

SASTUDIO

WINTON

# Ayrburn Screen Hub

Architectural Design Report





# Part 1

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## Architectural Design Statement

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Prepared for:

Winton



Primary Contact

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Revision


| Revision | Issue                | Date       |
|----------|----------------------|------------|
| A.       | Draft                | 27.11.2024 |
| B.       | Draft 2              | 12.12.2024 |
| C.       | Draft 3              | 16.12.2024 |
| D.       | FINAL DRAFT          | 20.10.2024 |
| E.       | FOR RESOURCE CONSENT | 04.02.2025 |
| F.       | FOR INFORMATION      | 04.06.2025 |
| G.       | FOR FTA APPLICATION  | 27.06.2025 |

Consultants:

The proposal has been developed in collaboration with a multidisciplinary team who have interrogated the brief, the demand and the site to provide a design that responds to the local character and context, the topography and existing site features, and aims to provide a vibrant stimulus for the growing film industry in the region while being an appropriate neighbour to the existing Ayrburn and Waterfall Park developments.

This document should be read in conjunction with the following consultants' documentation, including;

Developer and Landscape Architect: Winton  
Civil Engineering and Surveying : Patersons  
Traffic Engineer: Carriageway Consulting Ltd  
Environmental Engineer: CKL  
Acoustic Consultant: Marshall Day

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# Executive Summary

Embracing the Winton aspiration of Best by Design, this application seeks approval to construct the Ayrburn Screen Hub. Resulting in a collection of buildings and landscapes that are grounded in its context and delivered with quality and integrity.

The Screen Hub proposal is comprised of a film and television production facility with associated accommodation and amenity buildings.

The proposal has been developed as a collaboration between the client; Winton, film industry advisors, landscape designer, architect, and a wider multidisciplinary project team. The project team has investigated the demand and appropriateness of the Screen Hub proposal at this location.

The Queenstown / Wanaka and wider Central Otago/Southland landscapes provide attractive ‘on location’ shooting environments that have drawn regional, national, and international interest and use. This region is the third largest screen production area in New Zealand.

This proposal seeks to construct a Screen Hub facility that will meet the demand of the film industry for fit-for-purpose buildings that allow for an increased range of work stages to be completed in the Whakatipu.

Ayrburn Farmstead was first developed in the 1860’s and was prominent in the agricultural industry, known for wheat and sheep farming in the region. Ayrburn farm become one of the largest farms in the Whakatipu.

The recent refurbishment of the Ayrburn Heritage Domain as a Hospitality Precinct is underpinned by the site reflecting the prominent industry of its time. Nowadays, the prominent industry is tourism and Ayrburn supports this.



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# Project Overview

## Introduction

This design statement and architectural documentation describe the proposed Ayrburn Screen Hub at Ayrburn for Waterfall Park Developments Limited prepared by Sutherland Architecture Studio (SA Studio).

Ayrburn Screen Hub is to be located between Queenstown and Arrowtown along the Arrowtown – Lake Hayes Road. The address is Ayr Avenue, Arrowtown 9371 which is located in the Queenstown Lakes District. The legal description is: Lot 4 DP540788. The total site area is 23.4 ha.

The site is to be accessed via Ayr Avenue off the Arrowtown-Lake Hayes Road arterial link to the east. The Screen Hub proposal includes:

1.

**Studio Facility: Shooting Facilities**  
Including filming studios, workshops, storage and tech facilities as well as external laydown areas.
2.

**Studio Facility, Offices**  
With multi-use layouts for actor spaces, dressing rooms, workrooms and production offices.
3.

**Film Worker Accommodation**  
A range of one, two and four-bedroom studios are proposed to cater for film crews, actors and executives. When the accommodation is not occupied by film requirements they can be offered on the commercial market as visitor accommodation.
4.

**Reception, Lounge, Gym and Wellness**  
The gateway and welcoming building to the proposal includes office spaces and reception services. The Gym and Wellness building to the east provides recreation and relaxation spaces for the film crew and accommodation guests, and is proposed to be open to the public.
5.

**Ayrburn Depot**  
This building serves a dual purpose of providing back of house amenity including inward goods, storage, refuse and commercial kitchen support to both the existing Ayrburn hospitality precinct and the proposed Screen Hub. On the upper levels the Depot is home to office space and staff facilities.
6.

**Parking and horizontal infrastructure**  
To support a range of pedestrian, cycle and vehicular movements. Refer to the full application for further information.
7.

**Landscaping**  
A diverse network of soft landscaping provides native, riparian and amenity plantings. Refer to the full application for further information. Water features provide filtration and a relaxing environment. Enhanced existing landforms provide screening and a tangible project boundary.



Studio Facility



Accommodation Reception



Studio Facility



Depot Entrance

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## Project Overview Images

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Artist's Impression – Studio Facility looking east



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Artist's Impression – Studio Facility looking west



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Artist's Impression – Reception and Port Cochere



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Artist's Impression – Depot Building and Studio Facility



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Artist's Impression – Central landscape and accommodation



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Artist's Impression – Internal circulation and accommodation looking towards the Studio Facility



Architectural Rendering: One to One Hundred

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## Site Information

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# Site Context

## Location, Access and Surrounds

The proposed Ayrburn Screen Hub is located between Arrowtown and Lake Hayes. It is approximately 2-5 minutes' drive from Arrowtown. Arrowtown is a historically rich and picturesque township which offers viable film locations within the township and nearby sites including the Chinese mining settlement, Arrow River and Mace Town to name a few.

Ayrburn Screen Hub is approximately 20 minutes drive to Queenstown, and 10 minutes drive from the Queenstown International Airport. Queenstown is the doorstep to a multitude of filming sites, including Glenorchy, Paradise and Walter Peak.

The location maps show driving distances to a range of locations that include notable landmarks, lakes, and rivers which offer on-site filming locations; notably Lake Hayes, Lake Wakatipu, Kawarau and Shotover rivers, Coronet Peak and The Remarkables, as well as the Crown Range and Skippers Canyon.



Wider Location Plan  
NTS



Location Plan  
NTS

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# Site Context

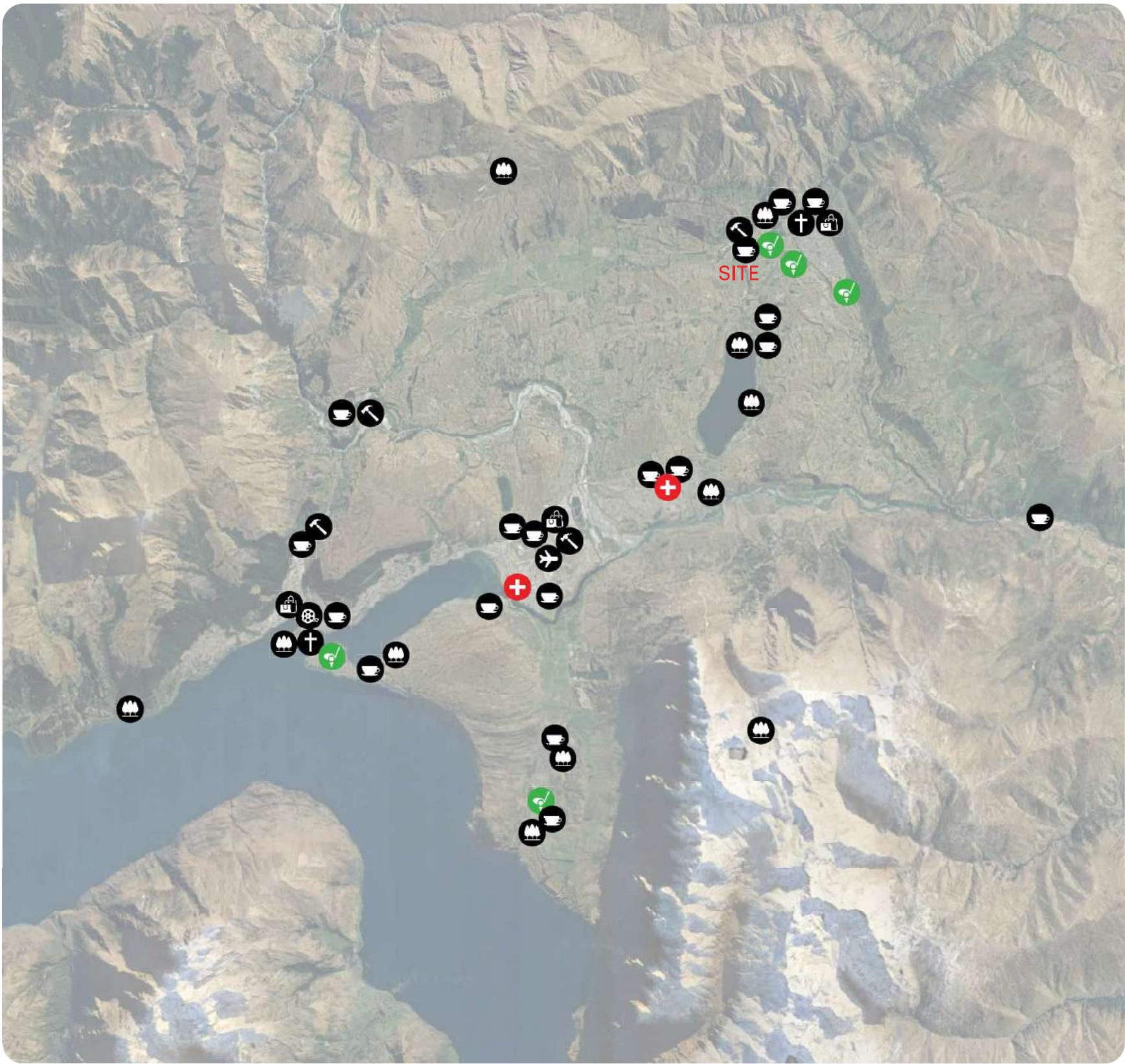
## Surrounding Amenities

There are a number of existing amenities within the wider vicinity of the site that have the opportunity to support the proposal with the supply of equipment, materials and services to the Screen Hub.

Commercial and town centres provide social amenity to any crew that is residing at the Screen Hub.

These surrounding amenities include:

-  Industrial land: set fabrication
-  Commercial Centre: supermarkets and retail
-  Airport
-  Churches
-  Hospitality venues
-  Cinemas
-  Hospital
-  Parks and reserves
-  Golf courses



Surrounding Amenities Plan  
NTS

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# Site Context

## Existing Built Context

Ayrburn Farm is steeped in agricultural history with the built structures portraying traditional construction methods of the era and region. Traditional gable forms and honest, quality materials are evident at Ayrburn.

This proposal seeks to extend that architectural language with gable and lean-to forms for most of the proposed buildings.

The images on this page show the original buildings and completed refurbishment of the stone and timber buildings at Ayrburn.

- 1 Original stable building
- 2 Refurbished stable building
- 3 Timber Homestead, with circa 1950's plaster cladding
- 4 Refurbished cookhouse
- 5 Original cart shed
- 6 Refurbished cart shed, known as the Manure Room



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# Site Context

## Existing Site Materiality

Local materials have been used in the original construction, with local stone and southern beech timbers being prominent.

These materials have been used in the refurbishment of Ayrburn and are included in this proposal alongside new timber, metal and glass.

Existing landscaping also features extensive use of natural materials, namely flagstone pavers, exposed aggregate or gravel driveways, plantings and open grassed areas. The proposal aims to extend this character and complement the Ayrburn Precinct.



Corrugate cladding on the Woolshed



Stone landscape fences and gravel driveways



Timber shingles and hardwood



Stone masonry



Ayrburn Heritage Precinct from Mill Creek



Ayrburn Heritage Precinct from the West

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# Site Photos

## Views towards the site

These images show the views onto the subject site from surrounding locations within the Ayrburn Hospitality development and from the public cycle trail.



- 1 View towards the south site access at the Flower Farm
- 2 View towards the north site access
- 3 Elevated view looking south over the subject site
- 4 View looking west across the site
- 5 Elevated view looking east across the site
- 6 View from the southern corner looking north east

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|--|--|-------------------|---|--|--|



# Site Analysis

## Environmental aspects that affect buildings

The NIWA data for Queenstown is shown below and site wind and sun analysis diagrams are shown to the right. NIWA data was collected from Queenstown Airport.

The site benefits from all day sun.

The north-easterly is the prevailing wind. The southerly and south-westerly are cold strong winds. Westerly winds are also strong.

Existing mature trees along the southern boundary break the southerly winds.

Planted buffers to the western boundary and shelter-belts in the site and neighbouring properties protect the site from strong southerlies and westerlies.

Please refer to the Landscape Strategy report for more information.

### Architectural Response:

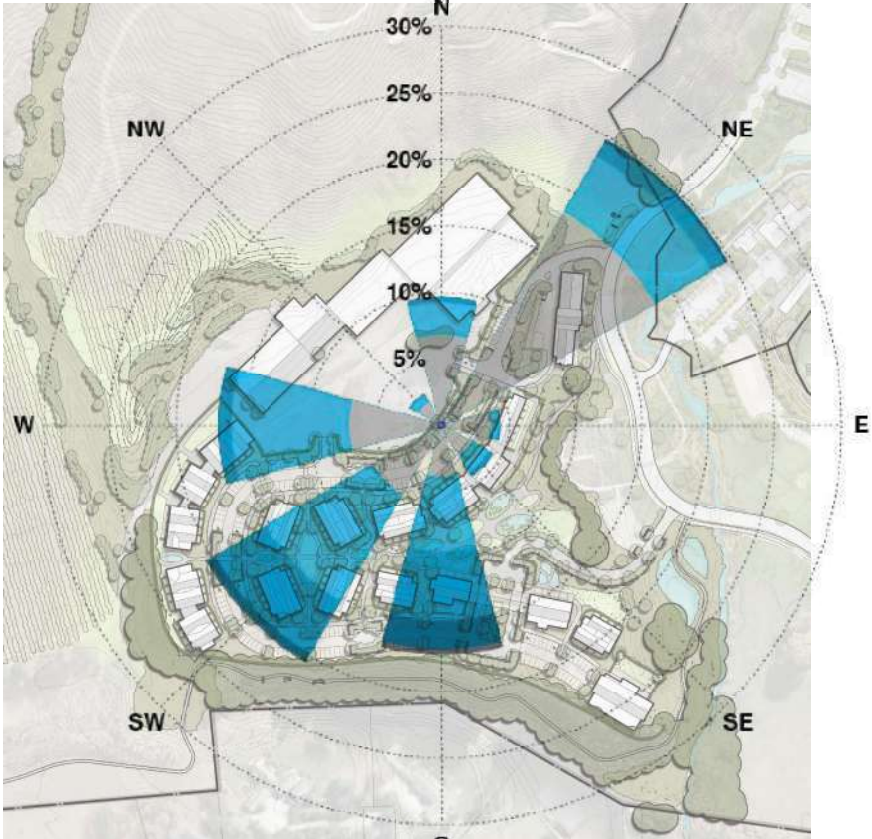
The buildings are oriented so that very few accommodation units face south, allowing for passive heating and daylight.

Key public outdoor amenity areas are located on the north side of the buildings.

The built forms are staggered to reduce any over-shading and assist with privacy between the buildings.



Solar analysis overlay diagram  
Data from NIWA Queenstown Airport



Wind analysis overlay diagram  
Data from NIWA Queenstown Airport

|   |   |               |  |  |                      |
|---|---|---------------|--|--|----------------------|
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## Design Concept

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# Local Inspiration

## Precedent Imagery & Conceptual Response

The Otago/ Southland region is characterised by rural buildings which have developed into a local vernacular of timber and stone buildings with simple, gabled, metal roof forms.

This local building vernacular is already evident at Ayrburn and the proposed buildings take cues from their form, proportion and materiality.

Also scattered amongst the rural New Zealand landscape are functional woolsheds and covered yards. The Screen Facility requires a large footprint and a higher volume to suit production; this building is conceived as a large agricultural shed.

Conceptually the proposed Ayrburn Screen Hub and accommodation is conceived as a cluster of buildings around a central open space. The buildings are either work places or places for rest and relaxation, akin to the woolshed, main house and sleeping quarters of a well established farmstead.

While the proposed buildings vary in form and scale, they all have architectural elements that relate to human scale and have articulation that creates intrigue and movement; for example, sliding shutters and louvres, or staircases that are external or set within glazed walls.

These architectural moves, as well as the placement of the buildings nestled into the surrounding landforms, aim to instil a feeling of relaxed permanence, like they have always been there.



- 1 Morven Hills Woolshed, Lindis, Central Otago
- 2 Maniototo Woolshed
- 3 Ayrburn Woolshed
- 4 Marshall's Cottage on the edge of Lake Hayes
- 5 The Stables, Arrowtown
- 6 Hicks Cottage, Shotover Delta, Queenstown
- 7 The Stables, Ayrburn

|   |  |                   |   |   |  |
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# Material Palette

## Materials Narrative

The palette of materials has been informed by the traditional architecture and natural resources of the surrounding area. The development looks to embrace traditional craft and skill whilst offering a contemporary architectural response.

The collection of building typologies, ranging from accommodation to film studio, offer a differing scale and articulation to reflect their purpose and create a development where form is informed by its function.

The tones, colours and textures of the selected materials are the result of a design process to determine an approach that allows each building to have a unique sense of character whilst allowing them to complement each other.

Lighting is subtle and generally located within the landscape. The proposal does not include extensive uplights to buildings.

Refer to the Landscape Strategy for lighting concepts and plans.



A: DARK CORRUGATE



B: AGED CORRUGATE



C: VERTICAL TIMBER



D:TIMBER WITH BATTENS



E: HORIZONTAL TIMBER



F: STONE MASONRY



G: BOARD FORM CONCRETE



H: BLACKENED STEEL



I: DARK JOINERY



J:TIMBER SHUTTERS/PANELS



K: STEEL AND TIMBER



L:GLAZED LINKWAYS



M: TEXTURED PLASTER

## Materials Legend

A: Dark corrugate  
Ranging in colour for varied roof tones.  
Colours will be selected from:  
Slate: LRV: 9  
Ironsand: LRV: 8  
Thunder Grey: LRV: 12

B: Aged corrugate  
Aged to match the other recycled corrugate at Ayrburn.  
Approx LRV: 27 (Colorsteel Windspray)

C: Vertical timber  
Approx LRV: 27 (Resene Monsoon)

D: Timber with cover battens  
Approx LRV: 7 (Resene Monkey)

E: Horizontal timber  
Approx LRV: 20 (Resene Matakana)

F: Stone masonry with natural grout. Stone to be selected from Gibbston quarries  
Approx LRV: 36 (Resene White Metal)

G: Board form concrete  
Approx LRV: 42 (Resene Half Jumbo)

H: Blackened steel  
Approx LRV: 12 (Resene Half Shark)

I: Dark steel joinery in black or charcoal  
Approx LRV: 5 (Colorsteel Ebony)

J: Timber shutters

K: Steel and timber exposed structure

L: Glazing. Used in larger format to identify a linkway.

M: Textured Plaster: Porters Double Watermark  
LRV:62 (or similar max LRV 65)

Note: Natural materials have approximate LRV's given, they have been generated using Resene ColourMatch online tool.

|   |   |   |   |  |
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Proposal

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## Functional Brief

The proposal includes the following buildings:

## A Studio Facility: Shooting Facilities

Including filming studios, workshops, storage and tech facilities as well as external laydown areas. This area can be split into two smaller standalone film facilities or more flexible spaces depending on the needs of the production. The area also includes a 'backlot' which is a flexible area used for laydown, out-sets and parking film vehicles etc.

**B Studio Facility: Offices, actor spaces, dressing, tech, and workrooms**

With multi-use layouts for actor spaces, dressing rooms, workrooms and production offices. Rooms would be laid out taking precedent from current office facilities where larger accommodation suites are used for film office and tech facilities. For resilience these will be used as larger accommodation villas when not booked as film facilities.

### C Crew Accommodation

A range of one, two, and four-bedroom studios are proposed to cater for film crews, actors and executives. When the accommodation is not occupied by film requirements they can be offered on the commercial market as visitor accommodation.

### D Ayrburn Depot

This building serves a dual purpose of providing back of house amenity including inward goods, storage, refuse and commercial kitchen support to both the existing Ayrburn hospitality precinct and the proposed Film Hub. On the upper levels the Depot is home to office space and staff facilities.

## E Reception, Gym and Wellness

The gateway and welcoming building to the proposal includes office spaces and reception services. The Lounge, Gym and Wellness building to the east provides recreation and relaxation spaces for the film crew and accommodation guests, and is proposed to be open to the public.



## Ayrburn Screen Hub Precinct Plan

Plan by Winton, refer to the Landscape Strategy for further information

### Vehicle Access



Site Boundary

|  |  |  |                   |   |  |  |
|--|--|--|-------------------|---|--|--|
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# Proposed Site Plan

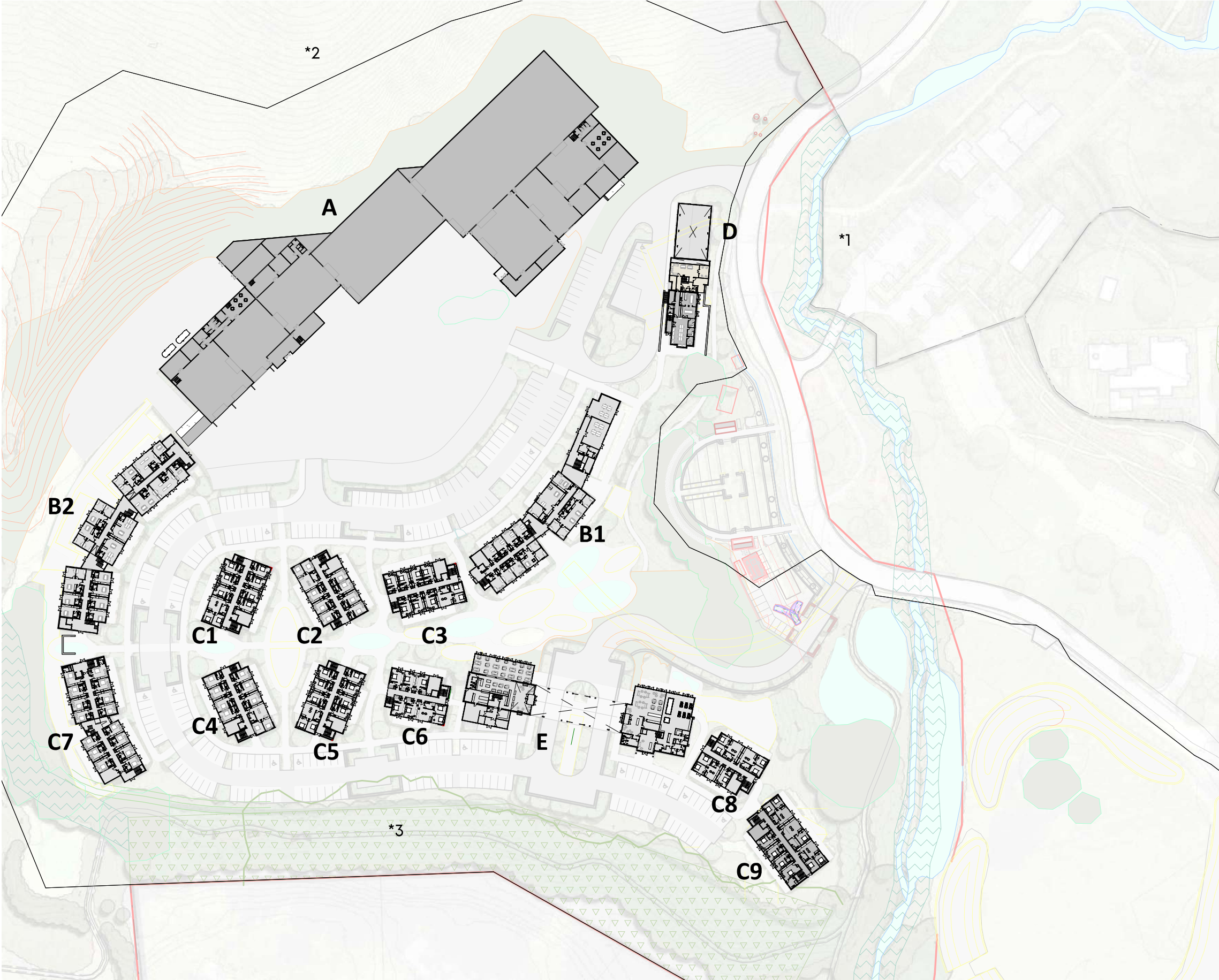
## Masterplan

### PROPOSED BUILDINGS

- A Studio Facility: Shooting Facilities
- B1-B2 Studio Facility, Offices
- C1-C9 Accommodation
- D Ayrburn Depot
- E Reception, Gym and Wellness

### EXISTING FEATURES

- \*1 Ayrburn Precinct
- \*2 Christine's Hill
- \*3 Retained conifer shelter belt



|   |  |               |  |                                      |   |                      |
|---|--|---------------|--|--------------------------------------|---|----------------------|
| <b>SASTUDIO</b>   | <b>notes</b><br>All works to comply with the NZBC and relevant codes and standards.<br>All works to hold shared copyright between the owner and the architect for this project and site.<br>All dimensions to be checked prior to site works. If in doubt - ask. | <b>WINTON</b> |  | project<br><b>Ayrburn Screen Hub</b> | sheet name<br><b>Proposed Site Plan</b>         | revision<br><b>G</b> |
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# Proposed Ground Floor Plan

## Masterplan- Ground Floor

### PROPOSED BUILDINGS

- A Studio Facility: Shooting Facilities
- B1-B2 Studio Facility, Offices
- C1-C9 Accommodation
- D Ayrburn Depot
- E Reception, Gym and Wellness

Refer to each building documentation set for further information



1 GROUND FLOOR  
SCALE @ A3 1 : 1500

|   |  |                          |   |  |  |
|---|--|--------------------------|---|--|--|
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|---|--|--------------------------|---|--|--|



# Proposed Areas and Rooms

SCHEDULE BY BUILDING BLOCK

| A. FILM FACILITY |      |    |  |  |
|------------------|------|----|--|--|
| AREA             |      |    |  |  |
| GF               | 7200 |    |  |  |
| LEVEL 1          | 942  |    |  |  |
| LEVEL 2          | 412  |    |  |  |
| SUB TOTAL        | 8554 | M2 |  |  |

| E1 LOUNGE, GYM & ACCOMMODATION |     |         |       |       |
|--------------------------------|-----|---------|-------|-------|
| AREA                           |     |         |       |       |
| GF                             | 541 |         |       |       |
| FF                             | 255 |         |       |       |
| SUB TOTAL                      | 796 | M2      |       |       |
| UNITS (INC 4 KITCHENS)         |     |         |       |       |
|                                | STD | PREMIUM | DELUX | TOTAL |
| GF                             | 0   | 0       | 0     | 0     |
| FF                             | 0   | 2       | 2     | 4     |
| SUB TOTAL                      | 0   | 2       | 2     | 4     |

| B1 FILM OFFICES or ACCOMMODATION                   |      |        |       |       |
|--|------|--------|-------|-------|
| AREA   |      |        |       |       |
| GF   | 1113 |        |       |       |
| LEVEL 1  | 1002 |        |       |       |
| SUB TOTAL  | 2115 | M2     |       |       |
| UNITS (NOTE - ROOMS CAN BE EITHER OFFICE OR HOTEL) |      |        |       |       |
|  | STD  | DOUBLE | 4 BED | TOTAL |
| GF   | 7    | 2      | 1     | 10    |
| FF   | 7    | 2      | 1     | 10    |
| SUB TOTAL  | 14   | 4      | 2     | 20    |
| TENANT OFFICE                                      |      |        |       |       |
| LOUNGE   | 4    |        |       |       |
| LAUNDRY  | 1    |        |       |       |
| UNITS WITH TEA STATIONS                            | 14   |        |       |       |
| UNITS WITH KITCHENS                                | 6    |        |       |       |

| C1 ACCOMMODATION. TYPE 1 |     |         |        |       |
|--------------------------|-----|---------|--------|-------|
| AREA                     |     |         |        |       |
| GF                       | 442 |         |        |       |
| LEVEL 1                  | 397 |         |        |       |
| SUB TOTAL                | 839 | M2      |        |       |
| UNITS (INC 3 KITCHENS)   |     |         |        |       |
|                          | STD | PREMIUM | DOUBLE | TOTAL |
| GF                       | 7   |         | 1      | 8     |
| FF                       | 6   |         | 2      | 8     |
| SUB TOTAL                | 13  | 0       | 3      | 16    |

| C4 ACCOMMODATION TYPE 1 |     |         |        |       |
|-------------------------|-----|---------|--------|-------|
| AREA                    |     |         |        |       |
| GF                      | 442 |         |        |       |
| LEVEL 1                 | 397 |         |        |       |
| SUB TOTAL               | 839 | M2      |        |       |
| UNITS (INC 3 KITCHENS)  |     |         |        |       |
|                         | STD | PREMIUM | DOUBLE | TOTAL |
| GF                      | 7   |         | 1      | 8     |
| FF                      | 6   |         | 2      | 8     |
| SUB TOTAL               | 13  | 0       | 3      | 16    |

| D. DEPOT & AYRBURN OFFICE |     |    |  |  |
|---------------------------|-----|----|--|--|
| AREA                      |     |    |  |  |
| GF - DEPOT                | 419 |    |  |  |
| LEVEL 1 - DEPOT           | 132 |    |  |  |
| LEVEL 1 - OFFICE          | 204 |    |  |  |
| LEVEL 2 - OFFICE          | 173 |    |  |  |
| SUB TOTAL                 | 928 | M2 |  |  |

| C9 ACCOMMODATION TYPE 4 |     |         |        |       |
|-------------------------|-----|---------|--------|-------|
| AREA                    |     |         |        |       |
| GF                      | 508 |         |        |       |
| LEVEL 1                 | 470 |         |        |       |
| SUB TOTAL               | 978 | M2      |        |       |
| UNITS (INC 8 KITCHENS)  |     |         |        |       |
|                         | STD | PREMIUM | DOUBLE | TOTAL |
| GF                      | 3   | 2       | 2      | 7     |
| FF                      | 3   | 2       | 2      | 7     |
| SUB TOTAL               | 6   | 4       | 4      | 14    |

| B2 FILM OFFICES or ACCOMMODATION                   |      |         |        |       |
|--|------|---------|--------|-------|
| AREA   |      |         |        |       |
| GF   | 1232 |         |        |       |
| LEVEL 1  | 1137 |         |        |       |
| SUB TOTAL  | 2369 | M2      |        |       |
| UNITS (NOTE - ROOMS CAN BE EITHER OFFICE OR HOTEL) |      |         |        |       |
|  | STD  | PREMIUM | DOUBLE | TOTAL |
| GF   | 6    | 3       | 6      | 15    |
| FF   | 10   | 1       | 6      | 17    |
| SUB TOTAL  | 16   | 4       | 12     | 32    |
| TENANT OFFICE                                      |      |         |        |       |
| LOUNGE   | 0    |         |        |       |
| LAUNDRY  | 1    |         |        |       |
| UNITS WITH TEA STATIONS                            | 16   |         |        |       |
| UNITS WITH KITCHENS                                | 16   |         |        |       |

| C2 ACCOMMODATION TYPE 1 |     |         |        |       |
|-------------------------|-----|---------|--------|-------|
| AREA                    |     |         |        |       |
| GF                      | 442 |         |        |       |
| LEVEL 1                 | 397 |         |        |       |
| SUB TOTAL               | 839 | M2      |        |       |
| UNITS (INC 3 KITCHENS)  |     |         |        |       |
|                         | STD | PREMIUM | DOUBLE | TOTAL |
| GF                      | 7   |         | 1      | 8     |
| FF                      | 6   |         | 2      | 8     |
| SUB TOTAL               | 13  | 0       | 3      | 16    |

| C5 ACCOMMODATION TYPE 1 |     |         |        |       |
|-------------------------|-----|---------|--------|-------|
| AREA                    |     |         |        |       |
| GF                      | 442 |         |        |       |
| LEVEL 1                 | 397 |         |        |       |
| SUB TOTAL               | 839 | M2      |        |       |
| UNITS (INC 3 KITCHENS)  |     |         |        |       |
|                         | STD | PREMIUM | DOUBLE | TOTAL |
| GF                      | 7   |         | 1      | 8     |
| FF                      | 6   |         | 2      | 8     |
| SUB TOTAL               | 13  | 0       | 3      | 16    |

| E. RECEPTION & OFFICE |              |     |    |  |
|-----------------------|--------------|-----|----|--|
| AREA                  |              |     |    |  |
| GF                    | 562          |     |    |  |
| LEVEL 1               | 169          |     |    |  |
| SUB TOTAL             | 731          | M2  |    |  |
| ROOF                  | PORT COCHERE | 336 | M2 |  |

| C8 ACCOMMODATION VIP   |     |        |       |       |
|------------------------|-----|--------|-------|-------|
| AREA                   |     |        |       |       |
| GF                     | 368 |        |       |       |
| LEVEL 1                | 326 |        |       |       |
| SUB TOTAL              | 694 | M2     |       |       |
| UNITS (INC 6 KITCHENS) |     |        |       |       |
|                        | STD | DOUBLE | DELUX | TOTAL |
| GF                     | 1   | 1      | 2     | 4     |
| FF                     | 2   | 1      | 2     | 5     |
| SUB TOTAL              | 3   | 2      | 4     | 9     |

| C7 ACCOMMODATION TYPE 3 |      |         |        |       |
|-------------------------|------|---------|--------|-------|
| AREA                    |      |         |        |       |
| GF                      | 710  |         |        |       |
| LEVEL 1                 | 648  |         |        |       |
| SUB TOTAL               | 1358 | M2      |        |       |
| UNITS (INC 6 KITCHENS)  |      |         |        |       |
|                         | STD  | PREMIUM | DOUBLE | TOTAL |
| GF                      | 13   | 2       |        | 15    |
| FF                      | 13   | 2       |        | 15    |
| SUB TOTAL               | 26   | 4       | 0      | 30    |

| C3 ACCOMMODATION TYPE 1 |     |         |        |       |
|-------------------------|-----|---------|--------|-------|
| AREA                    |     |         |        |       |
| GF                      | 442 |         |        |       |
| LEVEL 1                 | 397 |         |        |       |
| SUB TOTAL               | 839 | M2      |        |       |
| UNITS (INC 3 KITCHENS)  |     |         |        |       |
|                         | STD | PREMIUM | DOUBLE | TOTAL |
| GF                      | 7   |         | 1      | 8     |
| FF                      | 6   |         | 2      | 8     |
| SUB TOTAL               | 13  | 0       | 3      | 16    |

| C6 ACCOMMODATION TYPE 2 |     |         |        |       |
|-------------------------|-----|---------|--------|-------|
| AREA                    |     |         |        |       |
| GF                      | 364 |         |        |       |
| LEVEL 1                 | 320 |         |        |       |
| SUB TOTAL               | 684 | M2      |        |       |
| UNITS (INC 4 KITCHENS)  |     |         |        |       |
|                         | STD | PREMIUM | DOUBLE | TOTAL |
| GF                      | 5   |         | 1      | 6     |
| FF                      | 4   | 0       | 2      | 6     |
| SUB TOTAL               | 9   | 0       | 3      | 12    |

COMBINED SCHEULDE

| AREA SUMMARY |  |       |    |  |
|--------------|--|-------|----|--|
| AREA         |  |       |    |  |
| GF           |  | 15227 |    |  |
| LEVEL 1      |  | 7590  |    |  |
| LEVEL 2      |  | 585   |    |  |
| TOTAL        |  | 23402 | M2 |  |

| ACCOMMODATION SUMMARY       |     |         |        |       |
|-----------------------------|-----|---------|--------|-------|
| UNITS                       |     |         |        |       |
|                             | STD | PREMIUM | DOUBLE | DELUX |
| GF                          | 70  | 7       | 17     | 2     |
| FF                          | 69  | 7       | 23     | 4     |
| TOTAL                       | 139 | 14      | 40     | 6     |
| SEPARATE BEDROOMS           |     |         |        |       |
| NUMBER OF SEPARATE BEDROOMS |     |         |        |       |
| ACCOMMODATION TYPOLOGIES    |     |         |        |       |
| UNITS WITH TEA STATIONS     |     |         |        |       |
| UNITS WITH KITCHENS         |     |         |        |       |
| ADDITIONAL AMENITIES        |     |         |        |       |
| LAUNDRY                     |     |         |        |       |
| SHARED LOUNGE WITH KITCHEN  |     |         |        |       |

NOTES:  
GF SLAB AREA  
FF INSIDE OF EXTERNAL WALL, EXCLUDING STAIR VOIDS  
TEA STATION: INCLUDED IN STANDARD UNITS. NO COOKING FACILITIES  
KITCHEN: INCLUDED IN PREMIUM, DOUBLE, DELUX AND 4 BED UNITS. KITCHEN INCLUDES COOKING FACILITIES.



