around the extent of the flood plain to contain runoff when the topsoil is stripped. A clean water bund will be formed on the upslope side of the open area in conjunction with the topsoil strip. A culvert will be installed through the works area to convey runoff from upslope, runoff from within the controls will be detained and soak to ground once the storm has passed. The generation of sediment will be minimised by completing this work in warmer summer months, prompt compaction and hydroseeding of the bund.

5.10. STOCKPILE MANAGEMENT

Stockpiles shall be located where they are readily accessible from designated accessways/haul roads and not within concentrated flow paths.

They shall be segregated into different fill classifications as follows:

- Topsoil/conserved turfs for re-spreading and landscaping at the completion of earthworks.
- Site won cut to fill. When not immediately applied, it will be placed in stockpile for later fill use.
- Imported gravels for paths and carpark surface.

All stockpiles shall be shaped, compacted, and maintained in a tidy manner and suitably covered/stabilised if they are not being immediately used.

5.11. DUST CONTROL

The methods used to manage dust will include but are not limited to the following:

- Monitor weather forecasts and manage daily tasks to suit expected wind speeds.
- Keep disturbed areas as small as possible – cut and cover method.
- Re-spread topsoil and establish grass/ apply basecourse and gravel over finished areas as soon as practicable.
- Reduce or suspend work that has the potential to produce dust during times of high wind.
- Roll/compact stripped surfaces, stockpiles and completed surfaces.
- Prior to leaving site at days end, undertake site inspection and apply appropriate measures.
- Sprinkle stripped surfaces with a water cart.

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- Apply clean gravel/proprietary straw matrix, or chemical soil binders if the site is shut down for more than a week.

Water carts shall refill from the mains within Ayr Avenue. All necessary QLDC approvals shall be sought prior and backflow prevention shall be applied.

5.12. INSPECTIONS

5.12.1. Setup Inspection

Prior to breaking ground for construction of control devices, a Suitably Qualified and Experienced Person (SQEP) is to review the perimeter controls to ensure they have been installed correctly and are suitable to contain the runoff from the exposed area and divert run on water. Following acceptance by the SQEP, the Contractor can proceed with construction of sediment control devices.

On completion of construction, the SQEP is to be provided with as-built information including but not limited to:

- Capacity of the device
- Invert levels for device inlets/outlet
- A survey extent of the catchment where diversion channels/cut off drains will be installed.

Only when the as-builts have been accepted by the SQEP, can works commence. The as-built documentation is to be provided to the Consent Authority.

5.12.2. Daily Inspections

The daily inspections will include a walk over the site to view all ESC controls, make sure that all bunds/diversions are functioning correctly, and ensure treatment devices have sufficient capacity. During drier/windier months, regular assessment of dust conditions is to be undertaken, and appropriate management measures promptly implemented. During wetter months, adjoining roads are to be monitored regularly for visibly significant adhered soil and sweeping ordered as required.

These walkovers will be particularly important as works transition between phases and the management plan changes.

Regular review of the controls will help identify any required amendments.

5.12.3. Weekly Inspections

These inspections are to be conducted by the Environmental Representative and documented in accordance with the weekly inspection checklist included in Appendix 2. Completed checklists are to be included in the Monthly Environment Report.

The Environmental Representative is to conduct additional inspections of perimeter controls and treatment devices; during any rain event that general surface runoff, before and after significant rain events on the forecast as details in section 3.1.5.

5.12.4. Monthly Inspections

A SQEP shall monitor the site monthly and ensure it is being managed in accordance with the EMP. The SQEP is to identify any new risks that could have an effect of the receiving environment and

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suggest solutions to improve the controls in place. The outcome of these inspections will be reported and included in the Monthly Environmental Report. This report is to be provided to the Consent Authority within 5 working days of the end of the month and include the following detail:

- Updates to the EMP and erosion sediment controls
- Weekly Site Inspections – number of inspections completed, and summary of corrective actions and/or maintenance work undertaken.
- Additional controls required as a result of changes to construction methodology or when the site is transitioning between stages.
- Summary of monitoring (including Pre- and Post-Rainfall Events and water quality sampling) and whether non-conforming results were obtained.
- Positive environmental outcomes achieved, and opportunities identified.

