

Appendix 2

RDF Background Documentation

1. Comparison of Lot Type 1 with Havelock North General Residential Zone Rules

HDC Havelock North General Residential Zone		Lodged Application Lot Type 1 – Residential Development Framework Approach		Post-Lodgement – Response to Feedback from Council Lot Type 1 - Consent Notice Approach		
HDP Rule	HDP Requirement	RDF Standard	Comment	Council Feedback 18/07/2025	Applicant Comment on how changes were incorporated into Consent Notices 15/10/2025	Adopt HDP Provisions
8.2.4.1 Rule Table						
HINGR1	Residential Activities (permitted)	Section 4.0 One residential dwelling per lot is provided for.	HDP Provision Adopted <i>Resource Consent has been sought through the Substantive Application to allow one residential dwelling per lot.</i>	The HDP definition of supplementary residential building is the same as a minor residential unit it doesn't refer to accessory buildings such as garages or garden sheds. Is the RDF proposing a different definition of supplementary building to the HDP?	Amend. <i>Agreed to remove bespoke provision. The intention was not to enable secondary dwellings (only accessory buildings i.e. garden sheds). The HNGRZ provisions provide dwellings, home occupations and show homes as permitted activities.</i>	YES
HINGR14	Comprehensive Residential Development (3 or more residential dwellings) – only allowed in certain areas, with various activity statuses.	Section 4.0 This has not been included in the RDF.	HDP Provision Excluded – n/a <i>Comprehensive development has not been consented by the Substantive Application / not provided for within the development, and this rule is not relevant.</i>		No change. <i>Not applicable. The substantive application has not sought consent for comprehensive development.</i>	YES
8.2.5 General Performance Standards						
8.2.5A Density	1 dwelling per 350m ² net site area 1 residential building	N/A No density provision proposed.	HDP Provision Excluded – n/a <i>Resource Consent has been sought through the Substantive Application to</i>		No change. <i>Not applicable. The substantive application has</i>	YES

HDC Havelock North General Residential Zone		Lodged Application Lot Type 1 – Residential Development Framework Approach		Post-Lodgement – Response to Feedback from Council Lot Type 1 - Consent Notice Approach		
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			<p>allow one residential dwelling per lot. All Lot Type 1 lots are greater than 400m².</p> <p>Density provisions are therefore not relevant and have not been included in the RDF.</p>		sought consent for one dwelling per site.	
8.2.5B Building Height	Maximum 8m	Standard 6.2.1 Maximum 8m	HDP Provision Adopted		No change. Adopt HDP height standard.	YES
8.2.5C Height in Relation to Boundary	Side and rear boundaries: 2.75m + a recession plane indicator.	Standard 6.2.2 Recession planes from points 3m above the existing ground level. The angle of such recession planes shall be 45° for all boundaries.	<p>Included with amendments</p> <p>Through pre-application discussions with HDC, it was decided that in the event a bespoke RDF were adopted, the revised HTB standard would be simpler to implement for build partners. The recession plane of 3m + 45° is the average HTB for the existing HDP, so it will form a similar and appropriate built character.</p>		<p>Amend.</p> <p>Adopt the HDP height in relation to boundary standard.</p>	YES
8.2.5D Building Setbacks	Front yard: <ul style="list-style-type: none"> 3m (with frontage to access roads) 	Standard 6.2.4 <ul style="list-style-type: none"> Front boundaries: 3m Other boundaries: 1m 	HDP Provision Adopted		No change. Adopt the HDP building setback standard.	YES

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HDP Rule	HDP Requirement	RDF Standard	Comment	Council Feedback 18/07/2025	Applicant Comment on how changes were incorporated into Consent Notices 15/10/2025	Adopt HDP Provisions
	<ul style="list-style-type: none"> 5m (with frontage to arterial or collector road) Other boundaries: 1m					
8.2.5E Relationship of Garages and Accessory Buildings to Dwelling	<p>(a) Garages or accessory buildings on sites that front a public road and that form part of a single storey residential building shall occupy not more than 50% of the width of the front elevation of that residential building.</p> <p>(b) The standard in (a) above does not apply to garages which form part of a two-storey dwelling.</p> <ul style="list-style-type: none"> (c) Standalone garages or accessory buildings on sites that front a public road shall not obscure more than 50% of the width of the front elevation of the residential building. 	<p>Standard 6.2.5</p> <p>All garage doors must be set back a minimum of 5m from any front boundary.</p> <p>Garages on sites that front a public road or JOAL and that form part of a single-storey residential building, shall occupy a maximum of 50% of the width of the front elevation of that residential building.</p> <p>Garages on sites that front a public road or JOAL: that form part of a single-storey residential building; and which occupy more than 50% and up to a maximum of 60% of the width of the front elevation of that residential building must have a minimum setback of 2m from the rest of the building.</p>	<p>HDP Provision Amended</p> <p><i>These requirements are primarily based on the existing HDC standards. Additional provisions have been introduced to address specific site conditions, such as reduced lot widths and the presence of JOALS (Jointly Owned Access Lots). This approach is intended to enhance streetscape amenity by encouraging garage setbacks and creating less visually dominant frontages.</i></p> <p><i>Note: This rule does not apply to the rear sites associated with Lots 19, 20, 71, 72, 121, 151, 152, and 162.</i></p>	<p>This is a complex rule - is it really necessary? A diagram may assist to explain it</p>	<p>Retain as consent notice</p> <p><i>Update the wording to the garage door standard to clarify that it refers to the front of the building.</i></p> <p><i>Include a diagram which demonstrates what the 2m setback means and where it is measured from.</i></p>	Consent Notice

HDC Havelock North General Residential Zone		Lodged Application Lot Type 1 – Residential Development Framework Approach		Post-Lodgement – Response to Feedback from Council Lot Type 1 - Consent Notice Approach		
HDP Rule	HDP Requirement	RDF Standard	Comment	Council Feedback 18/07/2025	Applicant Comment on how changes were incorporated into Consent Notices 15/10/2025	Adopt HDP Provisions
		Note 1: Standards b. and c. above do not apply to Lots 19, 20, 71, 72, 121, 151, 152, and 162.				
8.2.5F Building Coverage	Maximum 45% of the net site area	Standard 6.2.3 <ul style="list-style-type: none"> Maximum 45% of the net site area 	HDP Provision Adopted		No change. Adopt HDP Building Coverage standard.	YES
8.2.5G Stormwater	Peak stormwater runoff from site shall not exceed standards.	Standard 6.2.9 <ul style="list-style-type: none"> Impervious areas must not exceed 60 per cent of site area Standard 6.2.10 <ul style="list-style-type: none"> Roofs must be constructed of inert materials or non-toxic coating. 	HDP Provision Amended An amended stormwater standard is proposed to reflect the requirements of the Arataki Project Stormwater Management Plan. The intent of the amended standard is to ensure that peak stormwater runoff is controlled (same purpose as the existing HDP rule).	There are no stormwater provisions included – how will stormwater be managed to ensure compliance with underlying stormwater discharge consents? Does the 60% limited impervious area provision address this fully? What happens when developers wish to exceed this 60% requirement?	Retain as a consent notice The development stormwater management plan and design has been assessed and modelled over two catchments with differing design ARIs. The development has been designed to 60% impervious areas and doesn't translate well into the HDP stormwater runoff coefficient standards. Therefore, we propose to link a consent notice to the approved SMP requirements. We will update the SMP to include a consenting table pathway to make it simple and easy for future developers to understand what they need to do to mitigate their impervious	Consent Notice

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					<i>surfaces should they exceed the 60% threshold.</i>	
8.2.5H Outdoor Living Space	At least 50m ² including: <ul style="list-style-type: none"> 6m diameter circle; Directly accessible from the principle residential building; May compromise 1 or more area(s); but each area shall have a minimum width of 2m; and Can be in form of a deck, terrace or veranda but must be unobstructed by buildings, car parking areas, vehicle manoeuvring areas or national garages.	Standard 6.2.6 At least 50m ² including: <ul style="list-style-type: none"> 6m diameter circle; Directly accessible from the principle residential building; Has a gradient not exceeding 1 in 20; and Must be unobstructed by buildings, car parking areas, vehicle manoeuvring areas or notional garages.	HDP Provision Adopted		No change. <i>Adopt HDP Outdoor Living Space standard.</i>	YES
Landscaping	No rule	Standard 6.2.7 <ul style="list-style-type: none"> The minimum landscape area must be 30% of the net site area. The 3m front boundary building setback must include a minimum of 50% landscape area. 	Proposed New Provision <i>This rule is based on a similar landscaping rule under 8.2.5I in the Havelock North Character Residential Zone. To ensure sufficient landscaping is provided on site and positive amenity outcomes achieved, a</i>		Retain as consent notice <i>Recommend that we adopt the RDF standard as a consent notice to provide higher quality landscape design outcome to the street frontage in line with development quality expectations.</i>	Consent Notice

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		<ul style="list-style-type: none"> Note: Landscape area can comprise grass. 	<p><i>landscaping standard was introduced.</i></p> <p><i>Also, to encourage further streetscape amenity, a front boundary landscape area is proposed.</i></p>			
8.2.5J Screening for visual amenity	Any outdoor storage, or service area associated with non-residential activities, shall be screened from adjoining sites and from the street by landscaping and/or fencing.	<p>Standard 6.2.8</p> <p>a) Any outdoor storage (including waste) or Outdoor Service Space shall be fully screened from adjoining sites and from the street by:</p> <p>i. fencing or screening that complies with relevant height standards; and/ or</p> <p>ii. landscaping.</p> <p>b) If using landscaping to achieve the above standard, the following standards shall be met:</p> <p>i. Trees shall have a minimum height of 2m at the time of planting; and</p> <p>ii. Shrubs shall have a minimum height of 1m</p>	<p>HDP Provision Adopted</p> <p><i>The same rule has been adopted, but with formatting changes made.</i></p>		<p>No change.</p> <p><i>Adopt HDP Screening standard.</i></p>	YES

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		at the time of planting and be able to grow to 2m in height.				
8.2.5K Fencing	<p>Fences that front onto Access Roads</p> <p>Max height 1.5m; or 1.8m with 300mm of permeable at top.</p> <p>Fences that front onto Collector or Arterial Roads</p> <ul style="list-style-type: none"> Max height 1.8m <p>Fences on Corner Sites of Collector or Arterial Roads</p> <ul style="list-style-type: none"> Max height 1.8m Except- On corner of collector to have max height of 1m for sightlines <p>Other boundaries</p> <ul style="list-style-type: none"> Max height 1.8m 	<p>Standard 6.1.5</p> <p>Fencing Plan Applies</p>	<p>HDP Provision Amended</p> <p><i>A revised, bespoke fencing plan has been introduced for the site. This approach allows CDL to construct specified fence types, while enabling build partners to complete fencing on individual lots as appropriate.</i></p> <p><i>The plan includes a variety of fencing types not currently addressed under the existing HDP fencing rules, providing greater design flexibility and site responsiveness to meet contemporary urban design principles.</i></p>		<p>Retain as a consent notice.</p> <p><i>Include specific consent notice provision for fencing to achieve the intended design outcomes. This is in lieu of HDP fence provisions.</i></p>	Consent Notice
8.2.5L Traffic Generation	Must not exceed threshold limits.	<p>N/A</p> <p>This has not been included in the RDF.</p>	<p>HDP Provision Excluded – n/a</p> <p><i>Traffic has been managed through the Substantive Application and provision in the RDF to address this rule</i></p>		<p>No change.</p> <p><i>Adopt HDP Traffic generation standards. Not applicable for housing development as</i></p>	YES

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			<i>was not considered necessary.</i>		<i>substantive application has addressed trip generation.</i>	
8.2.5M Traffic sightlines, parking, access, and loading	Activities shall comply with the provisions of Section 26.1 of the OHDP on Transport and Parking	Standard 6.1.1 Refer to separate assessment in Table below.	HDP Provision Amended <i>Refer to separate assessment in Table below.</i>		Amend. Adopt HDP provisions. Agreed that transport provisions are required.	YES
8.2.5N Noise	Activities shall comply with the provisions of Section 25.1 of the OHDP on Noise	Standard 6.1.3 Refer to separate assessment in Table below.	HDP Provision Amended <i>Refer to separate assessment in Table below.</i>		Amend. <i>Adopt HDP provisions. Agreed that noise standards are required.</i>	YES
8.2.5O Light and Glare	External lighting should be shaded or directed away from adjoining residential dwellings or roads. Less than 8 lux spill measured at a height of 1.5m above the ground at the boundary of the site.	This has not been included in the RDF.	Not provided for <i>Light & Glare has been managed through the Substantive Application and provision in the RDF to address this rule was not considered necessary.</i>	There are currently no provisions to manage outdoor lighting. Including the existing HDP lighting standard may be beneficial to address any potential issues in future. Including a light standard would ensure that development that may occur in future will not create issues of light spill for neighbours or roads / traffic. I think this should be included.	Amend. <i>Adopt HDP provisions. Agreed that lighting standards are acceptable.</i>	YES

2. Comparison of Lot Type 2 with Medium Density Residential Zone

HDC Havelock North Residential Environment		Arataki Lot Type 2 – Residential Design Framework		Post-Lodgement		
HDP Rule	HDP Requirement	RDF Standard	Comment	Council Feedback 18/07/2025	Applicant Comment 15/10/2025	Adopt HDP Directly
Rule Table						
MRZ-R2	Residential Unit (permitted achieving compliance): A: For sites less than 500m ² -1 principal residential unit permitted (two or more restricted discretionary) B: For sites 500m ² or more-not more than 2 residential units. C. Development of 3-15 residential units restricted discretionary	Section 4.0 One residential dwelling per lot is provided for.	HDP Provision Adopted <i>Resource Consent has been sought through the Substantive Application to allow one residential dwelling per lot.</i>		No change. <i>Not applicable. The substantive application has not sought consent for comprehensive development.</i>	YES
Performance Standards						
MRZ-S1 Height – Buildings and Structures (excluding fences and standalone walls)	10m + 1m (11m total)	Standard 6.3.1 Building height must not exceed a maximum of 8m except that 50 per cent of a building's roof in elevation, measured vertically from the junction between wall and roof, may exceed this height by 1m, where the entire roof slopes 15 degrees or more.	HDP Provision Amended <i>A maximum building height of 8m, consistent with the HDC HNGRZ standards, is proposed. An additional 1m allowance for roof form is provided to enable two-storey development on narrower sites, supporting flexibility in built form while maintaining overall height limits.</i>		Retain as a consent notice <i>The applicant wishes to retain the RDF provision to restrict height to 8m +1m in line with the character and density envisioned for the development, rather than adopt the higher limit of 10m +1m. Consent notice proposed to enforce design outcome.</i>	Consent Notice

HDC Havelock North Residential Environment		Arataki Lot Type 2 – Residential Design Framework		Post-Lodgement		
HDP Rule	HDP Requirement	RDF Standard	Comment	Council Feedback 18/07/2025	Applicant Comment 15/10/2025	Adopt HDP Directly
			<i>The lower height limit is proposed to better align with the established suburban character on the western side of Arataki Road.</i>			
MRZ-S2 Fences and standalone walls	<p>1.2m where the fence is located between the residential unit and the front boundary of the site or any private road, access lot or right of way that provides legal access to the site; or</p> <ul style="list-style-type: none"> 1.2m where a site boundary adjoins an open space zone <p>Except that the following maximum height applies in these circumstances: i. 1.5m if the fence is able to be seen through in the manner of a picket, trellis, or steel pool fence construction. ii. 1.8m for all others.</p>	<p>Standard 6.1.5</p> <p>Fencing Plan Applies</p>	<p>HDP Provision Amended</p> <p>A revised, bespoke fencing plan has been introduced for the site. This approach allows CDL to construct specified fence types, while enabling build partners to complete fencing on individual lots as appropriate. The plan includes a variety of fencing types not currently addressed under the existing fencing rules, providing greater design flexibility and site responsiveness.</p>		<p>Retain as a consent notice.</p> <p>Include specific consent notice provision for fencing to achieve intended design outcomes. This is in lieu of HDP fence provisions.</p>	Consent Notice
MRZ-S3 Height in relation to boundary	<p>3m + The angle of such recession planes shall be 45° for all side and rear boundaries facing the southern half of a compass and 55° for all front boundaries and all boundaries facing the northern half of the compass</p>	<p>Standard 6.3.2</p> <p>On any boundary (excluding the road or front boundary) of a site, buildings shall be contained within a building envelope constructed by recession planes from points 3m above the existing ground level. The angle of such recession planes shall be 45° for all boundaries.</p>	<p>HDP Provision Amended</p> <p>The minor amendment to remove the 55-degree front boundary requirement was introduced to align with the Lot Type 1 HTB provisions, thereby promoting a consistent and cohesive built character throughout the development.</p>	<p>The HIRTB (height in relation to boundary) provision has been simplified to 3m + 45° for all lot types. However, it is noted that for Lot Type 2 there is no road boundary provision – this may need reconsideration.</p>	<p>Amend</p> <p>Adopt HDP HTB standards. Lot testing has confirmed that the existing standard can be achieved on proposed Lot 2 typologies.</p>	YES

HDC Havelock North Residential Environment		Arataki Lot Type 2 – Residential Design Framework		Post-Lodgement		
HDP Rule	HDP Requirement	RDF Standard	Comment	Council Feedback 18/07/2025	Applicant Comment 15/10/2025	Adopt HDP Directly
MRZ-S4 Garages and accessory buildings	Garages or accessory buildings on sites that front a public road and that form part of a single storey residential building shall occupy not more than 50% of the width of the front elevation of that residential building.	<p>Standard 6.3.5</p> <p>All garage doors must be set back a minimum of 5m from any front boundary.</p> <p>Garages on sites that front a public road or JOAL, and that form part of a single-storey residential building, shall occupy a maximum of 50% of the width of the front elevation of that residential building.</p> <ul style="list-style-type: none"> Garages on sites that front a public road or JOAL: <p>that form part of a single-storey residential building; and</p> <ul style="list-style-type: none"> which occupy more than 50% and up to a maximum of 60% of the width of the front elevation of that residential building Must have a minimum setback of 2m from the rest of the building. <p>Note: This standard does not apply to garages which form part of a two-storey residential building.</p>	<p>HDP Provision Amended</p> <p><i>These requirements are primarily based on the existing HDC standards. Additional provisions have been introduced to address specific site conditions, such as reduced lot widths and the presence of JOALs (Jointly Owned Access Lots). This approach is intended to enhance streetscape amenity by encouraging garage setbacks and creating less visually dominant frontages.</i></p> <p><i>The standard does not apply to garages which form part of a two-storey residential building.</i></p>	This is quite a complex rule - is it really necessary. If so may need a diagram to explain	<p>Retain as consent notice</p> <p><i>Update the wording to the garage door standard to clarify that it refers to the front of the building.</i></p> <p><i>Include a diagram which demonstrates what the 2m setback means and where it is measured from.</i></p>	Consent Notice