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## Compliance Diagrams

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# Proposed Building Levels

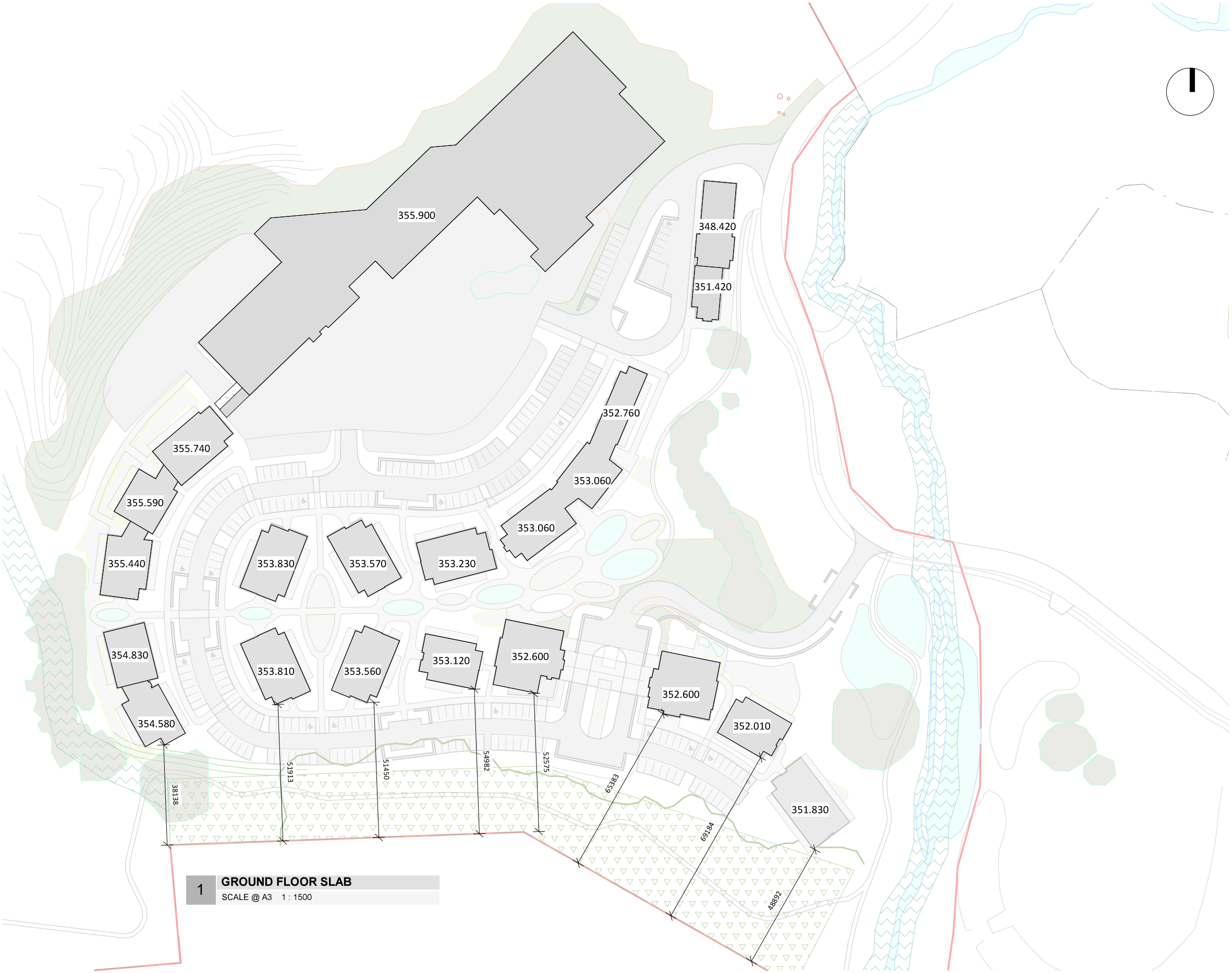
## Ground floor slab relative level

The adjacent plan shows the relative ground floor slab height of each building.

The approach to determining the levels is to allow for the buildings to follow the natural topography, that falls towards the south west, and to allow for the accommodation buildings to sit under the 8m height plane of the natural topography.

Refer to the 8m height overlay diagram for further detail.

The connections between the buildings allow for accessible paths and the main accessways to each building offers a level threshold.



1 GROUND FLOOR SLAB  
SCALE @ A3 1 : 1500

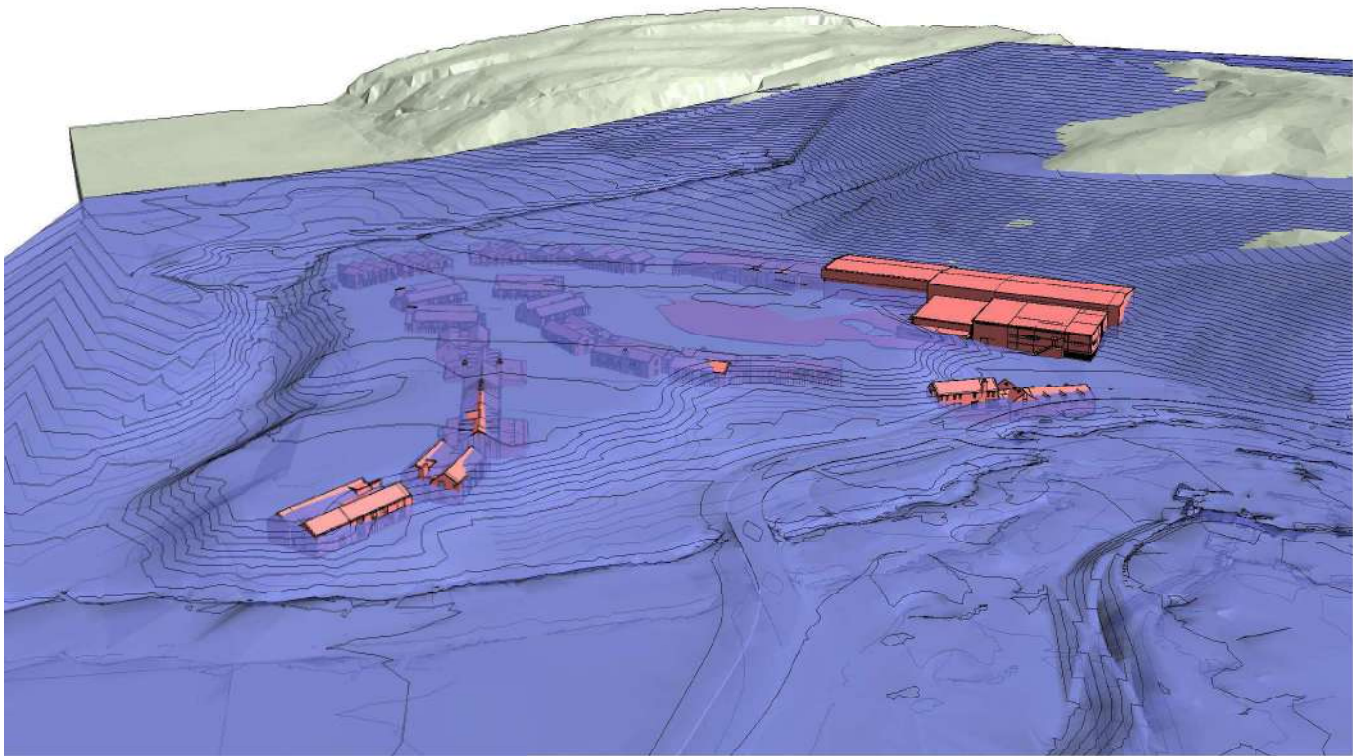
|  |   |               |   |  |   |
|--|---|---------------|---|--|---|
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|--|---|---------------|---|--|---|



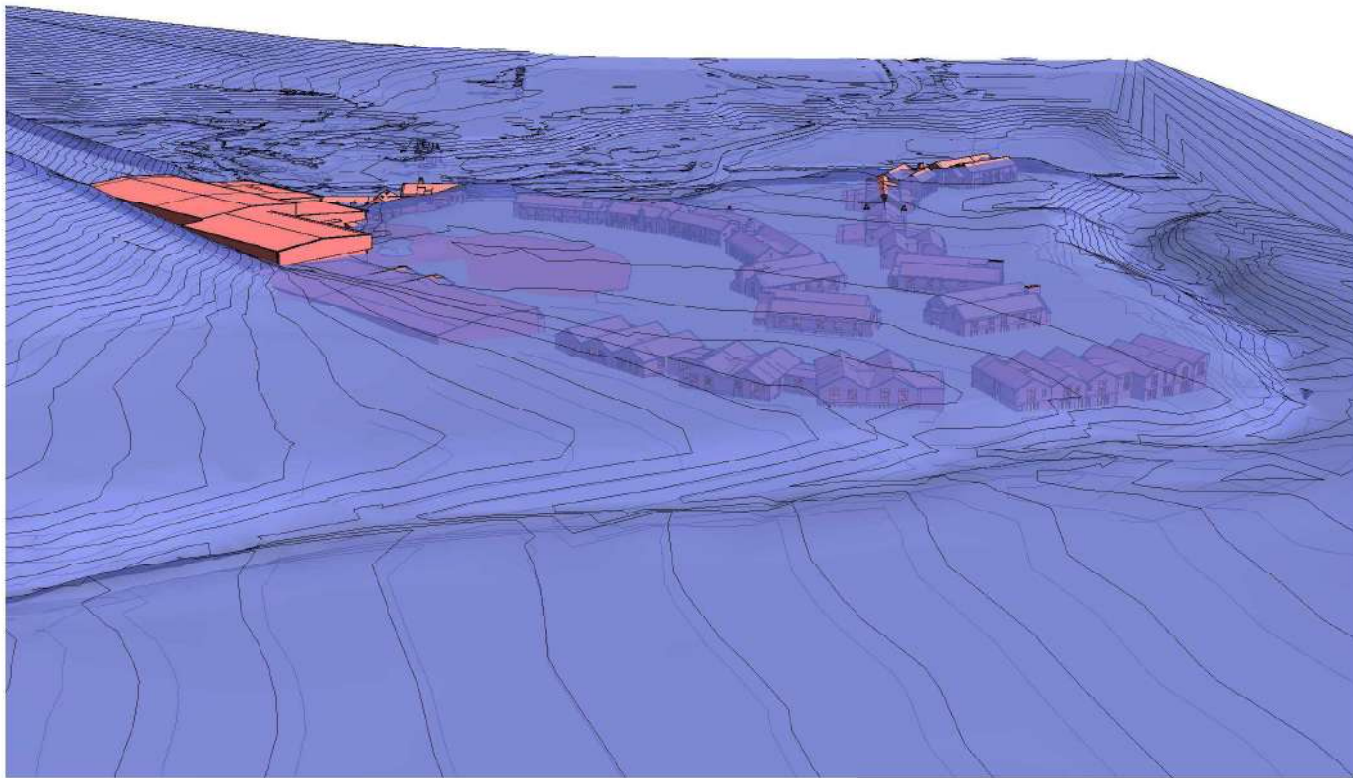
# Height Overlay

The images below show the proposal in 3D with the 8m height plane graphically identified. The purple surface is a duplicate of the natural topography, lifted 8m vertically. As the topography varies in all directions, showing this as a 3D image demonstrates clearly where any part of the proposal breaches the 8m height plane.

The portions of the buildings that are protruding the purple surface breach the 8m height plane.



1 8m HEIGHT OVERLAY. VIEW 1  
SCALE @ A3



2 8m HEIGHT OVERLAY. VIEW 2  
SCALE @ A3

|  |  |                   |  |   |   |                                  |
|--|--|-------------------|--|---|---|----------------------------------|
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|  |  |                   |  |   |   | <div>sheet</div> <div>5.2</div>  |



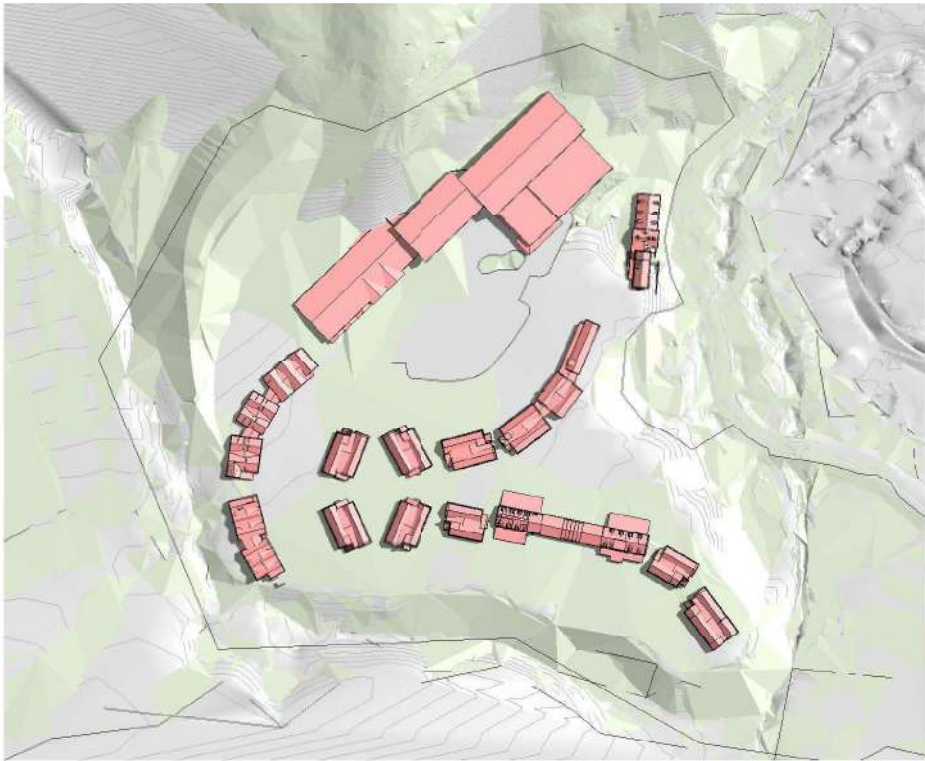
# Sun shading diagrams

## Shading: December

The following series of diagrams depict the shading created by the built form and the topography.

The topography shown includes the extended spur landform.

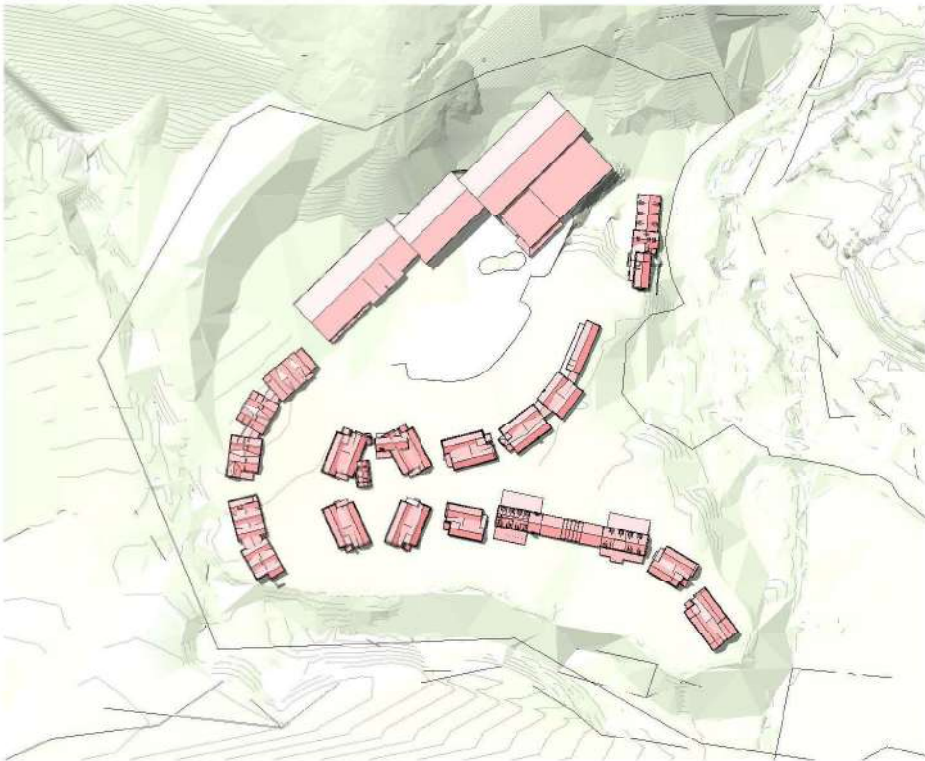
No vegetation is included in these diagrams.



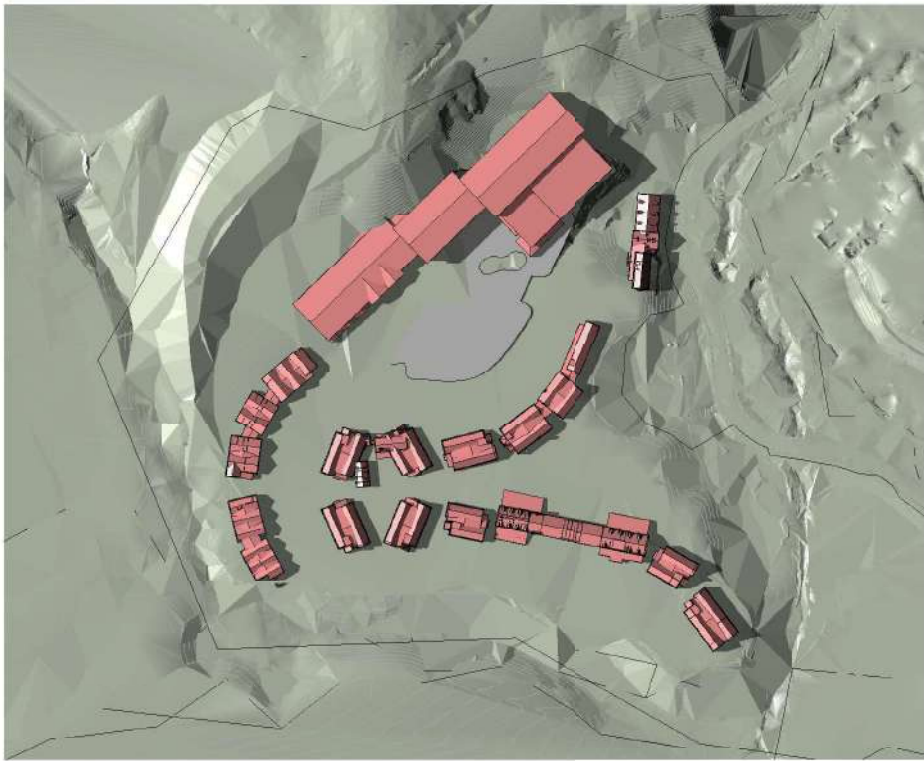
1 **SUN DECEMBER 21. 10 AM**  
SCALE @ A3 1 : 4000



2 **SUN DECEMBER 21. 12 NOON**  
SCALE @ A3 1 : 4000



3 **SUN DECEMBER 21. 2 PM**  
SCALE @ A3 1 : 4000



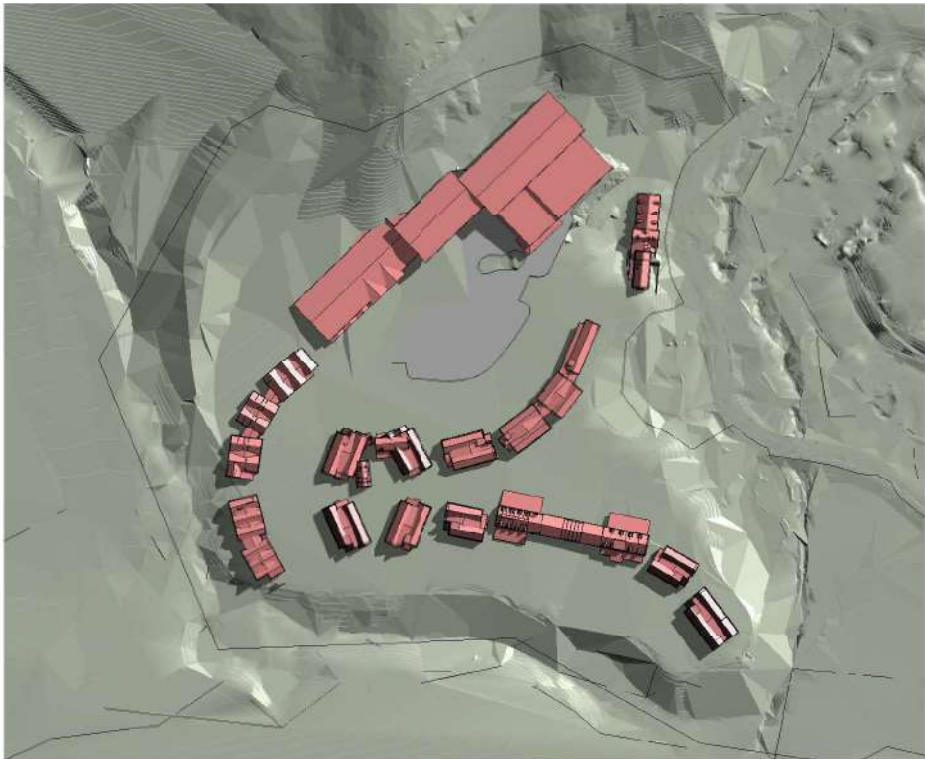
4 **SUN DECEMBER 21. 5 PM**  
SCALE @ A3 1 : 4000

|   |  |        |  |                       |                                   |          |
|---|--|--------|--|-----------------------|-----------------------------------|----------|
| <div>SASTUDIO</div>   | notes  | WINTON |  | project               | sheet name                        | revision |
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|   |  |        |  | Ayr Avenue, Arrowtown | G. FOR FTA APPLICATION 27.06.2025 | 5.3      |



# Sun shading diagrams

Shading: March



1 **SUN MARCH 21 10 AM**  
SCALE @ A3 1 : 4000



2 **SUN MARCH 21 12 NOON**  
SCALE @ A3 1 : 4000



3 **SUN MARCH 21 2 PM**  
SCALE @ A3 1 : 4000



4 **SUN MARCH 21 5 PM**  
SCALE @ A3 1 : 4000

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**WINTON**

project

**Ayrburn Screen Hub**

location

**Ayr Avenue, Arrowtown**

sheet name

**Sun Shading Diagrams**

issued for

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revision

**G**

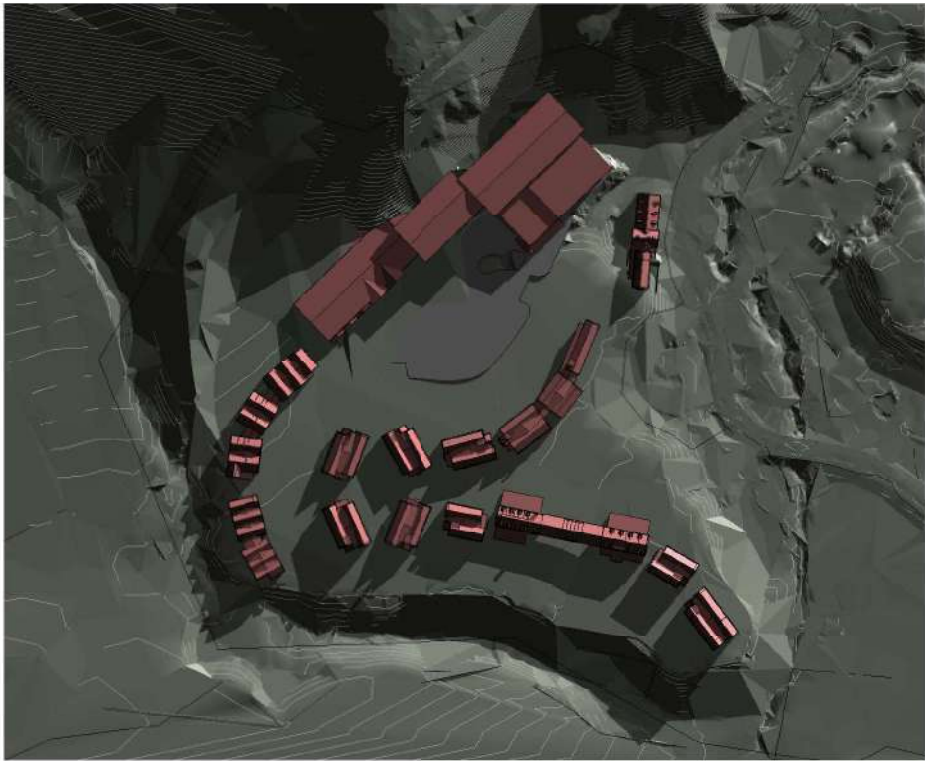
sheet

**5.4**

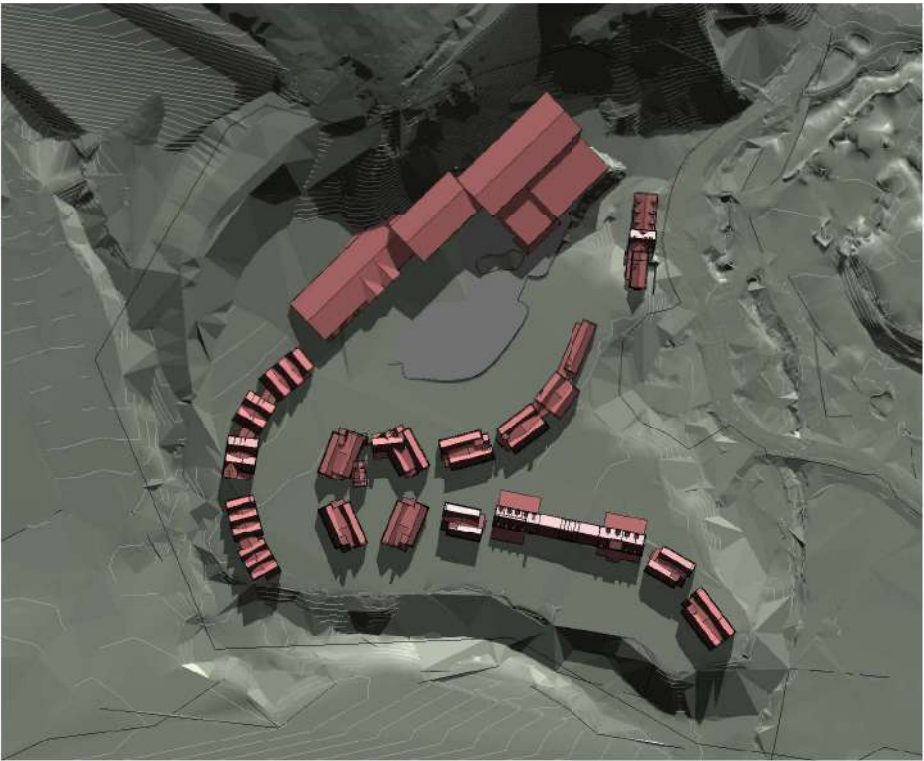


# Sun shading diagrams

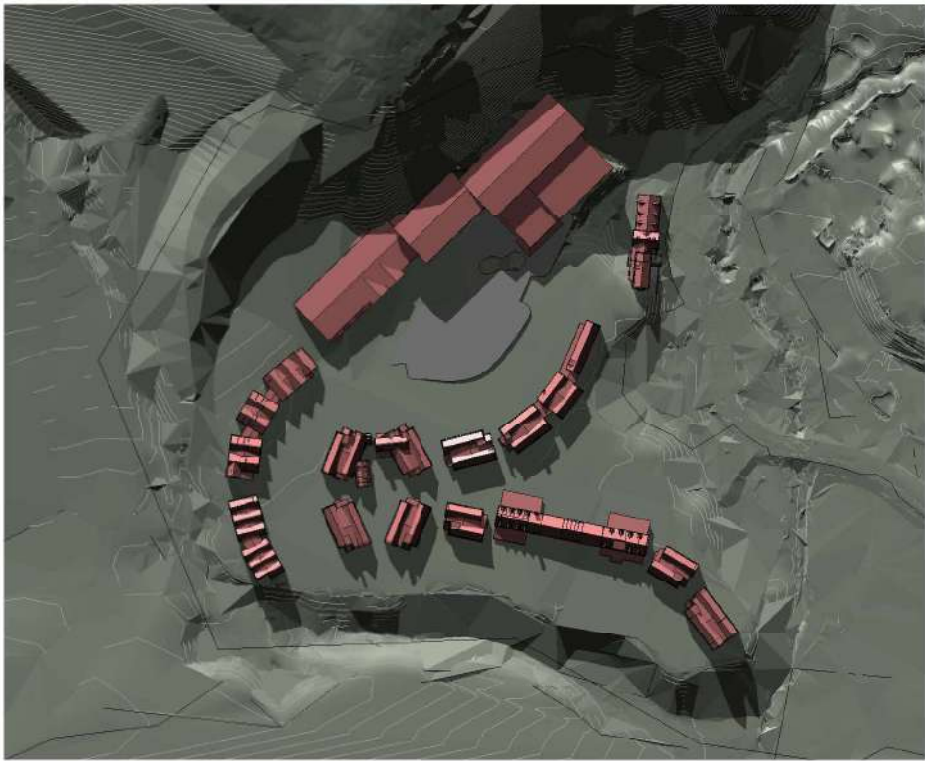
Shading: June



1 **SUN JUNE 21 10 AM**  
SCALE @ A3 1 : 4000



2 **SUN JUNE 21 12 NOON**  
SCALE @ A3 1 : 4000



3 **SUN JUNE 21 2 PM**  
SCALE @ A3 1 : 4000



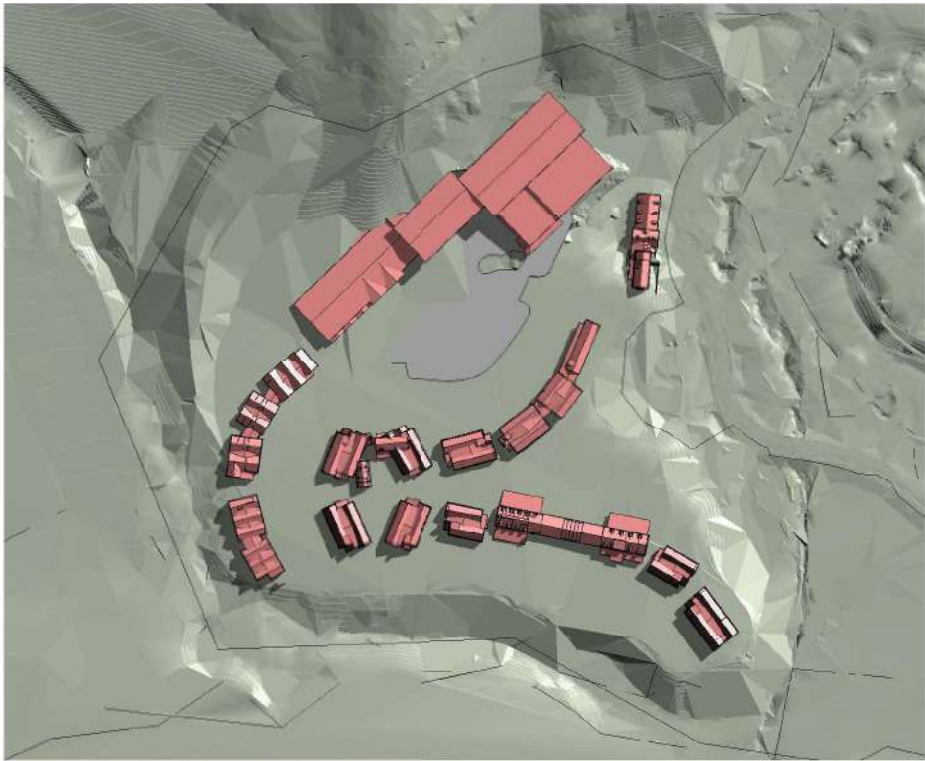
4 **SUN JUNE 21 5 PM**  
SCALE @ A3 1 : 4000

|  |  |        |  |                       |            |          |                                   |       |
|--|--|--------|--|-----------------------|------------|----------|-----------------------------------|-------|
| <div>SASTUDIO</div> <div>W: www.sastudio.co.nz<br/>A: 8 Mallett Lane, Cromwell<br/>P: 021 108 2764</div> | notes  | WINTON |  | project               | sheet name | revision |                                   |       |
|  | All works to comply with the NZBC and relevant codes and standards.<br>All works to hold shared copyright between the owner and the architect for this project and site.<br>All dimensions to be checked prior to site works. If in doubt - ask. |        |  | Ayrburn Screen Hub    |            |          | Sun Shading Diagrams              | G     |
|  |  |        |  | location              |            |          | issued for                        | sheet |
|  |  |        |  | Ayr Avenue, Arrowtown |            |          | G. FOR FTA APPLICATION 27.06.2025 | 5.5   |



