

Residential Design Guideline



June November 2025

ASHBOURNE



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Prepared for:



Prepared by:



**Consequential amendments to this section
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Guidelines in due course.**

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Please note that the Guideline may be updated or withdrawn without prior notice; users are responsible for ensuring they are referencing the most current version.

01

Introduction



1.0

Introduction

1.1 Ashbourne Vision and Design Objectives

This The Ashbourne Residential Design Guideline ('the Guidelines') has been prepared to provide residents, property owners, planners and designers a framework to develop and assess the design outcomes for each residential site. By taking a consistent approach to the form and design of residential development in Ashbourne, residents will have confidence that neighbouring properties will be of a similar or equal quality.

This guideline incorporates best practices in form and design whilst enabling owners flexibility to personalise their individual spaces, ensuring cohesion throughout the development while future-proofing property values for all residents. We promote a green frontage at every property, fostering a social, safe and healthy community that people love to live in. Residents' landscaping and site frontage play a key role in contributing to the vision for Ashbourne.

To ensure Ashbourne delivers on its vision for a quality-built and appealing environment, the Design Guidelines focuses on achieving the three design objectives.

VISION STATEMENT

"Ashbourne is a new thoughtfully created master planned community located on the southwestern fringe of Matamata, where country living blends seamlessly with everyday convenience. Designed with inclusivity and multigenerational living in mind, the community is designed to build a strong sense of place, encouraging connections with neighbours and the landscape around them."



Enhance Neighbourhood Character

Homes at Ashbourne shall feature diverse architectural styles, materials, and building forms that reflect the community's inclusive and multi-generational identity. Streetscape design will balance openness and privacy while promoting a strong connection between homes, streets, and public open spaces. Landscape designs will complement the surrounding streets and green spaces, contributing to the neighbourhood's character



Provide High-Quality On-site Amenities

Each residential site shall be designed with accessible and high quality onsite amenities that enhance everyday living. Homes shall maximize comfort, convenience, and functionality while fostering a sense of belonging for residents. Thoughtful integration of private and communal spaces will ensure that Ashbourne supports a balanced and enjoyable lifestyle for its diverse population.



Sustainable Design and Environmental Responsibility

Encourage the use of environmentally friendly materials, energy-efficient technologies, and sustainable landscaping to align with Ashbourne's commitment to sustainable living. Design solutions shall aim to reduce environmental impact, promote resource efficiency, and enhance the green character of the community, ensuring all elements contribute to a healthier, more sustainable lifestyle.

1.2 — About this Guideline

The Ashbourne Residential Design Guideline will not propose specific building designs but it has been prepared to provide a step-by-step framework for designing development proposals. Ashbourne will do this by:

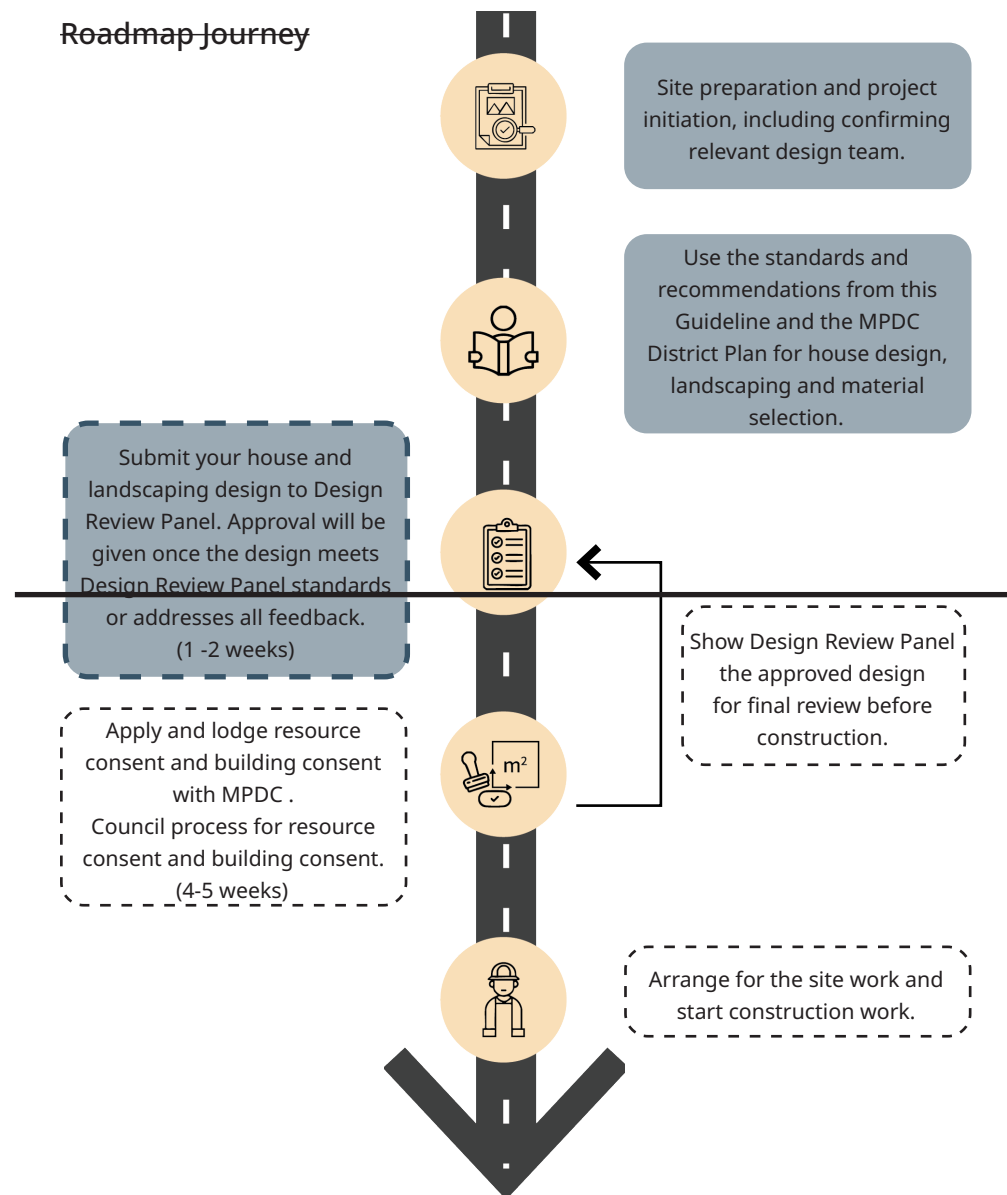
- Ensuring houses actively face the street, creating an interactive street environment and community;
- Controlling the architecture to create good quality, well designed contemporary homes for a variety of people and families, i.e. not all the same market or community sector;
- Ensuring that there is variety in the streetscape and the architectural treatment of houses;
- Controlling the front yard landscape design and implementation to create a high quality streetscape environment;
- This Guideline establishes and promotes urban design best practices to deliver cost-effective built form outcomes on each lot – ranging from single-level compact types through to larger multiunit dwellings on bigger (or consolidated) lots; and
- Where it is applicable, notes around key things to 'Avoid' as required are also included in this guideline.

Your application to the Design Review Process will be reviewed against these guidelines as set out in this document.

This guide shall be digested alongside the following:

- MPDC District Plan
- Building Code
- Specific stormwater management

Roadmap Journey



1.2 About this Guideline

Resource Consent (insert reference here) approved the subdivision and development of 518 residential lots ('the Ashbourne Consent'). The purpose of the Guidelines is to provide a clear and co-ordinated framework to manage the design and delivery of high-quality built form and landscaping across the Ashbourne neighbourhood.

The Guidelines set out a series of Core Controls that establish a "building envelope" on each lot within which any dwelling must comply with. In addition to these Core Controls, qualitative aspects of development are addressed through a series of discretionary guidelines that allow for aspects of design to respond to the unique context of each individual lot across the Ashbourne neighbourhood.