HDC Havelock North Residential Environment		Arataki Lot Type 2 – Residential Design Framework		Post-Lodgement		
HDP Rule	HDP Requirement	RDF Standard	Comment	Council Feedback 18/07/2025	Applicant Comment 15/10/2025	Adopt HDP Directly
TMRZ-S5 Setbacks	Front boundary: 3m Side and rear boundary: 1m	Standard 6.3.4 <ul style="list-style-type: none"> Front boundary: 3m Side and rear boundary: 1m 	<i>HDP Provision Adopted</i>		No change <i>Adopt HDP setback standards</i>	YES
MRZ-S6 Building Coverage	Maximum 50%	Standard 6.3.3 <ul style="list-style-type: none"> Maximum 50% 	<i>HDP Provision Adopted</i>		No change <i>Adopt HDP building coverage standards</i>	YES
MRZ-S7 Outdoor living space	<p>230m² at ground floor with minimum 34m dimension.</p> <p>8m² above ground floor with minimum 1.8m dimension.</p> <p><u>All outdoor living spaces must be accessible from the main living area of the residential unit; and</u></p> <p><u>Where the outdoor living space is provided at ground level and is located south of any building located on the same site, the southern boundary of that space must be separated from any wall or building by at least 2m + 0.9(h), where (h) is the height of the wall or buildings as shown in the Figure below. Note for the purpose of this standard, south is defined as between 135 and 225 degrees.</u></p>	<p>Standard 6.3.6</p> <p>Each Principal Residential Dwelling shall have an Outdoor Living Space which shall have a minimum area of 30m² and:</p> <ul style="list-style-type: none"> Be directly accessible from the <u>main living area of the</u> Principal Residential Dwelling; Has no dimension less than 4m; <p><u>Be located north of east or west (or include requirements for south facing spaces in current HDP rule)</u></p> <ul style="list-style-type: none"> Has a gradient not exceeding 1 in 20; and <p>Must be unobstructed by buildings, car parking areas,</p>	<p><i>HDP Provision Amended</i></p> <p><i>Based on consultation with HDC, the outdoor living spaces of each lot have been increased to ensure that adequate on-site amenity can be achieved reflective of the character of this development, essentially achieving a hybrid outcome between the HNGRZ and MRZ standards.</i></p>	<p>There appears to be an error in referencing the OLS (outdoor living space) standard in the MRZ. There is no requirement for OLS to be located north of east or west. In addition, the south-facing OLS standard specific to the MRZ has not been included and should be reinstated.</p>	<p>Amend</p> <p><i>Adopt HDP outdoor living space standards. Agreed that this still achieves the intended design outcomes for the development.</i></p>	YES

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HDP Rule	HDP Requirement	RDF Standard	Comment	Council Feedback 18/07/2025	Applicant Comment 15/10/2025	Adopt HDP Directly
	<u>All ground floor outdoor living spaces must be clear of buildings, parking spaces, servicing and manoeuvring areas</u>	vehicle maneuvering areas or notional garages.				
MRZ-S8 Landscaped Areas	Minimum 20%	Standard 6.3.7 • Minimum 20%	HDP Provision Adopted		No change <i>Adopt HDP landscaped areas standards</i>	YES
MRZ-S9 Windows and Connection to Street / Road	Units facing the road boundary or legal access: 20% façade glazing on front boundary. Visible front door & main pedestrian entrance. A kitchen, living or dining room with glazing facing the front boundary or legal access.	N/A This has not been included in the RDF.	HDP Provision Excluded <i>Project team decision made to exclude this standard from consideration. It is hard to achieve in practice particularly on southern elevations. The preference is to rely on the Section 5.0 Design Outcomes which talk to street activation and articulation.</i>	The standards for windows and street connection have not been included for Lot Types 1 and 2. These provisions are important, particularly for smaller lot sizes, to ensure strong street engagement, passive surveillance, and to maintain a well-articulated and safe streetscape. These provisions are based on the Tier 1 MDRS and should be included. This is an important standard to create connection to the streetscape for passive surveillance and safety reasons. It also assist to provide visual interest which enhances the character and amenity of the streetscape. It is simple to administer.	Amend and adopt as a consent notice. <i>Update to amend to HDP standard to 10% façade glazing on the front boundary.</i> <i>Update design outcome language to also manage frontage design.</i>	Consent Notice

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MRZ-S10 Outlook Space	Principal living room: 4m depth x 4m width All other habitable rooms: 1m depth x 1m width	Standard 6.3.8 Principal living room: 4m depth x 4m width All other habitable rooms: 1m depth x 1m width	<i>HDP Provision Adopted</i>		No change <i>Adopt HDP outlook space standards</i>	YES
MRZ-S11 Variety in building design and visual appearance	Where there are more than two adjoining or adjacent residential units, including apartment buildings or comprehensive complexes that front a public road or legal access variation in the front facade design of the buildings shall be achieved using at least two of the following techniques: <ul style="list-style-type: none"> Roof form; Front facade fenestration (window and door openings); Exterior cladding materials or detailing (cladding can be the same but used in a different way, i.e. on different parts of the building or to emphasise features); <ul style="list-style-type: none"> Ancillary architectural elements such as a porch, covered veranda, a pergola over a door opening, window shrouds around the front 	N/A This has not been included in the RDF.	<i>HDP Provision Excluded – n/a</i> <i>Section 4.0 Permitted activities only provides for one dwelling per site.</i> <i>No adjoining or adjacent residential units or apartments are consented by the Substantive Application.</i> <i>In any case, the Section 5.0 Design Outcomes will guide the intended built form and be further reviewed by CDL and HDC to achieve a built character that aligns with the existing and future environment.</i>		Amend <i>Adopt HDP variety standards. In reality this is not applicable as only one dwelling per site has been consented by the substantive application.</i>	YES

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HDP Rule	HDP Requirement	RDF Standard	Comment	Council Feedback 18/07/2025	Applicant Comment 15/10/2025	Adopt HDP Directly
	facade windows, screens, or louvres incorporated into the front facade design of the residential unit.					
MRZ-S12 Stormwater Management	Peak stormwater runoff from site shall not exceed standards/ values.	<p>Standard 6.3.10</p> <ul style="list-style-type: none"> Impervious areas must not exceed 60% of the net site area <p>Standard 6.3.11</p> <p>Roofs must be constructed of inert materials (such as pre-coated steel, concrete tile, clay tile, or slate), or be painted/coated with non-metal-based, non-toxic finishes.</p>	<p>HDP Provision Amended</p> <p><i>An amended stormwater standard is proposed to reflect the requirements of the Arataki Project Stormwater Management Plan.</i></p> <p><i>The intent of the amended standard is to ensure that peak stormwater runoff is controlled (same purpose as the existing HDP rule).</i></p>	<p>There are no stormwater provisions included – how will stormwater be managed to ensure compliance with underlying stormwater discharge consents? Does the 60% limited impervious area provision address this fully? What happens when developers wish to exceed this 60% requirement?</p>	<p>Retain as a consent notice</p> <p><i>The development stormwater management plan and design has been assessed and modelled over two catchments with differing design ARIs. The development has been designed to 60% impervious areas and doesn't translate well into the HDP stormwater runoff coefficient standards.</i></p> <p><i>Therefore, we propose to link a consent notice to the approved SMP requirements. We will update the SMP to include a consenting table pathway to make it simple and easy for future developers to understand what they need to do to mitigate their impervious surfaces should they exceed the 60% threshold.</i></p>	Consent Notice

HDC Havelock North Residential Environment		Arataki Lot Type 2 – Residential Design Framework		Post-Lodgement		
HDP Rule	HDP Requirement	RDF Standard	Comment	Council Feedback 18/07/2025	Applicant Comment 15/10/2025	Adopt HDP Directly
MRZ-S13 Rooding Infrastructure / Vehicle Access	Activities shall comply with the provisions of Section 26.1 of the OHDP on Transport and Parking	Standard 6.1.1 Refer to separate assessment in Table below.	<i>HDP Provision Amended</i> <i>Refer to separate assessment in Table below.</i>		Amend <i>Adopt HDP Rooding standards. Applies to standard transport controls.</i>	YES

3. Comparison Against Subdivision and Land Development Rules

HDC Havelock North Residential Environment		Arataki – Residential Design Framework		Post-Lodgement		
HDP Rule	HDP Requirement	RDF Standard	Comment	Council Feedback 18/07/2025	Applicant Comment 15/10/2025	Adopt HDP directly
30.1.6 Subdivision Site Standards and Terms	Section 4.0 Consented Activities					
30.1.6A General site standards	General Residential: 350m ² MDRZ to create one or more vacant allotments: 250m ²	Section 4.0 Consented Activities: Lot Type 1 minimum lot size 400m ² Lot Type 2 minimum lot size 300m ²	Proposed Lot Types site sizes to be consented by the Substantive Application are reflective of their base zoning site sizes		No change The lot sizes consented through the Arataki Project meet or exceed the minimum site size requirements of the adopted zone provisions, meaning further subdivision to create additional vacant allotments is not enabled nor anticipated.	YES

4. Comparison Against Transport and Parking Rules

HDC Havelock North Residential Environment		Arataki All Lot Types – Residential Design Framework		Post-Lodgement		
HDP Rule	HDP Requirement	RDF Standard	Comment	Council Feedback 18/07/2025	Applicant Comment 15/10/2025	Adopt HDP Directly
26.1.6 General Performance Standards and Terms		Section 6.1.1 Transport				
26.1.6A Access	<p>1 vehicle crossing per property.</p> <p>Where a property is bordered by 2 or more roads the vehicle access to the property shall be from the lower category road.</p> <p>Minimum legal widths:</p> <ul style="list-style-type: none"> Urban zone: 3m-6m Rural zone: 4m-9m <p>Maximum width of vehicle crossing:</p> <ul style="list-style-type: none"> Urban zone: 4.8m-6m <p>Rural zone: nil.</p>	<p>Standard 6.1.1.1</p> <ul style="list-style-type: none"> One vehicle crossing per site. Access shall be from the lower order road where multiple road frontages exist on a site. Legal access width shall be 3.0m to 4.8m wide. <p>Maximum crossing gradient shall be 20%.</p>	HDP Provisions Adopted		<p>No change</p> <p><i>Adopt HDP access provisions</i></p>	YES
	<p>Distance of Vehicle Accesses from Road Intersections.</p> <p>Residential zone:</p> <ul style="list-style-type: none"> min. 15m or the extent of the property boundary (whichever is least) from any Access Road intersection. <p>Where there are two adjacent accesses, vehicle crossings shall be offset from the legal property boundary (side boundary) by 1.5 metres.</p>	<p>Standard 6.1.1.2</p> <p>The distance that a vehicle access to any property may be sited from any Access Road intersection shall be a minimum of 15m, or the extent of the site boundary, whichever is the least.</p> <p>Vehicle accesses must be separated at least 1.5m from any vehicle access on an adjoining property.</p> <p>Note 1: Lots 4, 11, 14, 27, 30, 54, 60, 90 and 98 will have accesses closer to the</p>	HDP Provisions Amended		<p>Retain as a consent notice</p> <p><i>Recommended that a consent notice apply to the lots where access is closer to the boundary to avoid confusion. These have been assessed in the substantive application and consent approval sought.</i></p>	Consent notice

HDC Havelock North Residential Environment		Arataki All Lot Types – Residential Design Framework		Post-Lodgement		
HDP Rule	HDP Requirement	RDF Standard	Comment	Council Feedback 18/07/2025	Applicant Comment 15/10/2025	Adopt HDP Directly
	Vehicle access to any property shall not be sited within 30 metres of an intersection of a State Highway. Rural zone: Vehicle access to any property shall be sited a minimum of 100m.	intersection than 15m, with a minimum distance of 8m allowed.				
26.1.6D Parking	On-site parking: The district plan no longer contains provisions that require on-site vehicle parking. Design and Construction of Parking Areas: 3m x 5m	Standard 6.1.1.3 <ul style="list-style-type: none"> No minimum or maximum parking requirements. Parking spaces shall have a minimum internal dimension of 3.0 m (width) by 5.0 m (length). 	HDP Provisions Adopted		No change <i>Adopt HDP parking provisions</i>	YES
26.1.7 Specific Performance Standards and Terms						
26.1.7A Access	Vehicle standing bay: In all residential zones- 5m vehicle standing bay to all garages and carports.	Standard 6.2.5 and Standard 6.3.5 Relationship of Garages and Accessory Buildings to the Street	HDP Provisions Amended This provision will be achieved through the garage setback rules.		Amend <i>Adopt HDP access provisions as we will be achieving this requirement anyway through the garage consent notice provisions.</i>	YES
26.1.7B Infrastructure to Support Alternative Transport Modes	Bicycle Spaces: 1 bicycle park per 5 carpark spaces.	N/A Not included in the RDF	HDP Provisions Excluded – n/a Only single lot development is proposed in this development and therefore this rule is not applicable.		Amend <i>Adopt HDP access provisions. Not applicable to our sites.</i>	YES

5. Comparison Against Noise Rules

HDC Havelock North Residential Environment		Arataki All Lot Types – Residential Design Framework		Post-Lodgment																						
HDP Rule	HDP Requirement	Council Feedback	Applicant Comment	Council Feedback 18/07/2025	Applicant Comment 15/10/2025	Adopt HDP Directly																				
25.1.6 General Performance Standards and Terms		Standard 6.1.3 Noise																								
Standard 25.1.6C	<ul style="list-style-type: none">The following noise limits shall not be exceeded at any point beyond the site boundary: <table><tr><th>Control Hours</th><th>Noise Level</th></tr><tr><td>0700 to 1900 hours</td><td>50 dB LAeq (15 min)</td></tr><tr><td>1900 to 2200 hours</td><td>45 dB LAeq (15 min)</td></tr><tr><td>2200 to 0700 hours the following day</td><td>40 dB LAeq (15 min)</td></tr><tr><td>2200 to 0700 hours the following day</td><td>70 dB LAFmax</td></tr></table>	Control Hours	Noise Level	0700 to 1900 hours	50 dB LAeq (15 min)	1900 to 2200 hours	45 dB LAeq (15 min)	2200 to 0700 hours the following day	40 dB LAeq (15 min)	2200 to 0700 hours the following day	70 dB LAFmax	<p>Standard 6.1.3.1</p> <p>Noise shall be measured in accordance with New Zealand Standard 6801:2008 Acoustics - Measurement of Environmental Sound and assessed in accordance with New Zealand Standard 6802:2008 Acoustics - Environmental Noise.</p> <ul style="list-style-type: none">The following noise limits shall not be exceeded at any point beyond the site boundary: <table><tr><th>Control Hours</th><th>Noise Level</th></tr><tr><td>0700 to 1900 hours</td><td>50 dB LAeq (15 min)</td></tr><tr><td>1900 to 2200 hours</td><td>45 dB LAeq (15 min)</td></tr><tr><td>2200 to 0700 hours the following day</td><td>40 dB LAeq (15 min)</td></tr><tr><td>2200 to 0700 hours the following day</td><td>70 dB LAFmax</td></tr></table>	Control Hours	Noise Level	0700 to 1900 hours	50 dB LAeq (15 min)	1900 to 2200 hours	45 dB LAeq (15 min)	2200 to 0700 hours the following day	40 dB LAeq (15 min)	2200 to 0700 hours the following day	70 dB LAFmax	<p>HDP Provisions Amended</p> <p>Noise generation adopted from HDP. Added in rule to assess how noise should be measured in line with best practice.</p>	<p>Existing HDP specific standards for these activities should also apply - hours of operation, 24 month timeframe for showhomes, home occupations limited to ½ of the GFA of all buildings on the site, number of persons involved in home occupation limited, only goods produced on the site shall be sold from the site etc.,</p>	<p>Amend</p> <p><i>Adopt HDP noise standards. This is an acceptable outcome for the development.</i></p>	YES
Control Hours	Noise Level																									
0700 to 1900 hours	50 dB LAeq (15 min)																									
1900 to 2200 hours	45 dB LAeq (15 min)																									
2200 to 0700 hours the following day	40 dB LAeq (15 min)																									
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2200 to 0700 hours the following day	40 dB LAeq (15 min)																									
2200 to 0700 hours the following day	70 dB LAFmax																									
Standard 25.1.6I	<p>(a) Any noise arising from construction, maintenance and demolition work in any Zone shall comply with NZS6803:1999 Acoustics - Construction Noise.</p> <p>(b) Construction noise shall be measured and assessed in accordance with</p>	<p>Standard 6.1.3.2</p> <p>Any noise arising from construction, maintenance and demolition work shall comply with NZS6803:1999 Acoustics - Construction Noise</p>	<p>HDP Provisions Adopted</p>		<p>No change</p> <p><i>Adopt HDP noise standards</i></p>	YES																				

HDC Havelock North Residential Environment		Arataki All Lot Types – Residential Design Framework		Post-Lodgment		
HDP Rule	HDP Requirement	Council Feedback	Applicant Comment	Council Feedback 18/07/2025	Applicant Comment 15/10/2025	Adopt HDP Directly
	NZS6803:1999 Acoustics - Construction Noise.	Construction noise shall be measured and assessed in accordance with NZS6803:1999 Acoustics - Construction Noise				

6. Comparison Against Earthworks Rules

HDC Havelock North Residential Environment		Arataki All Lot Types – Residential Design Framework		Post-Lodgement		
HDP Rule	HDP Requirement	RDF Standard	Comment	Council Feedback 18/07/2025	Applicant Comment 15/10/2025	Adopt HDP Directly
27.1.6 General Performance Standards and Terms		Standard 6.1.2 Earthworks				
27.1.6A Extent of Earthworks	Havelock North residential zone: 50m ³ per site. Plains production zone: 100m ³ per Ha of site	Standard 6.1.2.1 Maximum volume of 50m ³ per site.	HDP Provisions Adopted		No change <i>Adopt HDP earthworks standards</i>	YES
27.1.6C Slope	Rural: EW shall not be undertaken on land with a slope of greater than 45° above horizontal. Residential: EW shall not be undertaken on land with a slope of greater than 22° above horizontal.	N/A Not included in the RDF	HDP Provisions Excluded – n/a The bulk earthworks undertaken as part of the Substantive Application will ensure no earthworks of this nature are required.		Amend <i>Adopt HDP slope standards. No impact on the development as site flat topography / bulk earthworks will remedy the landform.</i>	YES
27.1.6D Excavation	No EW shall have a cut/ fill face of overall vertical extent greater than 5m (rural) & 2.5m (urban)	Standard 6.1.2.2 <ul style="list-style-type: none">Earthworks shall not exceed a cut/ fill face of overall vertical extent greater than 2.5m.	HDP Provisions Adopted		No change <i>Adopt HDP excavation standards</i>	YES

HDC Havelock North Residential Environment		Arataki All Lot Types – Residential Design Framework		Post-Lodgement		
HDP Rule	HDP Requirement	RDF Standard	Comment	Council Feedback 18/07/2025	Applicant Comment 15/10/2025	Adopt HDP Directly
		No excavations shall be of greater than 1m vertical extent of cut/fill face, where the top of the excavation is within 10 metres of buildings or surcharge loads.				
27.1.6E Noise	Comply with provisions of Section 25.1 Noise.	<p>Standard 6.1.3 Noise</p> <p>Noise shall be measured in accordance with New Zealand Standard 6801:2008 Acoustics - Measurement of Environmental Sound and assessed in accordance with New Zealand Standard 6802:2008 Acoustics - Environmental Noise.</p> <ul style="list-style-type: none"> The following noise limits shall not be exceeded at any point beyond the site boundary: <p>Construction Activities</p> <p>Any noise arising from construction, maintenance and demolition work shall comply with NZS6803:1999 Acoustics - Construction Noise.</p> <p>Construction noise shall be measured and assessed in accordance with NZS6803:1999 Acoustics - Construction Noise</p>	HDP Provisions Adopted		No change <i>Adopt HDP noise standards</i>	YES
27.1.6G Location of fill	<p>Except when associated with fill faces on rural farm tracks, any fill of over:</p> <p>(a) 100m³ volume; or</p> <p>(b) 0.5 metres total depth</p>	<p>Standard 6.1.2.2</p> <p>Any fill over 100m³ volume or 0.5m total depth shall only be permitted if a site plan is provided to the HDC showing the location of the fill.</p>	HDP Provisions Adopted		No change <i>Adopt HDP fill standards</i>	YES

HDC Havelock North Residential Environment		Arataki All Lot Types – Residential Design Framework		Post-Lodgement		
HDP Rule	HDP Requirement	RDF Standard	Comment	Council Feedback 18/07/2025	Applicant Comment 15/10/2025	Adopt HDP Directly
	Shall only be permitted if a site plan is provided to Hastings District Council showing the location and extent of the fill.					