# Sun shading diagrams

Shading: September



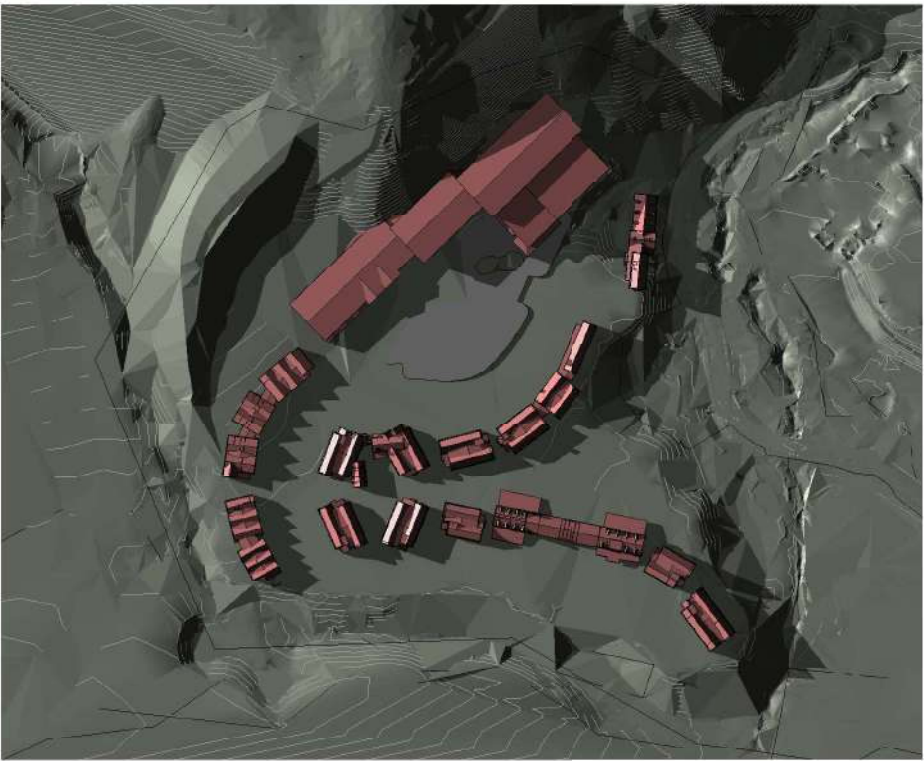
1 SUN SEPTEMBER 21 10 AM  
SCALE @ A3 1 : 4000



2 SUN SEPTEMBER 21 12 NOON  
SCALE @ A3 1 : 4000



3 SUN SEPTEMBER 21 2 PM  
SCALE @ A3 1 : 4000



4 SUN SEPTEMBER 21 5 PM  
SCALE @ A3 1 : 4000



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project

Ayrburn Screen Hub

location

Ayr Avenue, Arrowtown

sheet name

Sun Shading Diagrams

issued for

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revision

G

sheet

5.6



## Part 2

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# Architectural Documentation

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# Building Type A

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## Studio Facility

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# Design Development

## Studio Facility Inspiration

The studio facility is conceptualised as a large agricultural shed where form follows function. Here the clear heights and internal dimensions are designed to reflect other film studios in New Zealand. This is so that production crews understand what they are getting and how they can use the space. These dimensions allow for flexibility in the number of sets that can be constructed and used, as well as the associated heights needed for rigging, lights and manoeuvring props or actors.

The various spaces have been carefully considered to provide for favourable connections between spaces, with adjacent workshops and a range of offices linked by sliding acoustic doors.

The external articulation of the studio facility building also takes lead from the agricultural woolshed precedents; for example, external first floor access and fire egress is provided with a concrete mass stair and steel handrail traversing the side of the building. Rain cover at doorways is provided with various canopies that are rudimentary and functional, with sheets of roofing and exposed structure underneath. Rows of small windows are akin to that of woolsheds, whilst also efficiently providing natural light to the row of offices within the building.

## Studio Facility Materiality

As with the form, the materiality is reflecting the agricultural sheds scattered amongst the New Zealand landscape. The construction systems will foremost be designed to meet acoustic, structural and insulation requirements. Precast concrete walls are either left in their raw state with exposed board-form texture, or clad over with vertical corrugate iron. The selection of corrugate iron for wall and roof cladding is dark and recessive on the higher buildings that are nestled into Christine’s Hill. The lower lean-to structure that greets the entry road is clad with recycled grey corrugate. This has been chosen to reflect its connection to the Ayrburn Heritage Precinct across Ayr Ave.

The main entry doors of the film studio have been articulated with oversized sliding timber panels. Timber has been chosen as a tactile, softer material in comparison to the metal and concrete elsewhere. This helps to make the entrances readable and inviting.

## Precedent Imagery



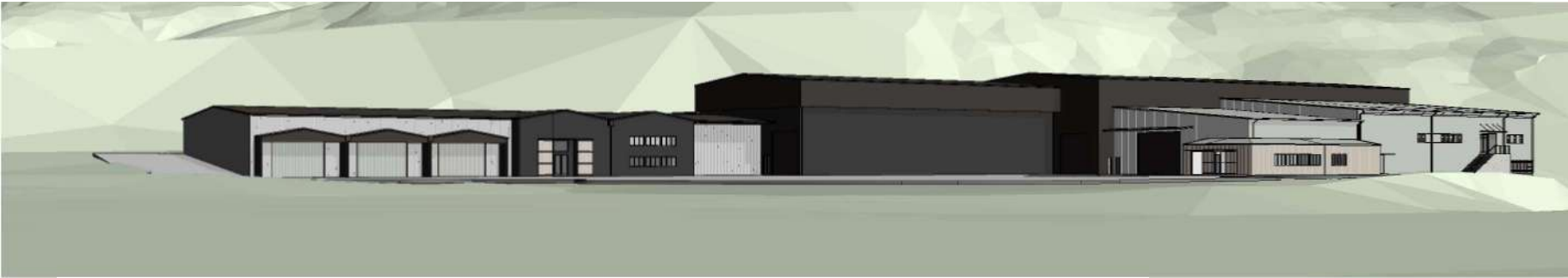
Central Otago Woolsheds. Small windows and low pitch roof form.



Sliding doors and external steps



Slats to the undercroft



1 **FILM STUDIO OVERVIEW**  
SCALE @ A3



2 **NORTH APPROACH VIEW**  
SCALE @ A3

|  |  |        |  |                       |                                     |          |
|--|--|--------|--|-----------------------|-------------------------------------|----------|
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|  |  |        |  | location              | issued for                          | sheet    |
|  |  |        |  | Ayr Avenue, Arrowtown | G. FOR FTA APPLICATION 27.06.2025   | A.1      |



# Area Comparison

## Footprint studies

These diagrams compare the built areas of different New Zealand Film Facilities.



1 **AYRBURN SCREEN HUB PROPOSED**  
SCALE @ A3 1 : 4000

| AREAS            |        |
|------------------|--------|
| STUDIO AREAS     | 3200   |
| WORKSHOP AREAS   | 3180   |
| OFFICE AREAS     | 2174   |
| SUB-TOTAL STUDIO | 8554   |
| OFFICE B1        | 2115   |
| OFFICE B2        | 2369   |
| TOTAL            | 13,038 |



3 **STUDIO WEST**  
SCALE @ A3 1 : 4000

| AREAS          |      |
|----------------|------|
| STUDIO AREAS   | 4537 |
| WORKSHOP AREAS | 1817 |
| OFFICE AREAS   | 1975 |
| TOTAL          | 8329 |

\*\* Areas stated as per [www.studiowest.co.nz](http://www.studiowest.co.nz)



2 **KUMEU FILM STUDIO**  
SCALE @ A3 1 : 4000

| AREAS          |        |
|----------------|--------|
| STUDIO AREAS   | 4672   |
| WORKSHOP AREAS | 10196  |
| OFFICE AREAS   | 1215   |
| TOTAL          | 16,083 |

\*Workshop areas are flexible, they can be used for office or filming depending on the production.  
\*\* Areas stated as per Kumeu Film Studio 2019 Prospectus



# Research

## Film Facility Research to inform the Design

The construction of the film facility fundamentally needs to cater for production crews and their activities. It needs to be flexible to allow for a range of different uses to set up and use the space to suit their specific production. In developing this proposal, the consultant team have visited other New Zealand Film facilities and have discussed with film consultants, users and operators what makes a successful film facility that crews can lease for a range of productions. These are some of the important factors that affect the architecture.

1. Flexibility  
To achieve this large open plan areas are needed. They can then be divided into smaller areas as required.
2. Acoustic performance  
To reduce any external noise and limit the spill of any internal noise. Acoustic material to the internal surfaces reduces the reverberation of noise and provides better sound quality for recording.
3. Thermal performance  
To provide a comfortable working environment for all actors and crew.
4. Structural stability  
To allow heavy items to be hung from structural members above.
5. Interconnected spaces.  
Larger sliding panel doors are often used. The doors need to be wide enough to move props and sets. They need to have a high acoustic performance to limit any sound spill.
6. Gantry and ceiling grids  
To allow access for technical and lighting crews.
7. Durable construction  
To allow for flexibility in use.
8. Workshop spaces  
That are flexible in their set up and in close proximity to the screening areas.
9. Office spaces  
These cater for a wider range of needs from administrative, post-production processing, costume making, dressing rooms etc.
10. Staff facilities  
To allow for catering, rest breaks, rehearsal and gathering.
11. Backlot areas  
To allow for additional parking and storage of props and equipment, receive deliveries and to cater for the production recycling and waste management systems.



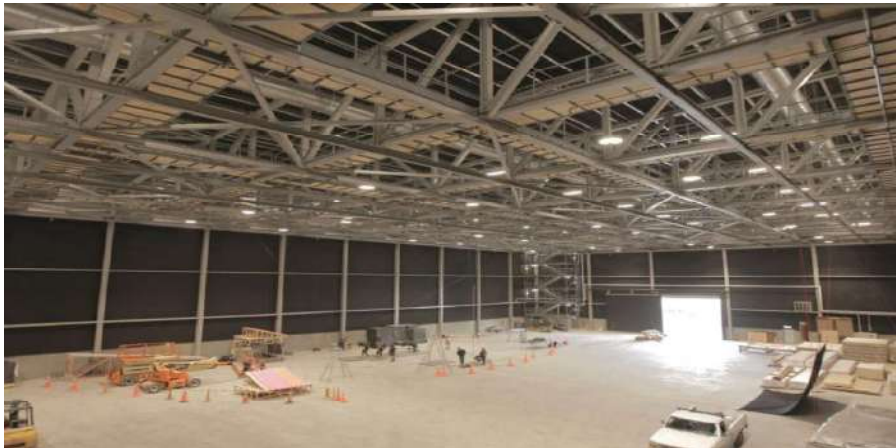
01 Studio West - studio 4



02 Auckland Film Studios - stages 3 & 4



03 Studio West - studio 3



04 Kumeu Studio in construction



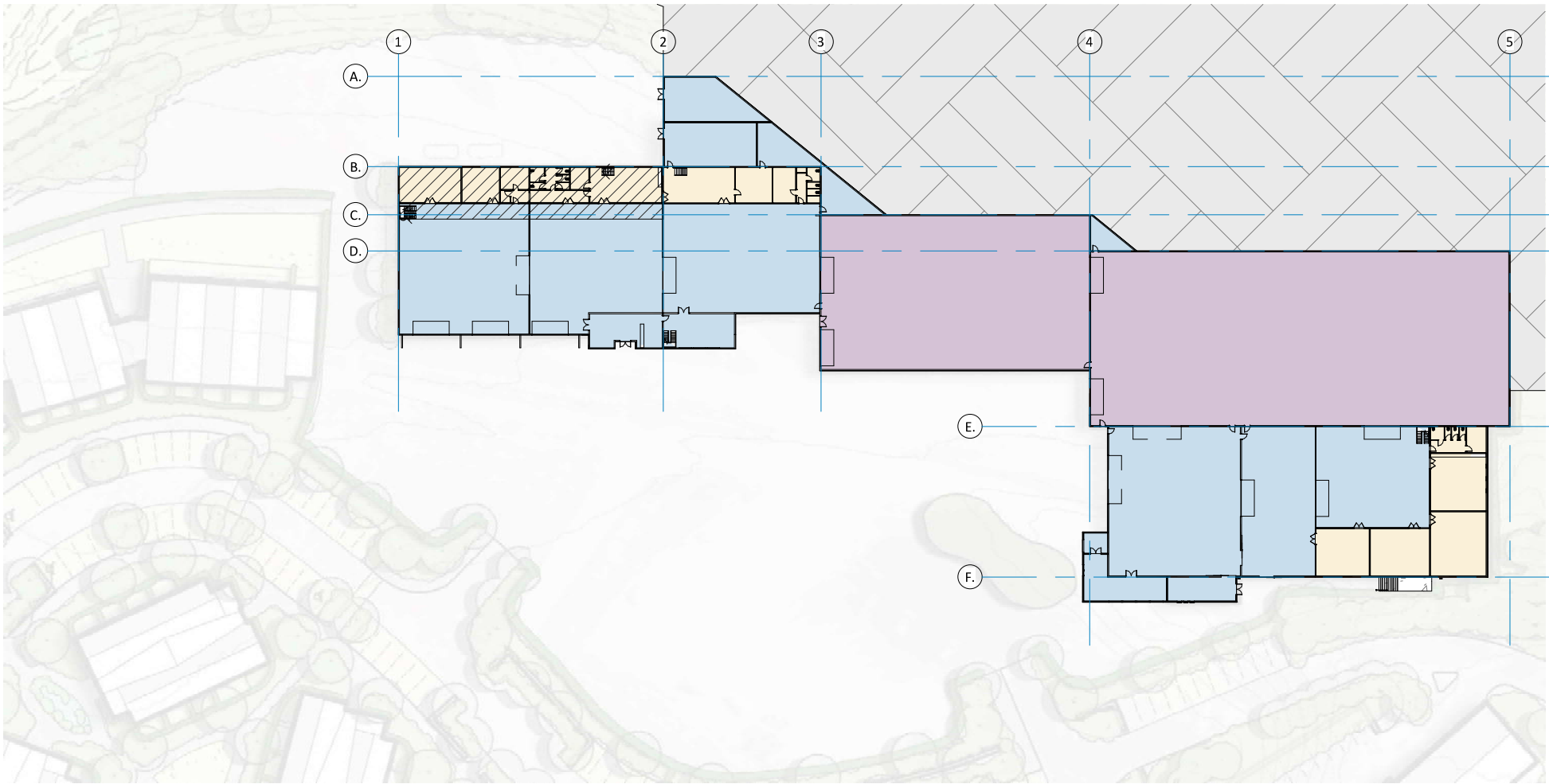
05 Studio West - workshop



06 Studio West - makeup room

|  |  |                   |   |   |  |
|--|--|-------------------|---|---|--|
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|--|--|-------------------|---|---|--|



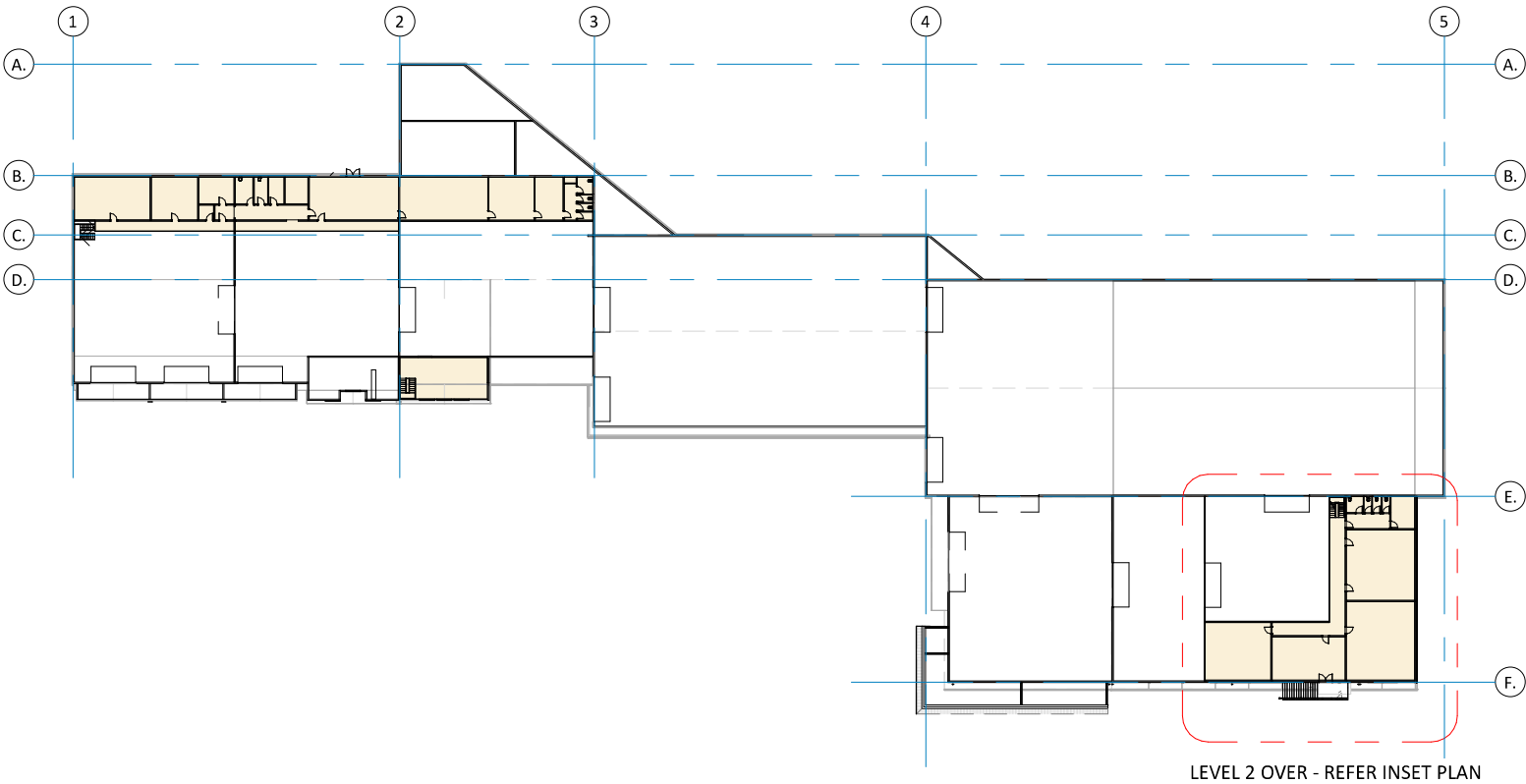


| FLOOR PLAN AREAS |                |      |
|------------------|----------------|------|
|                  | AREA           | m2   |
|                  | FILMING STUDIO |      |
|                  | GROUND FLOOR:  | 3200 |
|                  | WORKSHOP AREAS |      |
|                  | GROUND FLOOR   | 3180 |
|                  | OFFICE AREAS   |      |
|                  | GROUND FLOOR   | 818  |
|                  | FIRST FLOOR    | 944  |
|                  | SECOND FLOOR   | 412  |
|                  | OFFICE TOTAL   | 2174 |
|                  | COMBINED       | 8554 |

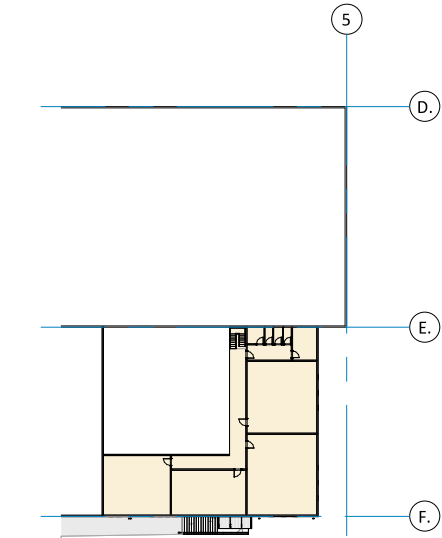
\* Note there is additional office area in building B1 and B2.  
Refer to the site plan for location.  
Refer to the Type B plans for further information



1 OVERVIEW GROUND FLOOR  
SCALE @ A3 1 : 1000

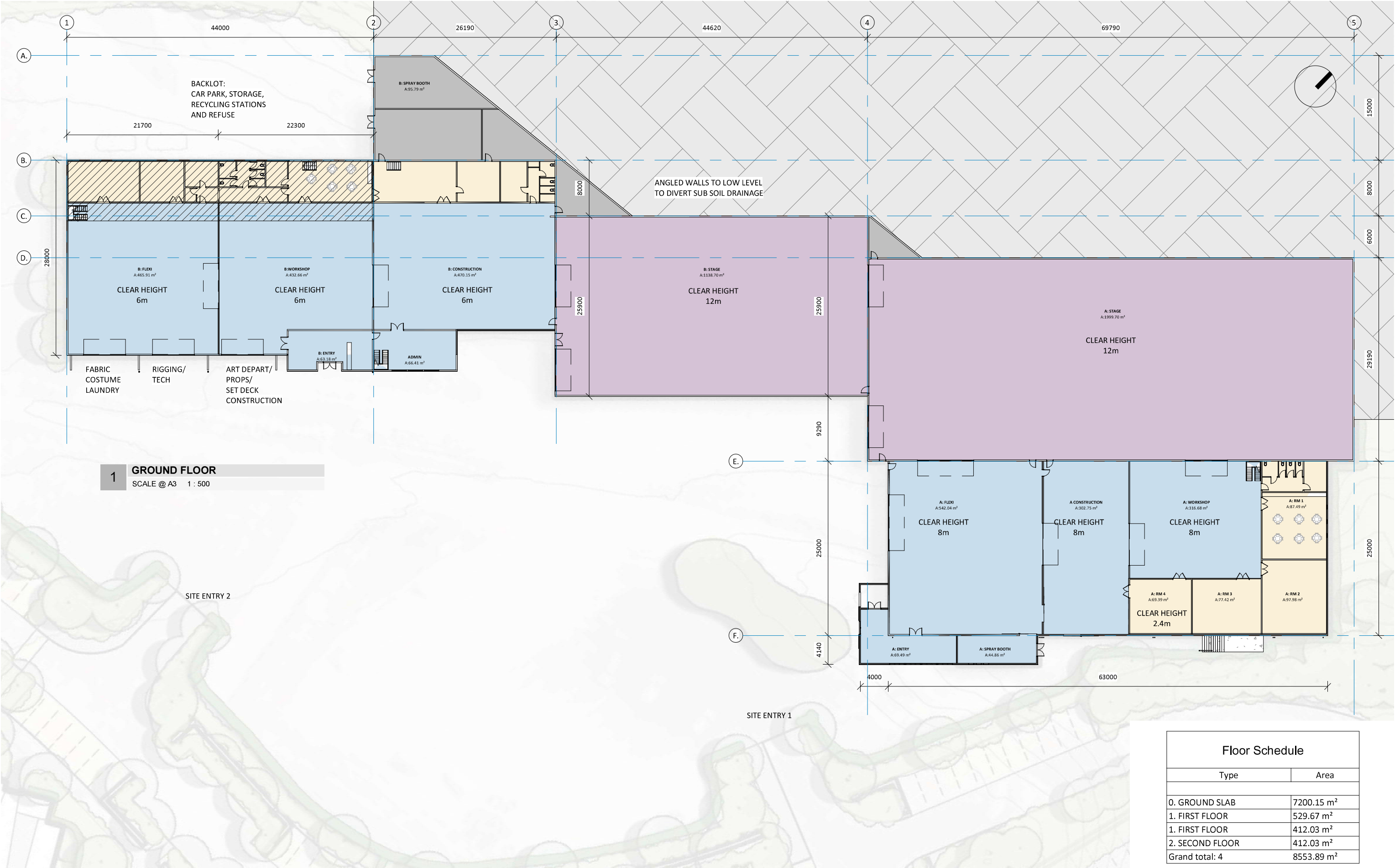


2 OVER VIEW FIRST FLOOR  
SCALE @ A3 1 : 1000

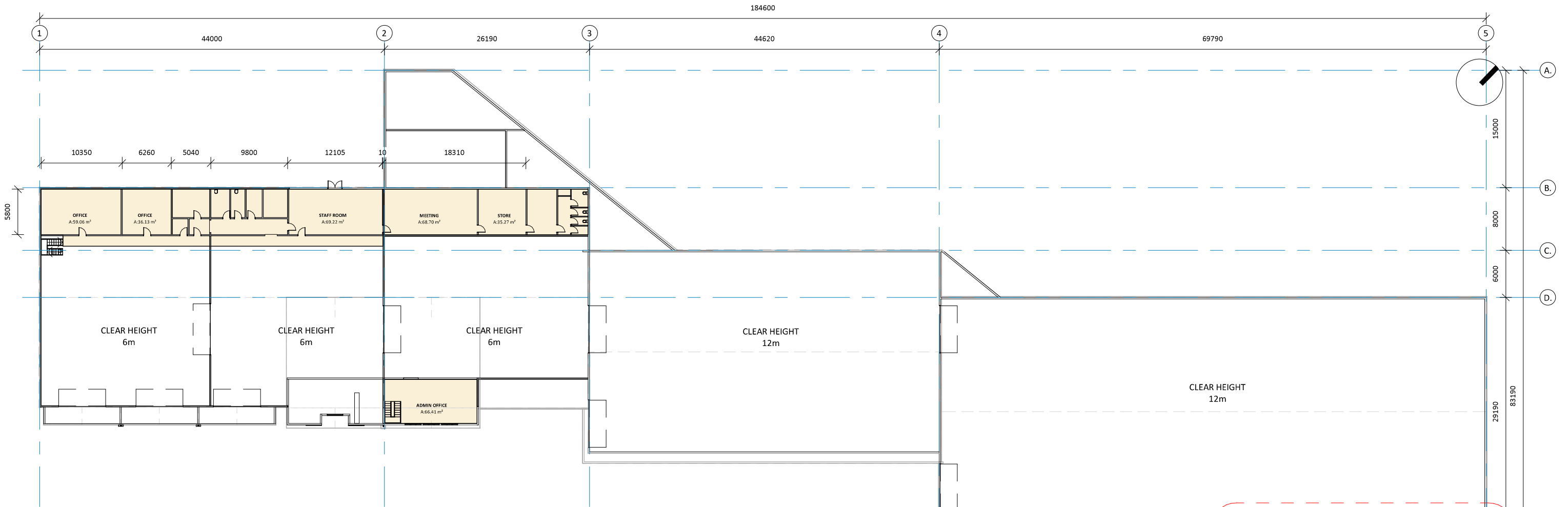


3 OVERVIEW SECOND FLOOR  
SCALE @ A3 1 : 1000

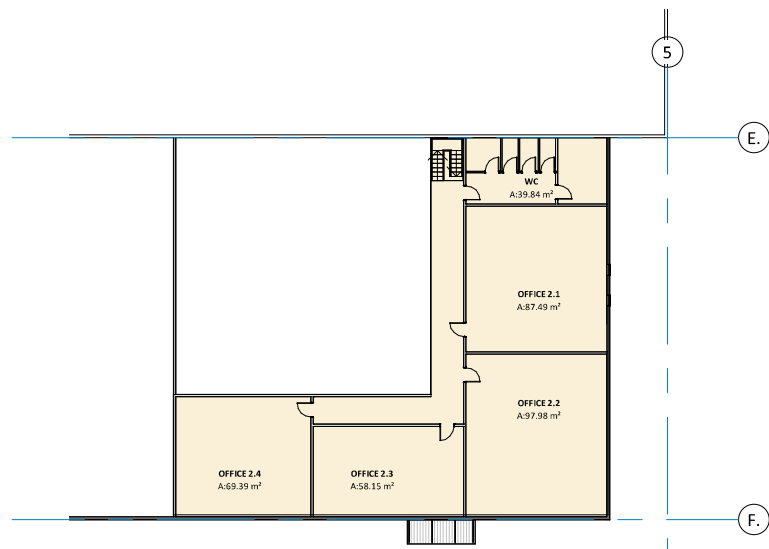








1 **FIRST FLOOR**  
SCALE @ A3 1 : 500



2 **SECOND FLOOR**  
SCALE @ A3 1 : 500

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**WINTON**

project

**Ayrburn Screen Hub**

location

**Ayr Avenue, Arrowtown**

sheet name

**A\_Studio Facility: First Floor Plan**

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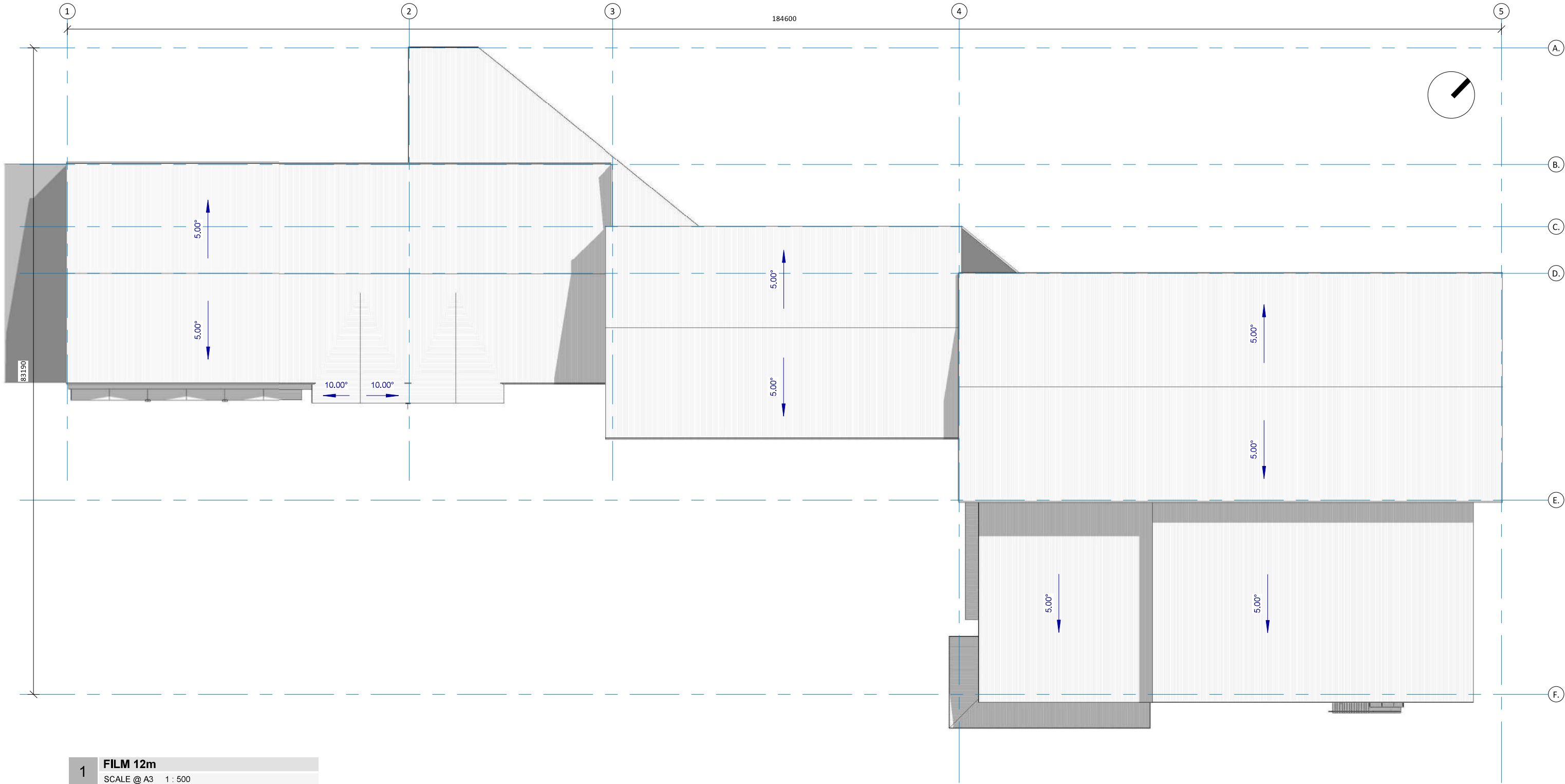
revision