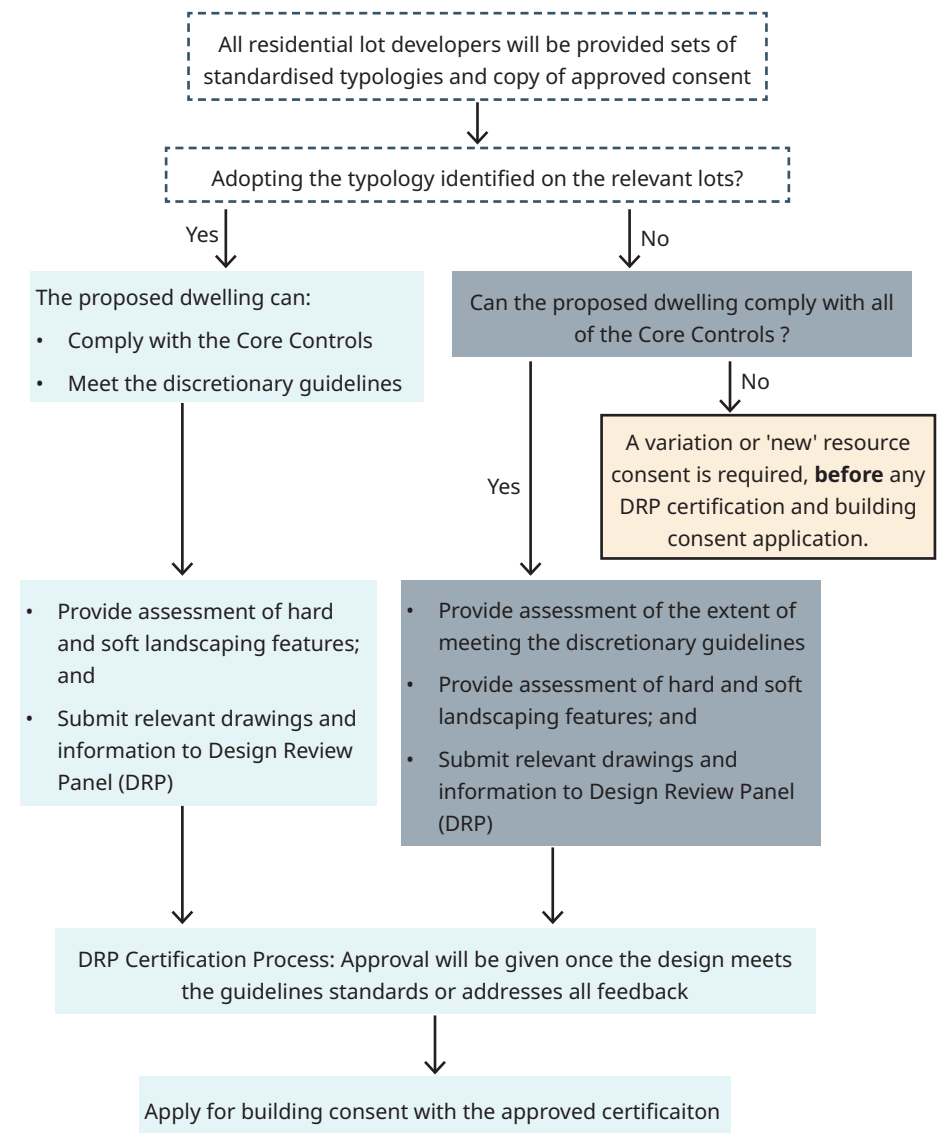
The Ashbourne Consent also includes a suite of standardised typologies (typology plans) that are fully documented in terms of site and floor plans, and elevations. These comply with all Core Controls proposed and are consistent with the discretionary guidelines. No assessment under the Guidelines for a building will be required should a lot developer adopt the typology identified on the relevant lot under the Ashbourne Masterplan. However, assessment of hard and soft landscaping features (including fencing) will still be required.

Development on the lots identified that does not seek to utilise an approved typology plan must comply with Core Controls approved by the consent and be otherwise in accordance with the Guidelines and are required to be certified at the building consent stage. This is required by a condition of consent.

If a developer seeks to develop lots in a manner which is not consistent with the Guidelines (including Core Controls), a variation or 'new' resource consent to authorise the development will be required.

Council's statutory role will consist of monitoring and certifying that the conditions of the consent have been complied with. The lot developer shall provide plans to MPDC (or any successor) adequate for the purposes of undertaking the certification, along with a completed checklist as provided in Appendix 5. In accordance with the approved resource consent, the lot developer is required to submit the certification to MPDC as part of the building consent application for any dwelling.

Implementation



1.3 Development Core Controls

The Development Controls are those which are acceptable standards by the Fast Track Panel for the land use consent applicable to your lots, these are outlined where applicable in this document. These standards will be assessed when you submit your building consent to the local council (MPDC). Adherence to these is important to ensure an efficient approval of your building consent. Noting that there are differing standards applicable to different-sized lots, these will be detailed throughout this document.

The Core Controls below are tailored to all private lots within the Ashbourne. Several additional controls are location specific' as detailed in this document where relevant.

Compliance with these Core Controls will be assessed as part of the Design Review Process and certified when you submit your building consent to MPDC.

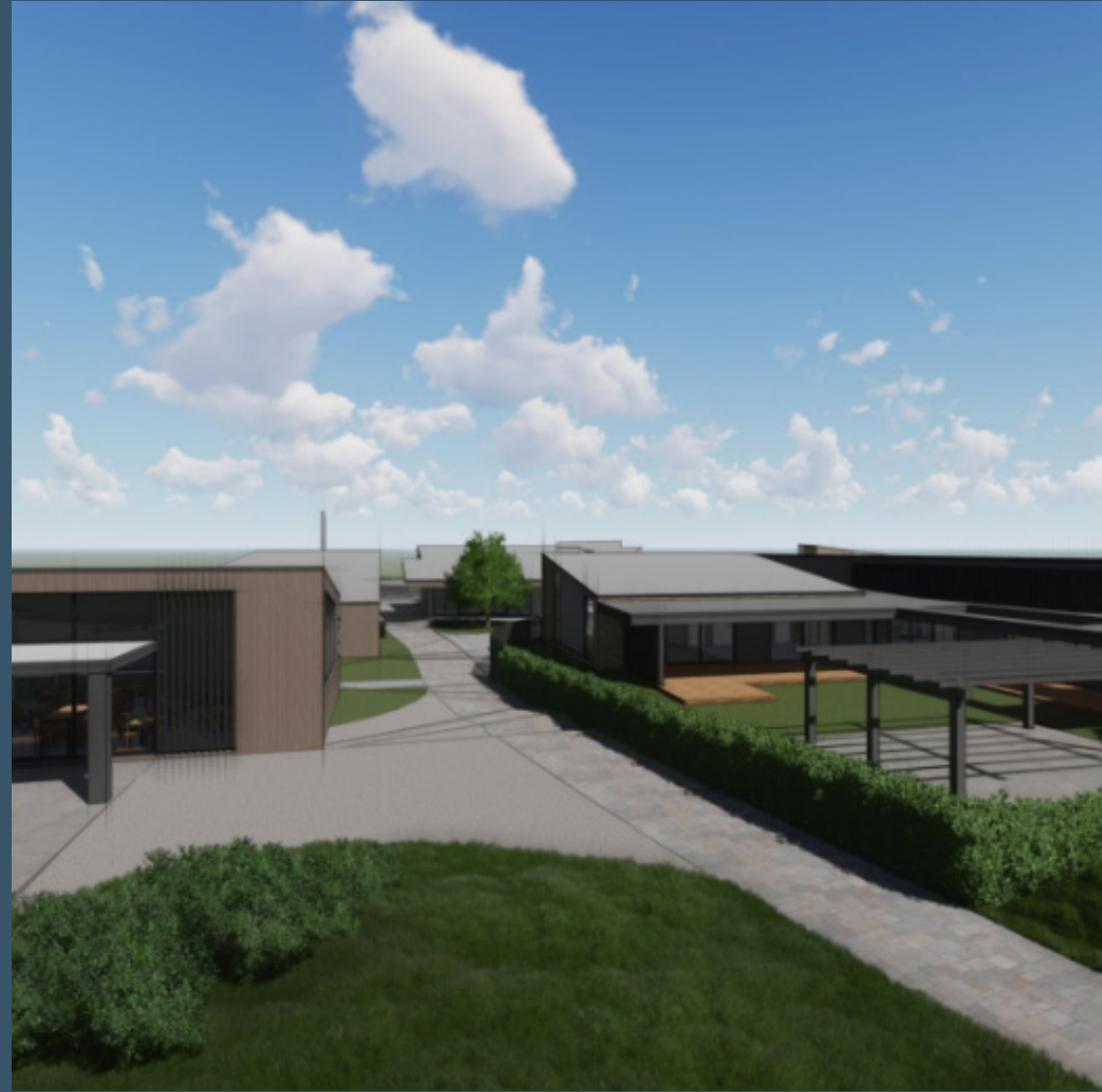
Adherence to these is important to ensure an efficient approval of your building consent.

Development Controls	Lots less than 450m ²	Lots 450m ² and larger
Density	Maximum one dwelling per lot	
Site Coverage (maximum)	55% of net site area	45% of net site area
Front Yard Setback (for main dwelling)	Minimum 3m for the main dwelling	Minimum 5m for the main dwelling (On a corner site one front yard may be reduced to 3.0m;)
Garage Door Setback and Scale	<p>The garage door is located must be set back a minimum 0.5m from the front building line of the dwelling.</p> <p>The garage door shall not cover more than 50% of the front façade of the dwelling that is visible at ground level from the transport corridor.</p> <p>The width of a garage door must not extend to more than 50% of the width of the building.</p>	
Frontage Activation	At least one habitable room of the dwelling shall have a clear-glazed window facing the transport corridor. For corner and through sites this shall be required only on the frontage from which vehicular access is provided.	
All Other Setbacks (minimum)	1.5m (except for Lots 38-45, 47-97, 166-180, 378-388, 390-403, 420, 428, 429, and 474-488 which have a rear setback of 5m).	