7. Comparison Against Advertising Devices & Signs Rules

HDC Havelock North Residential Environment		Arataki All Lot Types – Residential Design Framework				
HDP Rule	HDP Requirement	RDF Standard	Comment	Council Feedback 18/07/2025	Applicant Comment 15/10/2025	Adopt HDP Directly
Table 28.1.5 ADS1	Non illuminated advertising devices	Section 4.0 Consented Activities <ul style="list-style-type: none">Non illuminated advertising devices	HDP Provisions Adopted		No change <i>Adopt HDP sign standards</i>	YES
28.1.6 General Performance Standards and Terms	Advertising devices and signs within the Arataki Project development shall comply with the provisions of Chapter 28.1.6 – General Performance Standards and Terms of the HDP as they apply to the Havelock North General Residential Zone, including any updated provisions should this section reference change in the future.	Standard 6.1.4 Adopts Chapter 28.1.6 provisions	HDP Provisions Adopted		No change <i>Adopt HDP sign standards</i>	YES

Attachment 1 – Correspondence 18 July 2025

HDC Initial Feedback on RDF

Jo Sunde

From: Nellie Aroa <Nelliea@hdc.govt.nz>
Sent: Friday, 18 July 2025 2:43 pm
To: Jo Sunde
Cc: Jackson Bull; Emma Howie; Fergus McArthur; Lauren White; Alex Devine; Anna E. Summerfield; Craig Scott
Subject: RE: P24-244 - Arataki Fast Track Project - Draft RDF Document
Attachments: Appendix - Arataki RDF Rule Comparison - WIP.docx; Arataki Project - Residential Development Framework_Final_WIP.docx

Follow Up Flag: Follow up
Flag Status: Completed

Hi Jo

Apologies for the delay, we appreciate the opportunity to review this document. Overall, most matters appear to be on the right track. However, there are a few key issues that still require some clarification or further consideration.

Please see the below comments from the policy team (and elaborated further in the attached annotated documents):

- The interpretation of "supplementary residential dwelling" appears to be incorrect. These should not be equated with garden sheds or accessory buildings. Clarification on this definition is recommended (see document for further clarification)
- Existing Hastings District Plan (HDP) specific standards for home occupations in the HNGRZ and for showhomes in the MRZ should be carried through.
- There appears to be an error in referencing the OLS (outdoor living space) standard in the MRZ. There is no requirement for OLS to be located north of east or west. In addition, the south-facing OLS standard specific to the MRZ has not been included and should be reinstated.
- The amended garage standard proposed is quite complex. While it may have merit, if it is to be retained, it would benefit from the inclusion of a diagram to assist with interpretation.
- The HIRTB (height in relation to boundary) provision has been simplified to 3m + 45° for all lot types. However, it is noted that for Lot Type 2 there is no road boundary provision – this may need reconsideration.
- There are currently no provisions to manage outdoor lighting. Including the existing HDP lighting standard may be beneficial to address any potential issues in future.
- The standards for windows and street connection have not been included for Lot Types 1 and 2. These provisions are important, particularly for smaller lot sizes, to ensure strong street engagement, passive surveillance, and to maintain a well-articulated and safe streetscape. These provisions are based on the Tier 1 MDRS and should be included.
- The design outcomes in Section 5 appropriately aim to achieve quality urban design with variety, cohesion, and strong streetscape character. These outcomes should ideally form part of the assessment and approval process to ensure these design principles are realised in built form.
- There are no stormwater provisions included – how will stormwater be managed to ensure compliance with underlying stormwater discharge consents? Does the 60% limited impervious area provision address this fully? What happens when developers wish to exceed this 60% requirement?

In terms of the planning consents team I would also add:

- The HNGRZ contains traffic generation standards, we would like to see these replicated to ensure the avoidance of nuisance and safety impacts for high volumes of traffic.
- Landscaping – this is not defined in HDP or in the proposed design framework. Might want to be aware that without this, grass is technically considered landscaping (if you are envisioning a higher

level of amenity you may wish to be more prescriptive about a number of plants, specimen trees etc).

- As previously advised, from the consenting perspective, we believe it will be a better outcome to impose a consent notice requiring compliance with an existing zone such as the Havelock North General Residential Zone – within that we would could make exceptions for certain aspects that deviate from the HNGRZ (such as height, HRIB, site coverage). We have concerns about how variations will work when applicants do not comply with the design framework and the inevitable application to vary consent notices where the developments will conflict with the intent of the underlying zoning.

Kindly

Nellie Aroa

Environmental Planner - Consents



Wāaea/Phone +64 6 871 5000

Īmēra/Email Nelliea@hdc.govt.nz | Pae Tukutuku/Web www.hastingsdc.govt.nz

Te Kaunihera ā-Rohe o Heretaunga | Hastings District Council

Private Bag 9002, Hastings 4156, New Zealand

From: Jo Sunde <jo.sunde@woods.co.nz>

Sent: Monday, 14 July 2025 10:42 PM

To: Anna E. Summerfield <annaes@hdc.govt.nz>; Nellie Aroa <Nelliea@hdc.govt.nz>; Craig Scott <craigs@hdc.govt.nz>

Cc: Jackson Bull <jackson.bull@cdli.co.nz>; Emma Howie <emma.howie@woods.co.nz>; Fergus McArthur <fergus.mcarthur@woods.co.nz>; Lauren White <lauren@urbanacumen.co.nz>; Alex Devine <ADevine@ellisgould.co.nz>

Subject: P24-244 - Arataki Fast Track Project - Draft RDF Document

Good evening Anna and team,

Thank you for your patience while we have been finalising the Residential Development Framework. Please find the draft RDF attached, provided on a without prejudice basis for your review.

To assist your review, we have prepared a rule comparison table which outlines the provisions carried through from the Hastings District Plan, alongside any amendments proposed and the reasons for these.

We appreciate this has come to you very late in the piece. Acknowledging how close we are to lodgement and that there is limited time remaining this week for a detailed review, we are more than happy to work through any matters with you in more detail post-lodgement if needed.

Kind regards,

Jo

ARATAKI PROJECT - RDF COMPARISON ASSESSMENT

Assessment of the Residential Development Framework against the Hastings District Plan

This document summarises the key parts of the Hastings District Plan (**HDP**) that are relevant to the Arataki Project and identifies how the proposed Residential Development Framework (**RDF**) responds to them.

Although the site is zoned Plains Production, the RDF has been developed to deliver residential outcomes that align with the intent and structure of the HDP, supporting a well-functioning urban environment and managing interface effects with the surrounding land uses.

The assessment focuses on the following District Plan sections:

- Havelock North General Residential Zone
- MDZ – Medium Density Residential Zone
- Section 30.1 – Subdivision and Land Development
- Section 25.1 – Noise
- Section 26.1 – Transport and Parking
- Section 27.1 – Earthworks
- Section 28.1 – Advertising Devices & Signs

By way of overall summary, several bespoke provisions have been adopted where necessary to achieve specific design outcomes or address particular effects. This includes amendments (and in some cases rejections) to the standard HDP provisions to deliver a contemporary response to design aspirations or to secure the desired quality outcomes for the development.

Figure 1: Arataki Project Development Lot Type Plan



1. Comparison of Lot Type 1 with Havelock North General Residential Zone Rules

HDC Havelock North General Residential Zone		Arataki Project Lot Type 1 – Residential Development Framework	
HDP Rule	HDP Requirement	RDF Standard	Comment
8.2.4.1 Rule Table			
HINGR1	Residential Activities (permitted)	Section 4.0 One residential dwelling per lot is provided for.	HDP Provision Adopted Resource Consent has been sought through the Substantive Application to allow one residential dwelling per lot.
HINGR14	Comprehensive Residential Development (3 or more residential dwellings) – only allowed in certain areas, with various activity statuses.	Section 4.0 This has not been included in the RDF.	HDP Provision Excluded – n/a Comprehensive development has not been consented by the Substantive Application / not provided for within the development, and this rule is not relevant.
8.2.5 General Performance Standards			
8.2.5A Density	1 dwelling per 350m ² net site area 1 residential building	N/A No density provision proposed.	HDP Provision Excluded – n/a Resource Consent has been sought through the Substantive Application to allow one residential dwelling per lot. All Lot Type 1 lots are greater than 400m ² . Density provisions are therefore not relevant and have not been included in the RDF.
8.2.5B Building Height	Maximum 8m	Standard 6.2.1 Maximum 8m	HDP Provision Adopted
8.2.5C Height in Relation to Boundary	Side and rear boundaries: 2.75m + a recession plane indicator.	Standard 6.2.2 Recession planes from points 3m above the existing ground level. The	Included with amendments Through pre-application discussions with HDC, it was decided that in the event a bespoke RDF were adopted, the revised HTB standard would be simpler to implement for build partners. The

HDC Havelock North General Residential Zone		Arataki Project Lot Type 1 – Residential Development Framework	
HDP Rule	HDP Requirement	RDF Standard	Comment
		angle of such recession planes shall be 45° for all boundaries.	recession plane of 3m + 45° is the average HTB for the existing HDP, so it will form a similar and appropriate built character.
8.2.5D Building Setbacks	Front yard: <ul style="list-style-type: none"> 3m (with frontage to access roads) 5m (with frontage to arterial or collector road) Other boundaries: 1m	Standard 6.2.4 <ul style="list-style-type: none"> Front boundaries: 3m Other boundaries: 1m 	HDP Provision Adopted
8.2.5E Relationship of Garages and Accessory Buildings to Dwelling	<ul style="list-style-type: none"> (a) Garages or accessory buildings on sites that front a public road and that form part of a single storey residential building shall occupy not more than 50% of the width of the front elevation of that residential building. (b) The standard in (a) above does not apply to garages which form part of a two-storey dwelling. (c) Standalone garages or accessory buildings on sites that front a public road shall not obscure more than 50% of the width of the front elevation of the residential building. 	Standard 6.2.5 <ul style="list-style-type: none"> All garage doors must be set back a minimum of 5m from any front boundary. Garages on sites that front a public road or JOAL and that form part of a single-storey residential building, shall occupy a maximum of 50% of the width of the front elevation of that residential building. <p>Garages on sites that front a public road or JOAL:</p> <ul style="list-style-type: none"> that form part of a single-storey residential building; and which occupy more than 50% and up to a maximum of 60% of the width of the front elevation of that residential building must have a minimum 	<p>HDP Provision Amended</p> <p>These requirements are primarily based on the existing HDC standards. Additional provisions have been introduced to address specific site conditions, such as reduced lot widths and the presence of JOALs (Jointly Owned Access Lots). This approach is intended to enhance streetscape amenity by encouraging garage setbacks and creating less visually dominant frontages.</p> <p>Note: This rule does not apply to the rear sites associated with Lots 19, 20, 71, 72, 121, 151, 152, and 162.</p>

HDC Havelock North General Residential Zone		Arataki Project Lot Type 1 – Residential Development Framework	
HDP Rule	HDP Requirement	RDF Standard	Comment
		<p>setback of 2m from the rest of the building.</p> <p>Note 1: Standards b. and c. above do not apply to Lots 19, 20, 71, 72, 121, 151, 152, and 162.</p>	
8.2.5F Building Coverage	Maximum 45% of the net site area	<p>Standard 6.2.3</p> <ul style="list-style-type: none"> Maximum 45% of the net site area 	HDP Provision Adopted
8.2.5G Stormwater	Peak stormwater runoff from site shall not exceed standards.	<p>Standard 6.2.9</p> <ul style="list-style-type: none"> Impervious areas must not exceed 60 per cent of site area <p>Standard 6.2.10</p> <ul style="list-style-type: none"> Roofs must be constructed of inert materials or non-toxic coating. 	<p>HDP Provision Amended</p> <p>An amended stormwater standard is proposed to reflect the requirements of the Arataki Project Stormwater Management Plan.</p> <p>The intent of the amended standard is to ensure that peak stormwater runoff is controlled (same purpose as the existing HDP rule).</p>
8.2.5H Outdoor Living Space	<p>At least 50m² including:</p> <ul style="list-style-type: none"> 6m diameter circle; Directly accessible from the principle residential building; May compromise 1 or more area(s); but each area shall have a minimum width of 2m; and Can be in form of a deck, terrace or veranda but must be unobstructed by 	<p>Standard 6.2.6</p> <p>At least 50m² including:</p> <ul style="list-style-type: none"> 6m diameter circle; Directly accessible from the principle residential building; Has a gradient not exceeding 1 in 20; and Must be unobstructed by buildings, car parking areas, 	HDP Provision Adopted

Commented [AS1]: This is a complex rule - is it really necessary? A diagram may assist to explain it

HDC Havelock North General Residential Zone		Arataki Project Lot Type 1 – Residential Development Framework	
HDP Rule	HDP Requirement	RDF Standard	Comment
	buildings, car parking areas, vehicle manoeuvring areas or national garages.	vehicle manoeuvring areas or notional garages.	
Landscaping	No rule	Standard 6.2.7 <ul style="list-style-type: none"> The minimum landscape area must be 30% of the net site area. The 3m front boundary building setback must include a minimum of 50% landscape area. Note: Landscape area can comprise grass. 	Proposed New Provision This rule is based on a similar landscaping rule under 8.2.5I in the Havelock North Character Residential Zone. To ensure sufficient landscaping is provided on site and positive amenity outcomes achieved, a landscaping standard was introduced. Also, to encourage further streetscape amenity, a front boundary landscape area is proposed.
8.2.5J Screening for visual amenity	Any outdoor storage, or service area associated with non-residential activities, shall be screened from adjoining sites and from the street by landscaping and/or fencing.	Standard 6.2.8 <ul style="list-style-type: none"> a) Any outdoor storage (including waste) or Outdoor Service Space shall be fully screened from adjoining sites and from the street by: <ul style="list-style-type: none"> i. fencing or screening that complies with relevant height standards; and/ or ii. landscaping. b) If using landscaping to achieve the above standard, the following standards shall be met: 	HDP Provision Adopted The same rule has been adopted, but with formatting changes made.

HDC Havelock North General Residential Zone		Arataki Project Lot Type 1 – Residential Development Framework	
HDP Rule	HDP Requirement	RDF Standard	Comment
		i. Trees shall have a minimum height of 2m at the time of planting; and ii. Shrubs shall have a minimum height of 1m at the time of planting and be able to grow to 2m in height.	
8.2.5K Fencing	Fences that front onto Access Roads <ul style="list-style-type: none"> Max height 1.5m; or 1.8m with 300mm of permeable at top. Fences that front onto Collector or Arterial Roads <ul style="list-style-type: none"> Max height 1.8m Fences on Corner Sites of Collector or Arterial Roads <ul style="list-style-type: none"> Max height 1.8m Except- On corner of collector to have max height of 1m for sightlines Other boundaries <ul style="list-style-type: none"> Max height 1.8m 	Standard 6.1.5 Fencing Plan Applies	HDP Provision Amended A revised, bespoke fencing plan has been introduced for the site. This approach allows CDL to construct specified fence types, while enabling build partners to complete fencing on individual lots as appropriate. The plan includes a variety of fencing types not currently addressed under the existing HDP fencing rules, providing greater design flexibility and site responsiveness to meet contemporary urban design principles.
8.2.5L Traffic Generation	Must not exceed threshold limits.	N/A This has not been included in the RDF.	HDP Provision Excluded – n/a Traffic has been managed through the Substantive Application and provision in the RDF to address this rule was not considered necessary.

HDC Havelock North General Residential Zone		Arataki Project Lot Type 1 – Residential Development Framework	
HDP Rule	HDP Requirement	RDF Standard	Comment
8.2.5M Traffic sightlines, parking, access, and loading	Activities shall comply with the provisions of Section 26.1 of the OHDP on Transport and Parking	Standard 6.1.1 Refer to separate assessment in Table below.	HDP Provision Amended Refer to separate assessment in Table below.
8.2.5N Noise	Activities shall comply with the provisions of Section 25.1 of the OHDP on Noise	Standard 6.1.3 Refer to separate assessment in Table below.	HDP Provision Amended Refer to separate assessment in Table below.
8.2.5O Light and Glare	External lighting should be shaded or directed away from adjoining residential dwellings or roads. Less than 8 lux spill measured at a height of 1.5m above the ground at the boundary of the site.	This has not been included in the RDF.	Not provided for Light & Glare has been managed through the Substantive Application and provision in the RDF to address this rule was not considered necessary.