**G**

sheet

**A.6**

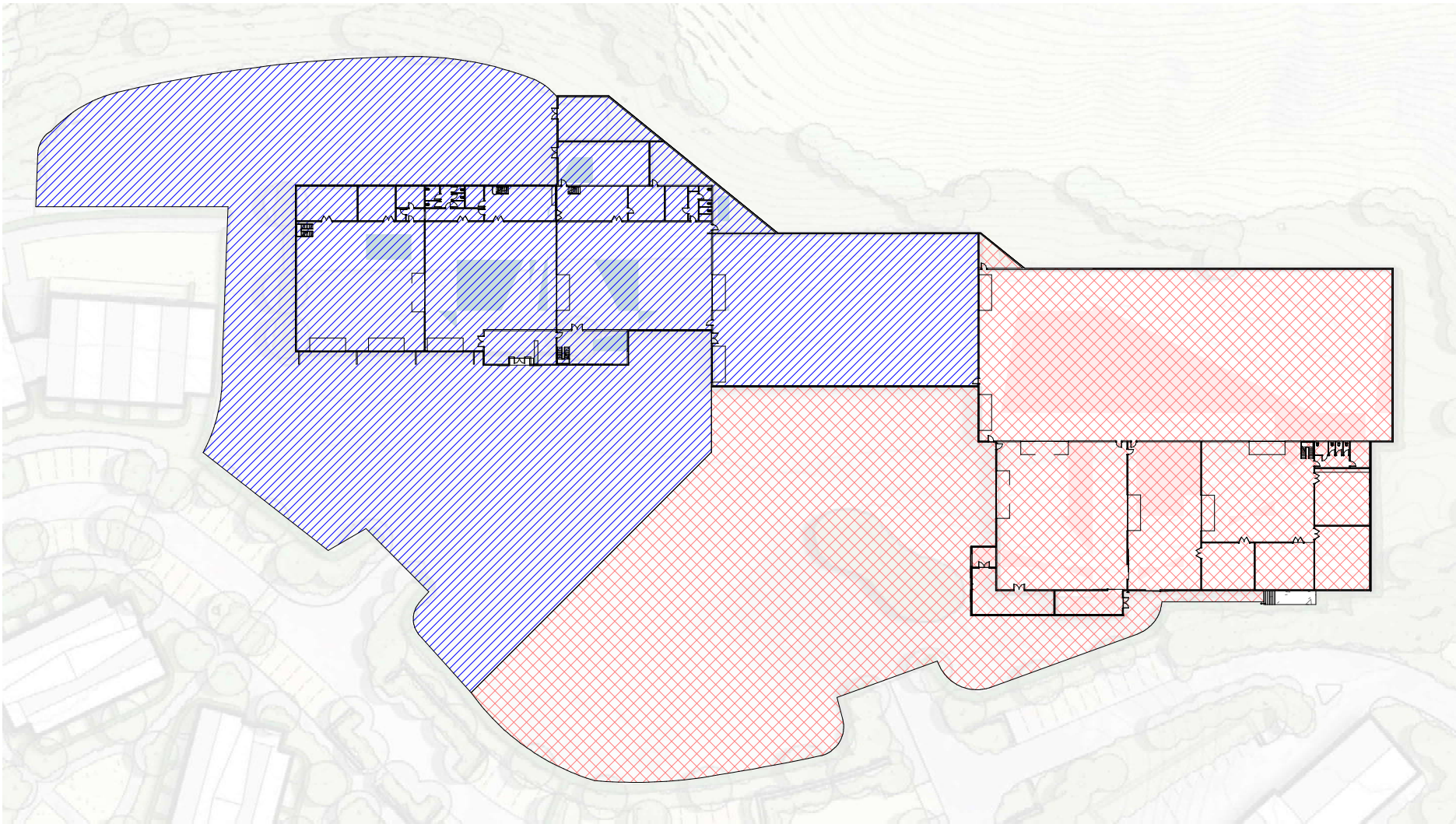




|  |  |               |  |   |  |  |
|--|--|---------------|--|---|--|--|
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| <div>W: <a href="http://www.sastudio.co.nz">www.sastudio.co.nz</a><br/>A: 8 Mallett Lane, Cromwell<br/>P: 021 108 2764</div> |  |               |  |   |  |  |



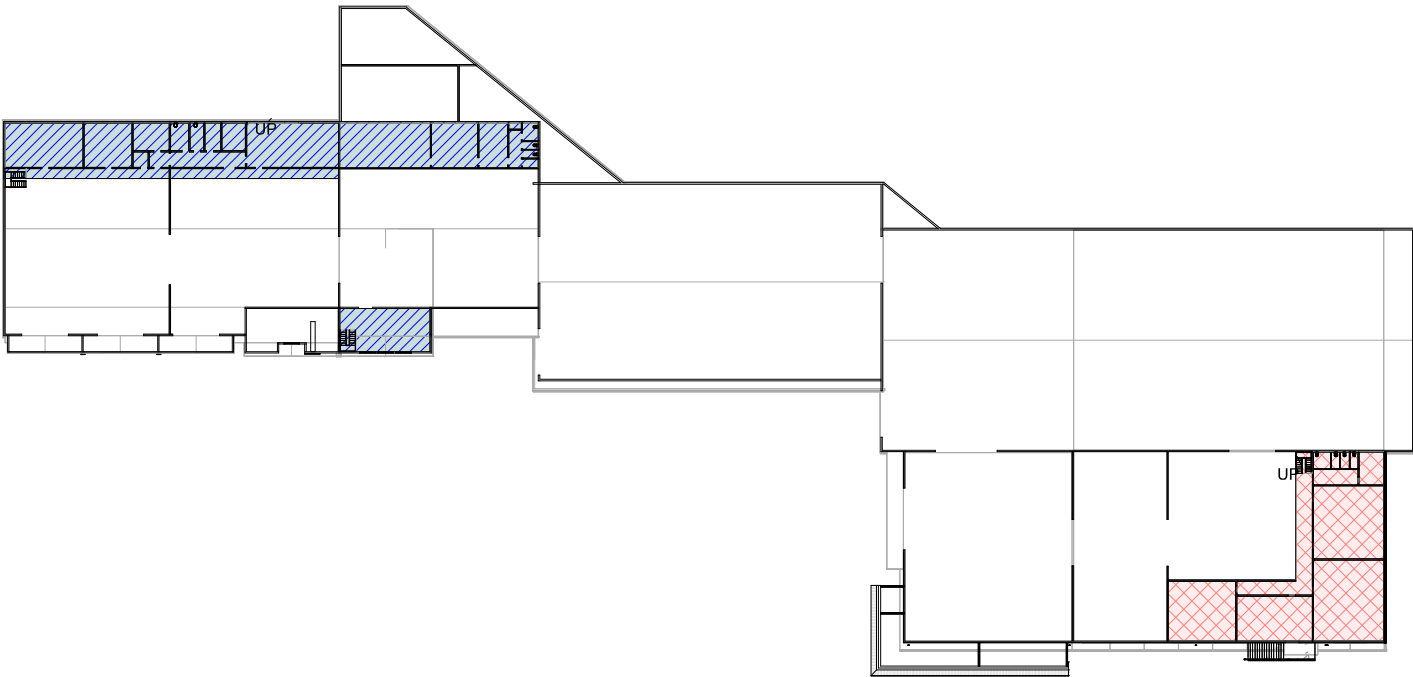
| DUAL ZONE AREAS |      |
|-----------------|------|
| ZONE 1: BLUE    |      |
| GROUND:         | 3404 |
| FIRST FLOOR:    | 553  |
| SUB TOTAL BUILT | 3957 |
| EXTERNAL:       | 5000 |
| ZONE 1 TOTAL:   | 8957 |
| ZONE 2: PINK    |      |
| GROUND:         | 3773 |
| FIRST FLOOR:    | 412  |
| SECOND FLOOR:   | 412  |
| SUB TOTAL BUILT | 4597 |
| EXTERNAL:       | 4131 |
| ZONE 2 TOTAL:   | 8728 |



1

ZONE PLAN GROUND FLOOR

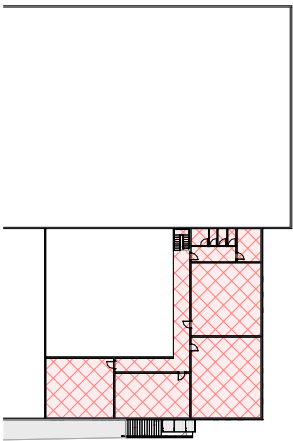
SCALE @ A3 1 : 1000



2

ZONE PLAN FIRST FLOOR

SCALE @ A3 1 : 1000



3

ZONE PLAN SECOND FLOOR

SCALE @ A3 1 : 1000



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project  
**Ayrburn Screen Hub**

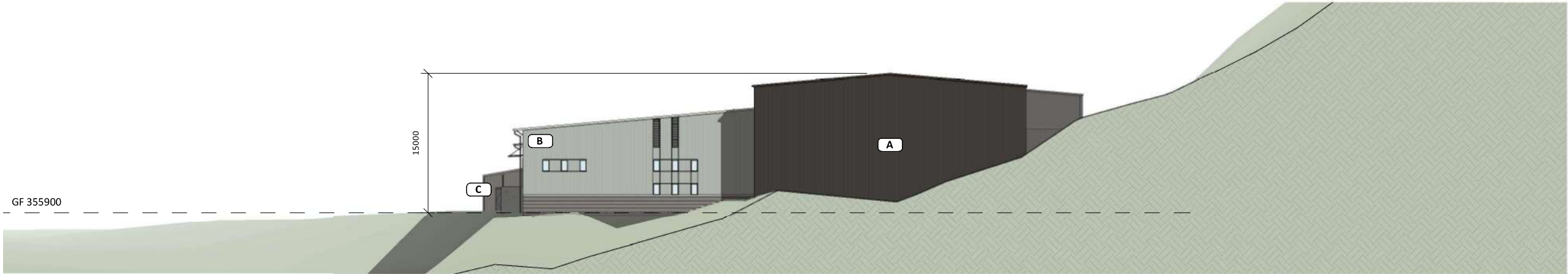
location  
Ayr Avenue, Arrowtown

sheet name  
**A\_Studio Facility: Dual Use**

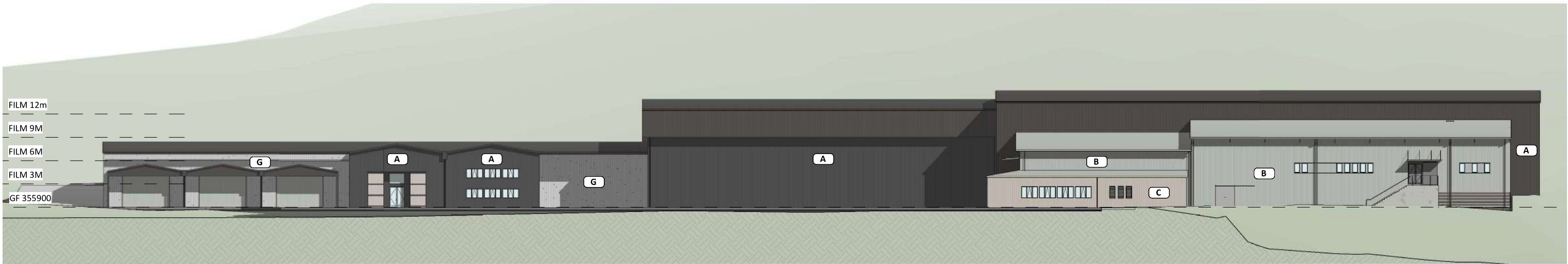
issued for  
G. FOR FTA APPLICATION 27.06.2025

revision  
**G**  
sheet  
**A.8**





1 **NORTH**  
SCALE @ A3 1 : 500



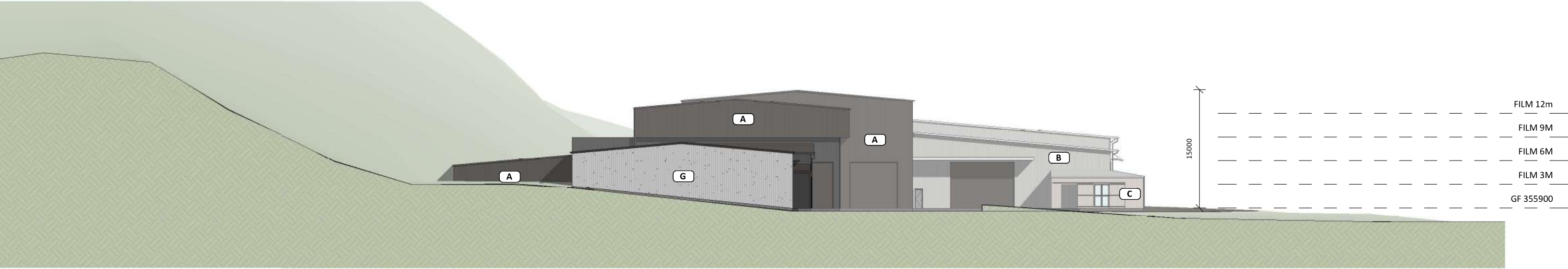
2 **EAST**  
SCALE @ A3 1 : 500

**MATERIALS LEGEND**

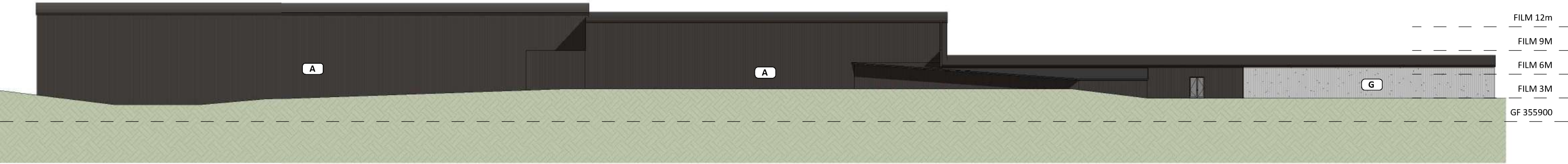


|  |   |               |   |   |                      |
|--|---|---------------|---|---|----------------------|
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|  |   |               |   |   | sheet<br><b>A.9</b>  |





1 SOUTH  
SCALE @ A3 1 : 500



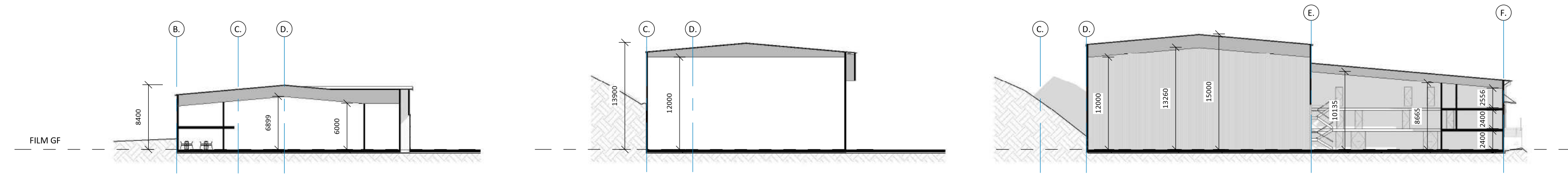
2 WEST  
SCALE @ A3 1 : 500

MATERIALS LEGEND



|   |   |   |   |   |
|---|---|---|---|---|
| <div><div><div>SASTUDIO</div><div>W: www.sastudio.co.nz<br/>A: 8 Mallett Lane, Cromwell<br/>P: 021 108 2764</div></div><div><div>notes</div><div>All works to comply with the NZBC and relevant codes and standards.<br/>All works to hold shared copyright between the owner and the architect for this project and site.<br/>All dimensions to be checked prior to site works. If in doubt - ask,</div></div></div> | <div><div>WINTON</div><div></div></div> | <div><div>project</div><div>Ayrburn Screen Hub</div><div>location</div><div>Ayr Avenue, Arrowtown</div></div> | <div><div>sheet name</div><div>A_Studio Facility: Elevations</div><div>issued for</div><div>G. FOR FTA APPLICATION 27.06.2025</div></div> | <div><div>revision</div><div>G</div><div>sheet</div><div>A.10</div></div> |
|---|---|---|---|---|

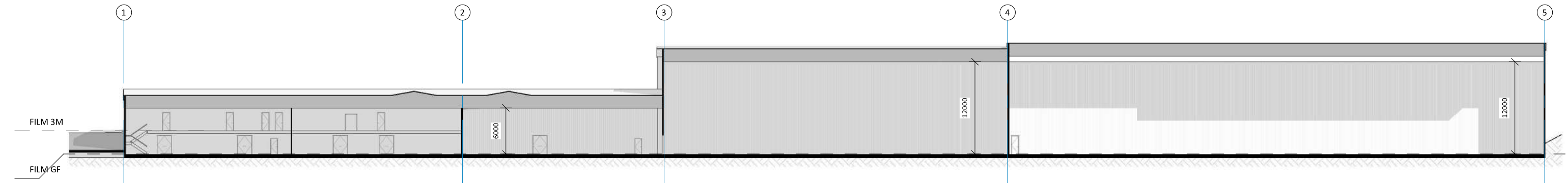




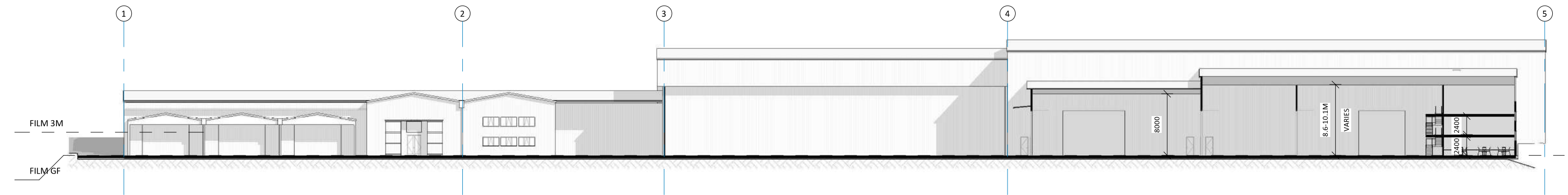
1 **A1**  
SCALE @ A3 1 : 500

2 **A2**  
SCALE @ A3 1 : 500

3 **A3**  
SCALE @ A3 1 : 500



4 **B1**  
SCALE @ A3 1 : 500



5 **B2**  
SCALE @ A3 1 : 500

|  |   |               |  |   |   |  |
|--|---|---------------|--|---|---|--|
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|--|---|---------------|--|---|---|--|



# Building B

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Film Offices & Accommodation

---



# Design Development

## Film Office & Accommodation Inspiration

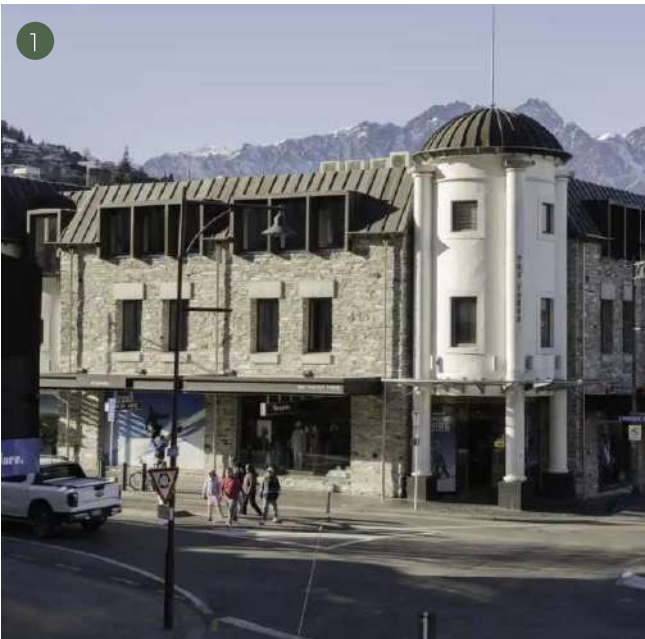
The Film Offices and/or accommodation buildings are flexible buildings that can be used as a workspace supporting the film facility, or as accommodation for film crew workers, or the general public when a film is not in production.

The form of these buildings are larger than the purely accommodation buildings, where three building blocks are interconnected. This allows the buildings to demonstrate a different use.

The office buildings are articulated with a more commercial look and feel; for example the external joinery designed where the building is zoned as full-time leasable space has larger glazing to the east and garden facade, while the road side portrays various entry doors and smaller windows for the circulation space. The flexible office/accommodation rooms are more akin to the design of the accommodation suites.

The precedent images adjacent are examples of commerical and residential accommodation within multi-storey buildings. These examples also have ground floor commercial, and upper floors for less public commercial use or for residential.

## Precedent Imagery



- 1 Queenstown 'The Forge'
- 2 Proposed Jacks Point commercial and residential buildings
- 3 Northlake commercial and residential buildings
- 4 Proposed material selection

|  |   |  |  |
|--|---|--|--|
| <div><div><div>SASTUDIO</div><div><div>W:</div><div>www.sastudio.co.nz</div></div><div><div>A:</div><div>8 Mallett Lane, Cromwell</div></div><div><div>P:</div><div>021 108 2764</div></div></div><div>notes<div>All works to comply with the NZBC and relevant codes and standards.</div><div>All works to hold shared copyright between the owner and the architect for this project and site.</div><div>All dimensions to be checked prior to site works. If in doubt - ask.</div></div><div><div>WINTON</div><div></div></div></div> | <div>project<div>Ayrburn Screen Hub</div></div> <div>location<div>Ayr Avenue, Arrowtown</div></div> | <div>sheet name<div>B_Film Facility Office: Design Narrative</div></div> <div>issued for<div>G. FOR FTA APPLICATION 27.06.2025</div></div> | <div>revision<div>G</div></div> <div>sheet<div>B.1</div></div> |
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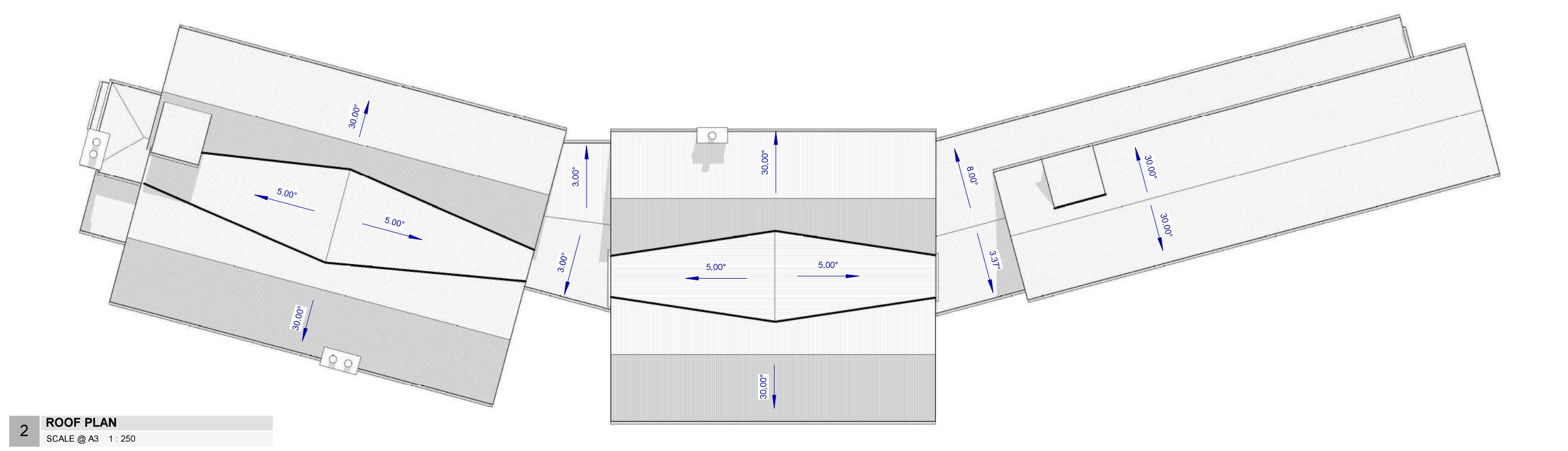
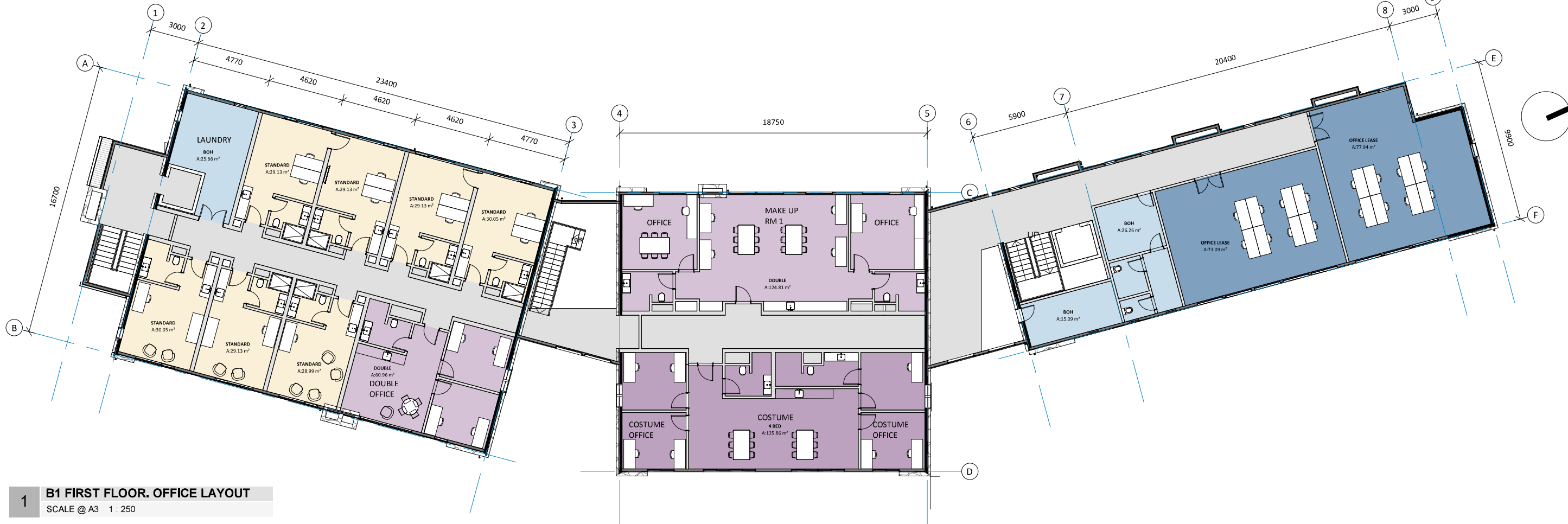


1 **B1 GROUND FLOOR. OFFICE LAYOUT**  
SCALE @ A3 1 : 250

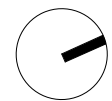
| Floor Schedule |                        |
|----------------|------------------------|
| Type           | Area                   |
| 0. 100mm SLAB  | 1112.70 m <sup>2</sup> |
| 1. Interfloor  | 1002.05 m <sup>2</sup> |
| Grand total: 2 | 2114.74 m <sup>2</sup> |

| Room Schedule   |       |
|-----------------|-------|
| Name            | Count |
| 4 BED           | 2     |
| BOH             | 6     |
| DOUBLE          | 4     |
| LOUNGE          | 1     |
| OFFICE LEASE    | 4     |
| STANDARD        | 14    |
| Grand total: 31 |       |

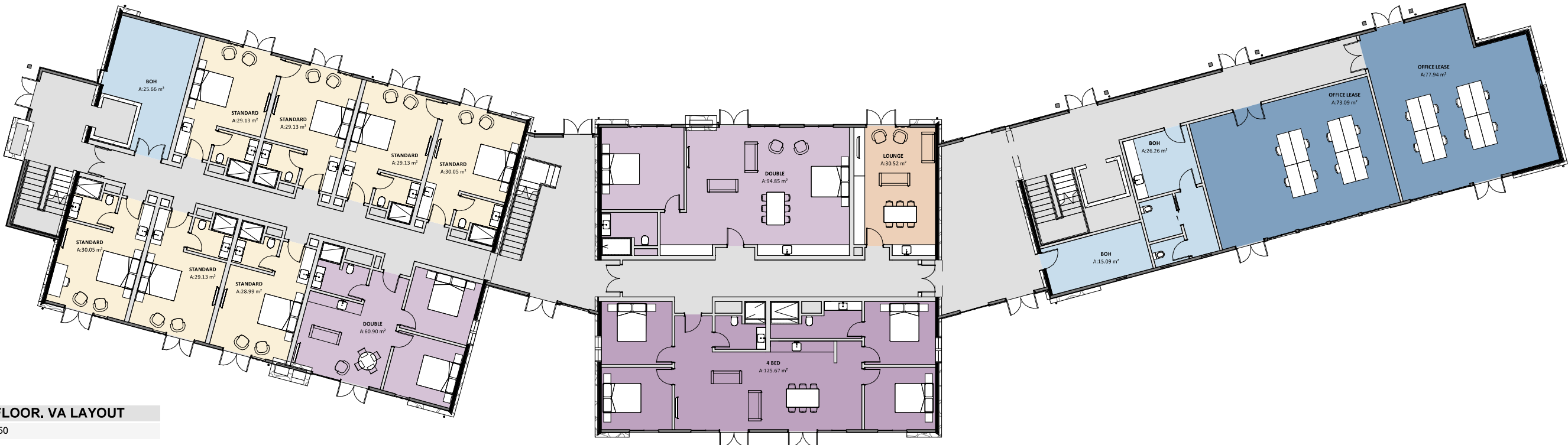




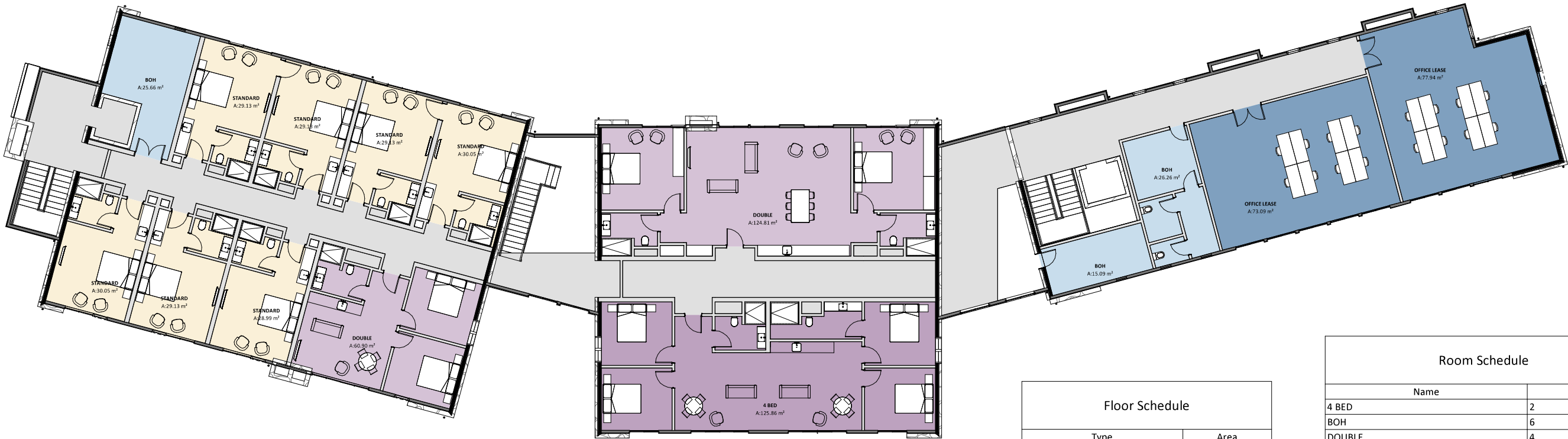




1 B1 GROUND FLOOR. VA LAYOUT  
SCALE @ A3 1 : 250



2 B1 FIRST FLOOR. VA LAYOUT  
SCALE @ A3 1 : 250



| Floor Schedule |            |
|----------------|------------|
| Type           | Area       |
| 0. 100mm SLAB  | 1112.70 m² |
| 1. Interfloor  | 1002.05 m² |
| Grand total: 2 | 2114.74 m² |

| Room Schedule   |       |
|-----------------|-------|
| Name            | Count |
| 4 BED           | 2     |
| BOH             | 6     |
| DOUBLE          | 4     |
| LOUNGE          | 1     |
| OFFICE LEASE    | 4     |
| STANDARD        | 14    |
| Grand total: 31 |       |