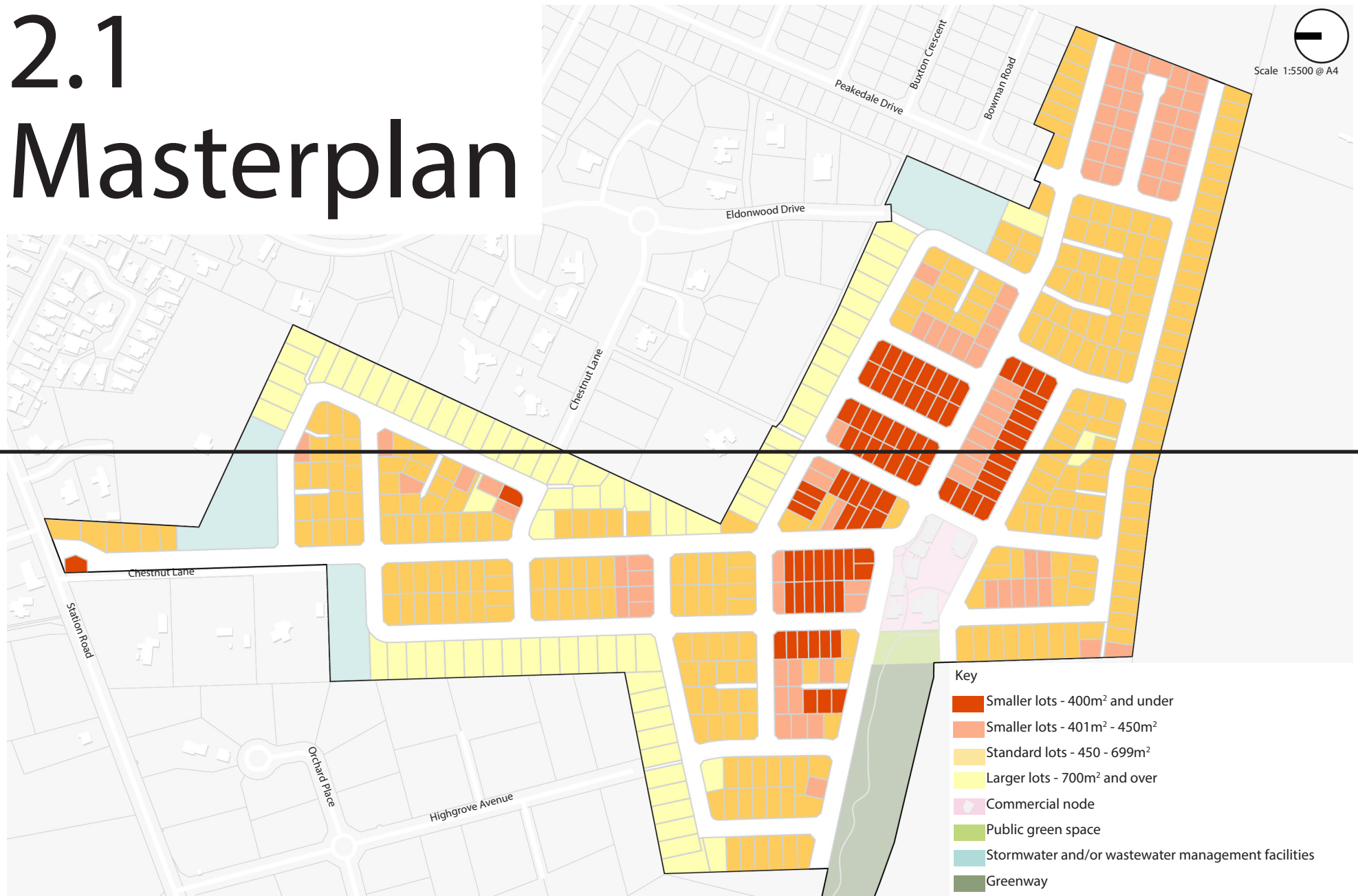
Height (maximum)	8m except that 50 per cent of a building's roof in elevation, measured vertically from the junction between wall and roof, may exceed this height by 1m, where the entire roof slopes 15 degrees or more.	
Height in relation to boundary	3m + 45deg	
Permeability – Overall (minimum)	20% of net site area	
Permeability – Front Setback (minimum)	At least 50% of the area of the front setback must be landscaped permeable surface	
Rear Setback – Landscaping Buffer (minimum)	<p>For Lots 133-137, 268-281, 428-429, and 474-492, a minimum 2m deep landscaping strip must be provided along all external site boundaries.</p> <p>For Lots 378-403 a minimum 3m deep landscaping strip must be provided along all external site boundaries.</p>	
Permeability – Tree Planting (minimum)	Each dwelling unit shall be planted with at least one tree of 80L or greater within the front setback.	
Outdoor Living Area	50m ² with 4m diameter circle and capable of containing a 4m diameter circle and free from any required landscape buffers	60m ² with 6m diameter circle and capable of containing a 6m diameter circle and free from any required landscape buffers
Service Area	9m ² with minimum width of 1.5m.	10m ² with a minimum width of 1.5m
Fences & Walls	<p>Maximum height of a frontage fence along the street boundary is 0.9m with a minimum 50% visual permeability, except:</p> <ul style="list-style-type: none"> The maximum height of a frontage retaining wall along the street boundary is 1m. Where the combined height of frontage fences and retaining walls exceeds 1.5 metres, retaining walls shall be designed in a terraced or stepped formation, with appropriate landscaping integrated between terraces. Where the outdoor living area is adjacent to a public space or street boundary, the maximum fence height may be increased to 1.5m and with a minimum 50% visual permeability for no more than 50% of the street frontage. 	