5.12.5. Pre-storm Event Inspection

When rain and wind events are forecast, all work considered at risk from adverse weather is to cease with enough time to carry out all necessary site management works to protect the site and adjoining property (as applicable). Review of controls is to be carried out to ensure everything is functioning correctly. Particular attention is to be paid to the perimeter controls. No site works will recommence before all ESC measures are inspected after the critical rain event of 20 mm over 24 hrs or greater. maintenance

5.12.6. Specific Inspection and Maintenance Measures

Stabilised Site Entrances- Ayr Avenue and Ayrburn Homestead Drive

- Inspect weekly and after each rainfall event for general maintenance requirements.
- Maintain stabilised entranceways in a condition to prevent sediment from leaving the site. Add further aggregate as necessary when mud blockage becomes evident or when aggregate thickness is not to specification. This may require several applications of new aggregate during the life of the project.
- After each rainfall, inspect the Ayr Avenue swale and clean out as necessary.
- Remove sediment on roads by sweeping or vacuuming as necessary.
- Do not wash any sediment into the swale or any other drainage channels.

Diversion Bunds and Drains

- Unless otherwise specified, inspect weekly and after every rainfall and during periods of prolonged rainfall for scour and areas where diversions may breach. Repair immediately, if required, to ensure that capacity is maintained.
- Remove any accumulated sediment deposited in diversion channels/bunds where there is a risk of overtopping due to a lack of freeboard.
- Check invert and outlets to ensure that these remain free from scour and erosion. Line with geotextile if necessary.
- Look for low spots, areas of water ponding, formation of tunnel gullies, sediment deposition and debris blockage.
- Check for stabilisation cover and ensure full stabilisation cover remains where required.
- Take particular care to protect against damage from earthmoving operations and reinstate the diversion if damaged.

Sediment Retention Ponds and Decanting Earth Bund

- Inspect daily and before and after each rainfall event.

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- Clean out before accumulated sediment volume of reaches 20% of the total SRP volume. To assist in gauging sediment loads, clearly mark the 20% volume height on the decant riser.
- Clean out main pond (and forebay) with a high-capacity sludge pumps, or where possible with an excavator and reapply the material as fill or dispose of to a suitable pre-identified location. Deposit the sediment where it does not lead to an uncontrolled discharge to Mill Creek.
- Maintain batters in stable condition and watch for slumping.
- Watch for and remediate any scour at location of discharges.
- Immediately repair any damage caused by erosion or construction equipment.

Silt Fences

- Inspect at least once a week and after each rainfall.
- Check for damage including rips, tears, bulges in the fabric, broken support wires, loose waratahs, overtopping, outflanking, undercutting, and leaking joints in fabric.
- Make any necessary repairs as soon as identified.
- As the geotextile material becomes clogged with sediments, this will result in increased duration of ponding. Therefore, careful cleaning of the silt fence geotextile with a light broom or brush may be appropriate.
- Remove sediment when bulges occur or when sediment accumulation reaches 20% of the fabric height.
- Remove sediment deposits as necessary (prior to 20% of fabric height) to continue to allow for adequate sediment storage and reduce pressure on the silt fence.
- Return sediment to site fill or dispose of to a secure area to ensure that it does not discharge dirty runoff to Mill Creek.

Soak Pit

- Inspect during/following heavy rain to determine whether runoff has been collected
- Visual inspection of any detained runoff, water sampling to be carried out in accordance with 5.13 if runoff is cloudy and nature and suspended sediment is present.
- Inspect once water has drained to assess presence of any silt.
- Remove any sediment to maintain maximum soakage. Cart sediment to site fill or dispose of to a secure area to ensure that it does not discharge dirty runoff to Mill Creek.

5.13. WATER QUALITY MONITORING

The Environmental Representative, or whoever the ER deputises to do so shall make observations at the points of any discharge from the SRP and DEB and require the measurement of their water quality. Table 5 shows the water quality criteria that must be met by any discharge of water from site.