1 **B1 NORTH**  
SCALE @ A3 1 : 250

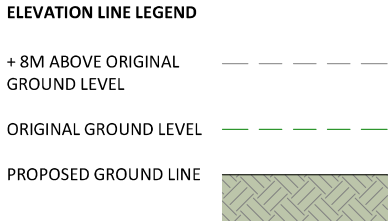


3 **EXTERNAL VIEW 1**  
SCALE @ A3



2 **B1 EAST**  
SCALE @ A3 1 : 250

MATERIALS LEGEND



NOTE: Ground level cut lines are taken at from the face of the building perpendicular to the view. Height levels vary across the site, refer to the height plane overlay for further information.

|  |  |                   |   |  |  |
|--|--|-------------------|---|--|--|
| <div><div>SASTUDIO</div><div>W: www.sastudio.co.nz<br/>A: 8 Mallett Lane, Cromwell<br/>P: 021 108 2764</div></div> | <div>notes</div> <div>All works to comply with the NZBC and relevant codes and standards.<br/>All works to hold shared copyright between the owner and the architect for this project and site.<br/>All dimensions to be checked prior to site works. If in doubt - ask.</div> | <div>WINTON</div> | <div>project</div> <div>Ayrburn Screen Hub</div> <div>location</div> <div>Ayr Avenue, Arrowtown</div> | <div>sheet name</div> <div>B1_ Elevations</div> <div>issued for</div> <div>G. FOR FTA APPLICATION 27.06.2025</div> | <div>revision</div> <div>G</div> <div>sheet</div> <div>B.5</div> |
|--|--|-------------------|---|--|--|

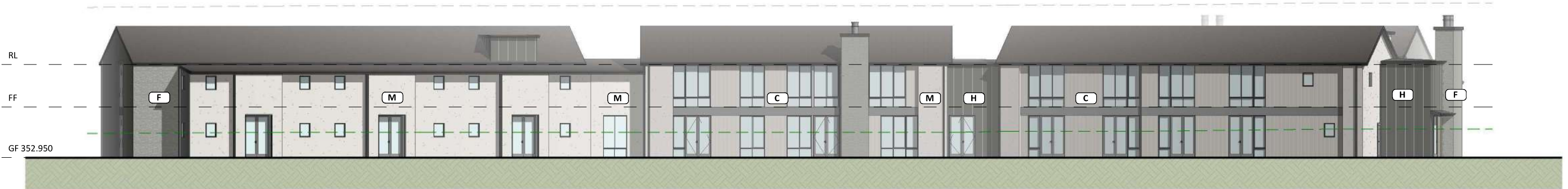




1 **B1 SOUTH**  
SCALE @ A3 1 : 250



3 **EXTERNAL VIEW 2**  
SCALE @ A3

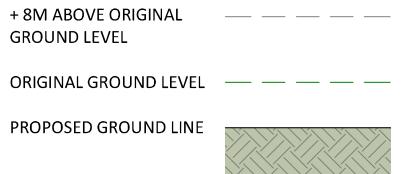


2 **B1 WEST**  
SCALE @ A3 1 : 250

#### MATERIALS LEGEND



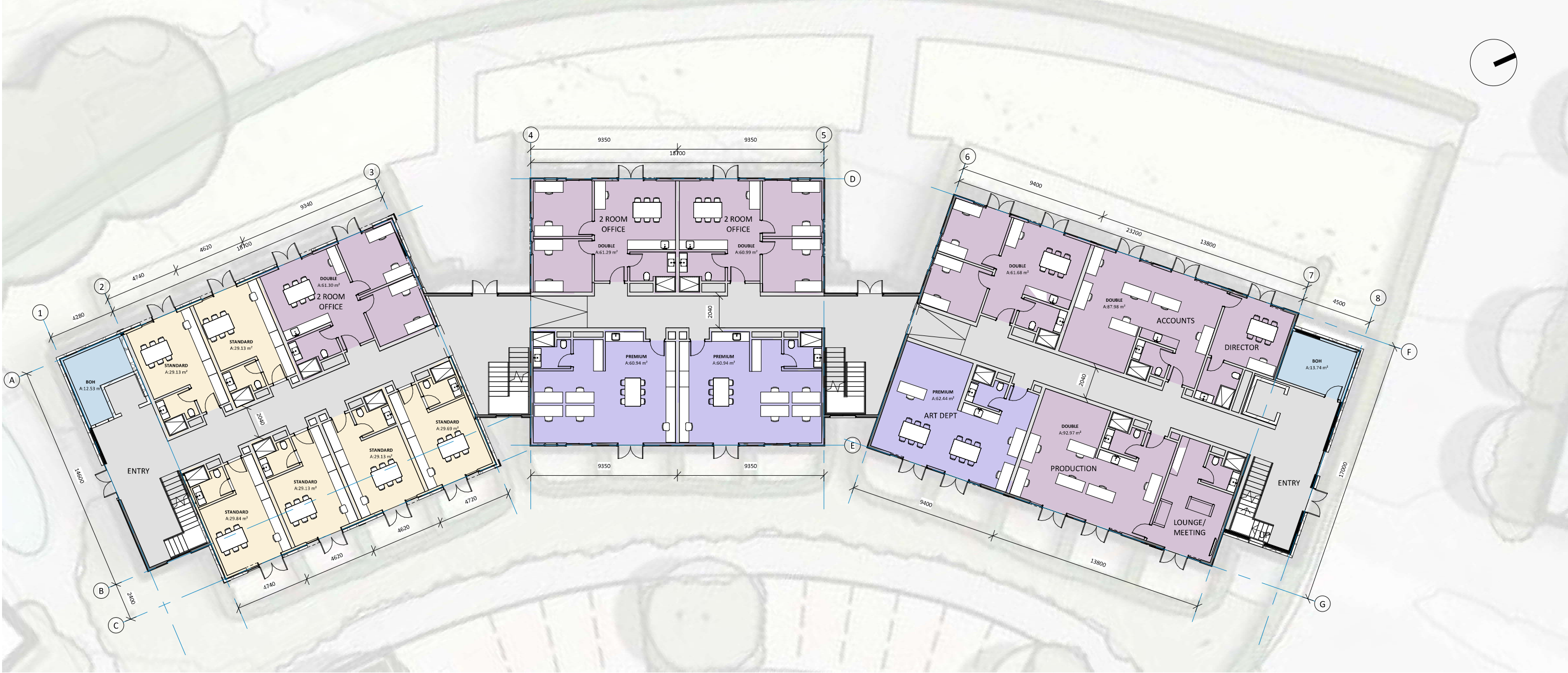
#### ELEVATION LINE LEGEND



NOTE: Ground level cut lines are taken at from the face of the building perpendicular to the view. Height levels vary across the site, refer to the height plane overlay for further information.

|  |   |               |  |   |                      |
|--|---|---------------|--|---|----------------------|
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|  |   |               | location<br><b>Ayr Avenue, Arrowtown</b> | issued for<br>G. FOR FTA APPLICATION 27.06.2025 | sheet<br><b>B.6</b>  |





1 **B2 GROUND FLOOR. OFFICE LAYOUT**  
SCALE @ A3 1 : 250

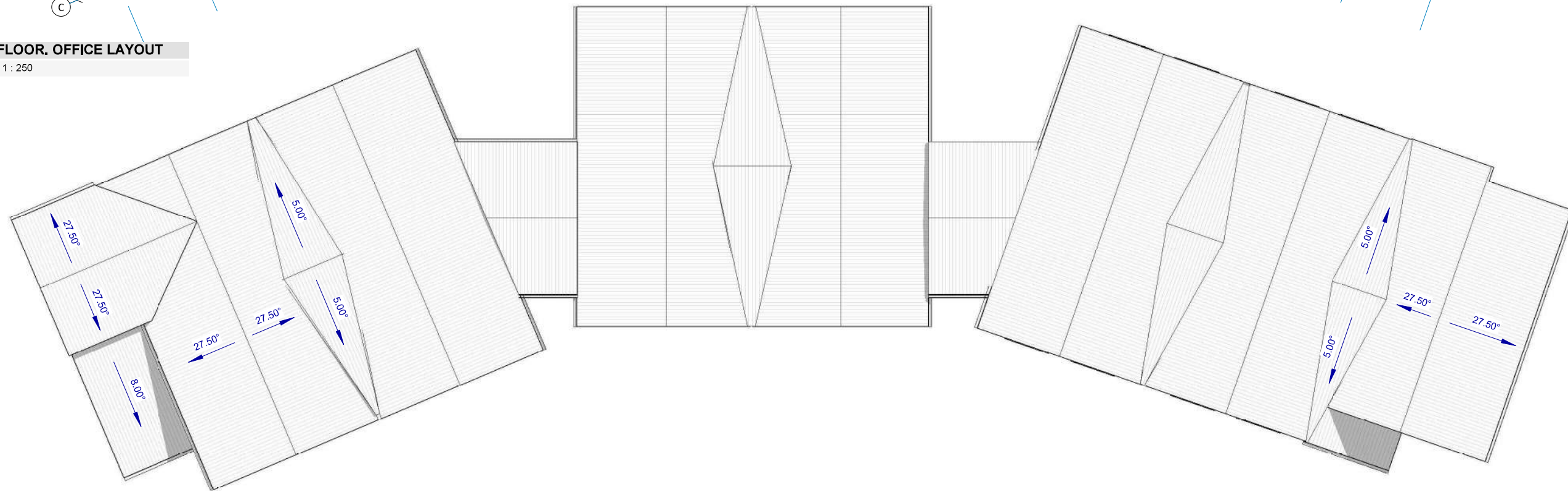
| Room Schedule |       |
|---------------|-------|
| Name          | Count |
| BOH           | 4     |
| DOUBLE        | 12    |
| PREMIUM       | 4     |
| STANDARD      | 16    |
| 36            |       |

| Floor Schedule |                        |
|----------------|------------------------|
| Type           | Area                   |
| 0. 100mm SLAB  | 455.86 m <sup>2</sup>  |
| 0. 100mm SLAB  | 355.61 m <sup>2</sup>  |
| 0. 100mm SLAB  | 420.50 m <sup>2</sup>  |
|                | 1231.98 m <sup>2</sup> |
| 1. Interfloor  | 451.35 m <sup>2</sup>  |
| 1. Interfloor  | 316.20 m <sup>2</sup>  |
| 1. Interfloor  | 368.99 m <sup>2</sup>  |
|                | 1136.54 m <sup>2</sup> |
| Grand total: 6 | 2368.51 m <sup>2</sup> |





1 **B2 FIRST FLOOR. OFFICE LAYOUT**  
SCALE @ A3 1 : 250



2 **B2 ROOF PLAN**  
SCALE @ A3 1 : 250

**SASTUDIO**

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**WINTON**

project

**Ayrburn Screen Hub**

location

**Ayr Avenue, Arrowtown**

sheet name

**B2\_ Office Mode: First & Roof Plan**

issued for

G. FOR FTA APPLICATION 27.06.2025

revision

**G**

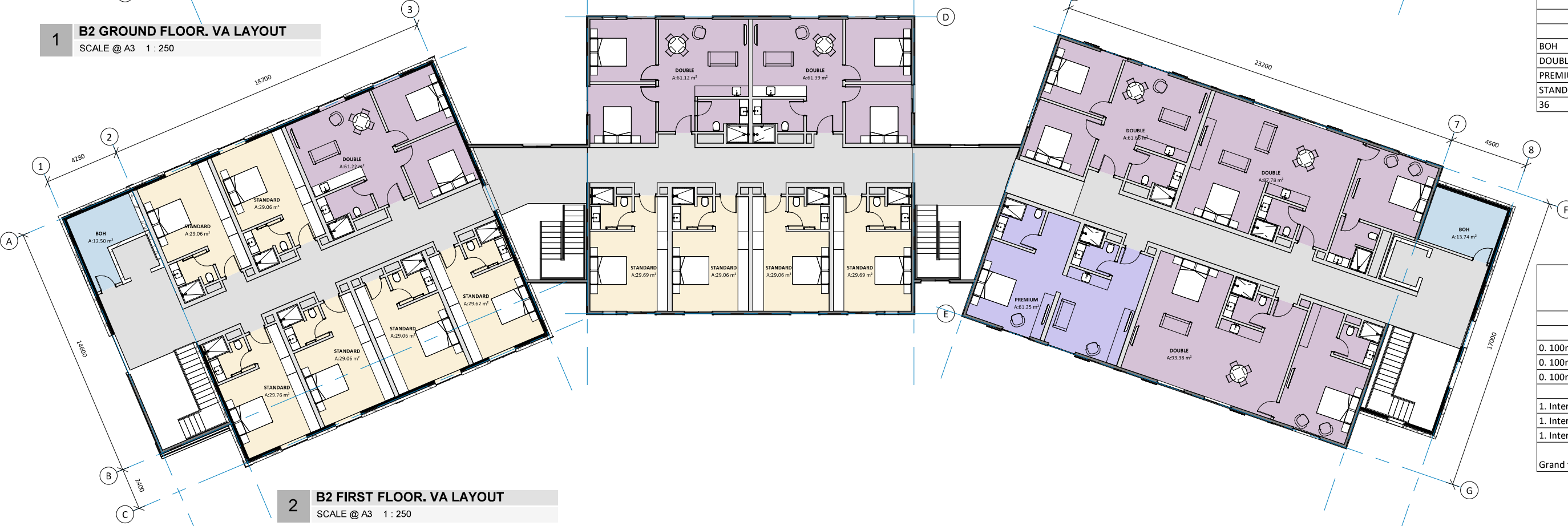
sheet

**B.8**





1 **B2 GROUND FLOOR. VA LAYOUT**  
SCALE @ A3 1 : 250

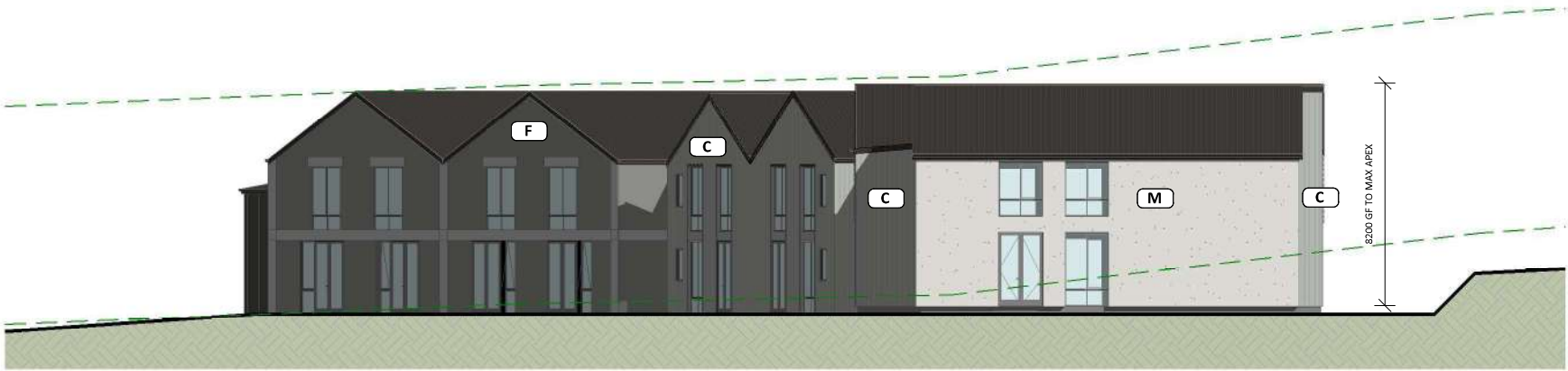


2 **B2 FIRST FLOOR. VA LAYOUT**  
SCALE @ A3 1 : 250

| Room Schedule |       |
|---------------|-------|
| Name          | Count |
| BOH           | 4     |
| DOUBLE        | 12    |
| PREMIUM       | 4     |
| STANDARD      | 16    |
| 36            |       |

| Floor Schedule |            |
|----------------|------------|
| Type           | Area       |
| 0. 100mm SLAB  | 455.86 m²  |
| 0. 100mm SLAB  | 355.61 m²  |
| 0. 100mm SLAB  | 420.50 m²  |
|                | 1231.98 m² |
| 1. Interfloor  | 451.35 m²  |
| 1. Interfloor  | 316.20 m²  |
| 1. Interfloor  | 368.99 m²  |
|                | 1136.54 m² |
| Grand total: 6 | 2368.51 m² |





1 **B2. NORTH**  
SCALE @ A3 1 : 250

3 **EXTERNAL VIEW 1**  
SCALE @ A3



2 **B2. EAST**  
SCALE @ A3 1 : 250

**MATERIALS LEGEND**



**ELEVATION LINE LEGEND**



NOTE: Ground level cut lines are taken at from the face of the building perpendicular to the view. Height levels vary across the site, refer to the height plane overlay for further information.

|  |   |               |   |  |  |
|--|---|---------------|---|--|--|
| <b>SASTUDIO</b><br><br>W: www.sastudio.co.nz<br>A: 8 Mallett Lane, Cromwell<br>P: 021 108 2764 | notes<br>All works to comply with the NZBC and relevant codes and standards.<br>All works to hold shared copyright between the owner and the architect for this project and site.<br>All dimensions to be checked prior to site works. If in doubt - ask. | <b>WINTON</b> | project<br><b>Ayrburn Screen Hub</b><br><br>location<br>Ayr Avenue, Arrowtown | sheet name<br><b>B2_ Elevations</b><br><br>issued for<br>G. FOR FTA APPLICATION 27.06.2025 | revision<br><b>G</b><br><br>sheet<br><b>B.10</b> |
|--|---|---------------|---|--|--|



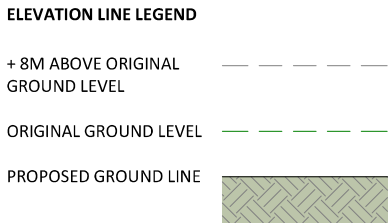


1 **B2. SOUTH**  
SCALE @ A3 1 : 250



2 **B2. WEST**  
SCALE @ A3 1 : 250

MATERIALS LEGEND



NOTE: Ground level cut lines are taken at from the face of the building perpendicular to the view. Height levels vary across the site, refer to the height plane overlay for further information.

|  |  |                   |   |  |                                  |
|--|--|-------------------|---|--|----------------------------------|
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|  |  |                   |   |  | <div>sheet</div> <div>B.11</div> |



# Building C

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## Accommodation

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# Design Development

## Accommodation Inspiration

The accommodation offered within the Ayrburn Screen Hub proposal is designed to complement the existing heritage setting and to be of a residential scale and form.

The two-storey buildings are articulated with gable and lean-to roof forms. A double gable roof has been designed to give a human scale to the proposal, whilst also reducing the overall height of the apex.

## Accommodation Materiality

Continuing the narrative of complementing the surrounding Ayrburn heritage precinct, a similar palette of materials is proposed to be used including stone, timber and corrugate. The architectural detailing and construction methods will reference traditional construction techniques whilst allowing for contemporary detailing; for example concrete lintels are used instead of stone.

Including sliding screens on a number of glazing units references the movement of gates in a farmyard, while also allowing for privacy and solar control.

Careful consideration will be given to the detailing of the door and window joinery so that it is recessed into the wall. This is important to give depth to the facade and also improves the thermal performance of the envelope.

- 1 Ayrburn Woolshed, showing a gable and lean-to
- 2 Clyde historic house, showing double gable roof
- 3 Corrugate cladding and sliding screens in Arrowtown
- 4 Wales house by Hall + Bednarczyk was inspired by farm buildings

## Precedent Imagery



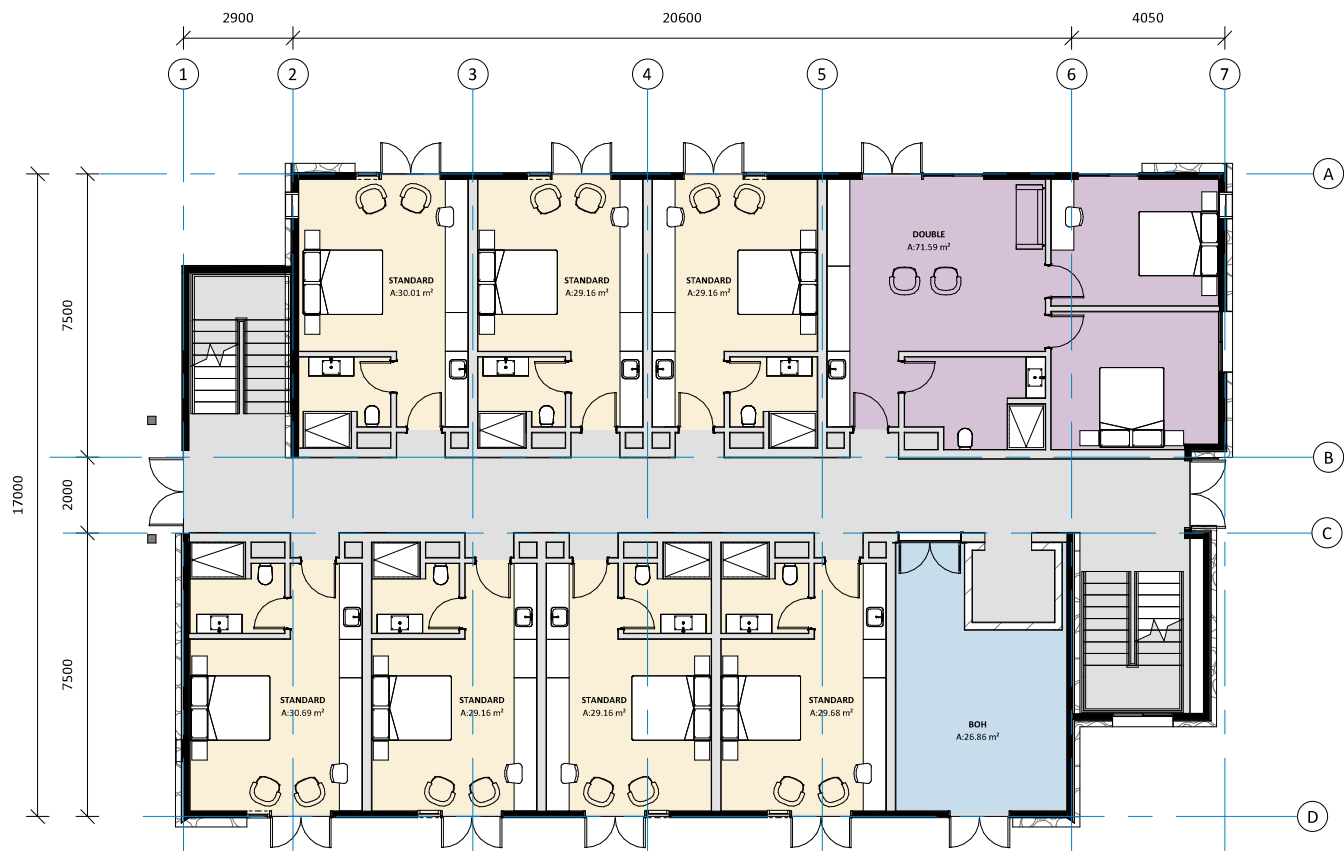
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|--|--|--|-------------------|---|---|--|
| <div>SASTUDIO</div> <div>W: www.sastudio.co.nz<br/>A: 8 Mallett Lane, Cromwell<br/>P: 021 108 2764</div> |  | <div>notes</div> <div>All works to comply with the NZBC and relevant codes and standards.<br/>All works to hold shared copyright between the owner and the architect for this project and site.<br/>All dimensions to be checked prior to site works. If in doubt - ask.</div> | <div>WINTON</div> | <div>project</div> <div>Ayrburn Screen Hub</div> <div>location</div> <div>Ayr Avenue, Arrowtown</div> | <div>sheet name</div> <div>C: Accommodation Design Narrative</div> <div>issued for</div> <div>G. FOR FTA APPLICATION 27.06.2025</div> | <div>revision</div> <div>G</div> <div>sheet</div> <div>C.1</div> |
|--|--|--|-------------------|---|---|--|





1 **TYPE C GROUND FLOOR**  
SCALE @ A3 1 : 500





1 TYPE C GROUND FLOOR PLAN  
SCALE @ A3 1 : 200



2 TYPE C FIRST FLOOR PLAN  
SCALE @ A3 1 : 200



3 EXTERNAL VIEW 1  
SCALE @ A3



4 EXTERNAL VIEW 2  
SCALE @ A3

| Room Schedule   |       |
|-----------------|-------|
| Name            | Count |
| BOH             | 2     |
| DOUBLE          | 3     |
| STANDARD        | 13    |
| Grand total: 18 |       |

| Floor Schedule |           |
|----------------|-----------|
| Type           | Area      |
| 0. 100mm SLAB  | 441.59 m² |
| 1. Interfloor  | 396.99 m² |
| Grand total: 2 | 838.59 m² |

**SASTUDIO**

W: www.sastudio.co.nz  
A: 8 Mallett Lane, Cromwell  
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notes

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All dimensions to be checked prior to site works. If in doubt - ask.

**WINTON**

project

**Ayrburn Screen Hub**

location

**Ayr Avenue, Arrowtown**

sheet name

**C1 - C5\_ First Floor & Roof Plan**

issued for

G. FOR FTA APPLICATION 27.06.2025

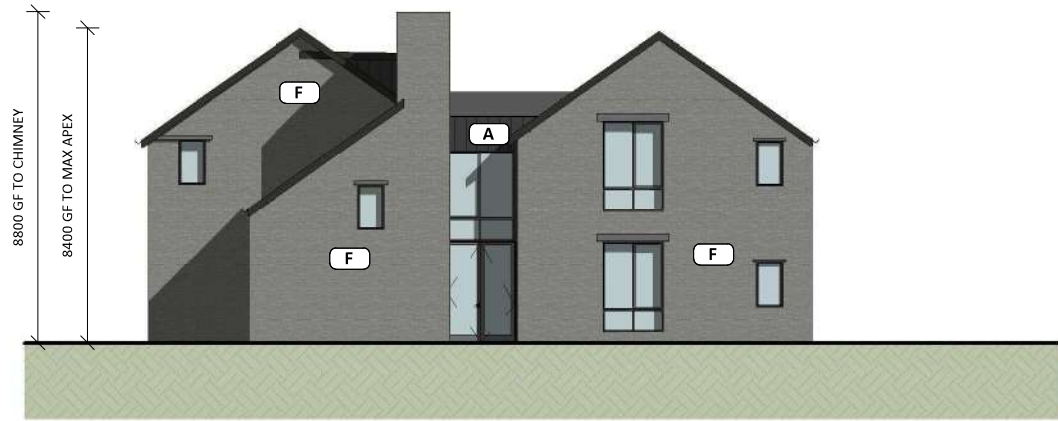
revision

**G**

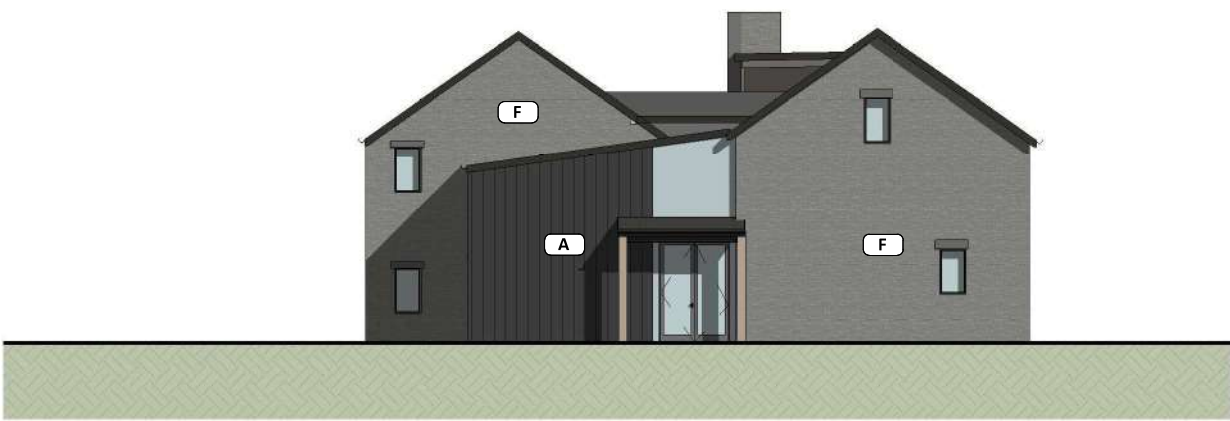
sheet

**C.3**





1 **C1-5 NORTH**  
SCALE @ A3 1 : 200



3 **C1-5 SOUTH**  
SCALE @ A3 1 : 200



2 **C1-5 EAST**  
SCALE @ A3 1 : 200

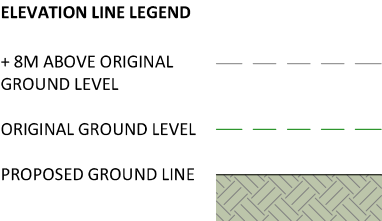


4 **C1-5 WEST**  
SCALE @ A3 1 : 200

MATERIALS LEGEND



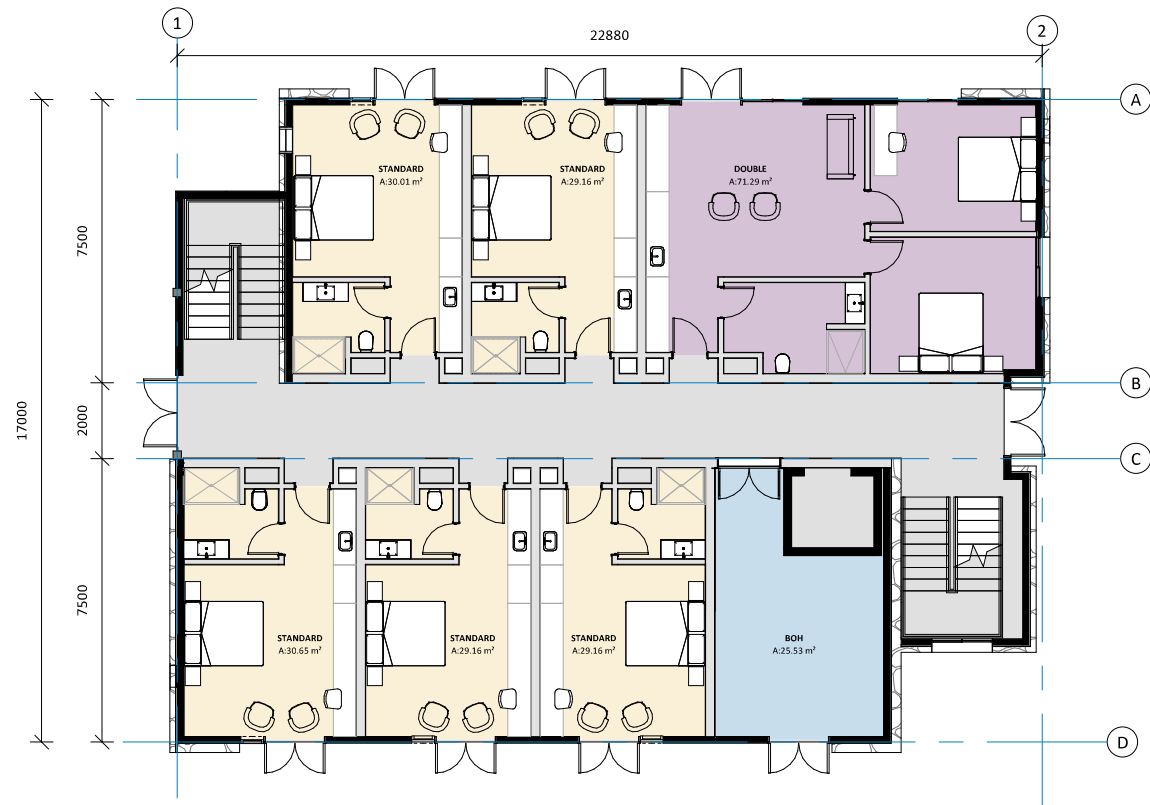
NOTE: THE ORIENTATION VARIES BETWEEN THE BUILDING C LOCATIONS.  
REFER TO THE SITE PLAN FOR ORIENTATION.  
THE NATURAL GROUND LEVEL VARIES BETWEEN THE TYPE C BUILDINGS.  
REFER TO THE 8M HEIGHT PLANE DIAGRAM WHICH DEMONSTRATES  
WHERE ANY BREACHES OCCUR.