02

Site Layout

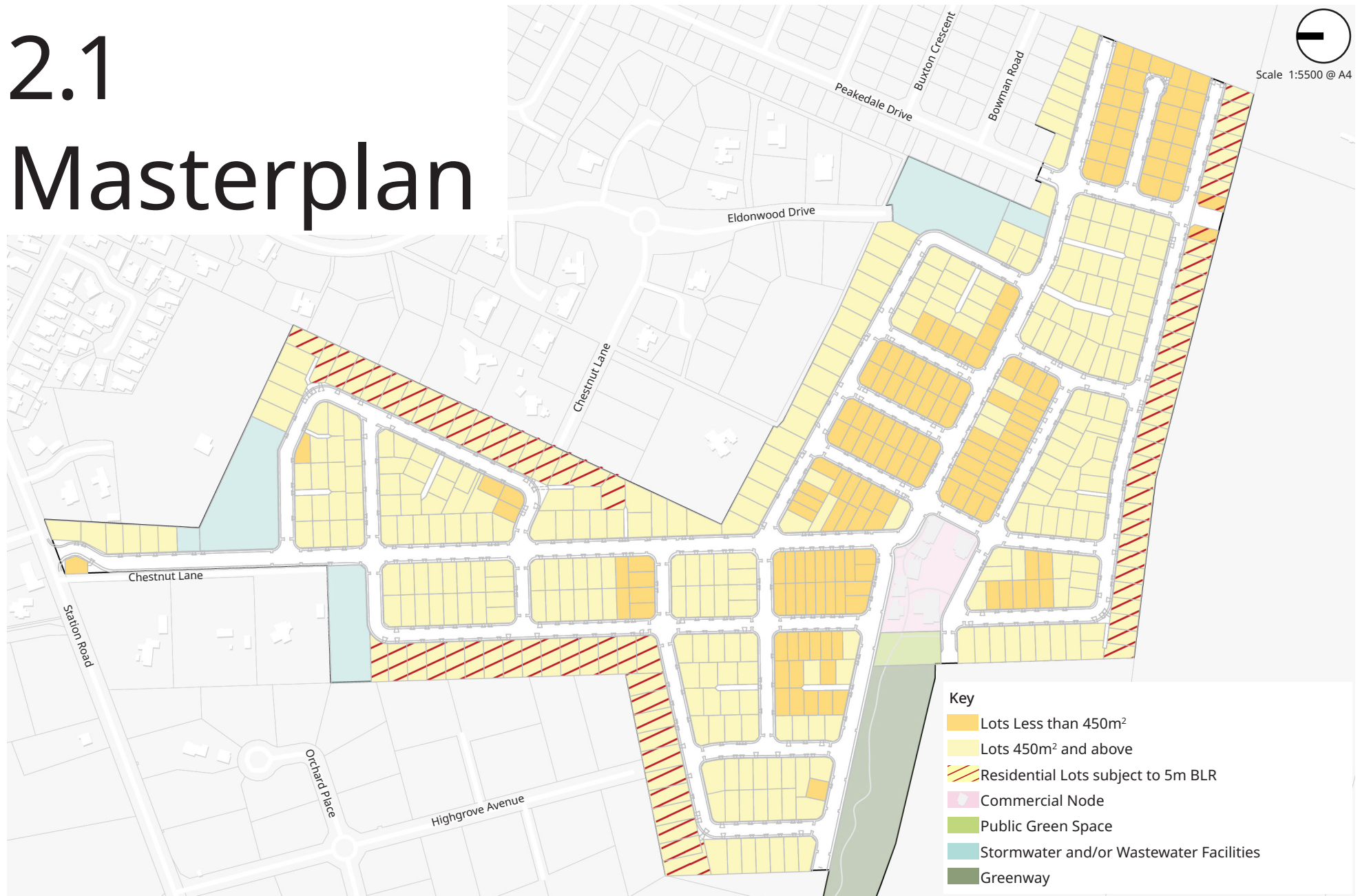


2.1 Masterplan



2.1

Masterplan



2.2 Lot Size and Shapes

Desired Outcome: To ensure lots provide a flexible framework for diverse housing types and contribute positively to the Ashbourne community's character.

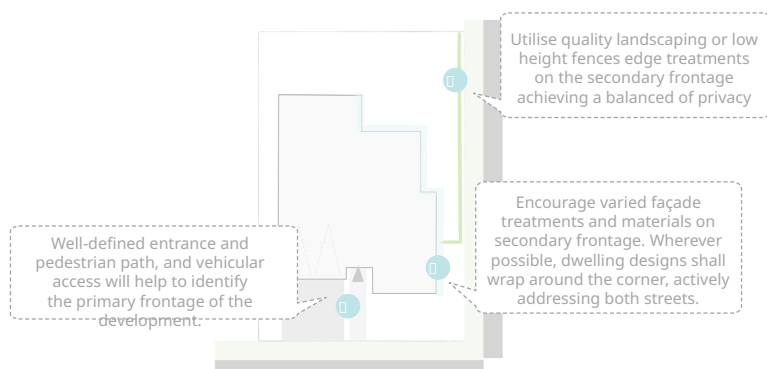
Promoted Guidelines:

For all sites

- **Variety:** Built forms shall vary in size and shape to enable a diverse range of housing types, responding sensitively to site conditions and neighbourhood character.
- **Efficient Use:** Houses must support efficient site use, ensuring sufficient space for outdoor living, service areas, and landscaping.
- **Orientation:** Houses to be oriented to maximise solar access to living areas and private outdoor spaces, while maintaining privacy between neighbours.
- **Frontage:** Houses shall present a character and style that responds to streets, footpaths and Greenways to support the overall character of the community and location.

For corner sites

- Houses on corner sites shall be designed to positively respond to both streets, with active frontages and avoid blank walls fronting both streets.
- Consider placing garaging as far back as possible on the site to prevent it from being the back of the dwelling.
- Consider using a varied roof form or architectural feature to emphasise the corner orientation and creates interest in the building design.

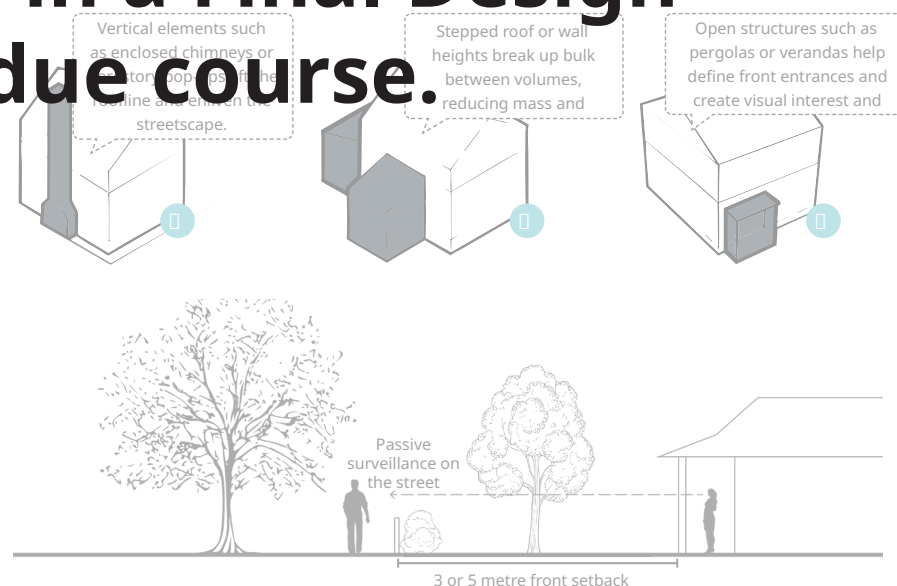


2.3 Bulk and Building Envelope

Desired Outcome: To manage the scale, massing, and height of buildings to create visually appealing streetscapes and comfortable living environments.

Promoted Guidelines:

- **Scale & Massing:** Buildings shall avoid overly bulky or dominant forms, with mass broken down through articulation, stepped forms, and varied rooflines.
- **Setbacks:** Buildings shall comply with setbacks as set out under the development controls. Appropriate setbacks from boundaries shall be provided to allow for landscaping, privacy, and solar access to neighbouring properties.
- **Height Control:** Building heights must respect neighbouring properties and generally be single storey. Appropriate transition from denser areas to those of lower density.
- **Envelope Flexibility:** Allow flexibility within prescribed building envelopes to accommodate diverse architectural styles while maintaining streetscape cohesion.
- **Frontage Activation and CPTED:** Windows from living areas shall be included in the front of each house and shall face the street. Front doors shall be visible from the street.



2.4 Outdoor Living Spaces

Desired Outcome: To provide residents with functional, attractive, and private outdoor living areas that promote social interaction and enhance wellbeing.

Promoted Guidelines:

- **Privacy:** Outdoor living spaces must ensure privacy from adjacent properties, streets, and public spaces through appropriate screening or setbacks.
- **Size & Functionality:** Outdoor spaces shall adhere to the minimum area requirements as set up in the Development Controls to comfortably accommodate outdoor furniture, plantings, and family activities.
- **Secondary Outdoor Spaces:** Where the primary outdoor living space is located in the front yard (street facing), a secondary outdoor space shall be provided to ensure privacy and functionality. This secondary space may be smaller, more intimate, and shall typically be located to the side, rear or be part of the balcony of the dwelling.
- **Orientation & Sunlight:** Outdoor spaces shall be oriented and located to maximise sunlight and shelter from prevailing winds.
- **Integration:** The design of both primary and secondary outdoor living spaces must integrate seamlessly with indoor living areas, providing practical indoor-outdoor flow.

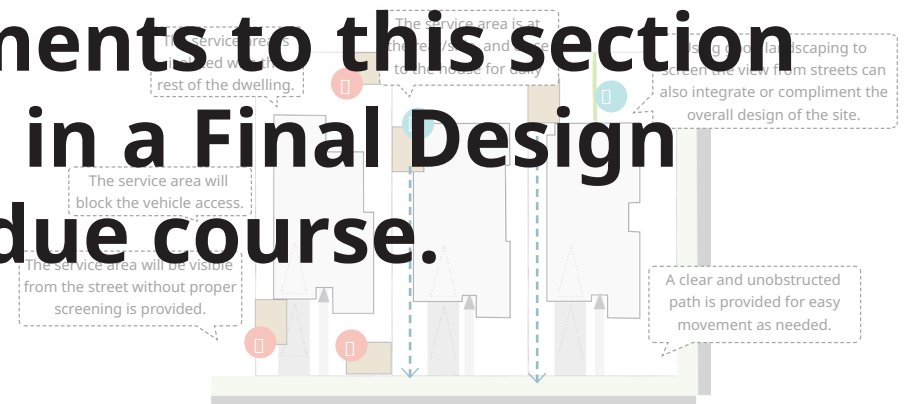


2.5 Service Area

Desired Outcome: To effectively manage site services, ensuring functionality, convenience, and minimal visual impact.

Promoted Guidelines:

- **Service Areas:** Dedicated service areas (including waste storage, washing lines, and air-conditioning units) shall be discreetly located away from street view, screened with landscaping or built elements.
- **Maintenance:** Service areas shall be easily accessible for maintenance and designed to minimise long-term upkeep through complying with the minimum size and dimensions for the service areas as set out in the Development Control.



2.6 Stormwater

Desired Outcome: To effectively manage stormwater runoff, ensuring functionality, convenience, and minimal visual impact.