Commented [AS2]: Including a light standard would ensure that development that may occur in future will not create issues of light spill for neighbours or roads / traffic. I think this should be included

2. Comparison of Lot Type 2 with Medium Density Residential Zone

HDC Havelock North Residential Environment		Arataki Lot Type 2 – Residential Design Framework	
HDP Rule	HDP Requirement	RDF Standard	Comment
Rule Table			
MRZ-R2	Residential Unit (permitted achieving compliance): A: For sites less than 500m ² - 1 principal residential unit permitted (two or more restricted discretionary) B: For sites 500m ² or more- not more than 2 residential units. C. Development of 3-15 residential units restricted discretionary	Section 4.0 One residential dwelling per lot is provided for.	HDP Provision Adopted Resource Consent has been sought through the Substantive Application to allow one residential dwelling per lot.
Performance Standards			
MRZ-S1 Height – Buildings and Structures (excluding fences and standalone walls)	10m + 1m (11m total)	Standard 6.3.1 Building height must not exceed a maximum of 8m except that 50 per cent of a building's roof in elevation, measured vertically from the junction between wall and roof, may exceed this height by 1m, where the entire roof slopes 15 degrees or more.	HDP Provision Amended A maximum building height of 8m, consistent with the HDC HNGRZ standards, is proposed. An additional 1m allowance for roof form is provided to enable two-storey development on narrower sites, supporting flexibility in built form while maintaining overall height limits. The lower height limit is proposed to better align with the established suburban character on the western side of Arataki Road.
MRZ-S2 Fences and standalone walls	<ul style="list-style-type: none"> 1.2m where the fence is located between the residential unit and the front boundary of the site or any private road, access lot or right of way that provides legal access to the site; or 	Standard 6.1.5 Fencing Plan Applies	HDP Provision Amended A revised, bespoke fencing plan has been introduced for the site. This approach allows CDL to construct specified fence types, while enabling build partners to complete fencing on individual lots as appropriate. The plan includes a variety of

HDC Havelock North Residential Environment		Arataki Lot Type 2 – Residential Design Framework	
HDP Rule	HDP Requirement	RDF Standard	Comment
	<ul style="list-style-type: none"> 1.2m where a site boundary adjoins an open space zone Except that the following maximum height applies in these circumstances: i. 1.5m if the fence is able to be seen through in the manner of a picket, trellis, or steel pool fence construction. ii. 1.8m for all others. 		fencing types not currently addressed under the existing fencing rules, providing greater design flexibility and site responsiveness.
MRZ-S3 Height in relation to boundary	3m + The angle of such recession planes shall be 45° for all side and rear boundaries facing the southern half of a compass and 55° for all front boundaries and all boundaries facing the northern half of the compass	<p>Standard 6.3.2</p> <p>On any boundary (excluding the road or front boundary) of a site, buildings shall be contained within a building envelope constructed by recession planes from points 3m above the existing ground level. The angle of such recession planes shall be 45° for all boundaries.</p>	<p>HDP Provision Amended</p> <p>The minor amendment to remove the 55-degree front boundary requirement was introduced to align with the Lot Type 1 HTB provisions, thereby promoting a consistent and cohesive built character throughout the development.</p>
MRZ-S4 Garages and accessory buildings	Garages or accessory buildings on sites that front a public road and that form part of a single storey residential building shall occupy not more than 50% of the width of the front elevation of that residential building.	<p>Standard 6.3.5</p> <ul style="list-style-type: none"> All garage doors must be set back a minimum of 5m from any front boundary. Garages on sites that front a public road or JOAL, and that form part of a single-storey residential building, shall occupy a maximum of 50% of the width of the 	<p>HDP Provision Amended</p> <p>These requirements are primarily based on the existing HDC standards. Additional provisions have been introduced to address specific site conditions, such as reduced lot widths and the presence of JOALs (Jointly Owned Access Lots). This approach is intended to enhance streetscape amenity by encouraging garage setbacks and creating less visually dominant frontages.</p> <p>The standard does not apply to garages which form part of a two-storey residential building.</p>

HDC Havelock North Residential Environment		Arataki Lot Type 2 – Residential Design Framework	
HDP Rule	HDP Requirement	RDF Standard	Comment
		<p>front elevation of that residential building.</p> <ul style="list-style-type: none"> Garages on sites that front a public road or JOAL; that form part of a single-storey residential building; and which occupy more than 50% and up to a maximum of 60% of the width of the front elevation of that residential building Must have a minimum setback of 2m from the rest of the building. <p>Note: This standard does not apply to garages which form part of a two-storey residential building.</p>	
MRZ-S5 Setbacks	Front boundary: 3m Side and rear boundary: 1m	<p>Standard 6.3.4</p> <ul style="list-style-type: none"> Front boundary: 3m Side and rear boundary: 1m 	HDP Provision Adopted
MRZ-S6 Building Coverage	Maximum 50%	<p>Standard 6.3.3</p> <ul style="list-style-type: none"> Maximum 50% 	HDP Provision Adopted

Commented [AS3]: This is quite a complex rule - is it really necessary. If so may need a diagram to explain

HDC Havelock North Residential Environment		Arataki Lot Type 2 – Residential Design Framework	
HDP Rule	HDP Requirement	RDF Standard	Comment
MRZ-S7 Outdoor living space	<p>230m² at ground floor with minimum 34m dimension.</p> <p>8m² above ground floor with minimum 1.8m dimension.</p> <p><u>All outdoor living spaces must be accessible from the main living area of the residential unit; and</u></p> <p><u>Where the outdoor living space is provided at ground level and is located south of any building located on the same site, the southern boundary of that space must be separated from any wall or building by at least 2m + 0.9(h), where (h) is the height of the wall or buildings as shown in the Figure below. Note for the purpose of this standard, south is defined as between 135 and 225 degrees.</u></p> <p><u>All ground floor outdoor living spaces must be clear of buildings, parking spaces, servicing and manoeuvring areas</u></p>	<p>Standard 6.3.6</p> <ul style="list-style-type: none"> Each Principal Residential Dwelling shall have an Outdoor Living Space which shall have a minimum area of 30m² and: Be directly accessible from the <u>main living area of the</u> Principal Residential Dwelling; Has no dimension less than 4m; <u>Be located north of east or west (or include requirements for south facing spaces in current HDP rule)</u> Has a gradient not exceeding 1 in 20; and Must be unobstructed by buildings, car parking areas, vehicle maneuvering areas or notional garages. 	<p>HDP Provision Amended</p> <p>Based on consultation with HDC, the outdoor living spaces of each lot have been increased to ensure that adequate on-site amenity can be achieved reflective of the character of this development, essentially achieving a hybrid outcome between the HNGRZ and MRZ standards.</p>
MRZ-S8 Landscaped Areas	Minimum 20%	<p>Standard 6.3.7</p> <ul style="list-style-type: none"> Minimum 20% 	HDP Provision Adopted

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HDC Havelock North Residential Environment		Arataki Lot Type 2 – Residential Design Framework	
HDP Rule	HDP Requirement	RDF Standard	Comment
MRZ-S9 Windows and Connection to Street / Road	Units facing the road boundary or legal access: 20% façade glazing on front boundary. Visible front door & main pedestrian entrance. A kitchen, living or dining room with glazing facing the front boundary or legal access.	N/A This has not been included in the RDF.	HDP Provision Excluded Project team decision made to exclude this standard from consideration. It is hard to achieve in practice particularly on southern elevations. The preference is to rely on the Section 5.0 Design Outcomes which talk to street activation and articulation.
MRZ-S10 Outlook Space	Principal living room: 4m depth x 4m width All other habitable rooms: 1m depth x 1m width	Standard 6.3.8 Principal living room: 4m depth x 4m width All other habitable rooms: 1m depth x 1m width	HDP Provision Adopted
MRZ-S11 Variety in building design and visual appearance	Where there are more than two adjoining or adjacent residential units, including apartment buildings or comprehensive complexes that front a public road or legal access variation in the front facade design of the buildings shall be achieved using at least two of the following techniques: <ul style="list-style-type: none"> • Roof form; • Front facade fenestration (window and door openings); • Exterior cladding materials or detailing (cladding can be the same but used in a different way, i.e. on different parts of the building or to emphasise features); • Ancillary architectural elements such as a porch, covered veranda, a pergola over a door opening, window shrouds around the front facade windows, 	N/A This has not been included in the RDF.	HDP Provision Excluded – n/a Section 4.0 Permitted activities only provides for one dwelling per site. No adjoining or adjacent residential units or apartments are consented by the Substantive Application. In any case, the Section 5.0 Design Outcomes will guide the intended built form and be further reviewed by CDL and HDC to achieve a built character that aligns with the existing and future environment.

Commented [AS4]: This is an important standard to create connection to the streetscape for passive surveillance and safety reasons. It also assist to provide visual interest which enhances the character and amenity of the streetscape. It is simple to administer.

HDC Havelock North Residential Environment		Arataki Lot Type 2 – Residential Design Framework	
HDP Rule	HDP Requirement	RDF Standard	Comment
	screens, or louvres incorporated into the front facade design of the residential unit.		
MRZ-S12 Stormwater Management	Peak stormwater runoff from site shall not exceed standards/ values.	Standard 6.3.10 <ul style="list-style-type: none"> Impervious areas must not exceed 60% of the net site area Standard 6.3.11 <ul style="list-style-type: none"> Roofs must be constructed of inert materials (such as pre-coated steel, concrete tile, clay tile, or slate), or be painted/coated with non-metal-based, non-toxic finishes. 	HDP Provision Amended An amended stormwater standard is proposed to reflect the requirements of the Arataki Project Stormwater Management Plan. The intent of the amended standard is to ensure that peak stormwater runoff is controlled (same purpose as the existing HDP rule).
MRZ-S13 Roading Infrastructure / Vehicle Access	Activities shall comply with the provisions of Section 26.1 of the OHDP on Transport and Parking	Standard 6.1.1	HDP Provision Amended Refer to separate assessment in Table below.

HDC Havelock North Residential Environment		Arataki Lot Type 2 – Residential Design Framework	
HDP Rule	HDP Requirement	RDF Standard	Comment
		Refer to separate assessment in Table below.	

3. Comparison Against Subdivision and Land Development Rules

HDC Havelock North Residential Environment		Arataki – Residential Design Framework	
HDP Rule	HDP Requirement	RDF Standard	Comment
30.1.6 Subdivision Site Standards and Terms		Section 4.0 Consented Activities	
30.1.6A General site standards	General Residential: 350m ² MDRZ to create one or more vacant allotments: 250m ²	Section 4.0 Consented Activities: <ul style="list-style-type: none"> Lot Type 1 minimum lot size 400m² Lot Type 2 minimum lot size 300m² 	Proposed Lot Types site sizes to be consented by the Substantive Application are reflective of their base zoning site sizes

4. Comparison Against Transport and Parking Rules

HDC Havelock North Residential Environment		Arataki All Lot Types – Residential Design Framework	
HDP Rule	HDP Requirement	RDF Standard	Comment
26.1.6 General Performance Standards and Terms		Section 6.1.1 Transport	
26.1.6A Access	<p>1 vehicle crossing per property.</p> <p>Where a property is bordered by 2 or more roads the vehicle access to the property shall be from the lower category road.</p> <p>Minimum legal widths:</p> <ul style="list-style-type: none"> Urban zone: 3m-6m Rural zone: 4m-9m <p>Maximum width of vehicle crossing:</p> <ul style="list-style-type: none"> Urban zone: 4.8m-6m Rural zone: nil. 	<p>Standard 6.1.1.1</p> <ul style="list-style-type: none"> One vehicle crossing per site. Access shall be from the lower order road where multiple road frontages exist on a site. Legal access width shall be 3.0m to 4.8m wide. Maximum crossing gradient shall be 20%. 	HDP Provisions Adopted
	<p>Distance of Vehicle Accesses from Road Intersections.</p> <p>Residential zone:</p> <ul style="list-style-type: none"> min. 15m or the extent of the property boundary (whichever is least) from any Access Road intersection. Where there are two adjacent accesses, vehicle crossings shall be offset from the legal property boundary (side boundary) by 1.5 metres. Vehicle access to any property shall not be sited within 30 metres of an intersection of a State Highway. <p>Rural zone:</p>	<p>Standard 6.1.1.2</p> <ul style="list-style-type: none"> The distance that a vehicle access to any property may be sited from any Access Road intersection shall be a minimum of 15m, or the extent of the site boundary, whichever is the least. Vehicle accesses must be separated at least 1.5m from any vehicle access on an adjoining property. Note 1: Lots 4, 11, 14, 27, 30, 54, 60, 90 and 98 will have accesses closer to the intersection than 15m, with a minimum distance of 8m allowed. 	<p>HDP Provisions Amended</p> <p>All provisions adopted, with the exception that several corner lots will obtain approval through the Substantive Application (supported by an ITA assessment) for a vehicle access to be closer to the intersection than 15m due to the alignment of the lots.</p>

HDC Havelock North Residential Environment		Arataki All Lot Types – Residential Design Framework	
HDP Rule	HDP Requirement	RDF Standard	Comment
	<ul style="list-style-type: none"> Vehicle access to any property shall be sited a minimum of 100m. 		
26.1.6D Parking	<p>On-site parking: The district plan no longer contains provisions that require on-site vehicle parking.</p> <p>Design and Construction of Parking Areas: 3m x 5m</p>	<p>Standard 6.1.1.3</p> <ul style="list-style-type: none"> No minimum or maximum parking requirements. Parking spaces shall have a minimum internal dimension of 3.0 m (width) by 5.0 m (length). 	HDP Provisions Adopted
26.1.7 Specific Performance Standards and Terms			
26.1.7A Access	Vehicle standing bay: In all residential zones- 5m vehicle standing bay to all garages and carports.	Standard 6.2.5 and Standard 6.3.5 Relationship of Garages and Accessory Buildings to the Street	<p>HDP Provisions Amended</p> <p>This provision will be achieved through the garage setback rules.</p>
26.1.7B Infrastructure to Support Alternative Transport Modes	Bicycle Spaces: 1 bicycle park per 5 carpark spaces.	<p>N/A</p> <p>Not included in the RDF</p>	<p>HDP Provisions Excluded – n/a</p> <p>Only single lot development is proposed in this development and therefore this rule is not applicable.</p>

5. Comparison Against Noise Rules

HDC Havelock North Residential Environment			Arataki All Lot Types – Residential Design Framework																					
HDP Rule	HDP Requirement		RDF Standard	Comment																				
25.1.6 General Performance Standards and Terms			Standard 6.1.3 Noise																					
Standard 25.1.6C	<div><div><div>The following noise limits shall not be exceeded at any point beyond the site boundary:</div><table><thead><tr><th>Control Hours</th><th>Noise Level</th></tr></thead><tbody><tr><td>0700 to 1900 hours</td><td>50 dB LAeq (15 min)</td></tr><tr><td>1900 to 2200 hours</td><td>45 dB LAeq (15 min)</td></tr><tr><td>2200 to 0700 hours the following day</td><td>40 dB LAeq (15 min)</td></tr><tr><td>2200 to 0700 hours the following day</td><td>70 dB LAFmax</td></tr></tbody></table></div></div>		Control Hours	Noise Level	0700 to 1900 hours	50 dB LAeq (15 min)	1900 to 2200 hours	45 dB LAeq (15 min)	2200 to 0700 hours the following day	40 dB LAeq (15 min)	2200 to 0700 hours the following day	70 dB LAFmax	<div><div>Standard 6.1.3.1</div><div><div>Noise shall be measured in accordance with New Zealand Standard 6801:2008 Acoustics - Measurement of Environmental Sound and assessed in accordance with New Zealand Standard 6802:2008 Acoustics - Environmental Noise.</div><div>The following noise limits shall not be exceeded at any point beyond the site boundary:</div><table><thead><tr><th>Control Hours</th><th>Noise Level</th></tr></thead><tbody><tr><td>0700 to 1900 hours</td><td>50 dB LAeq (15 min)</td></tr><tr><td>1900 to 2200 hours</td><td>45 dB LAeq (15 min)</td></tr><tr><td>2200 to 0700 hours the following day</td><td>40 dB LAeq (15 min)</td></tr><tr><td>2200 to 0700 hours the following day</td><td>70 dB LAFmax</td></tr></tbody></table></div></div>	Control Hours	Noise Level	0700 to 1900 hours	50 dB LAeq (15 min)	1900 to 2200 hours	45 dB LAeq (15 min)	2200 to 0700 hours the following day	40 dB LAeq (15 min)	2200 to 0700 hours the following day	70 dB LAFmax	<div><div>HDP Provisions Amended</div><div>Noise generation adopted from HDP. Added in rule to assess how noise should be measured in line with best practice.</div></div>
Control Hours	Noise Level																							
0700 to 1900 hours	50 dB LAeq (15 min)																							
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2200 to 0700 hours the following day	70 dB LAFmax																							
Standard 25.1.6I	<div><div>(a) Any noise arising from construction, <u>maintenance</u> and demolition work in any Zone shall comply with NZS6803:1999 Acoustics - Construction Noise.</div><div>(b) Construction noise shall be measured and assessed in accordance with NZS6803:1999 Acoustics - Construction Noise.</div></div>		<div><div>Standard 6.1.3.2</div><div><div>Any noise arising from construction, maintenance and demolition work shall comply with NZS6803:1999 Acoustics - Construction Noise</div><div>Construction noise shall be measured and assessed in accordance with NZS6803:1999 Acoustics - Construction Noise</div></div></div>	<div><div>HDP Provisions Adopted</div></div>																				

6. Comparison Against Earthworks Rules

HDC Havelock North Residential Environment		Arataki All Lot Types – Residential Design Framework	
HDP Rule	HDP Requirement	RDF Standard	Comment
27.1.6 General Performance Standards and Terms		Standard 6.1.2 Earthworks	
27.1.6A Extent of Earthworks	<ul style="list-style-type: none"> Havelock North residential zone: 50m³ per site. Plains production zone: 100m³ per Ha of site 	Standard 6.1.2.1 Maximum volume of 50m ³ per site.	HDP Provisions Adopted
27.1.6C Slope	Rural: EW shall not be undertaken on land with a slope of greater than 45° above horizontal. Residential: EW shall not be undertaken on land with a slope of greater than 22° above horizontal.	N/A Not included in the RDF	HDP Provisions Excluded – n/a The bulk earthworks undertaken as part of the Substantive Application will ensure no earthworks of this nature are required.
27.1.6D Excavation	No EW shall have a cut/ fill face of overall vertical extent greater than 5m (rural) & 2.5m (urban)	Standard 6.1.2.2 <ul style="list-style-type: none"> Earthworks shall not exceed a cut/ fill face of overall vertical extent greater than 2.5m. No excavations shall be of greater than 1m vertical extent of cut/fill face, where the top of the excavation is within 10 metres of buildings or surcharge loads. 	HDP Provisions Adopted
27.1.6E Noise	Comply with provisions of Section 25.1 Noise.	Standard 6.1.3 Noise <ul style="list-style-type: none"> Noise shall be measured in accordance with New Zealand Standard 6801:2008 Acoustics - Measurement of Environmental Sound and assessed in accordance with New Zealand Standard 6802:2008 Acoustics - Environmental Noise. The following noise limits shall not be exceeded at any point beyond the site boundary: 	HDP Provisions Adopted

HDC Havelock North Residential Environment		Arataki All Lot Types – Residential Design Framework	
HDP Rule	HDP Requirement	RDF Standard	Comment
		<p>Construction Activities</p> <ul style="list-style-type: none"> Any noise arising from construction, maintenance and demolition work shall comply with NZS6803:1999 Acoustics - Construction Noise. Construction noise shall be measured and assessed in accordance with NZS6803:1999 Acoustics - Construction Noise 	
27.1.6G Location of fill	<p>Except when associated with fill faces on rural farm tracks, any fill of over:</p> <p>(a) 100m³ volume; or</p> <p>(b) 0.5 metres total depth</p> <p>Shall only be permitted if a site plan is provided to Hastings District Council showing the location and extent of the fill.</p>	<p>Standard 6.1.2.2</p> <p>Any fill over 100m³ volume or 0.5m total depth shall only be permitted if a site plan is provided to the Hastings District Council showing the location of the fill.</p>	HDP Provisions Adopted

7. Comparison Against Advertising Devices & Signs Rules

HDC Havelock North Residential Environment		Arataki All Lot Types – Residential Design Framework	
HDP Rule	HDP Requirement	RDF Standard	Comment
Table 28.1.5 ADS1	Non illuminated advertising devices	Section 4.0 Consented Activities <ul style="list-style-type: none"> Non illuminated advertising devices 	HDP Provisions Adopted
28.1.6 General Performance Standards and Terms	Advertising devices and signs within the Arataki Project development shall comply with the provisions of Chapter 28.1.6 – General Performance Standards and Terms of the HDP as they apply to the Havelock North General Residential Zone, including any updated provisions should this section reference change in the future.	Standard 6.1.4 Adopts Chapter 28.1.6 provisions	HDP Provisions Adopted



RESIDENTIAL DEVELOPMENT FRAMEWORK

Arataki Project

Arataki Road, Havelock North
CDL Land New Zealand Limited
14/07/2025
Final Draft



Document Control

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1.0 INTRODUCTION

The Arataki Project involves the development of 171 residential lots with an average lot size of 450m² on land at the eastern extent of Havelock North's urban area in Hawkes Bay (*Figure 1*) (**site**). The site is currently zoned Plains Production zone in the Hastings District Plan (**HDP**). This zoning does not provide for urban residential development without a resource consent.