Table 5 -SRP and DEB discharge criteria

Determinant	Discharge Criterion
Total Suspended Solids (TSS)	< 50 mg/l
Turbidity NTU	A limit calibrated against the TSS limit above.
pH	Stable reading between 6.5 to 8.5
Hydrocarbons, Tannins, Paint	No visible trace
Waste	No visible trace

The results of visual inspections and any subsequent measurements/analysis must be recorded and documented with photos/videos. This monitoring information is to be kept on file and provided to the

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Consent Authority on request. Inspection details and remedial works undertaken shall be recorded in the site diary.

If any of the Table 6 limits are exceeded or present in the discharge, the representative must:

- Immediately identify and remediate the source of the contamination, and
- Following remediation undertake one off sampling at the upstream and downstream extents of the watercourse. Water samples are to be assessed for total percentage change in clarity, all records of water quality monitoring must be kept and provided to the Consent Authority on request.

Visual inspections must be recorded and documented with photos/videos, evidence of the inspection is to be kept on file and provided to the Consent Authority on request.

The Contractor shall ensure no works recommence after any rain event significant enough to generate overland flow until a thorough inspection of all erosion and sediment controls has been undertaken and any remedial works that are required are completed. Inspection details and remedial works undertaken shall be recorded in the site diary.

5.14. RECORDING

A site diary and all necessary records of inspections, monitoring and maintenance shall be kept at the site office. The Construction Project Manager shall be responsible for maintaining the records and shall make this information available to authorised persons upon request.

5.15. STABILISATION AND DECOMMISSIONING OF ESC MEASURES

5.15.1. Stabilisation

Temporary stabilisation for the works shall comprise:

- Water sprinkling during dusty conditions; and
- Clean gravel/ proprietary straw matrix, or chemical soil binders if the site is shut down for more than a week, especially in dry conditions.

Permanent stabilisation shall comprise final path gravel, placement of carpark gravel cell grid, replacement of topsoil and grassing. This stabilisation will occur as soon as the risk of disturbance from further works is sufficiently reduced. For grassing turfing or hydroseeding will be used rather than applying ordinary drill seeding to help promote quicker establishment of the grass. If circumstances such as the season and sequencing of works do not allow for immediate re-grassing, the temporary stabilisation measures shall be applied.

5.15.2. Decommissioning

Removal of the ESC measures shall only happen once the:

- Paths are gravelled.
- Carparks are finished with gravel and cell grid.
- Groundcover of grassed areas reaches 80%.
- The service access way to the Haybarn is paved with gravel or sealed.

SRP/DEB decommissioning occurs once the contributing catchments have been fully stabilised. The key steps for decommissioning will comprise:

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- Dewater once water discharge criteria are met.
- Remove and correctly dispose of all accumulated sediment.
- Remove fabric, riser pipe and boom.
- Backfill the SRP/DEB and stabilise the fill surface.

Decommissioning of the SRP for the construction of the raingarden will only occur once the clean water bypasses are constructed. These latter construction controls will only be removed once the raingarden is operative.

6. OTHER SITE MANAGEMENT MEASURES

6.1. NOISE & HOURS OF OPERATION

The following hours of operation apply:

- Monday to Friday (Inclusive): 7:30am to 6:00pm Saturday: 7:30am to 6:00pm
- Sunday and public holidays: No activity to be undertaken.

Machinery used on site will not exceed the noise levels specified in NZS6803:1999.

Table 6 from NZS6803:1999 outlines the relevant “long-term” noise limits which apply for this project.

Table 6 - Noise Limits

Time of week	Time period	dB L _{eq}	dB L _{max}
Weekdays	0630-0730	55	75
	0730-1800	70	85
	1800-2000	65	80
	2000-0630	45	75
Saturdays	0630-0730	45	75
	0730-1800	70	85
	1800-0630	45	75

These limits apply outside neighbouring buildings; one metre from the façades and 1.2 to 1.5 metres above the relevant floor level.

Sensitive Environmental Receptors include the adjacent properties along the southern boundary of the site.