NOTE: Ground level cut lines are taken at from the face of the building perpendicular to the view. Height levels vary across the site, refer to the height plane overlay for further information.

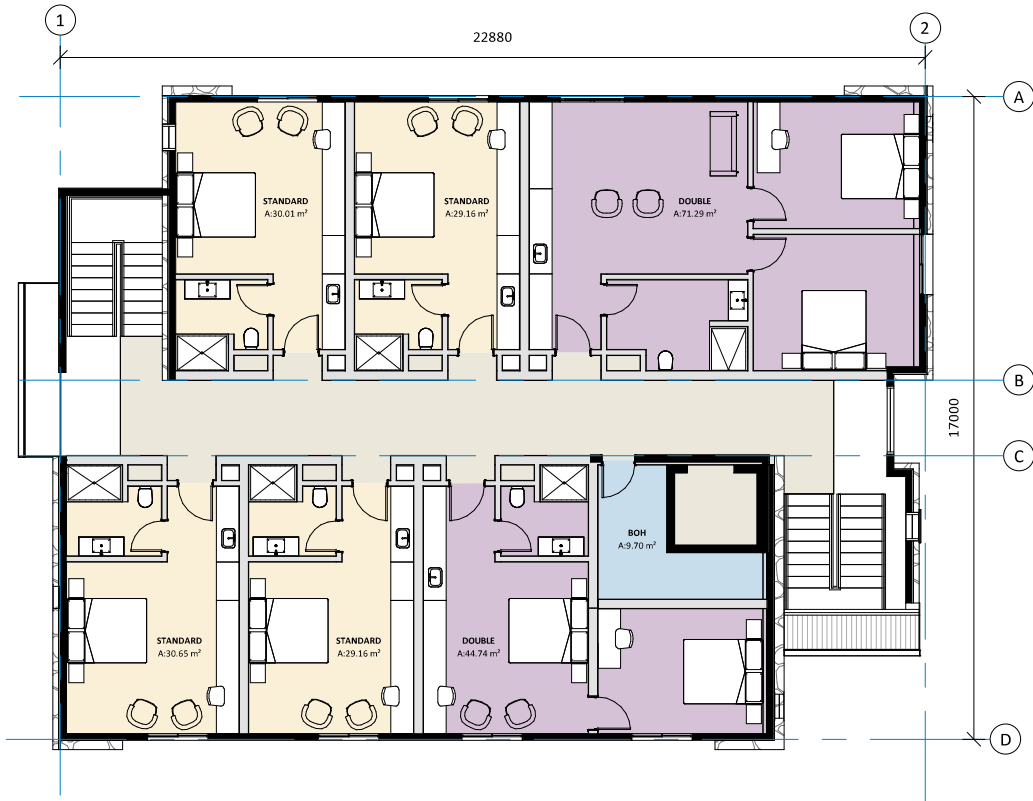
|   |  |                          |  |   |   |  |
|---|--|--------------------------|--|---|---|--|
| <div><b>SASTUDIO</b></div> <div>W: www.sastudio.co.nz<br/>A: 8 Mallett Lane, Cromwell<br/>P: 021 108 2764</div> | <div>notes</div> <div>All works to comply with the NZBC and relevant codes and standards.<br/>All works to hold shared copyright between the owner and the architect for this project and site.<br/>All dimensions to be checked prior to site works. If in doubt - ask.</div> | <div><b>WINTON</b></div> |  | <div>project</div> <div>Ayrburn Screen Hub</div> <div>location</div> <div>Ayr Avenue, Arrowtown</div> | <div>sheet name</div> <div>C1 - C5_ Elevations</div> <div>issued for</div> <div>G. FOR FTA APPLICATION 27.06.2025</div> | <div>revision</div> <div>G</div> <div>sheet</div> <div>C.4</div> |
|---|--|--------------------------|--|---|---|--|





1 C6. GROUND

SCALE @ A3 1 : 200



2 C6. FIRST FLOOR

SCALE @ A3 1 : 200



3 EXTERNAL VIEW 1

SCALE @ A3



4 EXTERNAL VIEW 2

SCALE @ A3

| Room Schedule   |       |
|-----------------|-------|
| Name            | Count |
| BOH             | 2     |
| DOUBLE          | 3     |
| STANDARD        | 9     |
| Grand total: 14 |       |

| Floor Schedule |           |
|----------------|-----------|
| Type           | Area      |
| 0. 100mm SLAB  | 363.96 m² |
| 1. Interfloor  | 320.19 m² |
| Grand total: 2 | 684.15 m² |

**SASTUDIO**

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A: 8 Mallett Lane, Cromwell  
P: 021 108 2764

notes

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**WINTON**

project

**Ayrburn Screen Hub**

location

**Ayr Avenue, Arrowtown**

sheet name

**C6\_Floor Plans - Accom Type 2**

issued for

G. FOR FTA APPLICATION 27.06.2025

revision

**G**

sheet

**C.5**





1 **C6. NORTH**  
SCALE @ A3 1 : 200



3 **C6. SOUTH**  
SCALE @ A3 1 : 200

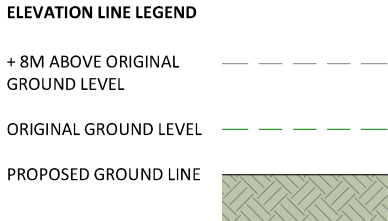


2 **C6. EAST**  
SCALE @ A3 1 : 200



4 **C6. WEST**  
SCALE @ A3 1 : 200

**MATERIALS LEGEND**



NOTE: Ground level cut lines are taken at from the face of the building perpendicular to the view. Height levels vary across the site, refer to the height plane overlay for further information.

|  |   |               |   |   |                      |
|--|---|---------------|---|---|----------------------|
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|  |   |               |   |   | sheet<br><b>C.6</b>  |





1

C7. GROUND FLOOR

SCALE @ A3    1 : 200

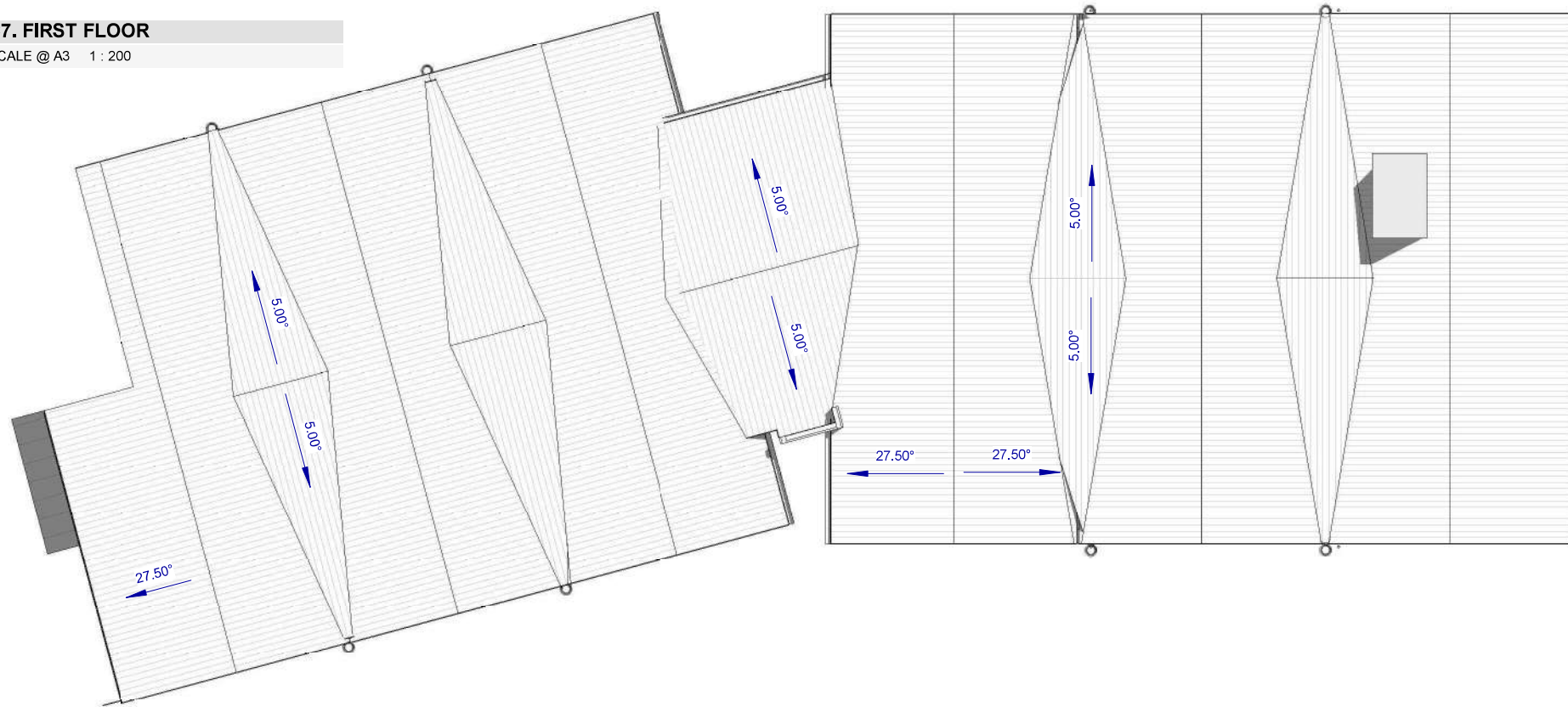
| Room Schedule   |       |
|-----------------|-------|
| Name            | Count |
| BOH             | 2     |
| PREMIUM         | 4     |
| STANDARD        | 26    |
| Grand total: 32 |       |

| Floor Schedule |            |
|----------------|------------|
| Type           | Area       |
| 0. SLAB        | 345.14 m²  |
| 0. SLAB        | 364.98 m²  |
|                | 710.12 m²  |
| 1. Interfloor  | 319.90 m²  |
| 1. Interfloor  | 327.89 m²  |
|                | 647.79 m²  |
| Grand total: 4 | 1357.91 m² |





1 **C7. FIRST FLOOR**  
SCALE @ A3 1 : 200



2 **C7. ROOF PLAN**  
SCALE @ A3 1 : 200

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**WINTON**

project

**Ayrburn Screen Hub**

location

**Ayr Avenue, Arrowtown**

sheet name

**C7\_ First Floor & Roof Plan**

issued for

G. FOR FTA APPLICATION 27.06.2025

revision

**G**

sheet

**C.8**





1 **C7. NORTH**  
SCALE @ A3 1 : 200



3 **EXTERNAL VIEW 1**  
SCALE @ A3

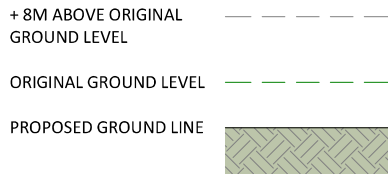


2 **C7. EAST**  
SCALE @ A3 1 : 200

**MATERIALS LEGEND**



**ELEVATION LINE LEGEND**



NOTE: Ground level cut lines are taken at from the face of the building perpendicular to the view. Height levels vary across the site, refer to the height plane overlay for further information.

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**WINTON**

project  
**Ayrburn Screen Hub**

location  
**Ayr Avenue, Arrowtown**

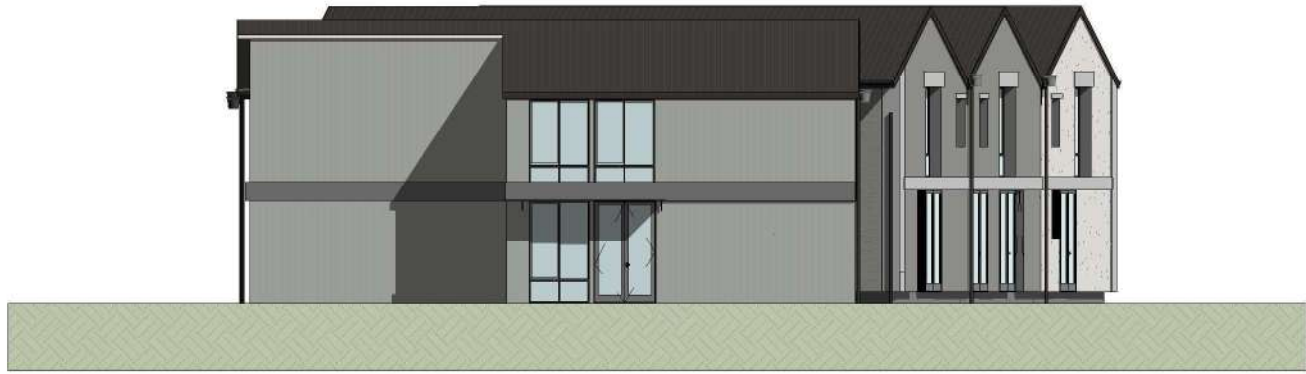
sheet name  
**C7\_ Elevations**

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G. FOR FTA APPLICATION 27.06.2025

revision  
**G**

sheet  
**C.9**

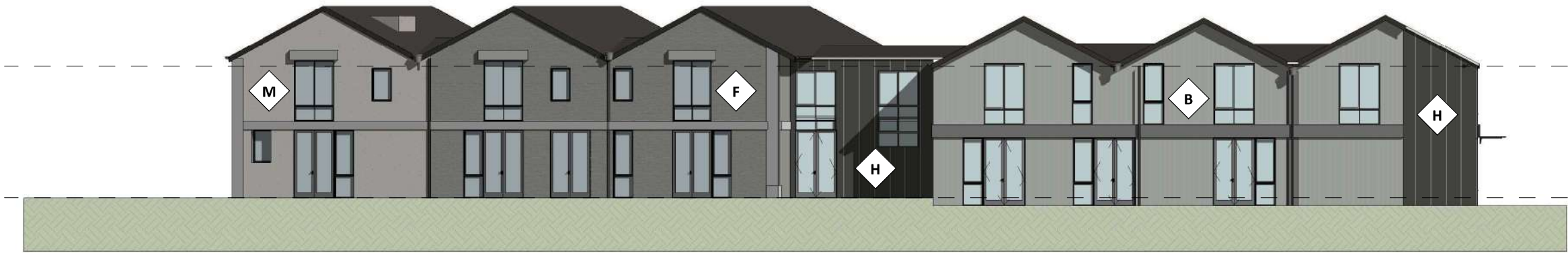




1 **C7. SOUTH**  
SCALE @ A3 1 : 200



3 **EXTERNAL VIEW 2**  
SCALE @ A3



2 **C7. WEST**  
SCALE @ A3 1 : 200

#### MATERIALS LEGEND



#### ELEVATION LINE LEGEND



NOTE: Ground level cut lines are taken at from the face of the building perpendicular to the view. Height levels vary across the site, refer to the height plane overlay for further information.

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**WINTON**

#### project

**Ayrburn Screen Hub**

#### location

Ayr Avenue, Arrowtown

#### sheet name

**C7\_ Elevations**

#### issued for

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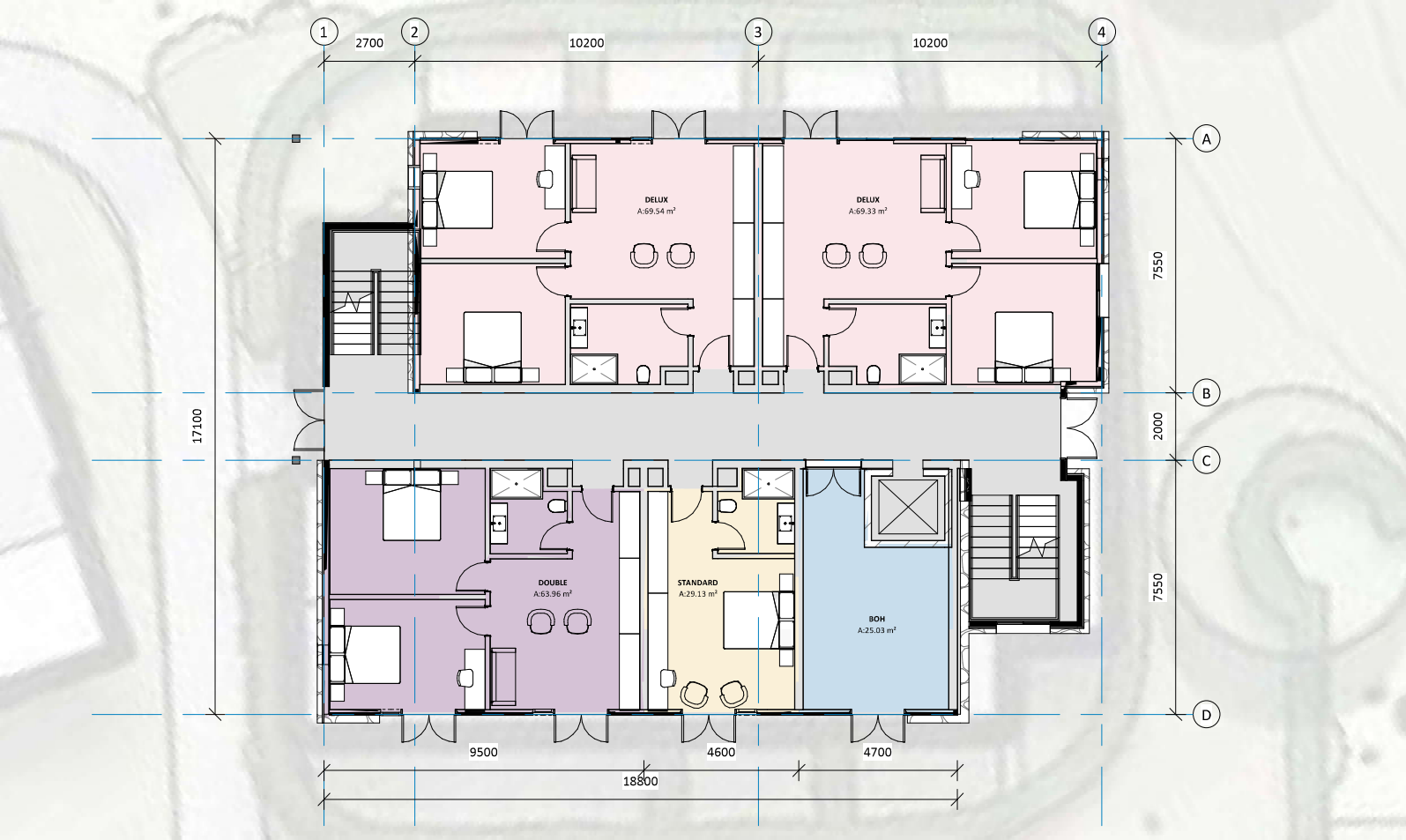
#### revision

**G**

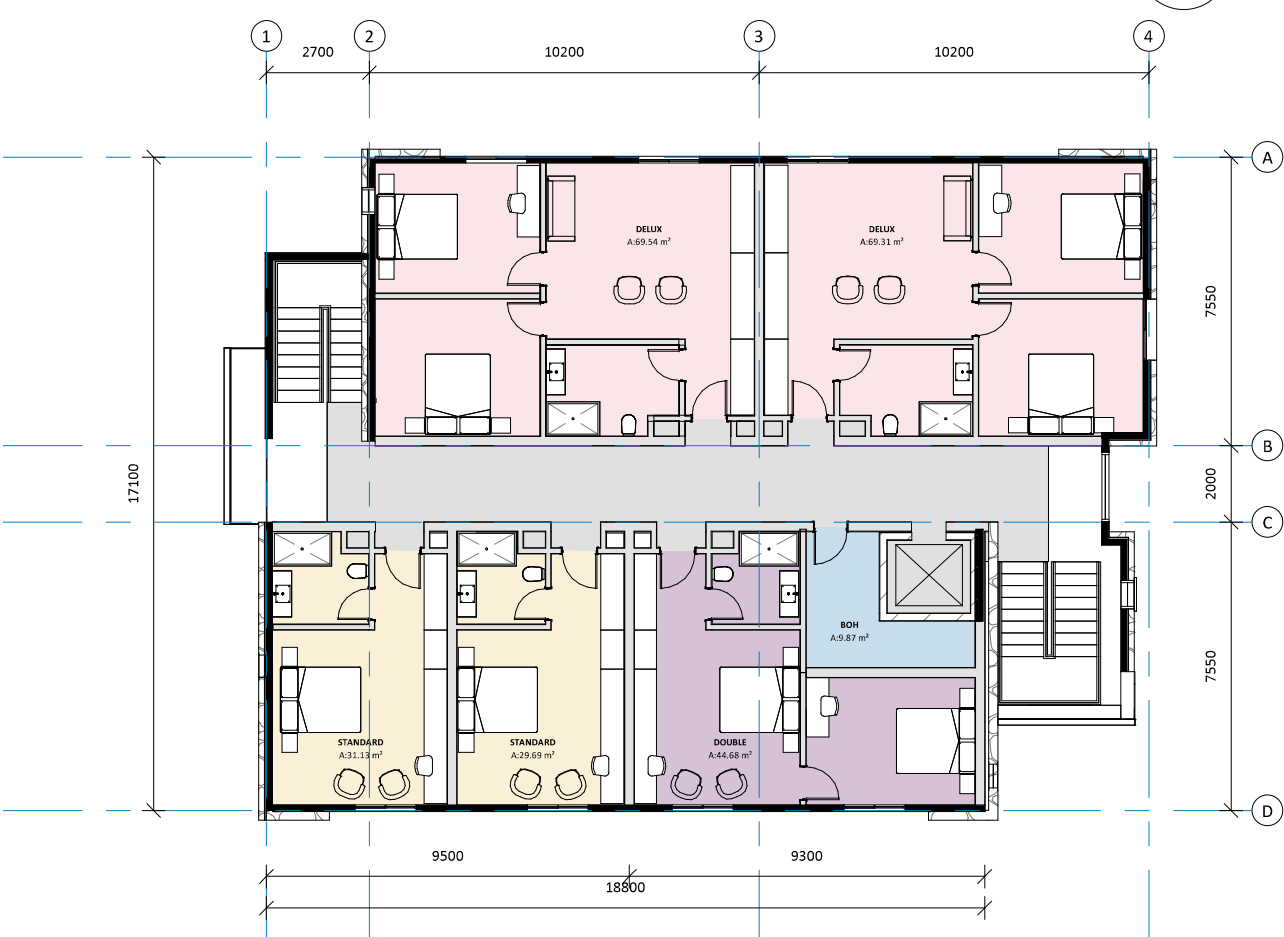
#### sheet

**C.10**





1 GF  
SCALE @ A3 1 : 200



2 FIRST FLOOR PLAN  
SCALE @ A3 1 : 200

| Room Schedule   |       |
|-----------------|-------|
| Name            | Count |
| BOH             | 2     |
| DELUX           | 4     |
| DOUBLE          | 2     |
| STANDARD        | 3     |
| Grand total: 11 |       |

| Floor Schedule |                       |
|----------------|-----------------------|
| Type           | Area                  |
| 0. SLAB        | 367.91 m <sup>2</sup> |
| 1. Interfloor  | 326.02 m <sup>2</sup> |
| Grand total: 2 | 693.93 m <sup>2</sup> |

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**WINTON**

project

**Ayrburn Screen Hub**

location

**Ayr Avenue, Arrowtown**

sheet name

**C8\_ VIP Ground Floor Plan**

issued for

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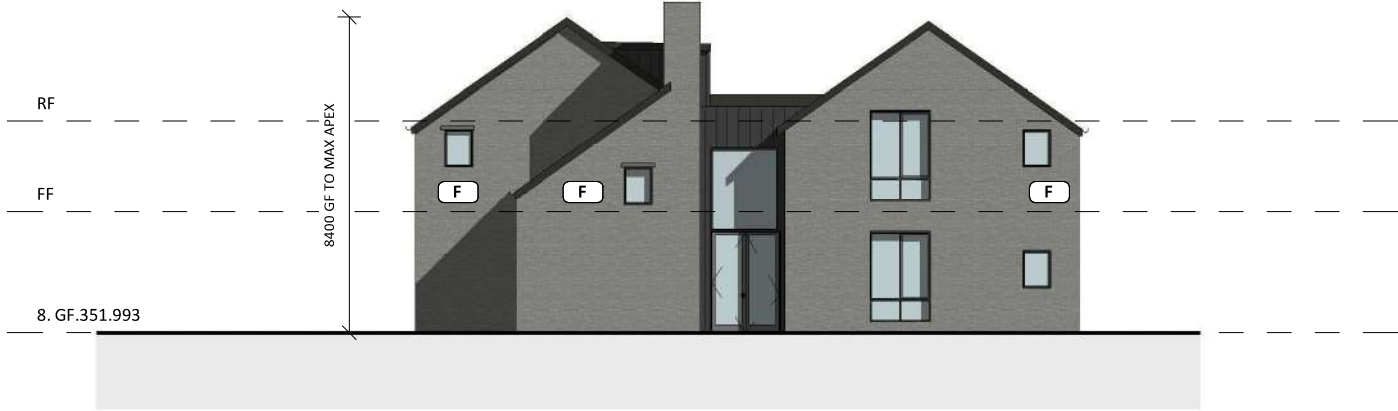
revision

**G**

sheet

**C.11**





1 **C8. NORTH**  
SCALE @ A3 1 : 200



3 **C8. SOUTH**  
SCALE @ A3 1 : 200

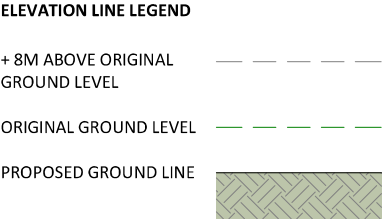


2 **C8. EAST**  
SCALE @ A3 1 : 200



4 **C8. WEST**  
SCALE @ A3 1 : 200

MATERIALS LEGEND



NOTE: Ground level cut lines are taken at from the face of the building perpendicular to the view. Height levels vary across the site, refer to the height plane overlay for further information.





1 **GROUND FLOOR**  
SCALE @ A3 1 : 200



2 **EXTERNAL VIEW 1**  
SCALE @ A3



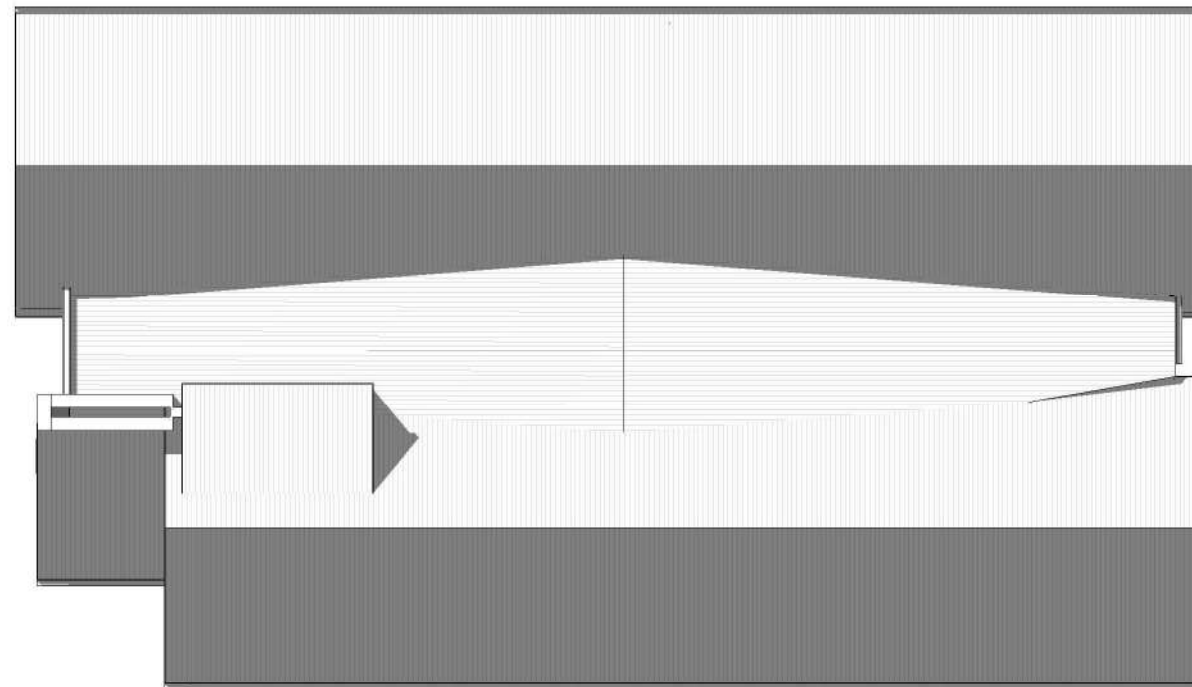
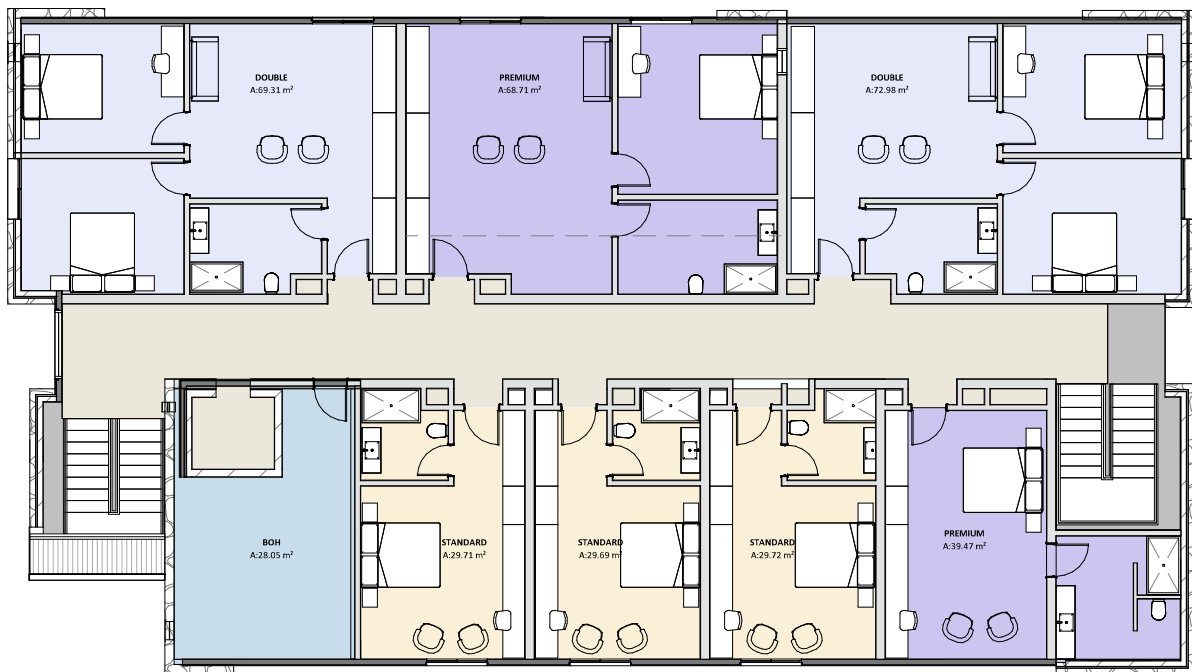
3 **NORTH VIEW**  
SCALE @ A3



4 **EXTERNAL VIEW 2**  
SCALE @ A3

| Room Schedule   |       | Floor Schedule   |           |
|-----------------|-------|------------------|-----------|
| Name            | Count | Type             | Area      |
| BOH             | 2     | 0. SLAB          | 508.39 m² |
| DOUBLE          | 4     | 0. SLAB: 1       | 508.39 m² |
| PREMIUM         | 4     | 1. Interfloor    | 469.42 m² |
| Room            | 1     | 1. Interfloor: 1 | 469.42 m² |
| STANDARD        | 6     | Grand total: 2   | 977.81 m² |
| Grand total: 17 |       |                  |           |





## 1 FIRST FLOOR

SCALE @ A3 1 : 200

## 2 ROOF

SCALE @ A3 1 : 200

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### project

**Ayrburn Screen Hub**

### location

**Ayr Avenue, Arrowtown**

### sheet name

**C9\_Accommodation 4: First Floor Plan**

### issued for

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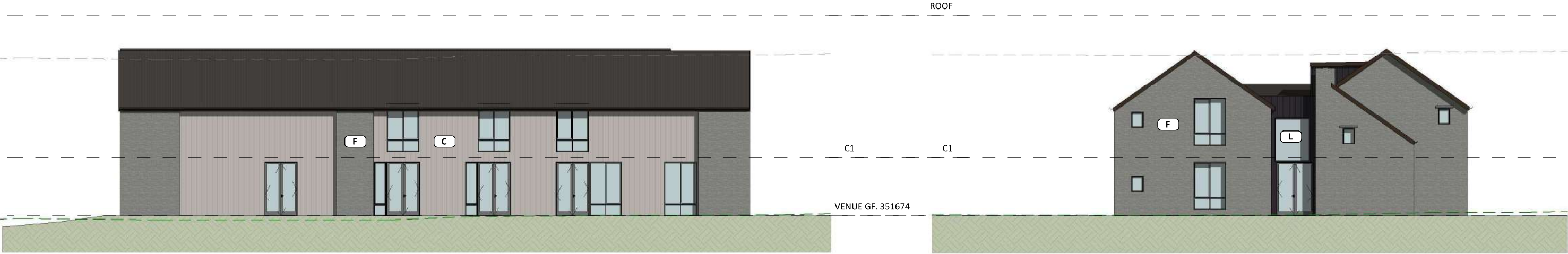
### revision

**G**

### sheet

**C.14**





1 **F. NORTH**  
SCALE @ A3 1 : 200

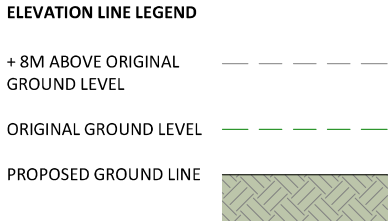
4 **F. WEST**  
SCALE @ A3 1 : 200



2 **F. EAST**  
SCALE @ A3 1 : 200

3 **F. SOUTH**  
SCALE @ A3 1 : 200

#### MATERIALS LEGEND



NOTE: Ground level cut lines are taken at from the face of the building perpendicular to the view. Height levels vary across the site, refer to the height plane overlay for further information.

|  |   |               |  |   |                      |
|--|---|---------------|--|---|----------------------|
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|  |   |               | location<br><b>Ayr Avenue, Arrowtown</b> | issued for<br>G. FOR FTA APPLICATION 27.06.2025     | sheet<br><b>C.15</b> |



# Building D

---

Ayrburn Depot

---



# Design Development

## Ayrburn Depot Inspiration

The Depot building is proposed to be located on a highly visual site, opposite to the main entrance of the Ayrburn heritage precinct, and on rising topography. These factors have influenced the design, where stone, corrugate and steel joinery are proposed to complement the materiality of Ayrburn. The sloping topography has resulted in a split level building which adds interest to the roof forms and depicts the different uses of the building, from the lower storage ‘shed’ to upper stone office building.