This Residential Development Framework (**RDF**) document establishes a set of **Design Outcomes** and **Development Standards** to enable urban residential development on the Arataki Project site to support the resource consent application for subdivision. The RDF provides a planning framework to enable future residential development without the need for a resource consent and will be used by house builders/owners to inform design. Future residential development on the site should adhere to the requirements of the RDF, and compliance with the RDF will be assessed by Hastings District Council (**HDC**) through the Building Consent process.

1.1. Overview of the RDF

The RDF document establishes a set of urban residential **Design Outcomes** and **Development Standards** that will guide the design and construction of future residential development on each lot. The RDF will:

- Effectively **replace** the underlying HDP Plains Production zone standards.
- Outline **Design Outcomes** to inform and guide residential development.
- Establish **Development Standards** which set out specific residential standards that need to be achieved on each allotment.
- Establish two distinct **Lot Types** to achieve site specific Design Outcomes and Development Standards within identified areas in the development.
- Provide **conceptual examples** to demonstrate how development could comply with the Development Standards.
- Set out guidance on how to **implement** the RDF for all users.
- Confirm the **consented activities** that can be undertaken on each lot.
- Adopt HDP **definitions** to aid interpretation of the RDF.

Overall, the proposed RDF aims to achieve high-quality urban residential outcomes by managing the built form, streetscape integration, adjoining interfaces, and overall neighbourhood character.

1.2. Development of the RDF

The RDF has been created specifically for the Arataki Project site to support appropriate urban design and planning outcomes. The following key considerations informed the development of the RDF:

- Where relevant, provisions from the Havelock North General Residential Zone (**HNGRZ**) and the Medium Density Residential Standards (**MDRS**) of the Hastings District Plan (**HDP**) have been adopted to align the existing and planned development pattern and character of Havelock North.
- General Transport, Earthworks, Signs and Noise standards applicable to residential zones have been integrated into the RDF to provide consistency with the HDP district-wide requirements.

- Several site-specific design and mitigation requirements identified as part of the comprehensive design process for the Arataki Project have informed the design outcomes and standards in the RDF. This led to the identification of two distinct Lot Types with bespoke standards identified for each.
- Lot testing was completed as part of the development of the RDF to test the proposed Development Standards and demonstrate the anticipated built outcomes for the site across the two different Lot Types.
- HDP definitions provide context and guidance for the interpretation of the RDF.

1.3. Anticipated Outcomes

The RDF provides a robust and clear planning framework to guide and inform residential development on the Arataki Project site. The desired quality of built form will be established through the application of Design Outcomes, Development Standards, and a clear implementation process.



Figure 1: Arataki Project Site Location

2.0 IMPLEMENTATION

A consent notice applies to each residential lot within the Arataki Project site and requires all residential development to comply with the RDF. In combination with resource consent (LUC-XXX and SUB-XXX), the RDF effectively replaces the underlying Plain Production zone provisions of the HDP to facilitate urban residential development.

The RDF will be used by HDC, future owners and build partners to ensure that all new residential development aligns with the desired neighbourhood character, built form and urban design outcomes for the Arataki Project.

2.1. Structure of the RDF

The RDF contains three distinct parts:

- a. **Permitted Activities** (Section 4) confirmation of the activities that may be undertaken on a Lot.
- b. **Design Outcomes** (Section 5) to inform and guide residential design of each site.
- c. **Development Standards** (Section 6) standards that all residential development must comply with on each site.

The Permitted Activities confirm the activities that can occur without additional approvals.

The Design Outcomes are **qualitative** and guide and inform the **concept design** of the development.

The Development Standards set out **quantitative** standards that all residential development **must comply with**. This includes standards such as building coverage, height to boundary and outdoor living space requirements.

2.2. Application of the RDF

When designing a new home, future owners / build partners must refer to Sections 3 to 6 of the RDF. These sections set out the requirements your design must meet to ensure it complies with the RDF.

Where RDF requirements are not met, refer to the non-compliant development approval process in Section 2.5.2 of this RDF.

2.2.1. Lot Type

Two Lot Types are proposed across the development – Lot Type 1 and Lot Type 2. The **Lot Type Plan** in Section 3 identifies which Lot Type applies to each lot within the Arataki Project development. Identify which Lot Type applies to each lot, as this will determine which Design Standards in Section 6 apply.

2.2.2. Consented Activities

Section 4 outlines the **Consented Activities** that are enabled for all lots within the Arataki Project development. Only residential activity, residential buildings, home occupations and showhomes and associated signage are consented activities (along with associated standards) on all Lot Types within the Arataki Project development.

2.2.3. Design Outcomes

The **Design Outcomes** in Section 5 are used to inform the overall design approach of the site and development. These should be referenced when developing the concept design for each lot to ensure that the proposed development aligns with the character, built form and design outcomes of the Arataki Project development.

2.2.4. Development Standards

Section 6 sets out the **Development Standards** that all residential development must comply with. Each standard includes a written **Purpose**, explaining the rationale for its inclusion, and a corresponding **Standard(s)** that defines the specific quantitative outcome(s) that must be achieved.

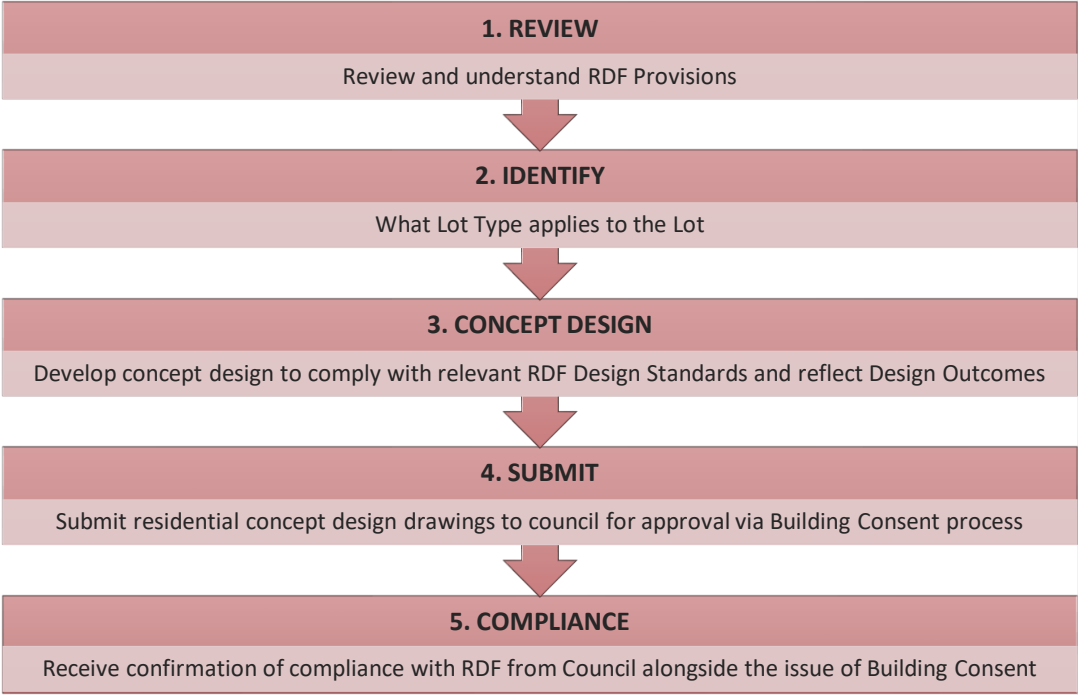
- Section 6.1 outlines **General Standards** that apply to all lots. These relate to transport, earthworks, noise and fencing requirements. Each lot must be considered against Section 6.1.
- Sections 6.2 and 6.3 set out **Lot Type Specific Standards** that apply to the two unique Lot Types identified on the Lot Type Plan (*Figure 2*) in Section 3. Section 6.2 applies only to sites identified as Lot Type 1 and Section 6.3 applies only to sites identified as Lot Type 2.
- Several **example compliance plans** are provided in **Appendix 1** to illustrate how the standards can be applied in practice.

2.2.5. Definitions

The **Chapter 33.1 – Definitions** of the HDP should be used to assist with the interpretation of the RDF.

2.3. Residential Building Design Process

To commence the development of a lot, the following process typically applies:



2.4. Required Documentation

Information must be submitted to HDC to demonstrate compliance with the RDF. In addition to the standard drawings required for a Building Consent application, the following details are required:

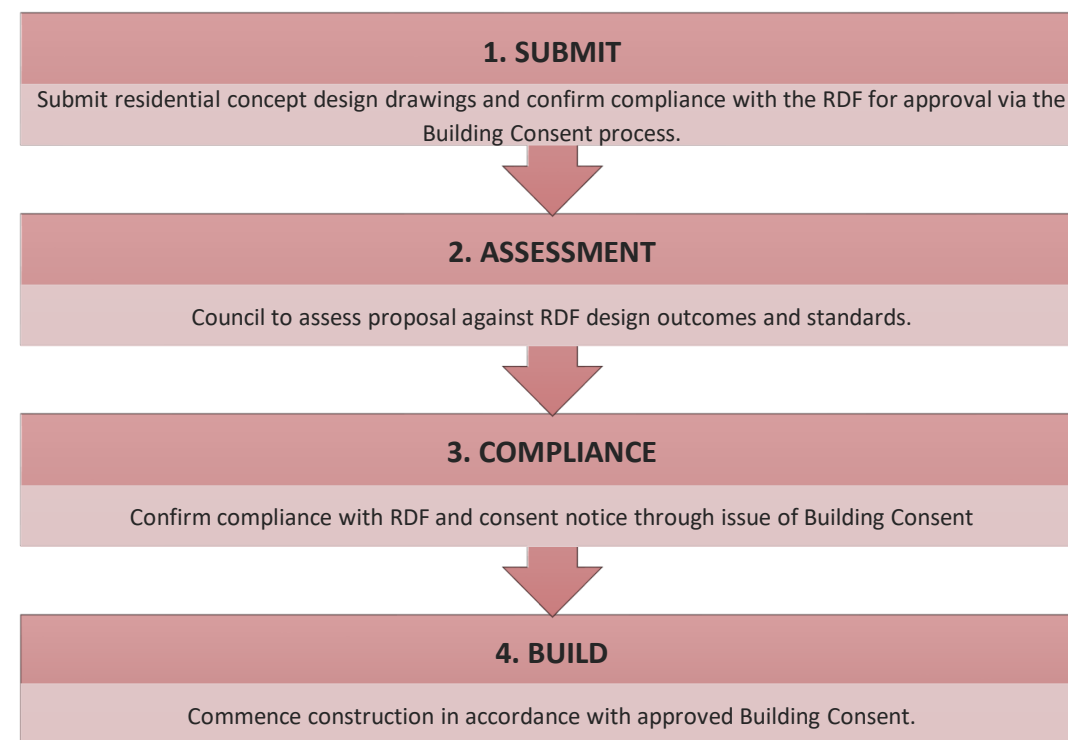
- A site plan showing compliance with the relevant RDF Development Standards, including outlook space, outdoor living area, height to boundary, parking and vehicle crossings.
- Details of exterior colours, materials and finishes.
- Details of fencing type, location, height, and construction materials.

2.5. Council Approval Process

Once the residential concept design is completed and information prepared in accordance with the above, the following approval process will apply:

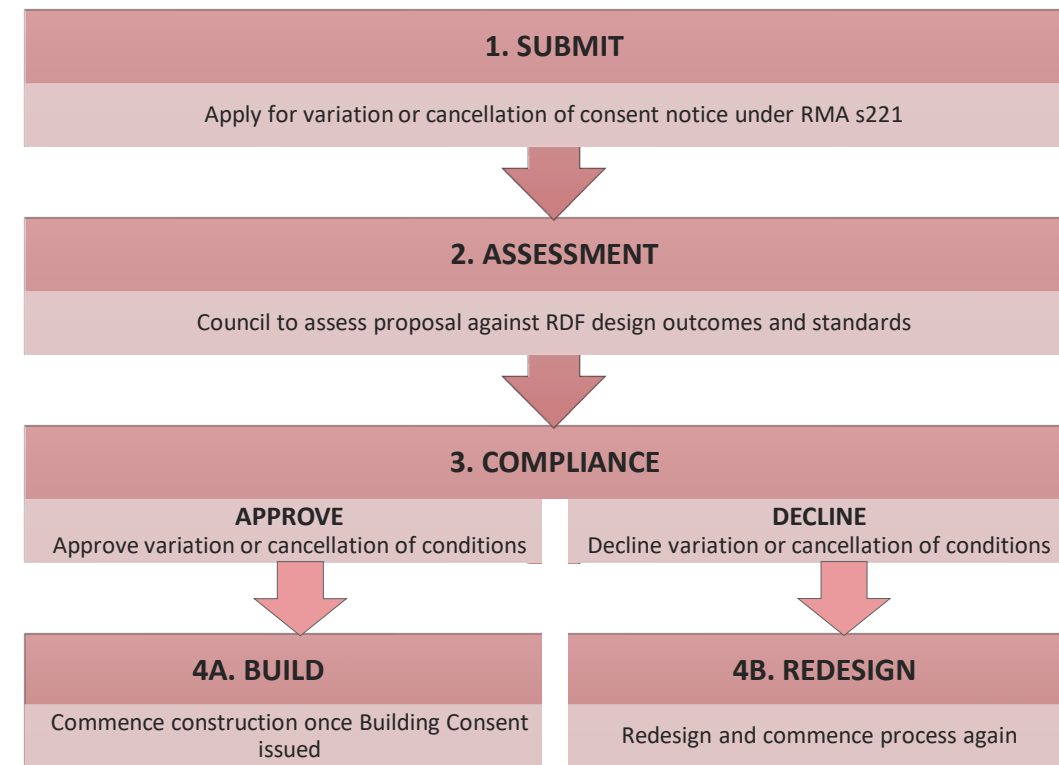
2.5.1. Compliant Development

For a development that **complies** with the RDF standards, the following process will apply:



2.5.2. Non-Compliant Development

For a development that **does not comply** with the RDF standard(s), the following process will apply:



2.6. Future Zoning Transition

Should the land be rezoned for urban residential zoning in the future, the new zoning provisions of the HDP will replace the RDF document and the RDF will no longer apply. This transition will be recorded in a consent notice.

3.0 RESIDENTIAL LOT TYPES

There are two unique “Lot Types” identified on the Lot Type Plan (Figure 2). The identification of different Lot Types enables site specific design within specified areas of the wider development.

- **Lot Type 1:** applies to the majority of sites in the development. Site sizes are 400m² and above. Lot Type 1 is required to comply with Section 6.2.
- **Lot Type 2:** applies to a small number of sites located internally within the development. These sites are sized below 400m² and situated in areas where a more compact built form can be appropriately integrated into the development. Lot Type 2 is required to comply with Section 6.3.



Figure 2: Lot Type Plan

4.0 CONSENTED ACTIVITIES

The following activities may be undertaken on all residential lots without the need for any resource consents under the HDP. This does not negate the need for any approvals under the Building Act or any other legislation:

Table 1: Permitted Activity Table

Activity	Activity Status	Rationale for Inclusion
Residential Activity	Permitted	Enables residential activities to be carried out on each site.
Residential Building	Permitted	Enables one residential dwelling to be established per site in accordance with the RDF.
Supplementary Residential Buildings	Permitted	Enables residential accessory building(s) to be established, such as detached garages or garden sheds
Home Occupation	Permitted	Enables small-scale professions or services to be carried out by residents within their households, including home-based education and care services.
Showhome	Permitted	This will enable CDL or its build partners to establish showhomes within the Arataki development. This is likely to occur during the development's early sales period.
Earthworks	Permitted	Enable earthworks to be undertaken for the establishment of a residential dwelling and ancillary works, including retaining walls.
One external advertising device per site associated with a home occupation or showhome	Permitted	Enables home occupations and showhomes to advertise their services in line with the existing residential zone signage provisions of the HDP.
Network Utility Asset Identification signs and Health and Safety signs.	Permitted	Enables asset and safety signage to be erected to support maintenance and public safety.

Commented [AS1]: The HDP definition of supplementary residential building is the same as a minor residential unit it doesn't refer to accessory buildings such as garages or garden sheds. Is the RDF proposing a different definition of supplementary building to the HDP?

Definitions for each activity listed in Table 1 are set out in the HDP and must be referenced to ensure full compliance with *Table 1* above.

Any activity proposed on a lot that is not expressly listed as a consented activity within *Table 1* will be subject to the relevant provisions of the HDP and may require additional approvals.

5.0 DESIGN OUTCOMES

The **Design Outcomes** are intended to inform, rather than dictate the exact design, style and/or layout of each lot and assist in creating a well-built urban environment. Diagrams and images are used to convey design principles or examples of potential design solutions. The intent is to enable flexibility in design, encourage diversity of design solutions, and produce a cohesive quality of built form.

5.1. Variety

- Encourage a mix of building forms, heights, setbacks, and architectural features to avoid uniformity across lots.
- Promote diverse façades using varied materials, colours, and articulation to create visually interesting streetscapes.
- Avoid repetition of identical housing designs. Instead, support different roof forms, architectural features, fenestration styles, and entrance treatments within the development.