Noise from the site will be minimised through the following actions:

- No plant/equipment deliveries to the site shall occur between 6pm and 7.30am daily.
- Movement of all machinery onsite shall be conducted without excessive acceleration or braking.
- No amplified music shall be played within the work site.
- Banging or dropping of metal on metal is to be avoided.
- There will be no shouting or communicating in raised voices whilst on site.
- The Site Manager’s contact details shall be clearly displayed on the project board on site for any adjacent privately-owned properties as a principal point of contact.

Noise levels shall be monitored and assessed:

- In accordance with NZS 6803:1999.
- During critical phases of construction, when noise levels may exceed the relevant standards, or in response to reasonable noise complaints being received.

6.2. FACILITIES MANAGEMENT & PARKING

There is an existing site office within the wider Ayrburn and Waterfall Park development, located at the end of the existing Ayr Avenue formation. It is intended to continue using this facility for proposed works.

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The SignOnSite app has been setup for the Development to keep track of inducted personal on site. The site has been geofenced so that a person entering is automatically signed in and visible on the app. If a person entering the site is not inducted or does not have access to the app, they report to the site office to sign in and be inducted if required.

Ablutions will be provided in the form of 'Portaloos' or connection to the mains system once installed and operational. Portaloos will be emptied as necessary, and the waste removed from site via sucker truck.

Light vehicle parking for the contractor, subcontractors, and site visitors will be provided along Ayr Avenue for the Overflow Carpark or in designated areas within the Haybarn site. Heavy plant will park in the construction work areas to minimise the sediment deposition on Ayr Avenue.

6.3. PLANT MAINTENANCE AND REFUELLING

No specific workshop facility will be setup on site. It is anticipated breakdowns/machine servicing will be addressed by offsite service personnel. Contractors' equipment storage will be containerised, and materials placed in the designated laydown area(s).

Refuelling and the storage of contaminants will be conducted away in areas to be designated by the Site Engineer.

Refuelling will:

- Occur at least 30m from a waterway/swale
- Be supervised at all times and
- Be conducted using hoses fitted with a stop valve at the nozzle end

Machinery shall be maintained to minimise the leakage of oil, fuel, hydraulic and other fluids. Spill kits will be available nearby for the clean-up of fuels, lubricants, or other contaminants. A spill kit is to be found in the main Project Office laydown area adjacent the Diesel tank.

6.4. FLOCCULANT MANAGEMENT

Flocculant for the Decanting Earth Bund at the Overflow Carpark will be kept in ICB at a location to be determined by the Site Supervisor within a bunded enclosure, at least 30 metres from any waterbody. The handling and spill procedures shall be followed as per the MSDS for PAC contained in Appendix B.

6.5. WASTE MANAGEMENT

On-site skip bins shall be used for the disposal of general waste. These shall be located at each construction zone and shall be emptied, as necessary. Should any hazardous waste be generated on site, this will be segregated accordingly and disposed of to the appropriate facility. Preliminary testing and investigation of contaminants on site suggests no contaminated earth material will be encountered. At no point shall waste from site be allowed to migrate beyond the site boundaries and onto public road or private property adjacent to the site.

6.6. CONTAMINATED SOIL

Detailed site wide testing suggests there are no ground contaminants that are likely to be encountered as part of the works. If any potentially contaminated materials are discovered whilst undertaking construction work, works shall cease immediately within a 20m radius of the area and the Principal and Engineer to the Contractor shall be notified. No work shall recommence until an agreement has been reached between the parties regarding appropriate protection measures. Testing may be undertaken on the material and the waste classified accordingly. If necessary, the material will be transported off site to the relevant disposal facility.

6.7. ARCHAEOLOGICAL & HERITAGE PROTOCOLS

If Koiwi (human skeletal remains) are discovered whilst undertaking construction work, then the following shall be undertaken:

1. Construction work within a 20m radius of the site shall cease immediately and indefinitely until Te Ao Marama Inc and/or New Zealand Police advise that it can recommence.
2. Advice of the discovery shall be reported, as soon as practicable, to Te Ao Marama Inc (Ngai Tahu Murihiku Resource Management Consultants), the New Zealand Police, the Project Liaison Advisor, and the Grantor.
3. No work shall recommence until an agreement has been reached between the parties regarding appropriate protection measures for the artefact or material found.