The proposed building is influenced by high quality, rural and heritage New Zealand architecture. The adjacent images are examples of timeless Otago buildings where simple forms are elevated by quality materials, good proportions and recessed window joinery.

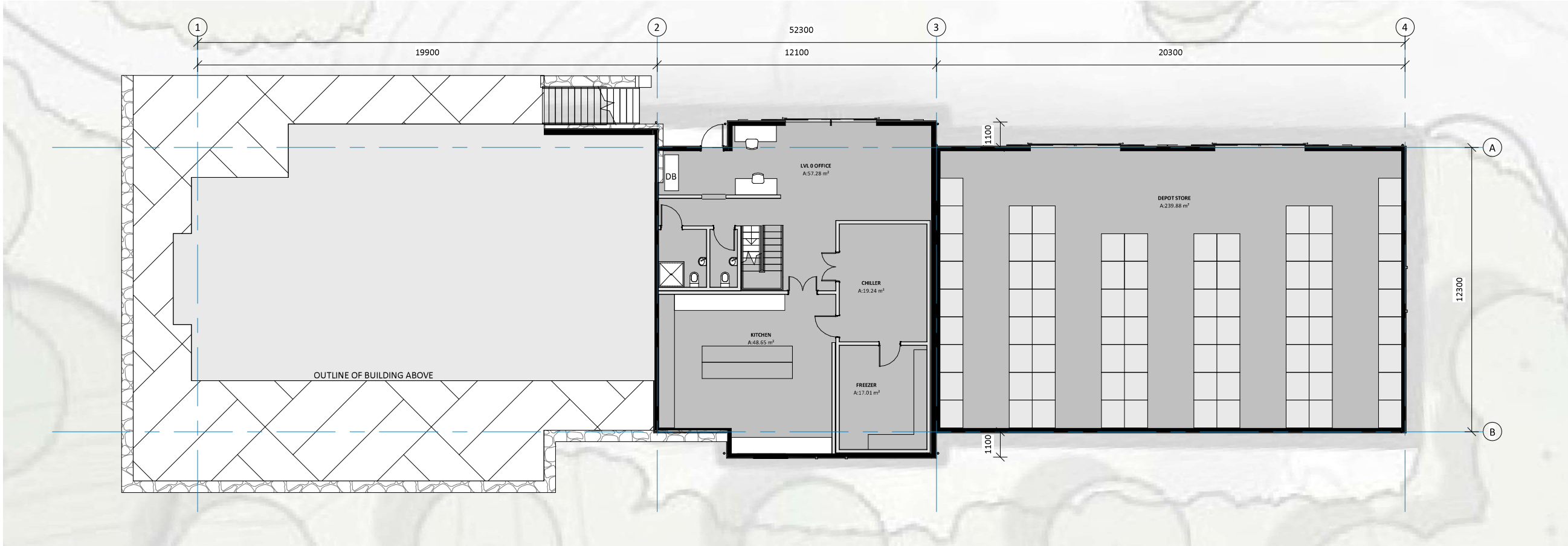
## Precedent Imagery



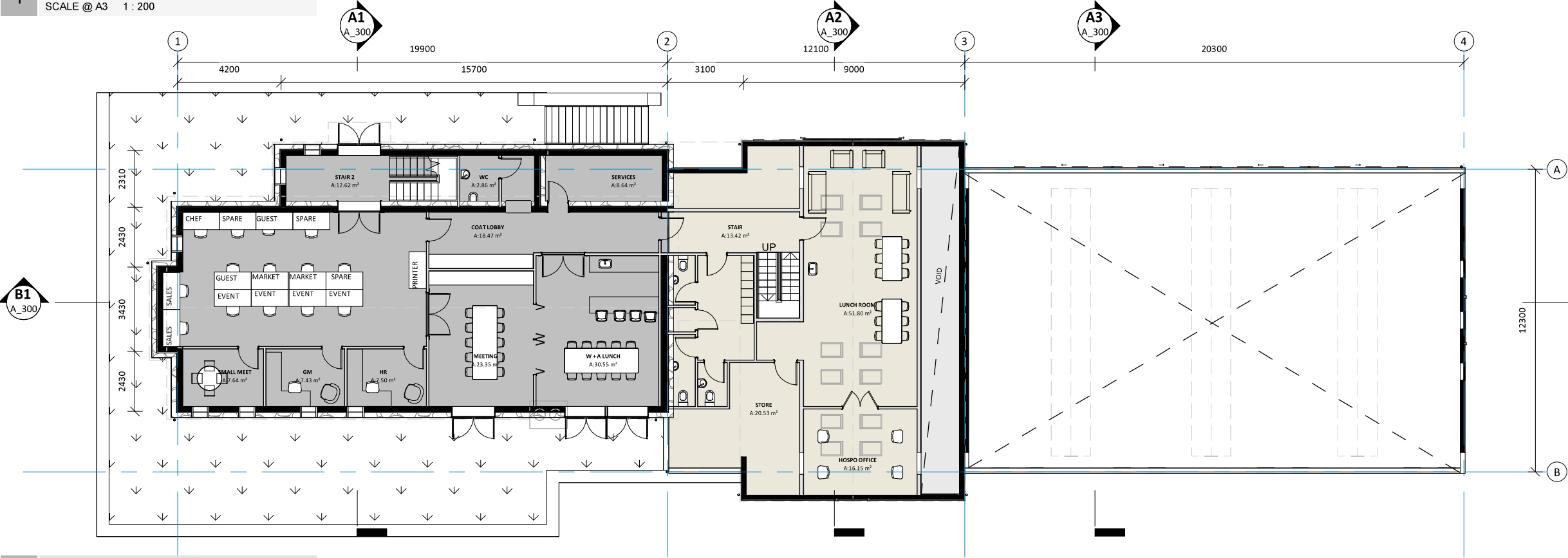
- 1 Otago Woolshed with timber windows with astragals
- 2 Clyde Hotel building with repeating windows
- 3 Morven Hills Woolshed with repeating windows and dormers

|   |   |   |  |
|---|---|---|--|
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|---|---|---|--|





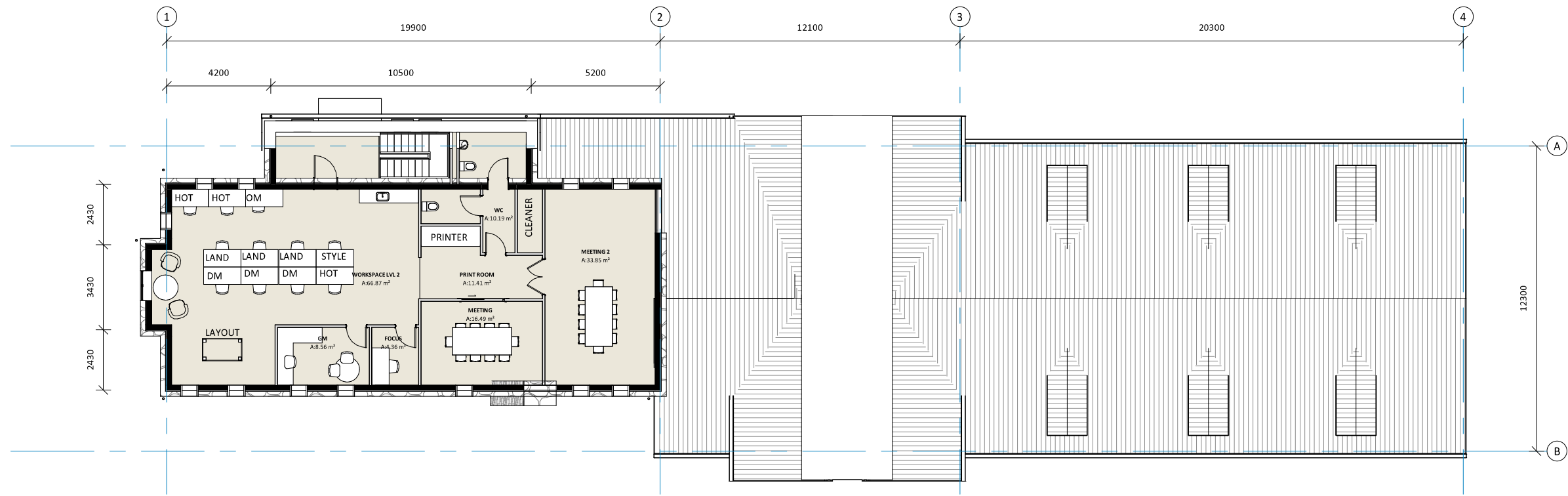
1 **DEPOT LVL 0**  
SCALE @ A3 1 : 200



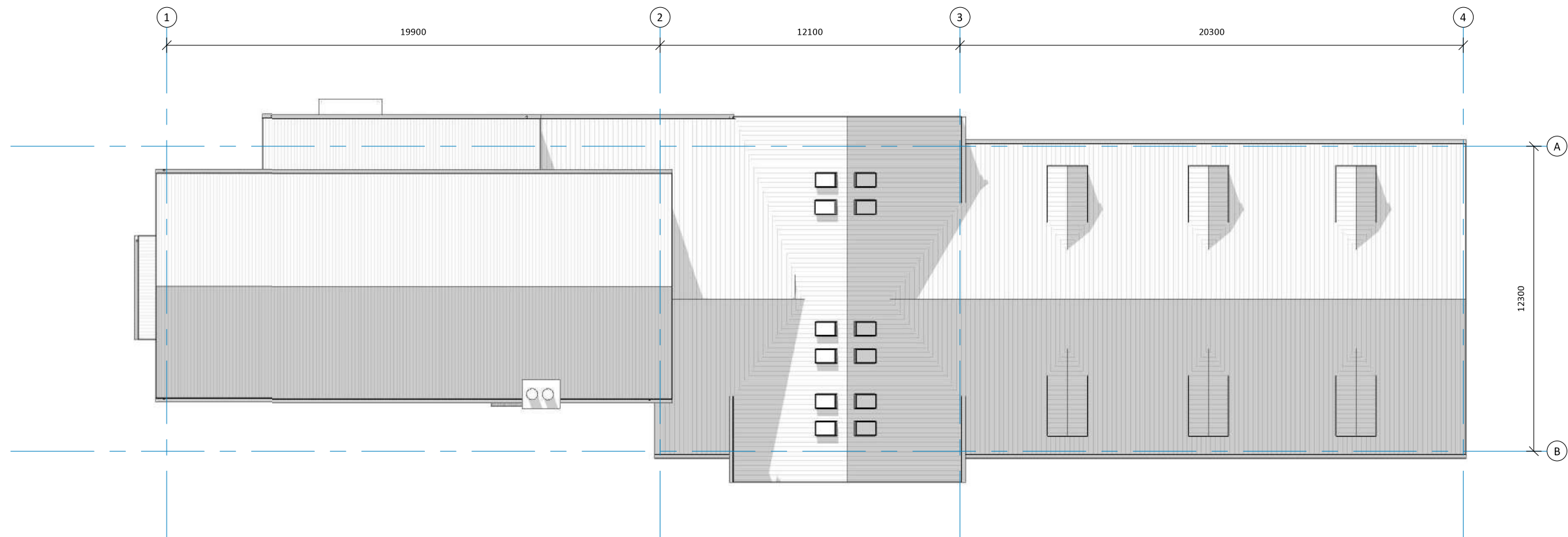
2 **DEPOT LVL 1**  
SCALE @ A3 1 : 200

| Floor Schedule |           |
|----------------|-----------|
| Type           | Area      |
| 0. SLAB        | 419.34 m² |
| 1. Interfloor  | 131.62 m² |
| 1. Interfloor  | 173.08 m² |
| 1. SLAB        | 204.01 m² |
| Grand total: 4 | 928.04 m² |





1 **DEPOT LVL 2**  
SCALE @ A3 1 : 200



2 **DEPOT ROOF PLAN**  
SCALE @ A3 1 : 200

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**WINTON**

project

**Ayrburn Screen Hub**

location

**Ayr Avenue, Arrowtown**

sheet name

**D\_Depot Building Floor Plans**

issued for

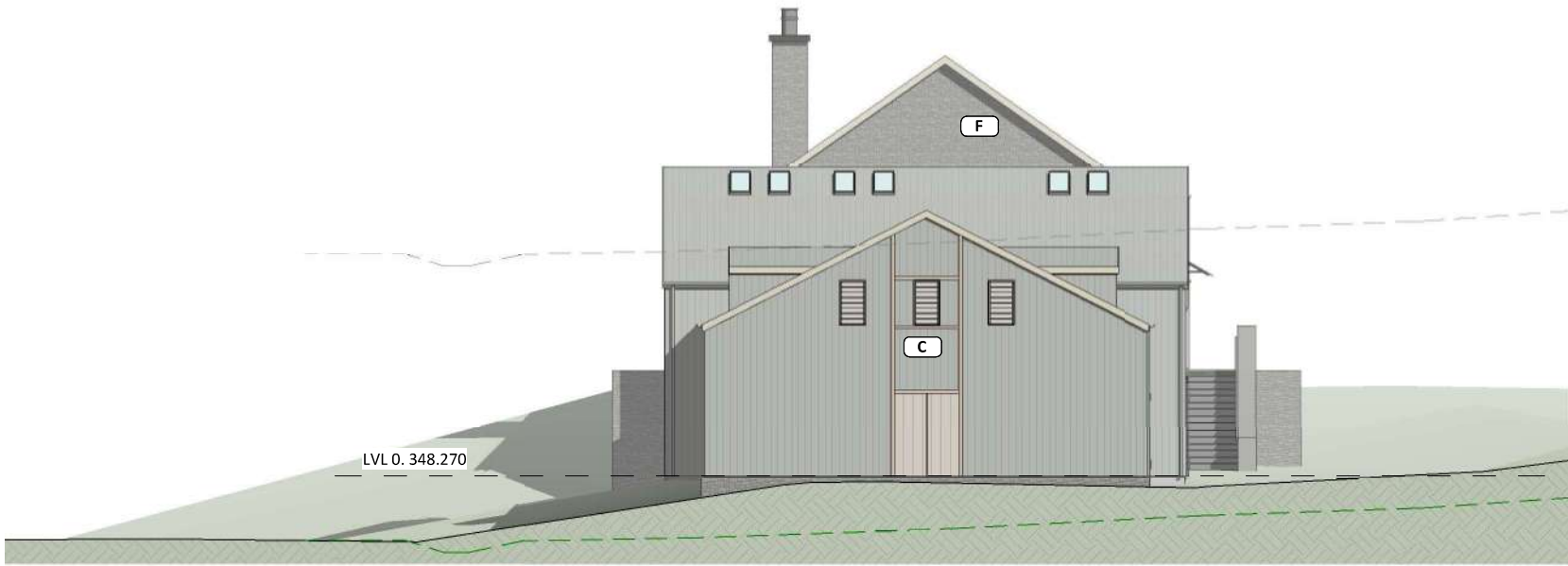
G. FOR FTA APPLICATION 27.06.2025

revision

**G**

sheet

**D.3**



3 **EXTERNAL VIEW 1**  
SCALE @ A3



2 **D. EAST**  
SCALE @ A3 1 : 200


**MATERIALS LEGEND**



**ELEVATION LINE LEGEND**

+ 8M ABOVE ORIGINAL GROUND LEVEL — — — — —

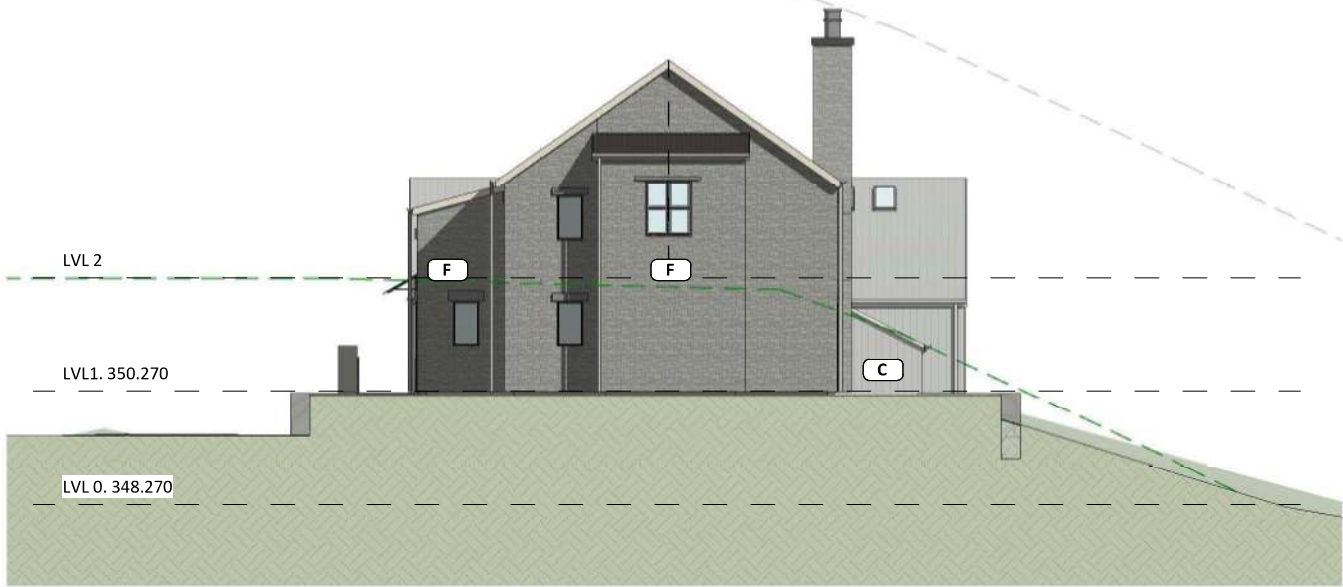
ORIGINAL GROUND LEVEL - - - - -

PROPOSED GROUND LINE 

NOTE: Ground level cut lines are taken at from the face of the building perpendicular to the view. Height levels vary across the site, refer to the height plane overlay for further information.

|  |  |                   |   |  |  |
|--|--|-------------------|---|--|--|
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|--|--|-------------------|---|--|--|





1 **D. SOUTH**  
SCALE @ A3 1 : 200

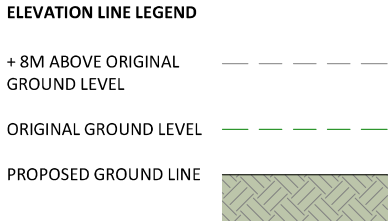


3 **EXTERNAL VIEW 2**  
SCALE @ A3

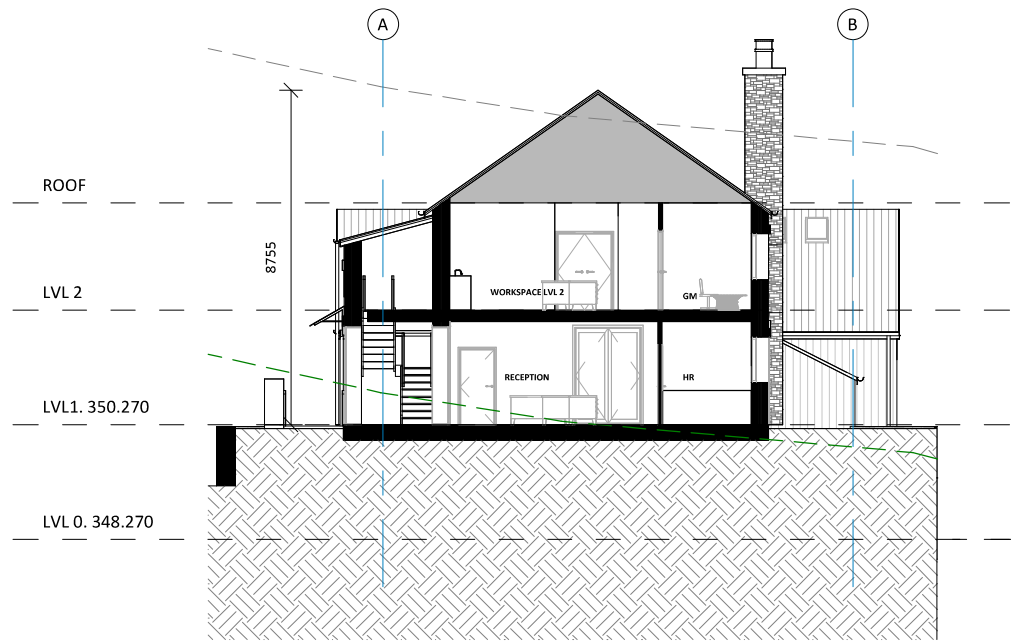


2 **D. WEST**  
SCALE @ A3 1 : 200

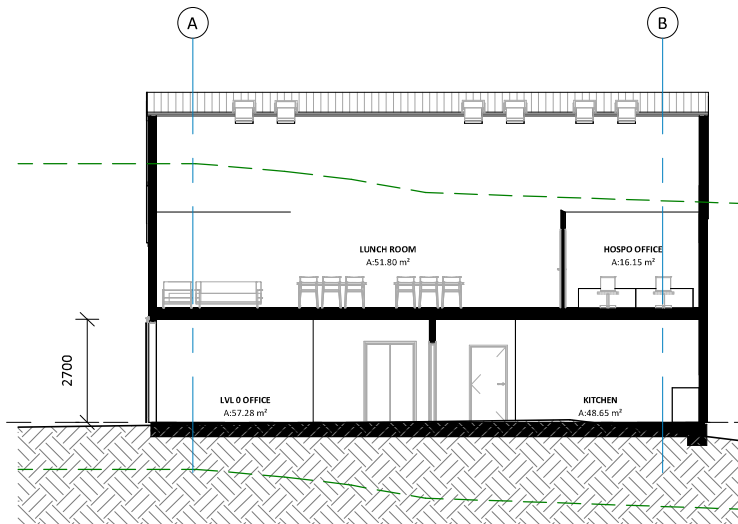
MATERIALS LEGEND



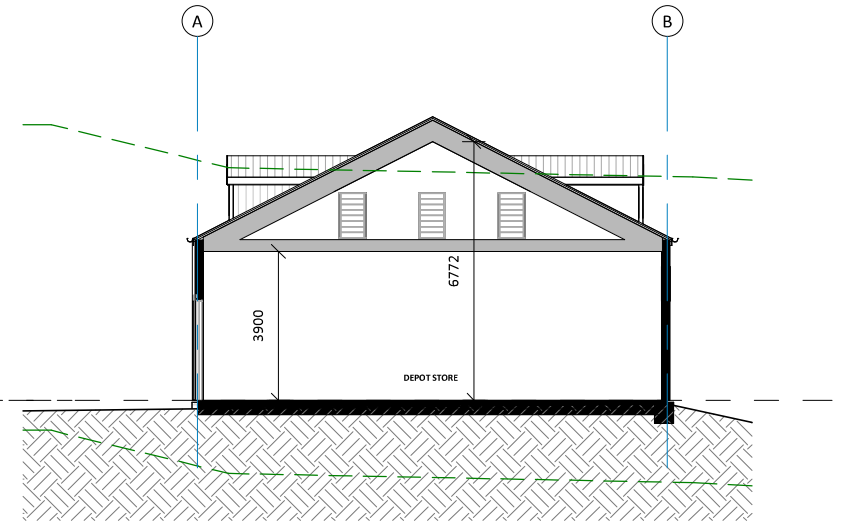
NOTE: Ground level cut lines are taken at from the face of the building perpendicular to the view. Height levels vary across the site, refer to the height plane overlay for further information.



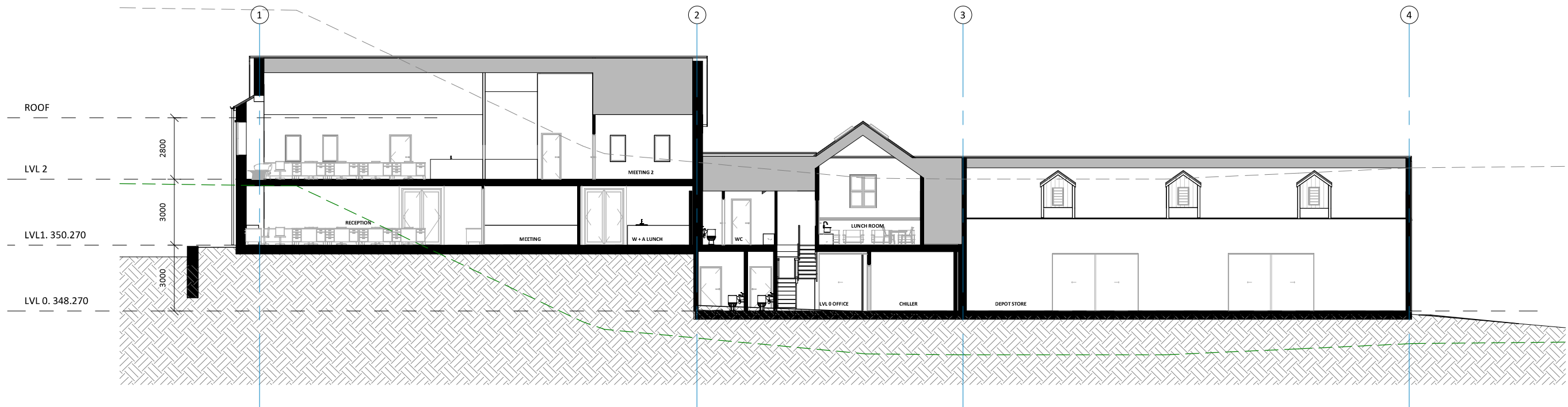
**1 A1**  
SCALE @ A3 1 : 200



**2 A2**  
SCALE @ A3 1 : 200



**3 A3**  
SCALE @ A3 1 : 200



**4 B1**  
SCALE @ A3 1 : 200

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**WINTON**

project

**Ayrburn Screen Hub**

location

Ayr Avenue, Arrowtown

sheet name

**D\_Depot Sections**

issued for

G. FOR FTA APPLICATION 27.06.2025

revision

**G**

sheet

**D.6**



# Building E

---

Reception, Gym & Wellness

---

# Design Development

## Reception & Wellness Inspiration

The Reception & Wellness building is the first building that accommodation and public visitors will be greeted by. It needs to have a presence that is welcoming and indicates that this is where you should go to check in and determine your next movements around the development. It also needs to be functional to cater for a range of vehicle and pedestrian movements.

The building has three main elements:

The eastern building block accommodates the wellness offering with Lounge room, spa, treatments rooms and gym facilities that can be used by film crew, accommodation guests and the general public. Located to the east, it has a more private outdoor area that has planting to screen it from the access road.

The western building block accommodates the reception and hotel administrative needs, it also has bag storage, guest waiting areas and a lodge dining room and bar. It is serviced by a commercial kitchen and storage areas.

The reception building and dining room is connected to the networks of internal paths that lead guests to the accommodation and film buildings.

The large overspanning roof that connects the two buildings has been influenced by the open fronted cart shed, known as The Manure Room at Ayrburn. This roof provides shelter for waiting guests and covers the entrance to the reception.