5.2. Character

- Incorporate high-quality, durable materials and detailing to ensure a cohesive yet distinctive built form.
- Support the use of neutral colour palettes complemented by feature elements in contrasting tones to enhance visual identity.
- Encourage architectural elements such as glazing, gables, bay windows, pergolas, and balconies to contribute to the local character and break up building bulk.
- Ensure front façades promote activation and entrances face the street, with clear entrances and active edges that contribute positively to the public realm.

5.3. Public & Private Amenity

- Encourage orientation of buildings towards the street or public spaces for passive surveillance and street activation.
- Outdoor living spaces should be private, well-proportioned, and directly accessible from main living areas.
- Landscaping should enhance privacy, soften built forms, and include front yard planting if located towards the street.
- Provide a visual softening to the rural urban interface with appropriate buffer planting and building setbacks to retain a predominantly landscaped edge treatment including enabling partial views from the development to the broader rural landscape where possible/appropriate.
- Fencing treatments provide for passive surveillance opportunities of public places along with appropriate privacy, security and screening of functional needs.

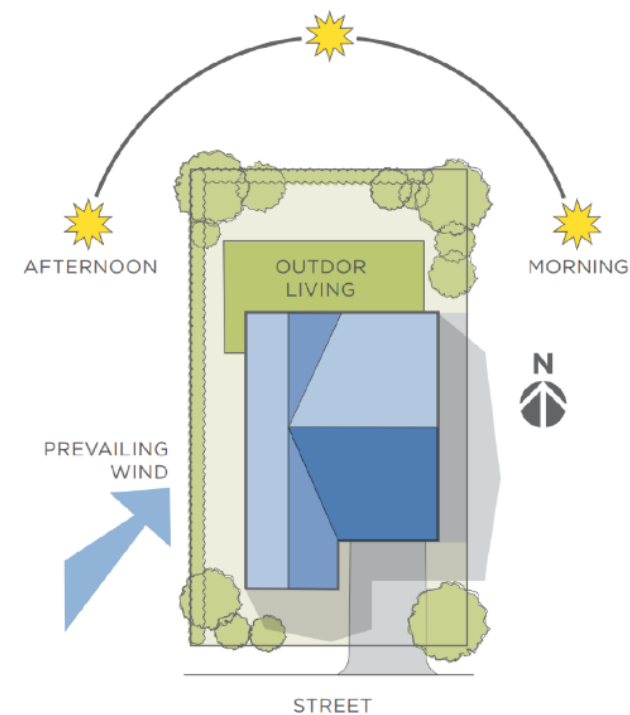


Figure 3: Site analysis showing typical lot layout, solar access, and orientation of outdoor living space.

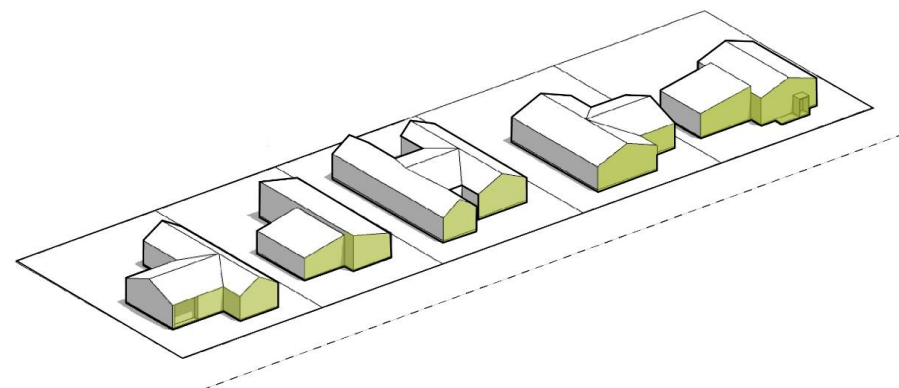


Figure 4: Street frontage can include a variety of building facades and design articulation to strengthen neighbourhood character.

6.0 DEVELOPMENT STANDARDS

This section establishes mandatory **Development Standards** that residential development must comply with. Section 6.1 applies to all sites, Section 6.2 applies to sites identified as Lot Type 1, and Section 6.3 applies to sites identified as Lot Type 2.

By setting clear requirements, particularly for elements that impact the public streetscape and visual amenity, the Development Standards ensure that the residential lots will facilitate a cohesive and attractive neighbourhood character with acceptable effects. The Development Standards support a safe and well-designed urban environment that aligns with the broader vision for the area.

6.1. General Standards

The general standards apply to all sites and must be complied with.

6.1.1. Transport

Purpose:

- Enable vehicle parking and access facilities that are effective, safe and efficient in meeting the needs of individual activities.
- Control the width and position of access points to each property to minimise the adverse effects of manoeuvring and queuing vehicles, the potential effects on pedestrian safety and the effects on streetscape amenity.

Standards:

6.1.1.1. Access Requirements

- a. One vehicle crossing per site.
- b. Access shall be from the lower order road where multiple road frontages exist on a site.
- c. Legal access width shall be 3.0m to 4.8m wide.
- d. Maximum crossing gradient shall be 20%.

6.1.1.2. Distance of Vehicle Access from Road Intersections

- a. The distance that a vehicle access to any property may be sited from any Access Road intersection shall be a minimum of 15m, or the extent of the site boundary, whichever is the least.
- b. Vehicle accesses must be separated at least 1.5m from any vehicle access on an adjoining property.

Note: Lots 4, 11, 14, 27, 30, 54, 60, 90 and 98 will have accesses closer to the intersection than 15m. In these cases, the minimum distance of a vehicle access from an intersection shall be 8m.

6.1.1.3. Car Parking

- a. No minimum or maximum parking requirements.
- b. Parking spaces shall have a minimum internal dimension of 3.0 m (width) by 5.0 m (length).

6.1.2. Earthworks

Purpose:

- The risks of soil erosion, subsidence or inundation on people and property are avoided.
- The visual amenity and character of the landscape is not reduced or compromised by earthworks activities.
- Rivers are sustainably managed, including the reduction of sedimentation into waterbodies, watercourses and riparian areas.

Standards:

6.1.2.1. Extent of Earthworks

- a. Maximum volume of 50m³ per site.

6.1.2.2. Excavation

- a. Earthworks shall not exceed a cut/ fill face of overall vertical extent greater than 2.5m.
- b. No excavations shall be of greater than 1m vertical extent of cut/fill face, where the top of the excavation is within 10 metres of buildings or surcharge loads.
- c. Any fill over 100m³ volume or 0.5m total depth shall only be permitted if a site plan is provided to the Hastings District Council showing the location of the fill.

6.1.3. Noise

Purpose:

- Control the emission levels of noise based on existing ambient noise and accepted standards for noise generation and receipt.
- Avoid exposure of residents to unacceptable levels of noise.
- Manage the interface of different land use zones to protect the aural environment of residential areas.
- Noisy construction and demolition activities will be allowed subject to restrictions to ensure the protection of the community from unreasonable noise.

Standards:

6.1.3.1. Residential, Home Occupation or Showhome Activities

- a. Noise shall be measured in accordance with New Zealand Standard 6801:2008 Acoustics - Measurement of Environmental Sound and assessed in accordance with New Zealand Standard 6802:2008 Acoustics - Environmental Noise.
- b. The following noise limits shall not be exceeded at any point beyond the site boundary:

Table 2: Noise Standards

Control Hours	Noise Level
0700 to 1900 hours	50 dB LAeq (15 min)
1900 to 2200 hours	45 dB LAeq (15 min)

Commented [AS2]: Existing HDP specific standards for these activities should also apply - hours of operation, 24 month timeframe for showhomes, home occupations limited to ⅓ of the GFA of all buildings on the site, number of persons involved in home occupation limited, only goods produced on the site shall be sold from the site etc.,

2200 to 0700 hours the following day	40 dB LAeq (15 min)
2200 to 0700 hours the following day	70 dB LAFmax

6.1.3.2. Construction Activities

- a. Any noise arising from construction, maintenance and demolition work shall comply with NZS6803:1999 Acoustics - Construction Noise.
- b. Construction noise shall be measured and assessed in accordance with NZS6803:1999 Acoustics - Construction Noise

6.1.4. Signs

Purpose:

To enable advertising devices associated with home occupations and showhomes in a manner that protects visual amenity, ensures compatibility with the surrounding residential environment, and avoids adverse effects on traffic safety.

Ensure signs for network utility asset identification and health and safety are enabled to support maintenance and safety purposes.

Standards:

- a. Advertising devices and signs within the Arataki Project development shall comply with the provisions of Chapter 28.1.6 – General Performance Standards and Terms of the HDP as they apply to the Havelock North General Residential Zone, including any updated provisions should this section reference change in the future.

6.1.5. Fencing

Purpose:

Boundary specific fencing Standards have been established to achieve the desired design outcomes within the development. The drivers include providing opportunities for passive surveillance over public places whilst balancing requirements for privacy and security needs of individual sites delivered by the following outcomes:

- Ensure passive surveillance opportunities over the street to promote public safety.
- Minimise visual dominance effects to immediate neighbours, the street or adjoining public spaces.
- Avoid a hard edge along the rural urban interface to the east of the Arataki development and create an appropriate rural/urban transition.
- Ensure fences contribute to a consistent and cohesive streetscape that does not create a sense of enclosure or visual dominance.
- Address privacy, security and functional needs for individual properties.
- Promote the safety of pedestrians and cyclists on the road or reserve

To support the achievement of the desired design outcomes and ensure consistency across the development, some external fencing has been installed by the developer (CDL) and is protected by consent notices registered on the relevant titles.

Standards:

All site boundary fences must comply with the requirements in *Table 3* and *Figure 5* below. Fencing is optional, except for external boundary fencing adjoining rural zoned and council reserve land, which is specifically required.

Table 3: Fencing Standards











Location	Identifier	Maximum Height	Construction Material	Specific Provisions
External Rural Boundary – Permeable Fence		1.8m	Minimum 50% visually permeable	n/a
External Rural Boundary – Acoustic Fence		2m	Closed boarded	Acoustic fence
External Reserve Boundary – Shaggy Range Boundary		1.8m	Minimum 50% visually permeable	50 x 100 mm square mesh (x-fence)
External Reserve Boundary – Shaggy Range Driveway		1.8m	Closed boarded	n/a
Arataki Road Boundary		1.2m	Minimum 50% visually permeable	n/a
Road Front Boundary		1.2m	Optional	n/a
Side / Rear Boundary		1.8m	Optional	<ul style="list-style-type: none">• Where the side/rear fence abuts the Arataki Road Boundary or Front Boundary: Fence must step down to a maximum 1.2m height for a minimum length of 3m.• Where the side/rear fence abuts a Corner site Boundary: Maximum 1.8m height is allowed.
Corner Site Boundary		1.2m	Optional	<ul style="list-style-type: none">• Maximum 1.2m height, with allowable increase to a maximum 1.8m height for a maximum 50% length of the site road or reserve frontage.
Retaining Walls		1.2m	Closed boarded	<ul style="list-style-type: none">• Maximum 1.2m height above a retaining wall.
Existing Residential Boundary		1.8m	Optional	<ul style="list-style-type: none">• Where an existing boundary fence is in place, no new/additional fencing is required.



Figure 5: Fencing Type Plan

6.2. Lot Type 1

These Development Standards apply to sites identified as Lot Type 1 on the Lot Type Plan (Figure 2).

6.2.1. Maximum Building Height

Purpose:

- Achieve the planned urban built character of predominantly one to two storeys.
- Minimise visual dominance effects on adjoining properties and the streetscape.
- Maintain reasonable levels of sunlight access and outlook for adjoining properties.
- Enable a consistent streetscape while allowing for variation in roof forms.

Standard:

- a. Height of buildings must not exceed a maximum of 8m.

6.2.2. Height in Relation to Boundary

Purpose:

- Maintain reasonable sunlight access and minimise overshadowing effects on adjoining properties.
- Reduce the visual dominance and bulk of buildings at site boundaries.
- Ensure visual relief between neighbouring buildings to maintain residential amenity.

Standard:

- a. On any boundary (excluding the road or front boundary) of a site, buildings shall be contained within a building envelope constructed by recession planes from points 3m above the existing ground level. The angle of such recession planes shall be 45° for all boundaries.

6.2.3. Maximum Building Coverage

Purpose:

- To manage the extent of buildings on a site to achieve the planned urban character of buildings surrounded by open space.
- Maintain a high standard of residential amenity by ensuring adequate opportunities for landscaping and outdoor living areas.

Standard:

- a. Building coverage must not exceed a maximum of 45% of the net site area.

6.2.4. Building Setbacks

Purpose:

- To establish an attractive residential streetscape character and provide sufficient space for landscaping within the front yard.

- To provide for a reasonable standard of residential amenity for adjoining sites by ensuring privacy and access to daylight.
- To enable buildings and services on the site or adjoining sites to be adequately maintained.

Standard:

- a. Buildings must be set back from front boundaries by a minimum of 3m.
- b. Buildings must be set back from all other boundaries by a minimum of 1m.

6.2.5. Relationship of Garages and Accessory Buildings to the Street

Purpose:

- Promote an active and engaging streetscape by reducing the dominance of garages and accessory buildings on the street.
- Ensure that garage placement maintains pedestrian safety through clear sightlines.
- Encourage variation in façade design to enhance visual amenity to the street.
- Opportunities for passive surveillance and promoting public safety.

Standard:

- a. All garage doors must be set back a minimum of 5m from any front boundary.
- b. Garages on sites that front a public road or JOAL and that form part of a single-storey residential building, shall occupy a maximum of 50% of the width of the front elevation of that residential building.
- c. Garages on sites that front a public road or JOAL:
- i. that form part of a single-storey residential building; and
- ii. which occupy more than 50% and up to a maximum of 60% of the width of the front elevation of that residential building must have a minimum setback of 2m from the rest of the building.

Note 1: Standards b. and c. above do not apply to Lots 19, 20, 71, 72, 121, 151, 152, and 162.

6.2.6. Outdoor Living Space

Purpose:

- To provide buildings with outdoor living space that is of a functional size and dimension, has access to sunlight, and is accessible from the dwelling.
- Maintain a balance between built form and outdoor amenity space to support the overall neighbourhood character.

Standard:

- a. Each Principal Residential Dwelling shall have an Outdoor Living Space which shall have a minimum area of 50m² and:
- i. Be directly accessible from the Principal Residential Dwelling;
- ii. Have no dimension less than 6m;
- iii. Have a gradient not exceeding 1 in 20; and

- iv. Must be unobstructed by buildings, car parking areas, vehicle manoeuvring areas or notional garages.

6.2.7. Landscaping

Purpose:

- To provide for quality living environments consistent with the planned urban built character of buildings surrounded by open space.
- To create a landscaped urban streetscape character.

Standard:

- a. The minimum landscape area must be 30% of the net site area.
- b. The 3m front boundary building setback must include a minimum of 50% landscape area.

Note: Landscape area can comprise grass.

6.2.8. Screening For Visual Amenity

Purpose:

- Maintain visual amenity to the street by screening service areas and outdoor storage.
- Support the use of landscaping as a means of softening the built form and enhancing natural amenity.

Standard:

- a. Any outdoor storage (including waste) or Outdoor Service Space shall be fully screened from adjoining sites and from the street by:
 - i. fencing or screening that complies with relevant height standards; and/ or
 - ii. landscaping.
- b. If using landscaping to achieve the above standard, the following standards shall be met:
 - i. Trees shall have a minimum height of 2m at the time of planting; and
 - ii. Shrubs shall have a minimum height of 1m at the time of planting and be able to grow to 2m in height.

6.2.9. Impervious Areas

Purpose:

- To manage the amount of stormwater runoff generated by a development particularly in relation to the capacity of the stormwater network and potential flood risks.

Standard:

- a. Impervious areas must not exceed 60 per cent of site area

6.2.10. Roofing Materials

Purpose:

- To reduce contaminants in stormwater runoff

Standard:

- a. Roofs must be constructed of inert materials (such as pre-coated steel, concrete tile, clay tile, or slate), or be painted/coated with non-metal-based, non-toxic finishes.

6.3. Lot Type 2

These Development Standards apply to sites identified as Lot Type 2 on the Lot Type Plan (Figure 2).

6.3.1. Maximum Building Height

Purpose:

- Achieve the planned urban built character of one and two storeys.
- Minimise visual dominance effects on adjoining properties and the streetscape.
- Maintain reasonable levels of sunlight access and outlook for adjoining properties.
- Enable a consistent streetscape while allowing for variation in roof forms.
- Enable efficient use of smaller sites to facilitate greater density.

Standard:

- a. Building height must not exceed a maximum of 8m except that 50 per cent of a building’s roof in elevation, measured vertically from the junction between wall and roof, may exceed this height by 1m, where the entire roof slopes 15 degrees or more.

6.3.2. Height In Relation to Boundary

Purpose:

- Maintain reasonable sunlight access and minimise overshadowing effects on adjoining properties.
- Reduce the visual dominance and bulk of buildings at site boundaries.
- Ensure visual relief between neighbouring buildings to maintain residential amenity.

Standard:

- a. On any boundary (excluding the road or front boundary) of a site, buildings shall be contained within a building envelope constructed by recession planes from points 3m above the existing ground level. The angle of such recession planes shall be 45° for all boundaries.

6.3.3. Maximum Building Coverage

Purpose:

- To manage the extent of buildings on a site to achieve the planned urban character of buildings surrounded by open space.
- Maintain a high standard of residential amenity by ensuring adequate opportunities for landscaping and outdoor living areas.

Standard:

- a. Building coverage must not exceed a maximum of 50% of the net site area.

6.3.4. Building Setbacks

Purpose:

- To establish an attractive residential streetscape character and provide sufficient space for landscaping within the front yard.
- To provide for a reasonable standard of residential amenity for adjoining sites by ensuring privacy and access to daylight.
- To enable buildings and services on the site or adjoining sites to be adequately maintained.

Standard:

- a. Buildings must be set back from front boundaries by a minimum of 3m.
- b. Buildings must be set back from all other boundaries by a minimum of 1m.

6.3.5. Relationship of Garages and Accessory Buildings to the Street

Purpose:

- Promote an active and engaging streetscape by reducing the dominance of garages and accessory buildings.
- Ensure that garage placement maintains pedestrian safety through clear sightlines.
- Encourage variation in façade design to enhance visual amenity to the street.
- Opportunities for passive surveillance and promoting public safety.

Standard:

- a. All garage doors must be set back a minimum of 5m from any front boundary.
- b. Garages on sites that front a public road or JOAL, and that form part of a single-storey residential building, shall occupy a maximum of 50% of the width of the front elevation of that residential building.
- c. Garages on sites that front a public road or JOAL:
 - i. that form part of a single-storey residential building; and
 - ii. which occupy more than 50% and up to a maximum of 60% of the width of the front elevation of that residential building

Must have a minimum setback of 2m from the rest of the building.

Note: This standard does not apply to garages which form part of a two-storey residential building.