Taonga or artefact material other than Koiwi will be treated in a similar manner so that their importance can be determined, and the environment recorded by qualified archaeologists alongside the appropriate Tangata Whenua.

The conditions contained within the Archaeological Authority (no. 2018/123: F41/578 Ayrburn Farm, Lake Hayes Road, Arrowtown) will be adhered to as specified in the authority and as detailed in the archaeological assessment prepared by the approved archaeologist in October 2018.

7. INDUCTION

All workers, including subcontractors, will complete a site induction upon arrival at site. A copy of the site induction form is contained in Appendix B. The induction shall include but not be limited to:

- Roles and responsibilities for environmental management
- Specific locations within the site of environmental significance or risks, including exclusion zones and sensitive receptors
- Scope and conditions of resource consent conditions
- Explanation of the erosion and sedimentation control measures in place and how they work
- Erosion and sedimentation control maintenance and monitoring requirements
- Requirements and procedures for preparing for an imminent rain and/or wind event
- Procedures to reduce and mitigate dust
- Spill management
- Areas where access is not permitted
- Parking and material storage areas including refuelling areas and spill management protocol
- Expectations for specific work
- Archaeological protocols
- Procedures for notifying of potential environmental incidents and complaints

An up-to-date register (Appendix B) shall be maintained on site recording all persons that have completed the induction. All workers and subcontractors shall sign the register upon completion of the induction, this record will be kept on site and be made available to the consent authority on request.

All personnel working on site will be made aware of, and always have access to:

- ORC Land Use & Discharge Permit (RM20.296.01);
- Construction Management Plan; and
- Earthworks Management Plan.

These documents will be available at the site office.

The Construction Project Manager shall make a written record of employees or sub-contractors who do not follow the guidelines set out in this plan and presented at the induction. As applicable, the sub-contractor's employer shall also be notified of each infringement. Any employee or sub-contractor who repeatedly ignores the requirements of this Plan shall be banned from site.

8. RISK MANAGEMENT

8.1. EVENT AND INCIDENT MANAGEMENT

The Site Environmental Representative will notify QLDC of details of any Environmental Incident where the EMP has failed leading to any adverse environmental effects offsite. All Environmental Incidents will be notified by phone call and email to the QLDC monitoring officer listed in Table 5 of this document within 12 hours of becoming aware of the incident.

For any environmental incidents, the Environmental Representative will ensure that remedial actions to mitigate adverse environmental effects are undertaken immediately. On site Contractors will be the first point of assistance for carrying out remedial works.

Once the immediate risk of the environmental incident is managed, an incident investigation will take place to identify and implement corrective actions as soon as practicable. An Environmental Incident Report will be prepared for QLDC within 10 working days of the incident occurring and detail the following:

- The nature of the Environmental Incident
- What management measures were in place to prevent the incident from occurring
- Probable causes of the incident
- Corrective actions that have been undertaken to prevent incidents reoccurring

Refer to the checklist and Failure Assessment Form in Appendix B.

8.2. COMPLAINTS PROCESS

On commencement of the project, site signage shall be installed detailing first points of contact (including phone numbers).

All employees of the main Contractor will be trained to immediately report and feedback to the Site Supervisor issues raised (be it complaints and or praise) from site visitors or neighbouring properties.

All complaints will be followed up and an appropriate course of action taken by the Site Supervisor in the following manner:

1. Ensure Complaints Register is completed.
2. Record complaint.
3. Facilitate open discussion with affected parties.
4. Discuss appropriate solutions.
5. Implement solutions and monitor both nuisance and complainant.

Any complaint received from any person about activities on the site associated with earthworks must be reported to the QLDC within 24 hours.

All feedback will be recorded in a feedback record, which will be maintained by the Construction Project Manager.