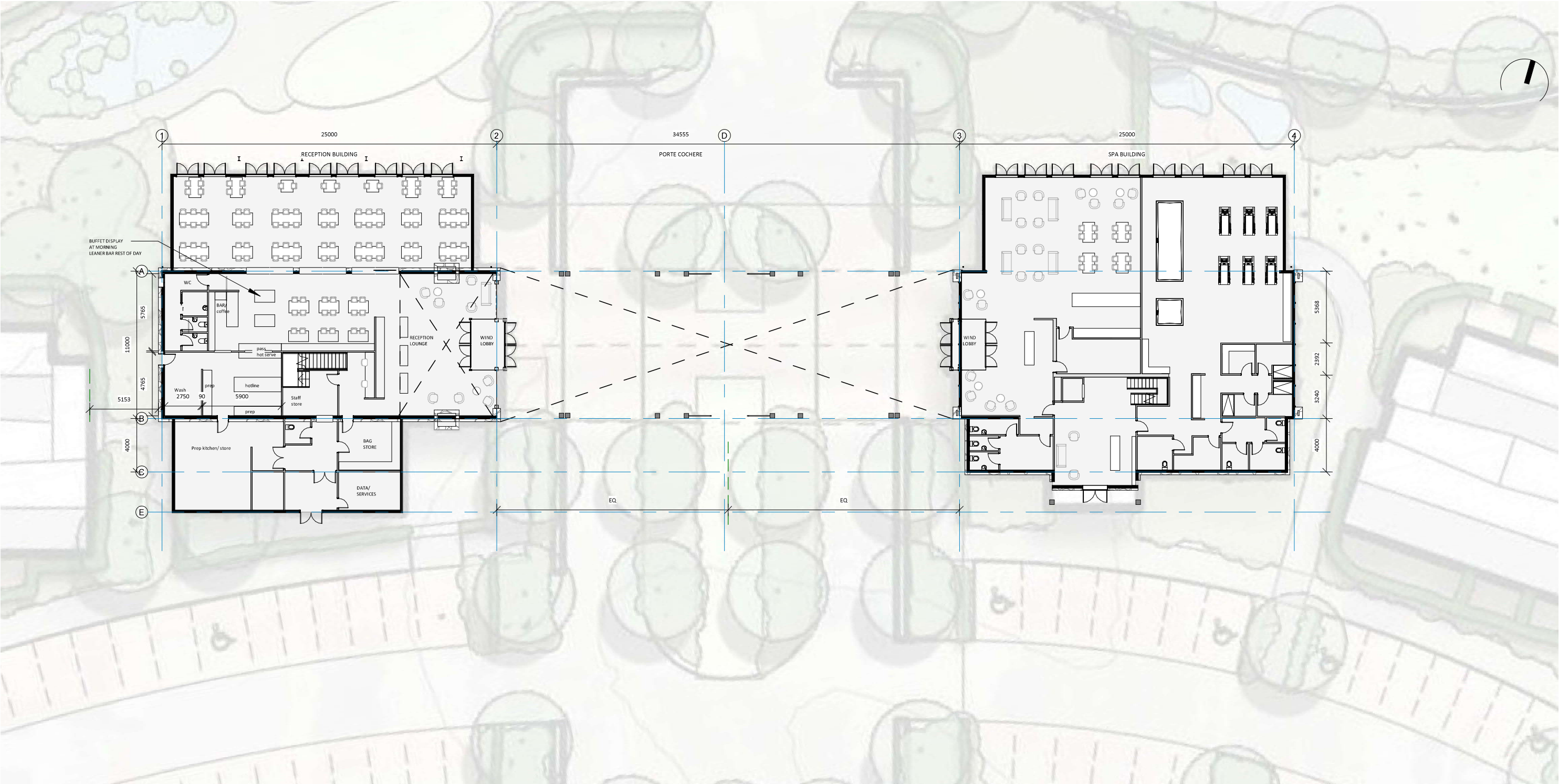
- 1 Millbrook entry building with covered drive through
- 2 Clyde heritage building with dormer
- 3 Steel joinery with hardwood beams
- 4 Ayrburn Cartshed with its long roof and open frontage

## Precedent Imagery



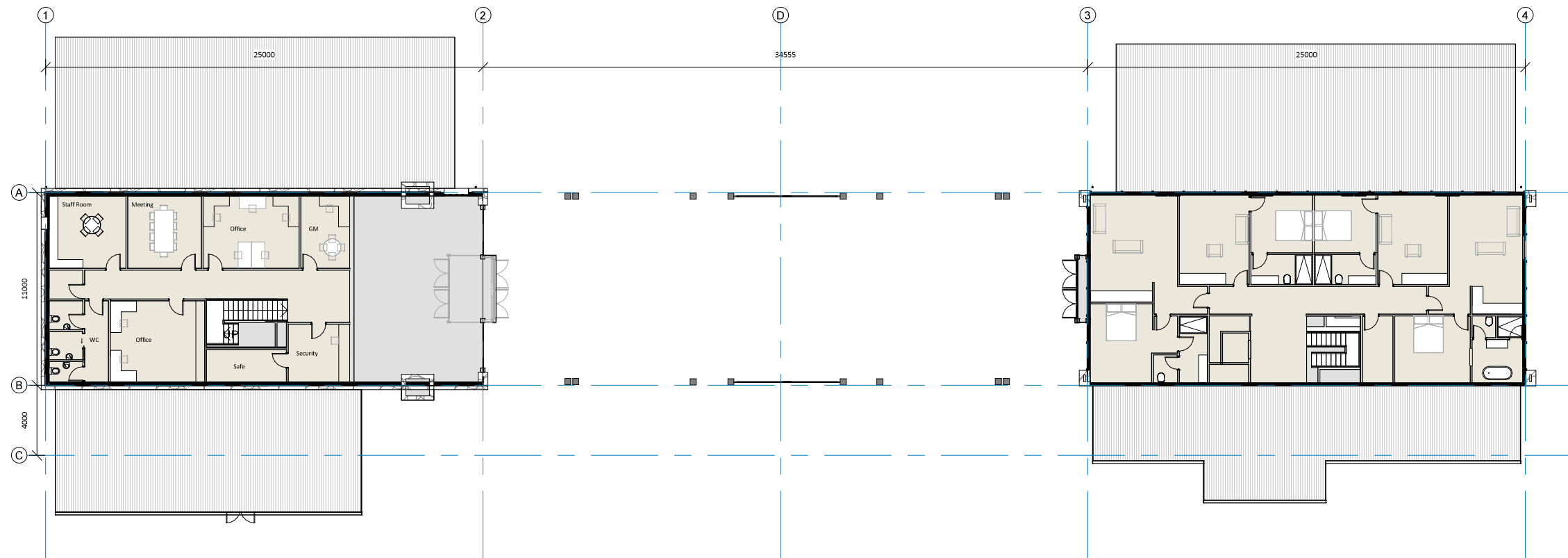
|   |  |                   |  |  |  |                                  |
|---|--|-------------------|--|--|--|----------------------------------|
| <div><div>SASTUDIO</div><div><div>W:</div> www.sastudio.co.nz</div><div><div>A:</div> 8 Mallett Lane, Cromwell</div><div><div>P:</div> 021 108 2764</div></div> | <div>notes</div> <div>All works to comply with the NZBC and relevant codes and standards.</div> <div>All works to hold shared copyright between the owner and the architect for this project and site.</div> <div>All dimensions to be checked prior to site works. If in doubt - ask.</div> | <div>WINTON</div> |  | <div>project</div> <div>Ayrburn Screen Hub</div>     | <div>sheet name</div> <div>E_Reception &amp; Wellness Design</div> | <div>revision</div> <div>G</div> |
|   |  |                   |  | <div>location</div> <div>Ayr Avenue, Arrowtown</div> | <div>issued for</div> <div>G. FOR FTA APPLICATION 27.06.2025</div> | <div>sheet</div> <div>E.1</div>  |



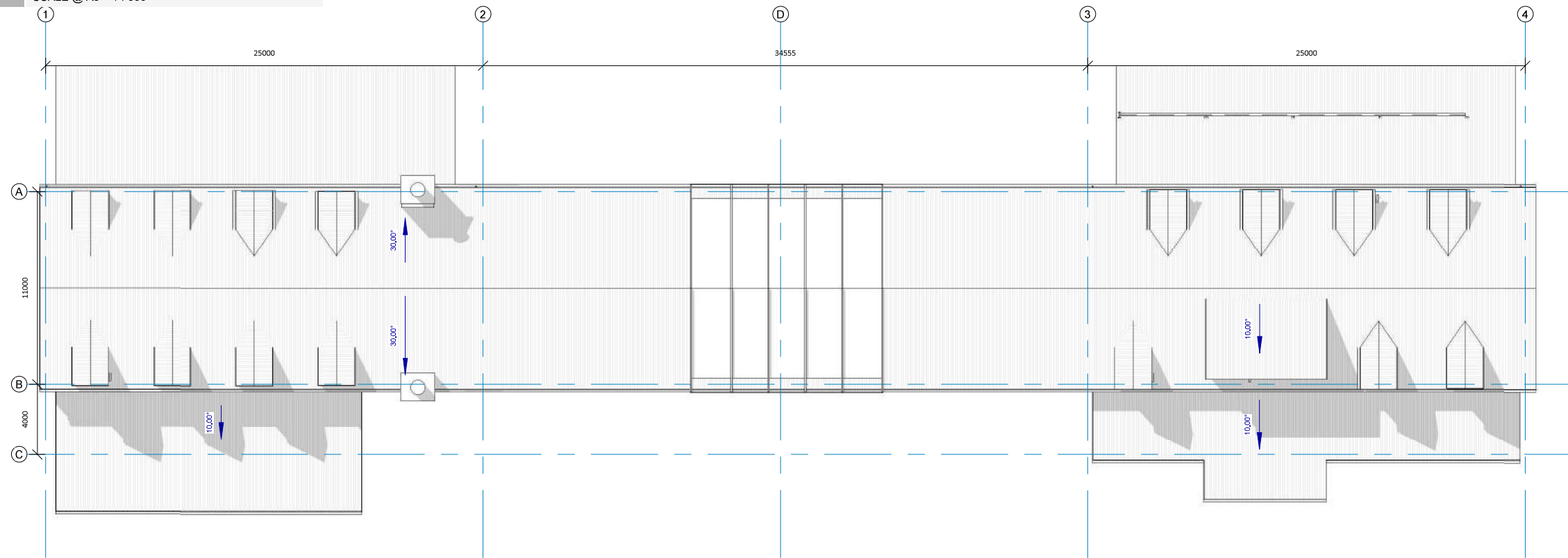


**1 OVERALL GF**  
SCALE @ A3 1 : 300

| FLOOR SCHEDULE          |                        |
|-------------------------|------------------------|
| Type                    | Area                   |
| ACCOMODATION INTERFLOOR | 254.56 m <sup>2</sup>  |
| LOUNGE GYM SLAB         | 541.14 m <sup>2</sup>  |
| RECEPTION INTERFLOOR    | 169.04 m <sup>2</sup>  |
| RECEPTION SLAB          | 561.76 m <sup>2</sup>  |
| Grand total: 4          | 1526.49 m <sup>2</sup> |



1 **OVERALL FIRST FLOOR**  
SCALE @ A3 1 : 300



2 **ROOF**  
SCALE @ A3 1 : 300

**SASTUDIO**

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**WINTON**

project  
**Ayrburn Screen Hub**

location  
**Ayr Avenue, Arrowtown**

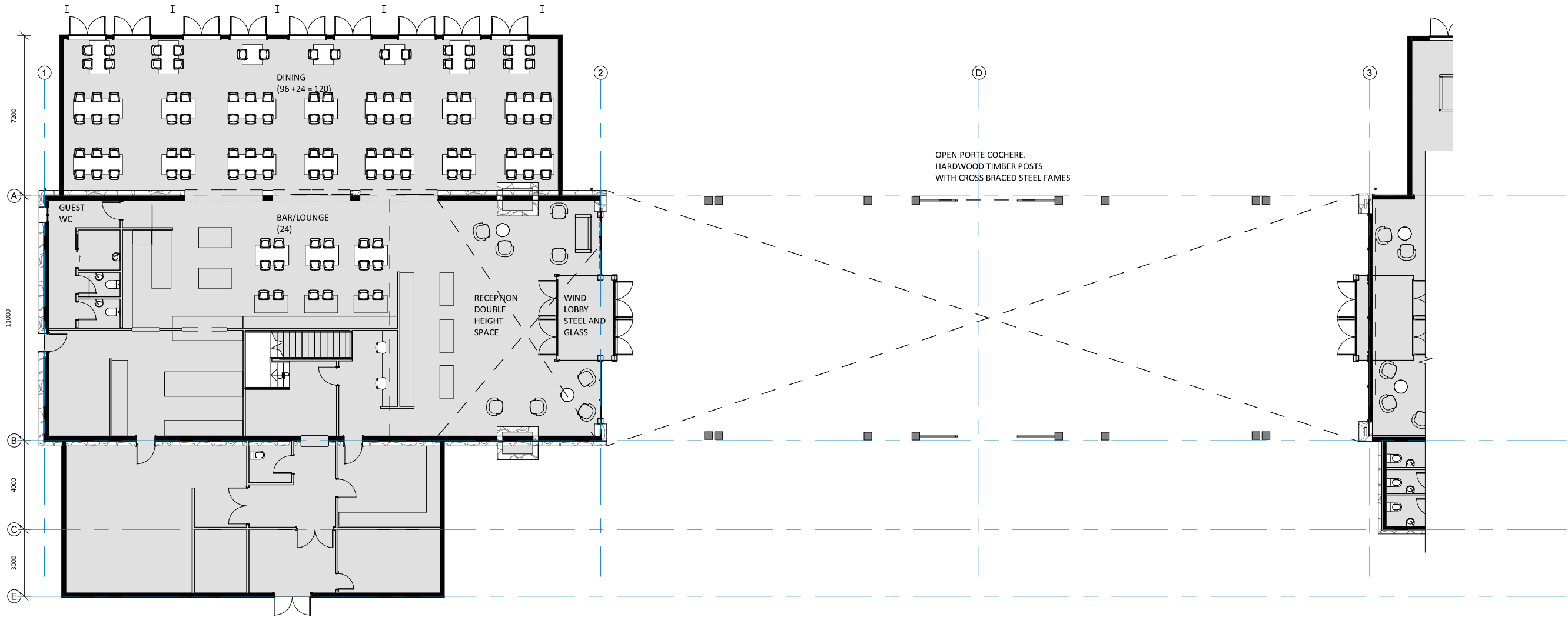
sheet name  
**E\_Reception & Wellness 1st & Roof Plan**

issued for  
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**G**

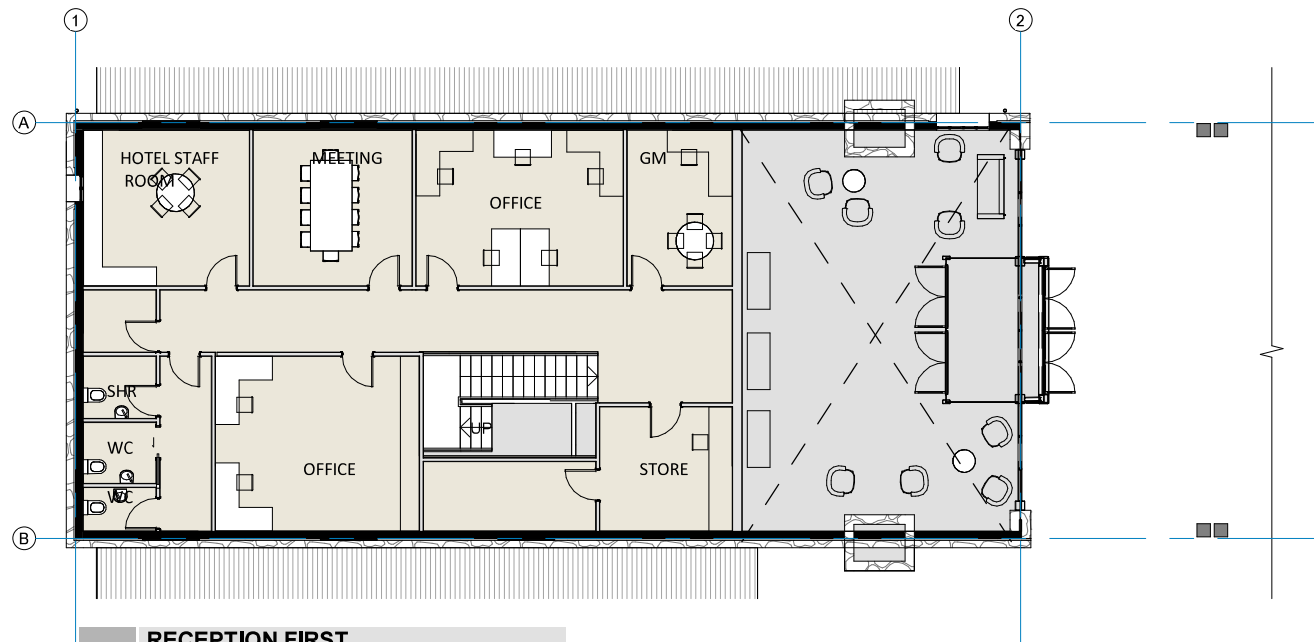
sheet  
**E.3**





### 1 RECEPTION GROUND

SCALE @ A3 1 : 200



### 2 RECEPTION FIRST

SCALE @ A3 1 : 200

### 3 EXTERNNAL VIEW RECEPTION

SCALE @ A3



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**WINTON**

#### project

**Ayrburn Screen Hub**

#### location

Ayr Avenue, Arrowtown

#### sheet name

**E\_Reception Floor Plans**

#### issued for

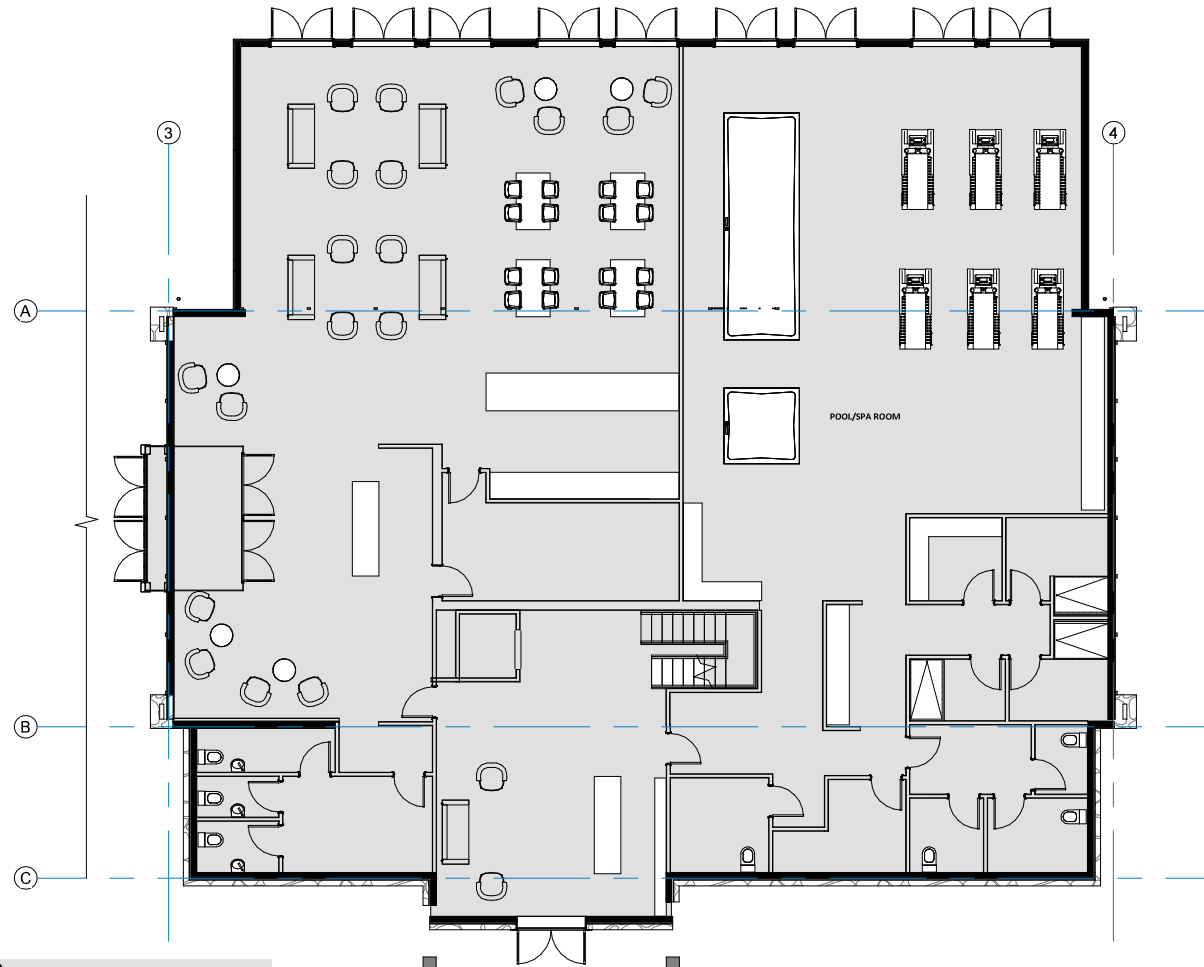
G. FOR FTA APPLICATION 27.06.2025

#### revision

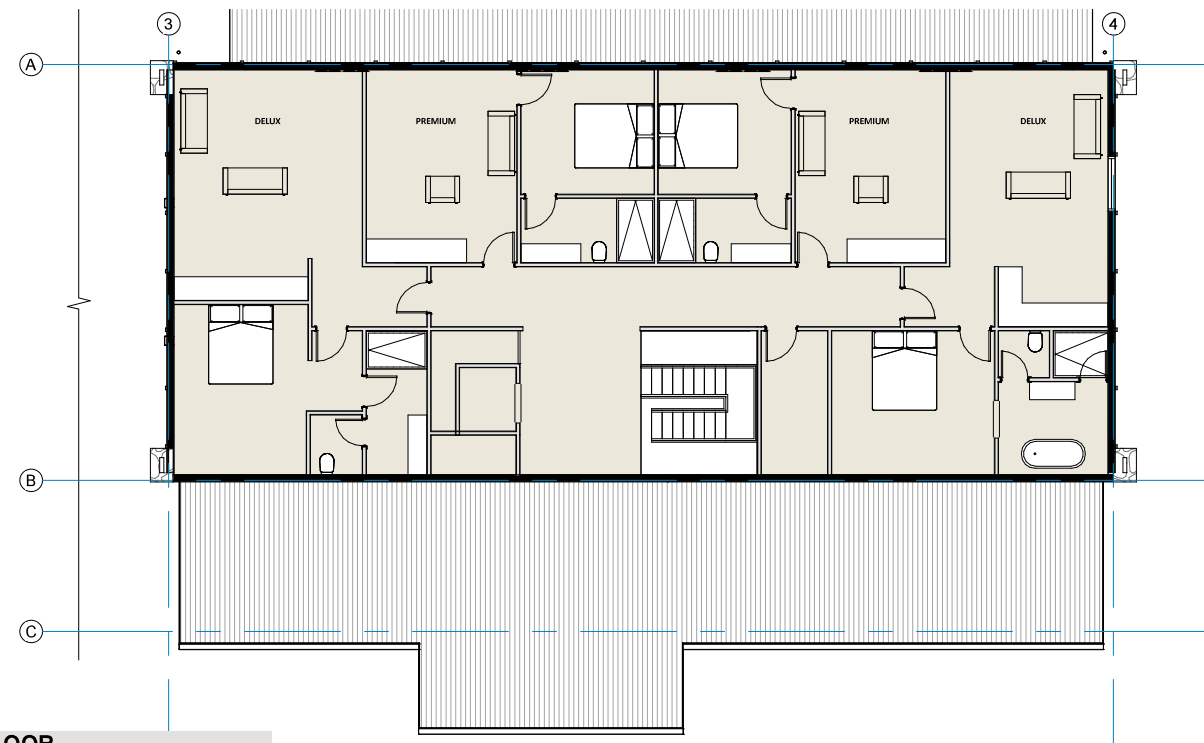
**G**

#### sheet

**E.4**



1 **SPA GROUND**  
SCALE @ A3 1 : 200



2 **SPA FIRST FLOOR**  
SCALE @ A3 1 : 200



3 **EXTERNAL VIEW SPA**  
SCALE @ A3

| ELEVATION LINE LEGEND            |     |
|----------------------------------|-----|
| + 8M ABOVE ORIGINAL GROUND LEVEL | --- |
| ORIGINAL GROUND LEVEL            | --- |
| PROPOSED GROUND LINE             | --- |

NOTE: Ground level cut lines are taken at from the face of the building perpendicular to the view. Height levels vary across the site, refer to the height plane overlay for further information.

| FLOOR SCHEDULE          |                        |
|-------------------------|------------------------|
| Type                    | Area                   |
| ACCOMODATION INTERFLOOR | 254.56 m <sup>2</sup>  |
| LOUNGE GYM SLAB         | 541.14 m <sup>2</sup>  |
| RECEPTION INTERFLOOR    | 169.04 m <sup>2</sup>  |
| RECEPTION SLAB          | 561.76 m <sup>2</sup>  |
| Grand total: 4          | 1526.49 m <sup>2</sup> |

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A: 8 Mallett Lane, Cromwell  
P: 021 108 2764

notes  
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**WINTON**

project  
**Ayrburn Screen Hub**

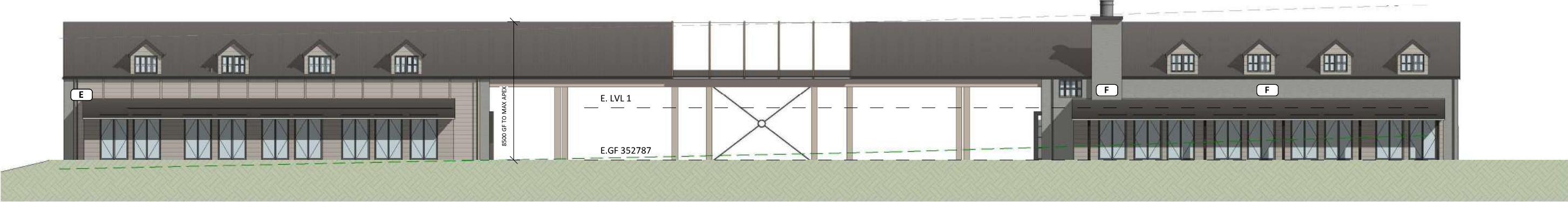
location  
**Ayr Avenue, Arrowtown**

sheet name  
**E\_Wellness Floor Plans**

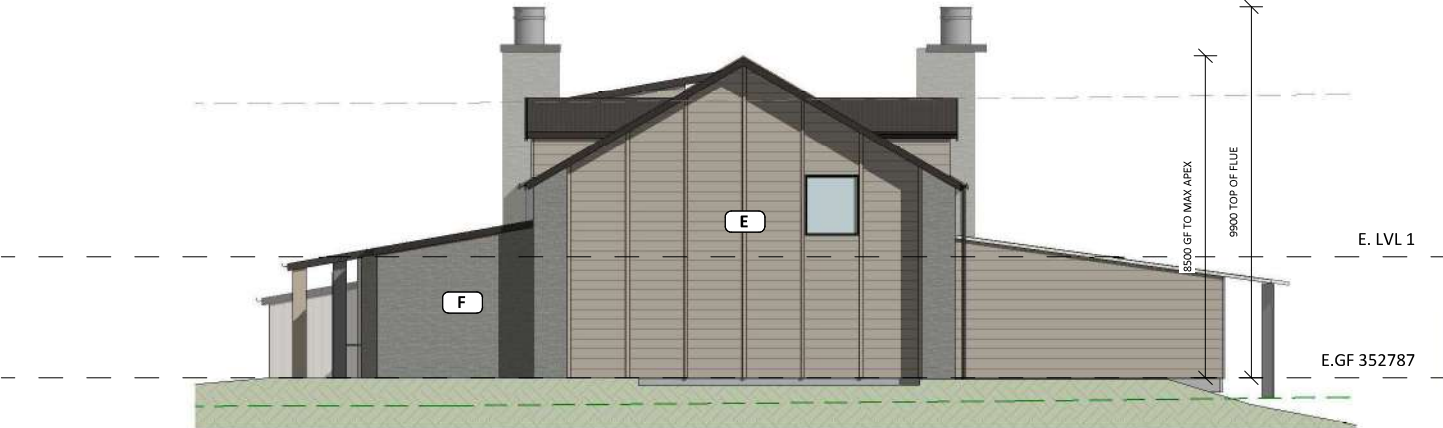
issued for  
G. FOR FTA APPLICATION 27.06.2025

revision  
**G**  
sheet  
**E.5**

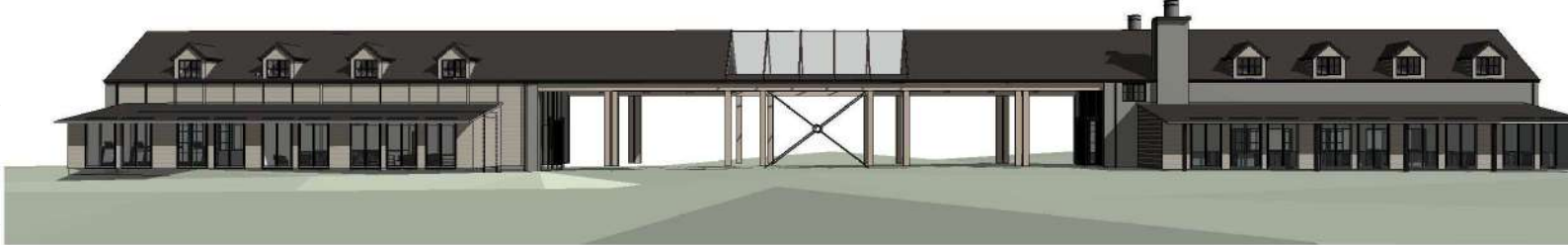




1 **E. NORTH**  
SCALE @ A3 1 : 250



2 **E. EAST**  
SCALE @ A3 1 : 200



3 **EXTERNAL VIEW 1**  
SCALE @ A3

**MATERIALS LEGEND**



4 **EXTERNAL VIEW RECEPTION SIDE**  
SCALE @ A3

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**WINTON**

project  
**Ayrburn Screen Hub**

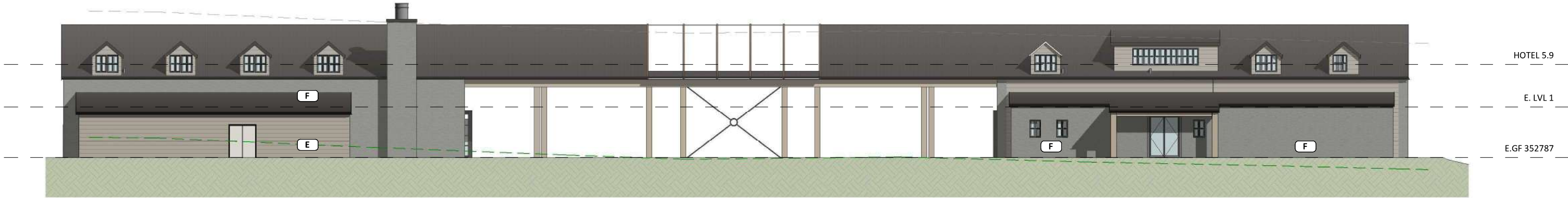
location  
**Ayr Avenue, Arrowtown**

sheet name  
**E\_Reception & Wellness Elevations**

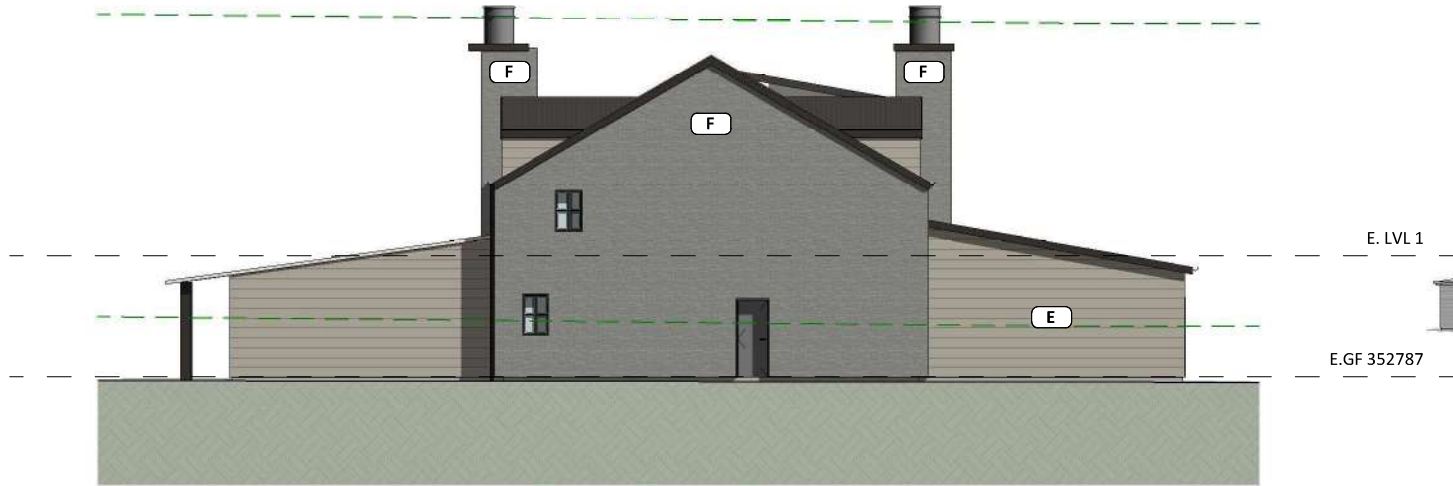
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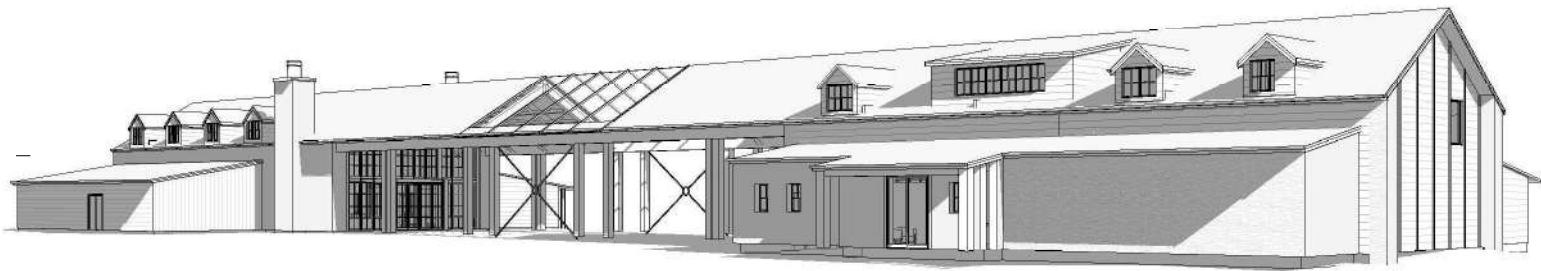
sheet  
**E.6**



1 **E. SOUTH**  
SCALE @ A3 1 : 250



2 **E. WEST**  
SCALE @ A3 1 : 200

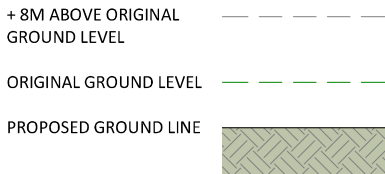


3 **EXTERNAL VIEW SPA ENTRY**  
SCALE @ A3

MATERIALS LEGEND



ELEVATION LINE LEGEND



NOTE: Ground level cut lines are taken at from the face of the building perpendicular to the view. Height levels vary across the site, refer to the height plane overlay for further information.

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**WINTON**

project  
**Ayrburn Screen Hub**

location  
**Ayr Avenue, Arrowtown**

sheet name  
**E\_Reception & Wellness Elevations**

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revision  
**G**  
sheet  
**E.7**





# Site Elevations



1

A1

SCALE @ A3 1 : 750



|  |  |                   |  |  |  |                                  |
|--|--|-------------------|--|--|--|----------------------------------|
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|  |  |                   |  | <div>location</div> <div>Ayr Avenue, Arrowtown</div> | <div>issued for</div> <div>G. FOR FTA APPLICATION 27.06.2025</div> | <div>sheet</div> <div>6.1</div>  |



# Site Elevations



1

**B1**  
SCALE @ A3 1 : 750



2

**B2**  
SCALE @ A3 1 : 750



3

**C**  
SCALE @ A3 1 : 750

|  |  |                   |   |   |  |
|--|--|-------------------|---|---|--|
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|--|--|-------------------|---|---|--|

# Site Elevations



1

B3

SCALE @ A3 1 : 900

|  |  |                   |   |   |  |
|--|--|-------------------|---|---|--|
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|--|--|-------------------|---|---|--|