Promoted Guidelines:

- Stormwater runoff shall be managed on-site where possible, using permeable surfaces, landscaped gardens, swales, or rain gardens to enhance water quality and minimise runoff; and
- Stormwater management systems must be easily accessible for maintenance and designed to minimise long-term upkeep.
- Consider placing water tanks and equipment in the southern areas of a site to maximise the outdoor use of sunny areas with a northerly aspect wherever possible
- Consider placing the tanks under driveways or paved service courts wherever possible
- For above ground retention tanks, they shall be integrated into or annexed onto an accessory building such as the garage
- Tanks must not be situated in front yards, or where they are visible from the street unless they are sufficiently screened by landscaping.

2.7 Vehicle Access, Garage, and Parking

Desired Outcome: To minimise visual impacts of garages and vehicle access, ensuring pedestrian-friendly streets and quality streetscape character.

Promoted Guidelines:

- **Garage Placement:** Garages to be designed integrated with the house and be set behind the main dwelling façade or recessed to minimise visual prominence.
- **Vehicle Access:** Limit driveway widths and crossing frequency to ensure pedestrian safety, maintaining landscaping to visually soften driveway edges.
- **Parking Provision:** Allow a minimum 5m setback from the garage to the front boundary to avoid car parking in front of the garage overhanging footpath.
- **Pedestrian Safety:** The entrance path from the street to the front door shall wherever possible be separate from the driveway.
- **Garage Structure:** Fully enclosed and constructed at least one metre from the house, and completed prior to occupation.
- **Positioning:** Position the garage in front of the main dwelling, with the garage door facing towards the street.

Things to avoid:

- Position the garage forward of the main dwelling façade and dominates street views.
- Stand-alone carport structures.

Consequential amendments to this section will be incorporated in a Final Design Guidelines in due course.



03



Architectural Design

3.0

Consequential amendments to this section will be incorporated in a Final Design Guidelines in due course.

3.1 Materials, Colours and Sustainability

Desired Outcome: To utilise durable, low-cost materials and create a cohesive colour palette that enrich architectural character and contribute to a lively, sustainable neighbourhood identity.

Material and Cladding

Promoted guidelines:

- Use durable, natural, or sustainably sourced materials, complementing the local landscape and creating visual consistency throughout the neighbourhood.
- Building façades shall incorporate at least two different materials, such as plaster, timber, brick or stone, to provide visual interest. Acceptable materials include:
 - Horizontal or vertical weatherboard either natural, stained or painted;
 - Vertical board and batten, either natural, stained or painted;
 - Plaster (if used in conjunction with feature cladding);
 - Vertical metal profile wall cladding to match the roof cladding; or
 - Bagged brick.

Colour and Finish

Promoted guidelines:

- Contemporary colours scheme and palette for window and door joinery and other external architectural features.
- Natural timber or pre-coloured aluminium doors and windows. Encouraged colours include: brown, grey and black (shall have a maximum reflectivity of 40%); and white (shall have a maximum reflectivity of 75%).
- Any chimney flue colour shall match the roof colour unless otherwise approved by Design Review Panel.
- Downpipe colour shall match roof and/or cladding colour unless approved by Design Review Panel.

Things to avoid:

- Bright, neon and clashing colours or excessive colour variation.

Sustainability

Promoted guidelines:

- Encourage energy-efficient building techniques including passive solar design, insulation, and double glazing.
- Solar panels on roofs and choosing energy-efficient appliances are encouraged.



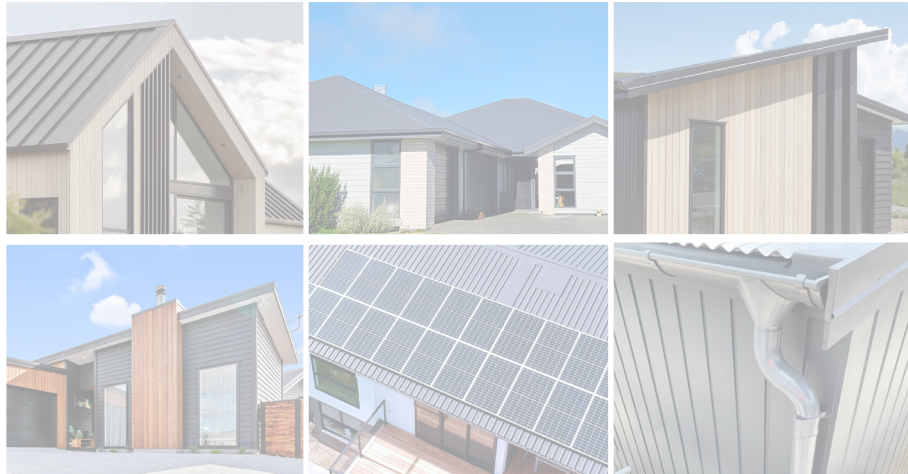
3.2 Roof Form and Roof Materials

Desired Outcome: To provide roof forms that add visual interest, enhance architectural character, and respond effectively to the local environment.

Roof Form

Promoted guidelines:

- Encourage varied rooflines and profiles in the same streetscape. Gable end roofs, combination gable and hip roofs and mono-pitch roofs are promoted.
- Roof design shall be architecturally designed and integrate seamlessly with the building form and style, reflecting a cohesive architectural language.
- The residential roof form shall be the primary roof form and shall include the pedestrian entrance. The roof form over the garage shall be secondary and less prominent.
- Roofs design shall consider solar orientation, rainwater capture and appropriate eave overhangs for sun protection. Using pre-painted or coated steel gutters is promoted.
- Solar panels shall be integrated into the roof design, preferably south-facing, and kept them inside the ridgeline or eave profile.
- Use low-glare finishes or setback from ridge for tiles solar panels to minimise glare and visual dominance to neighbouring properties.



Roof Materials

Promoted guidelines:

- Corrugated profile pre-painted steel roofing (Colorsteel®, Metalcraft Roofing or similar);
- Tray and trapezoidal profile pre-painted steel roofing (Colorsteel®, Metalcraft Roofing or similar);
- Selected pre-formed steel roof tiles (flat profile only);
- Flat profile concrete roof tiles (Monier Horizon™ or similar);
- Natural quarried slate roof tiles;
- Fibre-cement roof tiles.

Things to avoid:

- Scalloped profile concrete or clay roof tiles, decramastic roof tiles, unpainted galvanised steel.



Consequential amendments to this section will be incorporated in a Final Design Guidelines in due course.

3.3 Entries, Doors, and Windows

Desired Outcome: To ensure clear, welcoming entrances and well-articulated openings that contribute positively to street character and community safety.

Promoted Guidelines:

- Main entries shall be visible and clearly identifiable from the street, with suitable lighting and weather protection. Using an architectural structure over the entrance to give emphasis to the front door and its relationship to the street.
- Windows shall provide clear sightlines onto streets and public spaces to support passive surveillance and safety, while respecting privacy.
- Doors and windows shall be sized and shaped proportionately, well-articulated, and consistent with the architectural style and material palette of the dwelling.
- The pedestrian entrance to each house shall be emphasised through the use of architectural elements that encourage the street view.

Things to avoid:

- External windows and doors shall avoid reflective glazing, tinted, or one-way patterned glass film unless approved by the Design Review Panel.

3.4 Verandas, Balconies and Outdoor Structures

Desired Outcome: To provide comfortable, functional, and visually appealing outdoor spaces that enhance residential amenity and streetscape vitality.

Promoted Guidelines:

- Verandas and balconies shall have a minimum depth of 1.8m and a minimum length of 4m to be spacious enough for practical use.
- Verandas and balconies shall connect to common living space, such as lounge, kitchen and family dining, to create a connection between the internal and external living spaces.
- Encourage verandas to be positioned and designed for street-facing dwellings to enhance street interaction and architectural appeal, without compromising resident privacy.
- Verandas and balconies shall incorporate built-in design, neutral colour palettes, enhancing the overall aesthetic of the dwelling.
- Balcony design shall provide usable outdoor living, privacy screening, and suitable seating for relaxation.
- Decks, pergolas, timber slat screens, and stone fireplaces shall complement the architectural materials to ensure continuity between the landscape and the building.

Consequential amendments to this section will be incorporated in a Final Design Guidelines in due course.



04



Landscape Design

4.0 Landscape

Consequential amendments to this section will be incorporated in a Final Design Guidelines in due course.

4.1 Fence, Gates and Walls

Desired outcome: To ensure fences and boundary walls positively contribute to the streetscape and landscape character, provide appropriate privacy and create visually appealing transition.

Fences

All fences must be clearly detailed in landscaping plans and submitted for review and approval, demonstrating compliance with the following guidelines.

If a front fence is not a preference for a new property owner, low shrub or hedge boundary planting can be used in lieu of a fence. Proposed boundary planting designs shall be submitted for review and approval.