6.3.6. Outdoor Living Space

Purpose:

- To provide buildings with outdoor living space that is of a functional size and dimension, has access to sunlight, and is accessible from the Principal Residential Dwelling.
- Maintain a balance between built form and outdoor amenity space to support the overall neighbourhood character.

Standard:

- a. Each Principal Residential Dwelling shall have an Outdoor Living Space which shall have a minimum area of 30m² and:
 - i. Be directly accessible from the main living area of the Principal Residential Dwelling;
 - ii. Has no dimension less than 4m;
 - iii. Has a gradient not exceeding 1 in 20; and
 - iv. Must be unobstructed by buildings, car parking areas, vehicle manoeuvring areas or notional garages.

6.3.7. Landscaping

Purpose:

- To provide for quality living environments consistent with the planned urban built character of buildings surrounded by open space.
- To create a landscaped urban streetscape character.

Standard:

- a. The minimum landscape area must be 20% of the net site area.

6.3.8. Outlook

Purpose:

- To ensure a reasonable standard of visual privacy between habitable rooms of different buildings, on the same or adjacent sites.
- In combination with the daylight standard, manage visual dominance effects within a site by ensuring that habitable rooms have an outlook and sense of space.

Standard:

- a. The Principal Living Area must have an outlook space within minimum dimensions of 4m depth and 4m width.
- b. All other habitable rooms must have a minimum dimension of 1m in width and 1m in depth.

6.3.9. Services

Purpose:

- Ensure each dwelling has a dedicated space for essential services such as waste storage and laundry.
- Maintain a high-quality streetscape by preventing service areas from being located at the road boundary.

Standard:

- a. Each Principal Residential Dwelling shall be provided with an Outdoor Service Space of a minimum of 5m² with a minimum dimension of 1.5m.
- b. The Outdoor Service Space must not be located front boundary setback.
- c. If the Outdoor Service Space is visible from the Road or Public Space, this must be screened by:

- i. fencing or screening that complies with relevant height standards; and/ or
- ii. landscaping with a minimum height of 1m at the time of planting and be able to grow to 2m in height.

6.3.10. Impervious Areas

Purpose:

- To manage the amount of stormwater runoff generated by a development particularly in relation to the capacity of the stormwater network and potential flood risks.

Standard:

- a. Impervious areas must not exceed 60% of the net site area.

6.3.11. Roofing Materials

Purpose:

- To reduce contaminants in stormwater runoff

Standard:

- a. Roofs must be constructed of inert materials (such as pre-coated steel, concrete tile, clay tile, or slate), or be painted/coated with non-metal-based, non-toxic finishes.

APPENDIX 1

RDF COMPLIANCE CONCEPT PLAN EXAMPLES

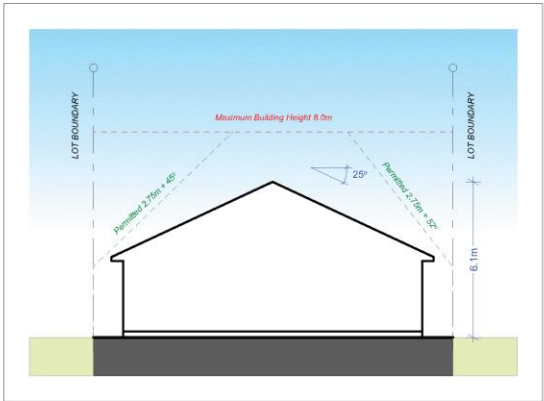
Illustrative examples for design inspiration and testing against Development Standards

LOT TYPE 1

LOT NUMBER: 64
LOT AREA: 429m²
FLOOR AREA: 164m²

PERFORMANCE STANDARDS ASSESSMENT

STANDARDS	REQUIREMENT	PROPOSED	COMPLIANCE
BUILDING HEIGHT	Maximum 8m	6.1m	✓
HIRB	2.75m + recession plane	2.75m + 45°/ 52°	✓
BUILDING COVERAGE	Maximum 45%	164m ² (38%)	✓
BUILDING SETBACKS	3.0m front + 1.0m side/rear	3.0m front + 1.1m side +10.2m rear	✓
GARAGE / STREET	5.0m Setback	5.0m Setback	✓
OUTDOOR LIVING	50m ² + 6m min. dimension	50m ² + 6m min. dimension	✓
LANDSCAPED AREAS	Minimum 30%	189m ² (44%)	✓

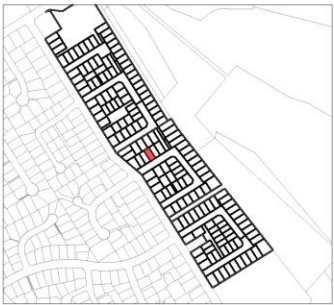


1 LOT 64 - HEIGHT IN RELATION TO BOUNDARY
1:200



2 LOT 64 - INDICATIVE LAYOUT
1:200

SITE LOCATION



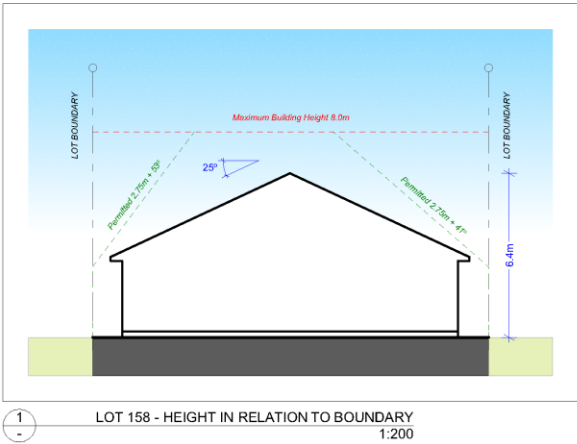
ARATAKI DEVELOPMENT - HAVELOCK NORTH

LOT TYPE 1

LOT NUMBER: 158
LOT AREA: 478m²
FLOOR AREA: 195m²

PERFORMANCE STANDARDS ASSESSMENT

STANDARDS	REQUIREMENT	PROPOSED	COMPLIANCE
BUILDING HEIGHT	Maximum 8m	6.4m	<input checked="" type="checkbox"/>
HIRB	2.75m + recession plane	2.75m + 41° / 53°	<input checked="" type="checkbox"/>
BUILDING COVERAGE	Maximum 45%	195m ² (41%)	<input checked="" type="checkbox"/>
BUILDING SETBACKS	3.0m front + 1.0m side/rear	3.0m front + 1.1m side + 10.1m rear	<input checked="" type="checkbox"/>
GARAGE / STREET	5.0m Setback	5.0m Setback	<input checked="" type="checkbox"/>
OUTDOOR LIVING	50m ² + 6m min. dimension	50m ² + 6m min. dimension	<input checked="" type="checkbox"/>
LANDSCAPED AREAS	Minimum 30%	208m ² (44%)	<input checked="" type="checkbox"/>



SITE LOCATION



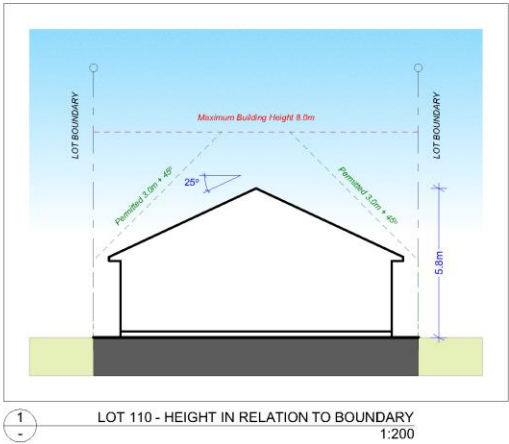
ARATAKI DEVELOPMENT - HAVELOCK NORTH

LOT TYPE 2

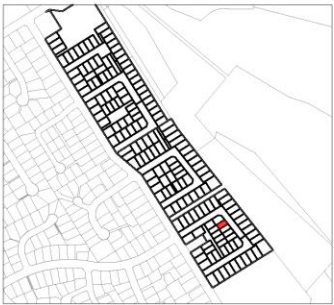
LOT NUMBER: 110
LOT AREA: 303m²
FLOOR AREA: 151m²

PERFORMANCE STANDARDS ASSESSMENT

STANDARDS	REQUIREMENT	PROPOSED	COMPLIANCE
BUILDING HEIGHT	Maximum 8m	5.8m	✓
HIRB	3m + 45°	3m + 45°	✓
BUILDING COVERAGE	Maximum 50%	151m ² (50%)	✓
BUILDING SETBACKS	3.0m front + 1.0m side/rear	3.0m front + 1.0m side + 2.9m rear	✓
GARAGE / STREET	5.0m Setback	5.6m Setback	✓
OUTDOOR LIVING	30m ² + 4m min. dimension	30m ² + 4m min. dimension	✓
LANDSCAPED AREAS	Minimum 20%	93m ² (32%)	✓
OUTLOOK SPACE	Principal living room 4m x 4m Habitable room 1m x 1m	Principal living room 4m x 4m Habitable room 1m x 1m	✓



SITE LOCATION



ARATAKI DEVELOPMENT - HAVELOCK NORTH

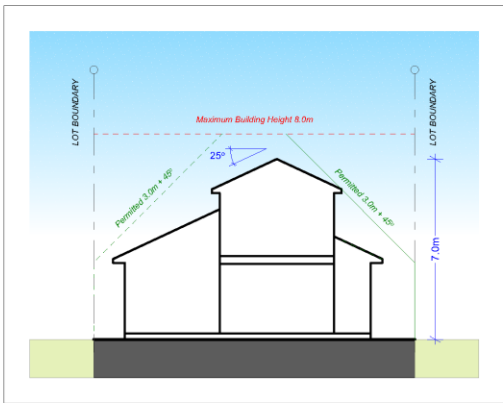
LOT TYPE 2

LOT NUMBER: 35
LOT AREA: 325m²

GROUND FLOOR AREA: 134m²
FIRST FLOOR AREA: 61m²
TOTAL FLOOR AREA: 195m²

PERFORMANCE STANDARDS ASSESSMENT

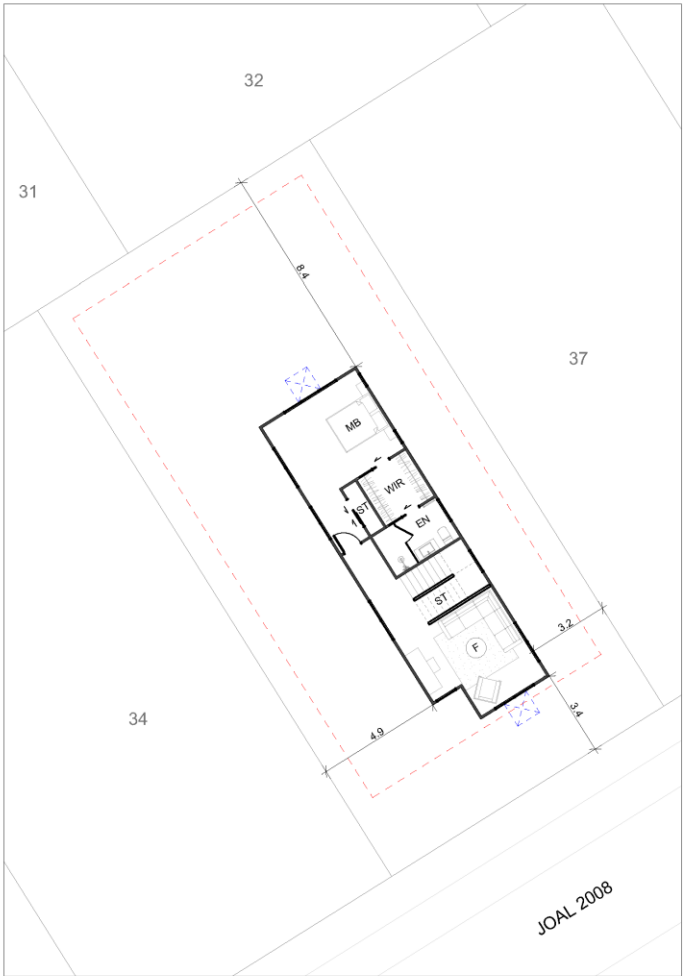
STANDARDS	REQUIREMENT	PROPOSED	COMPLIANCE
BUILDING HEIGHT	Maximum 8m	7.0m	✓
HIRB	3m + 45°	3m + 45°	✓
BUILDING COVERAGE	Maximum 50%	139m ² (43%)	✓
BUILDING SETBACKS	3.0m front + 1.0m side/rear	3.0m front + 1.2m side + 4.8m rear	✓
GARAGE / STREET	5.0m Setback	5.0m Setback	✓
OUTDOOR LIVING	30m ² + 4m min. dimension	30m ² + 4m min. dimension	✓
LANDSCAPED AREAS	Minimum 20%	133m ² (41%)	✓
OUTLOOK SPACE	Principal living room 4mx4m Habitable room 1mx1m	Principal living room 4mx4m Habitable room 1mx1m	✓



1 LOT 35 - HEIGHT IN RELATION TO BOUNDARY
1:200

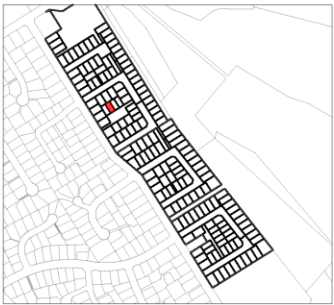


2 LOT 35 - INDICATIVE LAYOUT (GROUND FLOOR)
1:200



3 LOT 35 - INDICATIVE LAYOUT (FIRST FLOOR)
1:200
ARATAKI DEVELOPMENT - HAVELOCK NORTH

SITE LOCATION



Attachment 2 – Correspondence 29 August 2025 & 16 September 2025

RDF / HDP Comparison Document

Jo Sunde

Subject: Arataki FT Project - Residential Design Framework Discussion
Location: Microsoft Teams Meeting

Start: Tue 16/09/2025 9:30 am
End: Tue 16/09/2025 11:00 am
Show Time As: Tentative

Recurrence: (none)

Meeting Status: Not yet responded

Organizer: Jo Sunde
Required Attendees: Fergus McArthur; Lauren White; Nellie Aroa; Anna E. Summerfield
Optional Attendees: Emma Howie; Jackson Bull

Hi all,

Proposing a meeting time to discuss the initial feedback received from Council (18/07/24) on the RDF document lodged with the Arataki FT application. It would be good to work through the issues and understand each other's positions with a view to achieving a resolution for the Panel.

We have attached a working table with the Council feedback included that we can use as an agenda on the day. If you have any further feedback on the RDF prior to the meeting, please feel free to add to the council feedback column and provide it back to us ahead of the meeting so we can discuss at the meeting.

Please pass on the invite to anyone else in your team who needs to be there.

Thanks,
Jo Sunde

Microsoft Teams [Need help?](#)

[Join the meeting now](#)

Meeting ID: 449 490 626 875 1

Passcode: mW7Tu9MC

For organizers: [Meeting options](#)

Attachment 3 – Correspondence 23 October 2025

Consent Notice Approach

Jo Sunde

From: Jo Sunde
Sent: Thursday, 23 October 2025 7:16 pm
To: Nellie Aroa
Cc: Emma Howie
Subject: RE: Arataki fast Track - RDF / Consent Notices
Attachments: Arataki Project - Proposed Consent Notices.pdf; Arataki Project - Proposed Consent Notices.docx

Kia ora Nellie,

Further to our ongoing engagement on the Arataki Project, please find attached (PDF and WORD) a proposed set of consent notices and cover memo to facilitate the residential development of the subdivision. This reflects a key shift in response to Council's feedback regarding the Residential Development Framework (RDF) approach previously included with the application.

Following review of your July comments and follow up meeting, we have now removed the RDF and adopted a consent notice framework. This revised approach directly applies the relevant provisions of the Hastings District Plan urban residential zones as follows:

- **Lot Type 1:** Havelock North General Residential Zone provisions
- **Lot Type 2:** Medium Density Residential Zone provisions

To supplement this, we have included a suite of consent notices that secure a small number of bespoke design controls tailored to the Arataki layout and development objectives which were set out in the RDF. These address specific design outcomes including garage dominance, landscaping, glazing and orientation, fencing, and corner access treatments. In summary, the consent notices would remove the need for the conditions that reference the RDF in the lodged version of the Application's conditions suite and be included as new conditions in the conditions suite.

A particular point we wish to highlight is the **stormwater management approach**. The catchment-specific stormwater solution has been developed through detailed engineering design and is embedded in the Arataki Stormwater Management Plan (SMP). Given this bespoke solution, it is not possible to apply the standard HDP stormwater performance rules across these lots. The two approaches are not comparable, and applying HDP standards would be an "apples and oranges" exercise. We have therefore proposed a consent notice that directly references the SMP requirements and provides for site-specific thresholds and responses in line with that document (should the 60% impervious area be exceeded). We would be happy to meet with André Magdich to step through the proposed stormwater approach and the rationale behind the bespoke control. If helpful, we could arrange a meeting prior to Council finalising their response to the Fast-Track Panel (i.e. next week)?

Please don't hesitate to get in touch if you would like to discuss any aspect of this updated framework or the supporting materials. We are happy for you to include our memo (including any amendments / feedback) as part of your formal response to the Panel. You also might like to include direct changes to the conditions suite document as part of your response.

Ngā mihi,
Jo Sunde

Nellie Aroa – Environmental Planner - Consents
Heretaunga Hastings District Council
Via email: Nelliea@hdc.govt.nz

Jo Sunde – Senior Associate Planner
Woods

W-REF: P24-244
23 October 2025

ARATAKI FAST-TRACK PROJECT – PROPOSED CONSENT NOTICES

CLD Land New Zealand Limited (CDL), has lodged a Substantive Application under the Fast-track Approvals Act 2024 (FTAA) for the Arataki Project. The application is now being considered by an Expert Panel.

This Arataki Site is located within the Plains Production Zone under the Hastings District Plan (HDP). While the zoning is rural, land use consent has been sought for urban residential development alongside subdivision to create the individual residential lots. In lieu of an appropriate urban zoning and to ensure future residential development reflects the character and amenity outcomes anticipated in urban areas of Havelock North, a planning framework needs to be established to facilitate urban development of the site.

Following engagement with Heretaunga Hastings District Council (Council), the Applicant has considered and responded to feedback regarding the originally proposed Residential Development Framework (RDF). In particular, Council expressed concern with the RDF's application as a bespoke framework outside of the HDP provisions and potential development situations falling between the cracks or the creation of additional unintentional consenting requirements.

In response, the RDF approach has been set aside by the applicant, and an HDP zone-based approach has been adopted along with specific design outcomes through consent notices registered under section 221 of the Resource Management Act 1991 (RMA).

As set out in the Application documentation, there are two residential typologies which apply across the site. Consent notices are now proposed to achieve the following:

- Lot Type 1 lots are to be developed in accordance with the Havelock North General Residential Zone provisions of the HDP;
- Lot Type 2 lots are to be developed in accordance with the Medium Density Residential Zone provisions of the HDP.