The feedback record will cover the following points:

1. Date of Complaint

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2. Complainants Name
3. Complaint Recipients Name
4. Summary of Complaint
5. Action Taken
6. Details of Report back to Complainant
7. Conclusion

Refer to the Complaints Form in Appendix B.

8.3. REVIEW

This plan will be updated when:

- The construction programme moves from one Stage to another; or
- Any significant changes have been made to the construction methodology since the original plan was accepted for that Stage; or
- There has been an Environmental Incident and investigations have found that the management measures are inadequate; or
- There are changes to the site conditions or natural environment.

Any updated version of this plan will be submitted to the QLDC immediately for review and acceptance.

Consultation with the QLDC and potentially affected landowners, may be required for any relevant revisions of a material nature. Reasons for making changes to the plan will be documented.

A copy of the original document and subsequent versions will be kept for the Project records and marked as obsolete. Each new/updated version of the plan documentation will be issued with a version number and date to eliminate obsolete documentation being used.

APPENDIX A – EARTHWORKS AND ESC PLANS

PLAN 211 – OVERFLOW CARPARK PROPOSED AND DEPTH CONTOURS

PLAN 212 – HAYBARN VENUE – PROPOSED AND DEPTH CONTOURS

PLAN 213 – FLOOD BUND – PROPOSED AND DEPTH CONTOURS

PLAN 250 – OVERFLOW CARPARK AND RAINGARDEN

PLAN 251 – HAYBARN AND FLOOD BUND