Promoted Guidelines:

Fences within front yards shall:

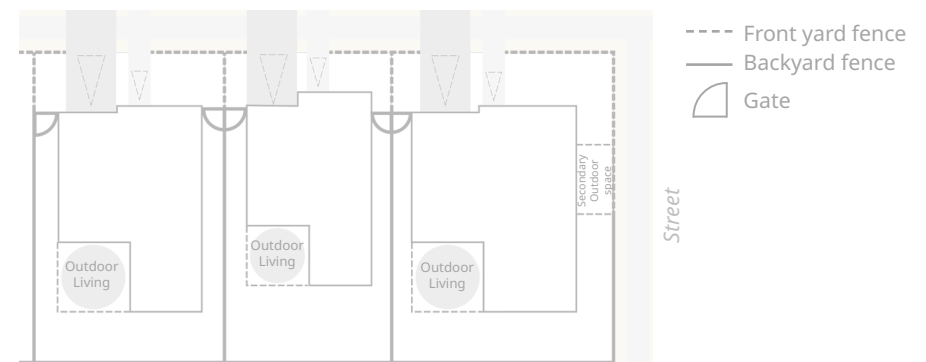
- Have a maximum height of 0.9m with a minimum of 50% visual permeability.
- Be constructed from dressed timber.
- Be designed with a stepped profile for sloping sites.
- Be painted a dark recessive colour or match the dominant colour of the corresponding

house.

- Have fencing returns and gates that match the adjacent fence height, materials, finishes and colour.
- Be set within low shrub planting or have a hedge maintained to a maximum height of 1m planted behind.

Fences within side and rear yards shall:

- Have a maximum height of 1.8m or have a maximum height as outline in the fencing map.
- Be constructed from either rough sawn or dressed timber boards and include a timber cap is recommended (but not mandated).
- Be designed with a stepped profile for sloping sites.
- Be painted a dark recessive colour or match the dominant colour of the corresponding house.
- Have fencing returns and gates that match the adjacent fence height, materials, finishes and colour.
- Be offset with planting including low shrub planting, hedges, and general shrub planting when it is visible from the public.
- Be designed to avoid:
- Unstained or unpainted pine timber fences.
- Over-height and/or solid sheet panels such as fibre cement or plywood fences.



Ashbourne Master Plan Boundary Requirements

- Special fencing and landscaping requirement

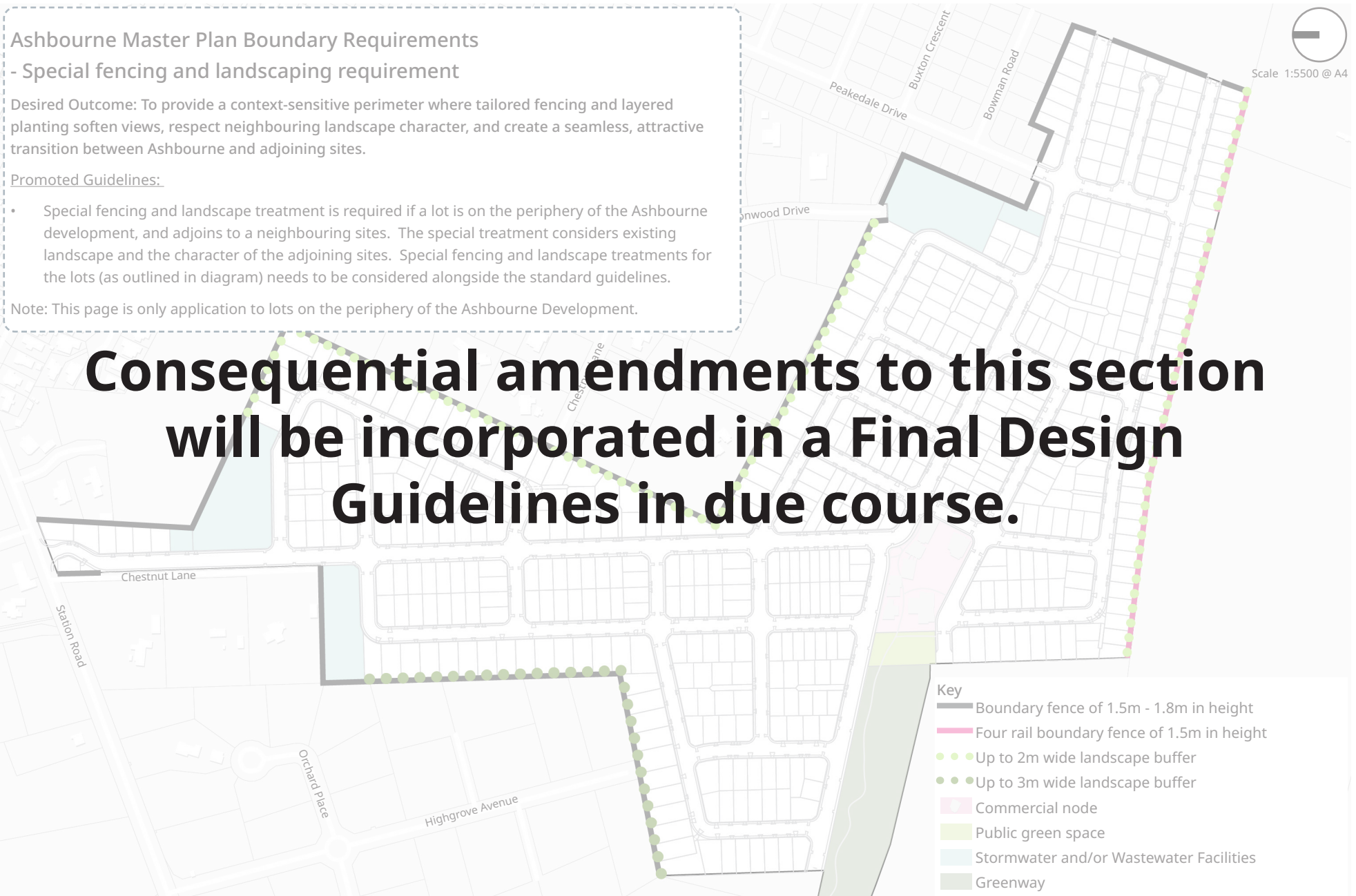
Desired Outcome: To provide a context-sensitive perimeter where tailored fencing and layered planting soften views, respect neighbouring landscape character, and create a seamless, attractive transition between Ashbourne and adjoining sites.

Promoted Guidelines:

- Special fencing and landscape treatment is required if a lot is on the periphery of the Ashbourne development, and adjoins to a neighbouring sites. The special treatment considers existing landscape and the character of the adjoining sites. Special fencing and landscape treatments for the lots (as outlined in diagram) needs to be considered alongside the standard guidelines.

Note: This page is only application to lots on the periphery of the Ashbourne Development.

**Consequential amendments to this section
will be incorporated in a Final Design
Guidelines in due course.**



Retaining Walls

The following guidelines are a minimum design outcome for the development.

New property owners may prefer different designs for retaining walls. Stone, concrete with natural finishes, or appropriately coloured precast panels may also be acceptable solutions.

The finish for all retaining walls shall be visually appealing, durable, and maintainable. All retaining walls must be clearly detailed in landscaping plans submitted for review and approval, demonstrating compliance with these guidelines.

Promoted Guidelines:

Retaining walls within front yards shall:

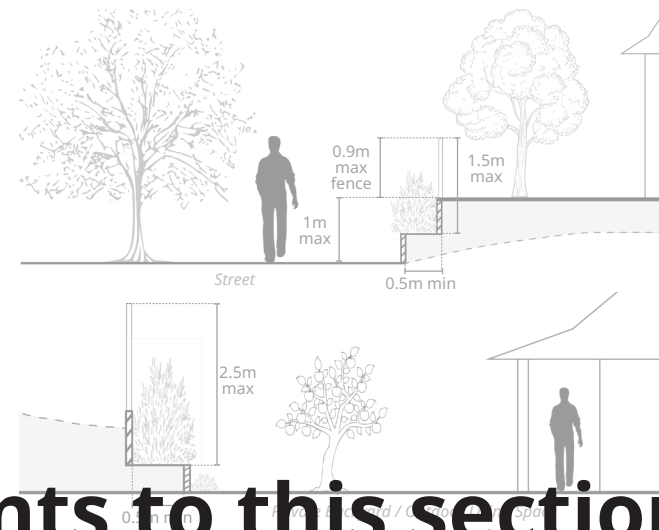
- Be constructed with 0.5m deep terraces to allow for planting.
- Retaining walls and fences to have a combined height not exceeding 1.5m.
- Include shrub, climber, or hedge planting in front of and/or atop retaining walls to allow for privacy and softening of the retaining walls.
- Be constructed from dressed timber using square posts and include a timber capping board.
- Be stained or painted a dark, recessive colour.

Retaining walls within side and rear yards shall:

- Be constructed with 0.5m deep terraces to allow for planting for retaining walls and fences with a combined height exceeding 2.5m, avoiding shading onto the private outdoor living space.
- Include shrub, climber, or hedge planting in front of and/or atop retaining walls to allow for privacy and softening of the retaining walls.
- Be constructed from dressed timber using square posts and include a timber capping board.
- Be constructed from rough sawn or dressed timber.

Things to avoid:

- Unstained or unpainted pine timber within the front yards.
- Oversized timber piles.



Consequential amendments to this section will be incorporated in a Final Design Guidelines in due course.



4.2 Paving and Hard Surfaces

Desired outcome: To ensure paved surfaces positively contribute to the streetscape amenity and neighbourhood character.

Entrance Paths and Driveways

Promoted Guidelines:

- Provide a direct, unobstructed path from the front door to the street, clear of parked vehicles.
- Construct the driveway and entrance path at the same time, using complementary surface finishes.
- Keep driveways visually open to the street, avoiding solid gates or walls.
- Space control joints in concrete driveways at no more than 3m intervals, reducing the risk of unsightly and possibly dangerous trip hazards.
- Driveway and vehicle crossing width shall be of a single crossing, occupying no more than half of the street frontage, leaving space for landscape strips and a clear pedestrian entry.

Materials & Finishes

Promoted Guidelines:

- All driveways and entrance paths shall be constructed from concrete with the addition of 4% black oxide.
- Both shall be constructed using aggregates which are generally dark grey in colour and 'sharps' as opposed to 'rounds' such as pebbles.
- The two permitted concrete surface finishes include:
 - Exposed aggregate concrete, exposed to a maximum depth of 3mm; or
 - A trowel concrete finish.

Things to avoid:

- Parking pads which are separate to the driveway.
- Oversized crossings that span the entire frontage.
- Gates on the driveways.



Exposed aggregate concrete with 4% black oxide



Trowel concrete finish with 4% black oxide



Acceptable alternative entrance

Consequential amendments to this section will be incorporated in a Final Design Guidelines in due course.

4.3 Other Landscape Elements

Letterboxes

Desired outcome: To create durable, well-integrated letterboxes that reinforce address legibility and complement the dwelling's architecture and streetscape character.

Promoted guidelines:

- Letterboxes shall be complementary to the house and include elements of the colour, form or materials that complement the house.
- Position the letterbox adjacent to the pedestrian entry and integrate it with low planting.
- Use durable, weather-resistant materials and clearly display the street number to aid visitors and emergency services.

Things to avoid

- Oversized, brightly branded letterboxes or flimsy units that clash with the house palette or dominate the front yard.

Exterior Lighting

Desired outcome: To provide discreet, energy-efficient lighting that ensures safe way-finding while minimising glare and light spill to neighbouring properties.

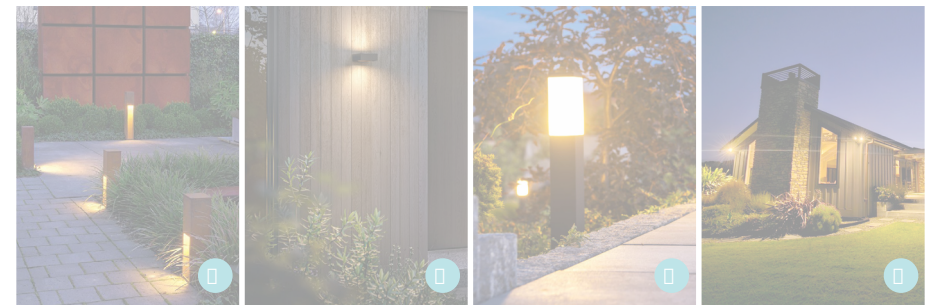
Promoted guidelines:

- Exterior lighting shall be carefully designed with regard to placement, intensity, timing, duration and colour.
- All light fittings shall be integrated into the architecture or landscape. Louvres, hoods and other attachments designed to direct light and minimise light pollution are required for any exterior lighting.
- Encourage the use of low-wattage, warm-white (≤ 3000 K) LEDs on timers or motion sensors to conserve energy and minimise light pollution.
- Promote direct light downward with hoods or louvres so it illuminates paths and entries without spilling onto neighbouring properties or the street.

Things to avoid

- Exposed floodlights or bright bulbs that project glare upward or directly onto adjacent windows.

Consequential amendments to this section will be incorporated in a Final Design Guidelines in due course.



4.4 Planting

Landscape Strategy



Establishes a cohesive and resilient landscape framework that strengthens both individual lot character and the broader neighbourhood identity.



Applies the principle of 'right plant, right location' by selecting native and drought-tolerant species suited to local conditions, spatial constraints, and mature form, ensuring long-term viability and low maintenance.



Utilises a layered planting approach, 'trees »shrubs »groundcovers', to support visual clarity, privacy, and solar access, while specimen trees introduce vertical structure and depth to the design.



Promotes consistent landscape treatment across front and side boundaries, especially on corner lots, to ensure seamless integration between private gardens and the public streetscape.

Plant Selection

Desired outcome: To establish a resilient, low-maintenance planting palette that flourishes in local conditions and enriches neighbourhood biodiversity.

Promoted guidelines:

- Choose plants suited to local conditions that require minimal maintenance to establish and thrive long-term.
- Native plants are encouraged wherever possible and prioritise native, hardy, and drought-resistant species.
- Select specimen trees and plant species from the approved Plant Schedule.
- Alternative plant species may be approved at the discretion of the Design Review Panel.

Specimen Trees

Desired outcome: To establish carefully positioned specimen trees, providing shade, variety and amenity, adding vertical element that complement Ashbourne's green streetscape.

Promoted guidelines:

- Provide two specimen trees per lot:
 - Front yard: one 80 L ornamental, $\geq 1.8\text{m}$ tall at planting.
 - Back yard: one fruit or ornamental tree (fruit encouraged).
- On corner lots add a third 80 L tree on the secondary frontage.
- Position trees near the front boundary, clear of services, and install root barriers where needed.

Maintenance & Height Control

Desired Outcome: To keep all planting healthy and within prescribed height limits through regular upkeep, ensuring clear sight-lines, adequate sunlight and overall landscape amenity.

Promoted guidelines:

- Prune, replace or thin vegetation to preserve intended heights and healthy growth.
- Remove dead or diseased plants promptly, and replant in the next suitable season.
- All front yard planting (excluding specimen trees) shall maintain as up to 1.2m high, preserving outlook to the street.
- Apply organic mulch to a depth of at least 100mm around plants to suppress weeds and retain soil moisture.

Things to avoid

- Dominant expanses of hard lawn, thirsty exotics or artificial turf.
- Dense screens that block passive surveillance or overshadow living-room windows
- Neglected, overgrown beds or uncontrolled climbers on façades.
- Having fruit trees in the front yards with potential future maintenance or visibility

Consequential amendments to this section will be incorporated in a Final Design Guidelines in due course.

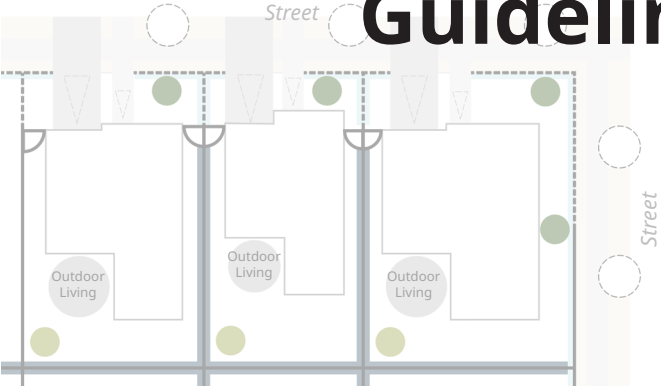
Front Yard, Corner Lots and Back Yard Planting

Desired outcome: To establish attractive, cohesive front-yard landscapes that enhance streetscape quality and neighbourhood character, and supporting edible landscaping.

Promoted guidelines:

- All landscaping work shall be completed to a high standard, with plant set-out arranged squarely and aligned perpendicular to the house for a clean appearance.
- The planting layout shall incorporate height layering to create visual depth and cohesion. Taller species shall be positioned at the back, especially against walls and fences, with plant heights gradually decreasing toward the front.
- In very narrow borders, layering shall be applied from side to side instead of front to back.
- All plants shall be spaced appropriately, resulting in dense and lush planted borders at maturity.
- The front yard treatment shall extend around the corner, covering at least one-third of the side elevation, with at least one additional 80+ grade specimen tree.
- Fruit tree planting is encouraged in a backyard to promote edible landscaping.

Consequential amendments to this section will be incorporated in a Final Design Guidelines in due course.