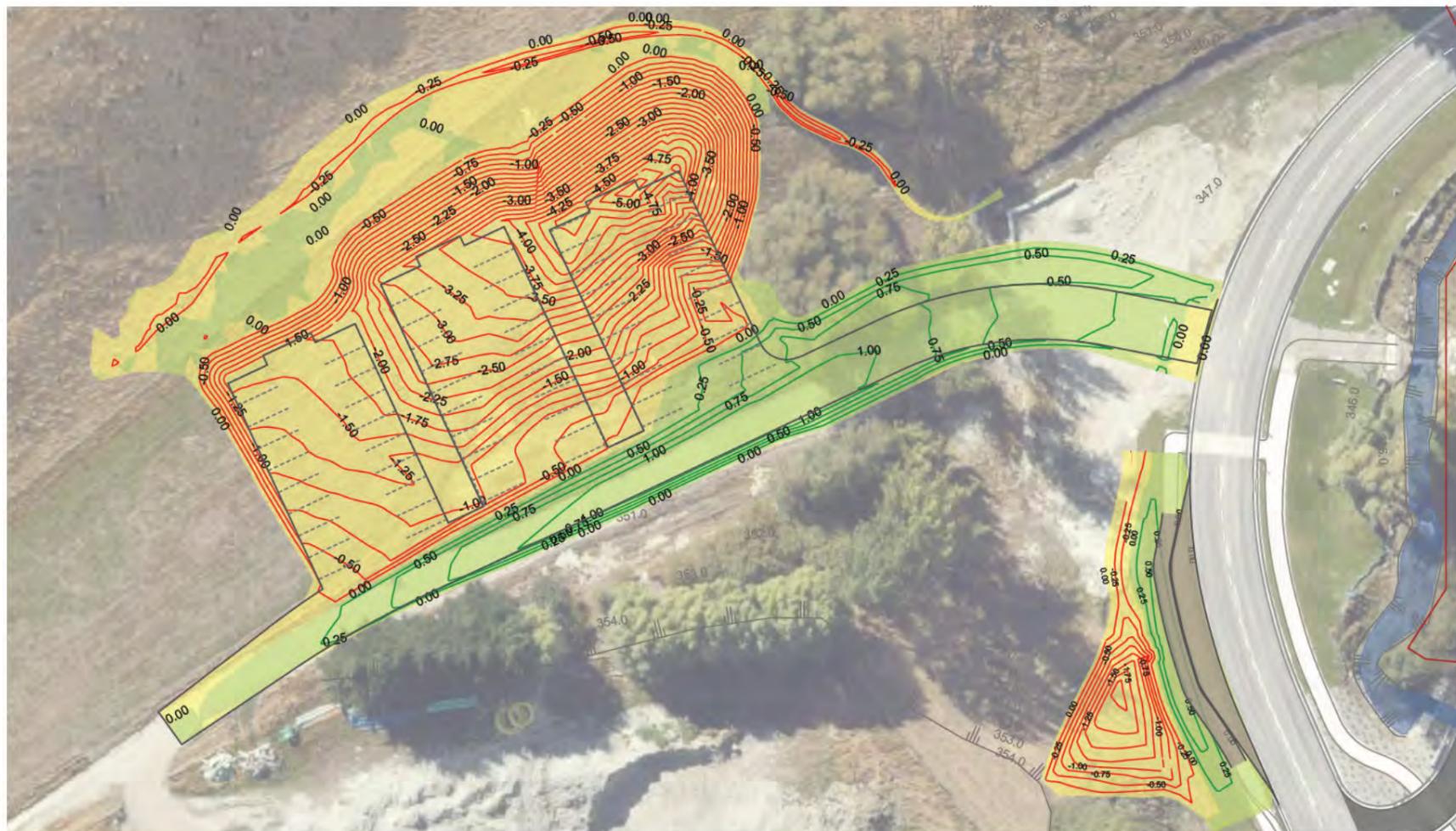
PLAN 252 – DEVICE CONCEPTS

PLAN 253 – DECANTING EARTH BUND

PLAN 254 - SEDIMENT RETENTION POND



PROPOSED CONTOURS



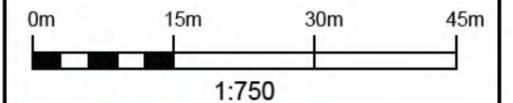
DEPTH CONTOURS



- LEGEND**
- LEGAL BOUNDARY
 - MILL CREEK
 - 354.0 PROPOSED CONTOURS (0.25m INTERVAL)
 - 0.50 PROPOSED CUT CONTOUR (0.25m INTERVAL)
 - 0.50 PROPOSED FILL CONTOUR (0.25m INTERVAL)
 - PROPOSED GRAVEL CARPARK
 - SITE EXTENTS

- EARTHWORKS**
1. TOPSOIL
 - 1.1 STRIP 4,100 m³
 - 1.2 RESPREAD 1,600 m³
 - 1.3 EXCESS 2,500 m³
 2. EARTHWORKS
 - 2.1 CUT 6,500 m³
 - 2.2 FILL 4,400 m³
 - 2.3 EXCESS (WASTE OFF SITE) 2,100 m³
 - 2.4 IMPORTED TO FILL 2,000 m³
 3. MAX CUT/FILL DEPTH -5.00m / 2.00m
 4. AREA OF EARTHWORKS 1.3 Ha

- NOTES**
5. ALL SEDIMENT AND EROSION CONTROLS TO BE ESTABLISHED IN ACCORDANCE WITH AUCKLAND CITY COUNCIL GD05. REFER SHEETS 250-252 FOR FURTHER DETAIL.
 6. CONTRACTOR TO ESTABLISH SEDIMENT AND EROSION CONTROLS PRIOR TO COMMENCING EARTHWORKS.
 7. CONTRACTOR TO LOCATE ALL EXISTING UTILITIES PRIOR TO COMMENCING EXCAVATION.
 8. ALL FILL TO BE PLACED IN ACCORDANCE WITH APPLICABLE GEOTECHNICAL OR ROAD PAVEMENT SPECIFICATION.



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Client & Location:
 AYRBURN PRECINCT LTD
 AYR AVENUE - LOTS 1, 2, 3 & 4
 DP540788

Purpose & Drawing Title:
 HAYBARN VENUE
 PROPOSED AND DEPTH CONTOURS

FOR CONSENT

Surveyed by:	PPG	Original Size:	Scale:
Designed by:	MG	A3	1:750
Drawn by:	SB, EA		
Checked by:	SW		
Approved by:		DO NOT SCALE	
Job No:	Drawing No:	Sheet No:	Revision No: Date:
Q6388	32 - 10	211	A 06/06/2023