- Key
- Proposed street trees
 - Front yard specimen trees
 - Back yard specimen trees
 - Higher hedge planting
 - Lower hedge planting
 - Front yard fences and walls
 - Back and side yards fences and walls
 - Outdoor living space
 - Gate

4.5 Plant Schedules

Specimen trees

- All specimen trees should be a minimum grade of 80L and at least 1.8 metres tall at the time of planting.

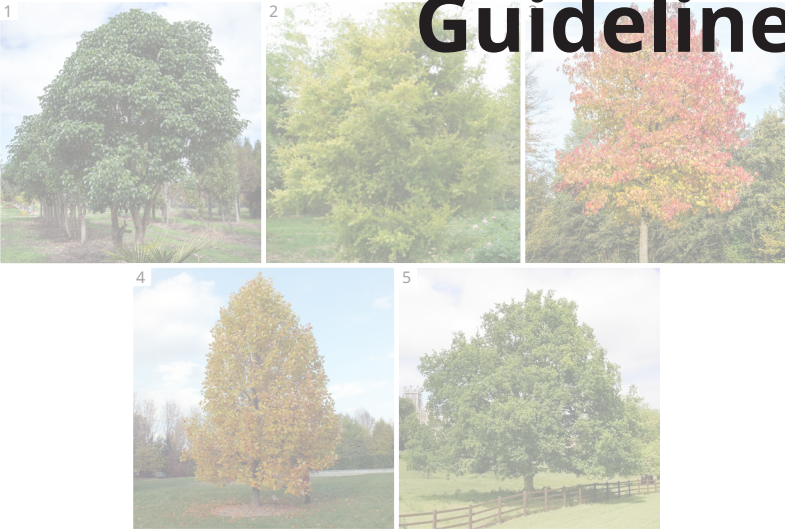
	Botanical Name	Common Name	Evergreen	Deciduous	Sun	Partial Shade	Shade
1	<i>Acer palmatum</i> 'Bloodgood'	Japanese maple		•	•	•	•
2	<i>Acer rubrum</i> 'Jeffers Red'	Jeffers red maple		•	•	•	•
3	<i>Cercis canadensis</i>	Forest pansy		•	•	•	•
4	<i>Magnolia</i> 'Star Magnolia'	Star magnolia	•				
5	<i>Magnolia grandiflora</i> 'Little Gem'	Evergreen magnolia	•			•	
6	<i>Prunus yedoensis</i> 'Awanui'	Flowering cherry		•	•	•	•



Rear lot specimen tree for screen planting

- Lots 391-403, 476-477 and 482-488 shall plant one additional backyard specimen tree selected from the schedule below.
- All specimen trees should be a minimum grade of 80L and at least 1.8 metres tall at the time of planting.

	Botanical Name	Common Name	Evergreen	Decidu-ous	Sun	Partial Shade	Shade
1	<i>Vitex lucens</i>	Puriri	•		•	•	
2	<i>Podocarpus totara</i>	Totara	•		•	•	
3	<i>Liquidambar styraciflua</i>	Liquidambar		•			•
4	<i>Liriodendron tulipifera</i>	Tulip tree		•			•
5	<i>Quercus robur</i>	English Oak					•



Backyard fruit tree planting

- All fruit trees should be a minimum grade of 80L at the time of planting. Cold-hardy variety is preferred.

	Botanical Name	Common Name	Evergreen	Decidu-ous	Sun	Partial Shade	Shade
1	<i>Malus domestica</i>	Apple		•	•		
2	<i>Citrus sp.</i>	Lemon	•		•		
3	<i>Citrus sp.</i>	Mandarin	•		•		
4	<i>Citrus sp.</i>	Grapefruit	•		•		
5	<i>Feijoa sellowiana</i>	Feijoa	•		•		
6	<i>Pinus taeda</i>	Japanese Pine					•



Hedge and stormwater tank screen planting

- All hedges should be a minimum grade of 5L at the time of planting and be maintained as a maximum height of 1.2m.
- Selecting a single hedge species is preferred, ensuring uniform growth, simplifying maintenance and delivering a cohesive, visually consistent screen.

	Botanical Name	Common Name	Evergreen	Decidu-ous	Sun	Partial Shade	Shade
1	<i>Buxus sempervirens</i>	Box hedge	•		•	•	•
2	<i>Griselinia littoralis</i>	Broadleaf	•		•	•	•
3	<i>Loropetalum chinense</i>	Orange jessamine	•		•	•	•
4	<i>Murraya paniculata</i>	Orange jessamine	•		•	•	•

Shrub planting

- All shrubs should be a minimum grade of 2L at the time of planting.

	Botanical Name	Common Name	Evergreen	Decidu-ous	Sun	Partial Shade	Shade
1	<i>Arthropodium 'matapouri'</i>	Rengarenga lily	•		•	•	•
2	<i>Choisya ternata</i>	Mexican orange blossom	•		•	•	•
3	<i>Hebe Santa Monica</i>	n/a	•		•	•	•
4	<i>Liriodendron chinense</i>	White lily	•		•	•	•
5	<i>Phormium 'green dwarf'</i>	Dwarf mountain flax	•		•	•	•
6	<i>Osmanthus officinalis</i>	Rosemary	•		•	•	•

Consequential amendments to this section will be incorporated in a Final Design Guidelines in due course.



Groundcover planting

- All groundcover plants should be a minimum grade of 3L at the time of planting.

	Botanical Name	Common Name	Evergreen	Decidu-ous	Sun	Partial Shade	Shade
1	<i>Acaena inermis 'Purpurea'</i>	Purple bidibid	•		•	•	•
2	<i>Cotoneaster dammeri</i>	Beaberry cotoneaster	•		•	•	•
3	<i>Lithodora 'Grace Ward'</i>	n/a	•		•	•	•
4	<i>Pratia arguta</i>	Panakenake	•	•	•	•	•

Climber plants

- All climber plants should be a minimum grade of 3L at the time of planting.

	Botanical Name	Common Name	Evergreen	Decidu-ous	Sun	Partial Shade	Shade
1	<i>Trachelospermum jasminoides</i>	Star jasmine	•		•	•	
2	<i>Bougainvillea sp.</i>	n/a		•	•		
3	<i>Wisteria sinensis</i>	Wisteria		•		•	
4	<i>Muehlenbeckia complexa</i>	Pohuehue	•		•	•	•
5	<i>Clematis paniculata</i>	Puawananga	•		•	•	•

Consequential amendments to this section will be incorporated in a Final Design Guidelines in due course.



05



Design Review Panel

5.0 Design Review Panel

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Approval requirement

- All dwelling and front-yard landscape designs must obtain written approval from the Design Review Panel before a Resource Consent and/or a Building Consent application is lodged.

Application procedure

- Complete the Design Review Panel Application Form (see following page) and submit it to Ashbourne.
- Ashbourne will forward the package to the Design Review Panel for assessment.

Panel composition

- The Design Review Panel consists of an independent urban design and landscape design professional nominated by Unity Developments, together with other specialists as required.

Assessment criteria

- The Design Review Panel evaluates each proposal against:
 - the extent to which the proposal achieves the desired outcomes and promotes guidelines set within this document; and
 - recognised best-practice urban and landscape design.
- The panel may approve, approve with conditions, or request revisions.

Fees

- A processing fee of NZ \$500 + GST applies to every application that proceeds to determination.
- Where submissions are incomplete or repeated non-compliance necessitates multiple information requests, Ashbourne may recover the Design Review Panel's additional reasonable costs from the applicant.

**Consequential amendments to this section
will be incorporated in a Final Design
Guidelines in due course.**

Design Approval Process Application Form

Applicant Name:

Contact Email:

Lot/DP Number:

Phone Number:

Design Checklist

All applicants will provide the drawings and information detailed in the following checklists to Unity Developments to illustrate the compliance with these design controls, the land covenant and the Matamata-Piako Operative District Plan.

All plans and drawings provided shall be legible and to scale, with a north arrow.

Drawing and Information Requirements (and any other additional information to support the development)	Provided? (Please tick)	Compliance with the Guideline?
<p>Site Plan, including:</p> <ul style="list-style-type: none">• site coverage calculations;• setbacks;• levels;• contours;• house and garage footprints; and• entrance path and driveway. <p>The Design Review Panel is particularly interested in how the front elevation and street frontage works, including the front façade, front door, entranceway, garage door, driveway and car parking.</p>		
<p>Floor Plans and Elevations, including:</p> <ul style="list-style-type: none">• building height;• setbacks; and• height in relation to boundary compliance. <p>The design shall accurately establish the finished floor levels of the house and garage slabs, and resolve any level changes that front the street.</p>		
<p>Landscape Plan, including:</p> <ul style="list-style-type: none">• height, length and location of all fences;• height, length and location of all retaining walls;• planting schedule; and• pavement schedule.		

Comments:

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Submission Date:

Applicant Signature:

ASHBOURNE