In addition, several bespoke design standards will be secured by consent notice to manage site-specific outcomes for the development, including:




- Garage and building frontage design (note that these do not apply to some rear sites in Lot Type 1 and double storey buildings in Lot Type 2)
- Landscaping controls
- Height
- Glazing and street connectivity
- Fencing standards
- Stormwater management requirements tied to the approved SMP
- Specific vehicle access separation controls for Arataki Road corner lots

This consent notice-based approach provides a clear, enforceable framework that reflects the intent of the HDP, responds to Council feedback, and enables high-quality and well-integrated residential development outcomes for the Arataki Project.

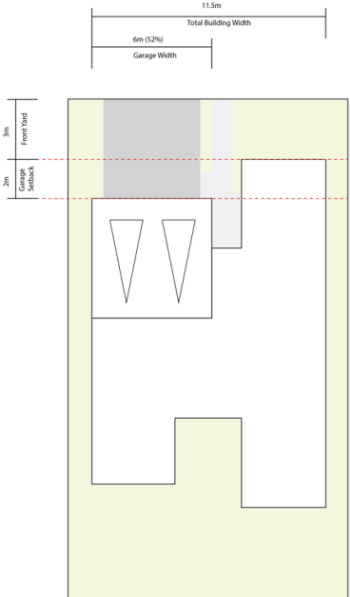
The proposed wording for the Consent Notices which will be incorporated into the proposed Conditions of Consent for the Arataki Project are provided in **Attachment A**.

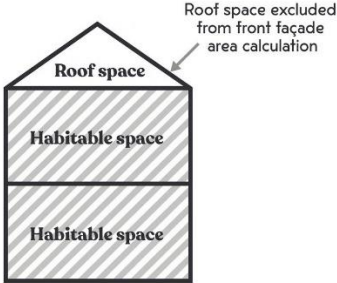
ATTACHMENT A – PROPOSED CONSENT NOTICES TO BE INCLUDED IN ARATAKI PROJECT CONDITIONS OF CONSENT

PROPOSED CONSENT NOTICES	
General - All Lots	
<p>Stormwater</p> <p>The consent holder must register with the Registrar-General of Land a consent notice under Section 221 of the RMA, against the computer registers (certificates of title) for Lots 1 to 171. The consent notice must record that the following condition is to be complied with on a continuing basis:</p> <p>All stormwater from all buildings and impervious areas on each lot shall be managed in accordance with the requirements of the “<i>Stormwater Management Plan (SMP) Arataki Project, Job Ref P24-244, V[x]</i> prepared by Woods, dated [xxx]”.</p> <p>Where buildings and impervious surfaces exceed 60% of net site area, stormwater mitigation measures must be implemented in accordance with the requirements of the SMP.</p>	<p>Fencing</p> <p>The consent holder must register with the Registrar-General of Land a consent notice under Section 221 of the RMA, against the computer registers (certificates of title) for Lots 1 to 171. The consent notice must record that the following condition is to be complied with on a continuing basis:</p> <p><i>“Fencing: Fencing on all lots shall be designed and constructed in accordance with the approved Arataki Fencing Plan [insert drawing reference number xxx, prepared by Boffa Miskell and xxx date] – TBC updated following CDL RFI response – current fence image and reference table included below for cross check], which specifies the required fencing types, locations, and heights. This consent notice applies in place of the fencing standards of the Hastings District Plan, and shall be complied with at the time of construction and maintained thereafter.”</i></p>  <p>LEGEND:</p> <ul style="list-style-type: none"> ARATAKI FRONTAGE STREET FRONTAGE OLIVE GROVE BOUNDARY SHAGGY RANGE BOUNDARY RETAINING WALLS SIDE/REAR BOUNDARY CORNER LOT RESERVE AND RURAL BOUNDARY SHAGGY RANGE DRIVEWAY EXISTING PROPERTY

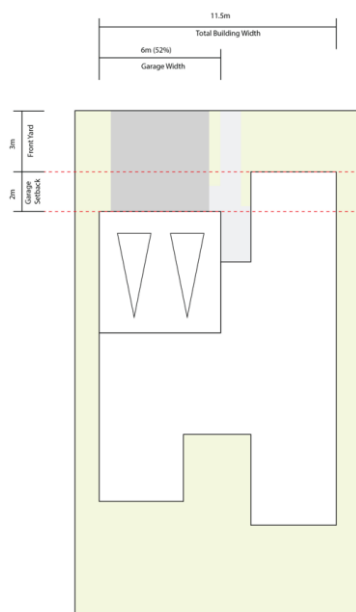
Location	Identifier	Maximum Height	Construction Material	Specific Provisions
External Rural Boundary – Permeable Fence		1.8m	Minimum 50% visually permeable	n/a
External Rural Boundary – Acoustic Fence		2m	Closed boarded	Acoustic fence
External Reserve Boundary – Shaggy Range Boundary		1.8m	Minimum 50% visually permeable	50 x 100 mm square mesh (x-fence)
External Reserve Boundary – Shaggy Range Driveway		1.8m	Closed boarded	n/a
Arataki Road Boundary		1.2m	Minimum 50% visually permeable	n/a
Road Front Boundary		1.2m	Optional	n/a
Side / Rear Boundary		1.8m	Optional	Where the side/rear fence abuts the Arataki Road Boundary or Front Boundary: Fence must step down to a maximum 1.2m height for a minimum length of 3m. Where the side/rear fence abuts a Corner site Boundary: Maximum 1.8m height is allowed.
Corner Site Boundary		1.2m	Optional	Maximum 1.2m height, with allowable increase to a maximum 1.8m height for a maximum 50% length of the site road or reserve frontage.
Retaining Walls		1.2m	Closed boarded	Maximum 1.2m height above a retaining wall.
Existing Residential Boundary		1.8m	Optional	Where an existing boundary fence is in place, no

					new/additional fencing is required.
	Lot Type 1				
1.	The following consent notices apply to Lots 1-21, 27-33, 38-44, 48-73, 77, 82-102, 107-108 and 120- 171 within the Arataki Project subdivision and shall be registered against their Record of Title.				
2.	<p>Application of Hastings District Plan Havelock North General Residential Zone Provisions</p> <p>The consent holder must register with the Registrar-General of Land a consent notice under Section 221 of the RMA, against the computer registers (certificates of title) for Lots 1-21, 27-33, 38-44, 48-73, 77, 82-102, 107-108 and 120- 171. The consent notice must record that the following condition is to be complied with on a continuing basis:</p> <p><i><u>"Havelock North General Residential Zone: Unless resource consent is otherwise obtained or where expressly modified by specific consent notices imposed on the Record of Title, all building development on Lots 1-21, 27-33, 38-44, 48-73, 77, 82-102, 107-108 and 120- 171 shall be in accordance with the Rules and Permitted Activities and the General and Specific Performance Standards of the Havelock North General Residential Zone of the Hastings District Plan (or any subsequent replacement or amendment of that Zone)."</u></i></p>				
3.	<p>Landscaping</p> <p>The consent holder must register with the Registrar-General of Land a consent notice under Section 221 of the RMA, against the computer registers (certificates of title) for Lots 1-18, 21, 27-33, 38-44, 48-70, 73, 77, 82-102, 107-108 and 120, 122-150, 153-161, and 163- 171. The consent notice must record that the following condition is to be complied with on a continuing basis:</p> <p><i><u>"Landscaping:</u></i></p> <p><i>(a) The minimum landscape area must be 30% of the net site area.</i></p> <p><i>(b) The 3m front boundary building setback must include a minimum of 50% landscape area.</i></p> <p><i>(c) Landscape area can comprise grass."</i></p>				
	Lot Type 2				
4.	<p>Application of Hastings District Plan Havelock North Medium Density Residential Zone Provisions</p> <p>The consent holder must register with the Registrar-General of Land a consent notice under Section 221 of the RMA, against the computer registers (certificates of title) for Lots 22-26, 34-37, 45-47, 74-76, 78-81, 103-106, and 109-119. The consent notice must record that the following condition is to be complied with on a continuing basis:</p> <p><i><u>"Medium Density Residential Zone: Unless resource consent is otherwise obtained or where expressly modified by specific consent notices imposed on the Record of Title, all activities and development shall be in accordance with the Rules and Permitted Activities and the General and Specific Performance Standards of the Medium Density Residential Zone of the Hastings District Plan (or any subsequent replacement or amendment of that Zone)."</u></i></p>				

5.	<p>Building Height</p> <p>The consent holder must register with the Registrar-General of Land a consent notice under Section 221 of the RMA, against the computer registers (certificates of title) for Lots 22-26, 34-37, 45-47, 74-76, 78-81, 103-106, and 109-119. The consent notice must record that the following condition is to be complied with on a continuing basis:</p> <p><i><u>“Building Restrictions – Height: Building height must not exceed a maximum of 8m except that 50 per cent of a building’s roof in elevation, measured vertically from the junction between wall and roof, may exceed this height by 1m, where the entire roof slopes 15 degrees or more.”</u></i></p>
6.	<p>Relationship of Garages & Accessory Buildings to the Street</p> <p>The consent holder must register with the Registrar-General of Land a consent notice under Section 221 of the RMA, against the computer registers (certificates of title) for Lots 22-26, 34-37, 45-47, 74-76, 78-81, 103-106, and 109-119. The consent notice must record that the following condition is to be complied with on a continuing basis:</p> <p><i><u>“Building Restrictions – Setback from Street:</u></i></p> <p>(a) All garage doors must be set back a minimum of 5m from any front boundary.</p> <p>(b) Garages on sites that front a public road or JOAL and that form part of a single-storey residential building, shall occupy a maximum of 50% of the width of the front elevation of that residential building.</p> <p>(c) Garages on sites that front a public road or JOAL:</p> <p>(i) that form part of a single-storey residential building; and</p> <p>(ii) which occupy more than 50% and up to a maximum of 60% of the width of the front elevation of that residential building must have a minimum setback of 2m from the rest of the building.</p> <p><i>The requirements of (b) and (c) below do not apply to garages which form part of a two-storey residential building.”</i></p> 

7.	<p>Glazing & Street Connection</p> <p>The consent holder must register with the Registrar-General of Land a consent notice under Section 221 of the RMA, against the computer registers (certificates of title) for Lots 22-26, 34-37, 45-47, 74-76, 78-81, 103-106, and 109-119. The consent notice must record that the following condition is to be complied with on a continuing basis:</p> <p><i><u>“Building Restrictions – Glazing & Street Connection:</u></i></p> <p>(a) Any residential unit facing the front boundary or legal access must have a minimum of 10% of the façade facing the front boundary in glazing. This can be windows or doors (excluding garage doors).</p> <p>(b) Any residential unit facing the front boundary must incorporate at ground level facing the front boundary or legal access a front door and main pedestrian entrance that is visible and accessible from the front boundary or legal access.”</p> 
Arataki Road Corner Lots	
8.	<p>Distance of Vehicle Access from Access Road Intersections</p> <p>The consent holder must register with the Registrar-General of Land a consent notice under Section 221 of the RMA, against the computer registers (certificates of title) for Lots 4, 11, 14, 27, 30, 54, 60, 90 and 98. The consent notice must record that the following condition is to be complied with on a continuing basis:</p> <p><i><u>“Corner Lots - Vehicle Access:</u></i> Vehicle access may be located closer than 15 metres to an Access Road intersection, with a minimum access–intersection separation of no less than 8 metres. Vehicle accesses on these lots shall maintain a minimum separation of 1.5 metres from any vehicle access on an adjoining property.”</p>
Setback from the Street	
9.	<p>Relationship of Garages & Accessory Buildings to the Street</p> <p>The consent holder must register with the Registrar-General of Land a consent notice under Section 221 of the RMA, against the computer registers (certificates of title) for Lots 1-18, 21, 27-33, 38-44, 48-70, 73, 77, 82-102, 107-108 and 120, 122-150, 153-161, and 163- 171. The consent notice must record that the following condition is to be complied with on a continuing basis:</p> <p><i><u>“Building Restrictions – Setback from Street:</u></i></p> <p>(c) All garage doors must be set back a minimum of 5m from any front boundary.</p>

- (d) *Garages on sites that front a public road or JOAL and that form part of a single-storey residential building, shall occupy a maximum of 50% of the width of the front elevation of that residential building.*
- (e) *Garages on sites that front a public road or JOAL:*
- (iii) *that form part of a single-storey residential building; and*
 - (iv) *which occupy more than 50% and up to a maximum of 60% of the width of the front elevation of that residential building must have a minimum setback of 2m from the rest of the building.*





Nellie Aroa – Environmental Planner - Consents
Heretaunga Hastings District Council
Via email: Nelliea@hdc.govt.nz

Jo Sunde – Senior Associate Planner
Woods

W-REF: P24-244
23 October 2025

ARATAKI FAST-TRACK PROJECT – PROPOSED CONSENT NOTICES

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Following engagement with Heretaunga Hastings District Council (Council), the Applicant has considered and responded to feedback regarding the originally proposed Residential Development Framework (RDF). In particular, Council expressed concern with the RDF's application as a bespoke framework outside of the HDP provisions and potential development situations falling between the cracks or the creation of additional unintentional consenting requirements.

In response, the RDF approach has been set aside by the applicant, and an HDP zone-based approach has been adopted along with specific design outcomes through consent notices registered under section 221 of the Resource Management Act 1991 (RMA).

As set out in the Application documentation, there are two residential typologies which apply across the site. Consent notices are now proposed to achieve the following:

- Lot Type 1 lots are to be developed in accordance with the Havelock North General Residential Zone provisions of the HDP;
- Lot Type 2 lots are to be developed in accordance with the Medium Density Residential Zone provisions of the HDP.


In addition, several bespoke design standards will be secured by consent notice to manage site-specific outcomes for the development, including:

- Garage and building frontage design (note that these do not apply to some rear sites in Lot Type 1 and double storey buildings in Lot Type 2)
- Landscaping controls
- Height
- Glazing and street connectivity
- Fencing standards
- Stormwater management requirements tied to the approved SMP
- Specific vehicle access separation controls for Arataki Road corner lots

This consent notice-based approach provides a clear, enforceable framework that reflects the intent of the HDP, responds to Council feedback, and enables high-quality and well-integrated residential development outcomes for the Arataki Project.











The proposed wording for the Consent Notices which will be incorporated into the proposed Conditions of Consent for the Arataki Project are provided in **Attachment A**.

**ATTACHMENT A – PROPOSED CONSENT NOTICES TO BE INCLUDED IN ARATAKI PROJECT
CONDITIONS OF CONSENT**

PROPOSED CONSENT NOTICES	
General - All Lots	
	<p>Stormwater</p> <p>The consent holder must register with the Registrar-General of Land a consent notice under Section 221 of the RMA, against the computer registers (certificates of title) for Lots 1 to 171. The consent notice must record that the following condition is to be complied with on a continuing basis:</p> <p>All stormwater from all buildings and impervious areas on each lot shall be managed in accordance with the requirements of the “<i>Stormwater Management Plan (SMP) Arataki Project, Job Ref P24-244, V[x] prepared by Woods, dated [xxx]</i>”.</p> <p>Where buildings and impervious surfaces exceed 60% of net site area, stormwater mitigation measures must be implemented in accordance with the requirements of the SMP.</p>
	<p>Fencing</p> <p>The consent holder must register with the Registrar-General of Land a consent notice under Section 221 of the RMA, against the computer registers (certificates of title) for Lots 1 to 171. The consent notice must record that the following condition is to be complied with on a continuing basis:</p> <p>“<i>Fencing: Fencing on all lots shall be designed and constructed in accordance with the approved Arataki Fencing Plan [insert drawing reference number xxx, prepared by Boffa Miskell and xxx date] – TBC updated following CDL RFI response – current fence image and reference table included below for cross check</i>], which specifies the required fencing types, locations, and heights. This consent notice applies in place of the fencing standards of the Hastings District Plan, and shall be complied with at the time of construction and maintained thereafter.”</p>  <p>LEGEND:</p> <ul style="list-style-type: none"> ARATAKI FRONTAGE STREET FRONTAGE OLIVE GROVE BOUNDARY SHAGGY RANGE BOUNDARY RETAINING WALLS SIDE/REAR BOUNDARY CORNER LOT RESERVE AND RURAL BOUNDARY SHAGGY RANGE DRIVEWAY EXISTING PROPERTY

Commented [NA1]: Please ensure the SMP includes the flow diagram from our meeting 6/11/2025 and some clear instructions/way to determine the appropriate sized detention tanks should a design be over 60% impervious and require mitigation.

Commented [NA2]: The public spaces and reserves team have stated that the lot 3 side boundary should also have a 1.8m high, open style pool fence (currently shown as a corner fence) Please amend to include

Location	Identified	Maximum Height	Construction Material	Specific Provision
External Rural Boundary – Permeable Fence		1.8m	Minimum 50% visually permeable	n/a
External Rural Boundary – Acoustic Fence		2m	Closed boarded	Acoustic fence
External Reserve Boundary – Shaggy Range Boundary		1.8m	Minimum 50% visually permeable	50 x 100 mm square mesh (x-fence)
External Reserve Boundary – Shaggy Range Driveway		1.8m	Closed boarded	n/a
Arataki Road Boundary		1.2m	Minimum 50% visually permeable	n/a
Road Front Boundary		1.2m	Optional	n/a
Side / Rear Boundary		1.8m	Optional	Where the side/rear fence abuts the Arataki Road Boundary or Front Boundary: Fence must step down to a maximum 1.2m height for a minimum length of 3m. Where the side/rear fence abuts a Corner site Boundary: Maximum 1.8m height is allowed.
Corner Site Boundary		1.2m	Optional	Maximum 1.2m height, with allowable increase to a maximum 1.8m height for a maximum 50% length of the site road or reserve frontage.
Retaining Walls		1.2m	Closed boarded	Maximum 1.2m height above a retaining wall.
Existing Residential Boundary		1.8m	Optional	Where an existing boundary fence is in place, no

					new/additional fencing is required.
	Lot Type 1				
1.	The following consent notices apply to Lots 1-21, 27-33, 38-44, 48-73, 77, 82-102, 107-108 and 120- 171 within the Arataki Project subdivision and shall be registered against their Record of Title.				
2.	<p>Application of Hastings District Plan Havelock North General Residential Zone Provisions</p> <p>The consent holder must register with the Registrar-General of Land a consent notice under Section 221 of the RMA, against the computer registers (certificates of title) for Lots 1-21, 27-33, 38-44, 48-73, 77, 82-102, 107-108 and 120- 171. The consent notice must record that the following condition is to be complied with on a continuing basis:</p> <p><i><u>"Havelock North General Residential Zone: Unless resource consent is otherwise obtained or where expressly modified by specific consent notices imposed on the Record of Title, all building development on Lots 1-21, 27-33, 38-44, 48-73, 77, 82-102, 107-108 and 120- 171 shall be in accordance with the Rules and Permitted Activities and the General and Specific Performance Standards of the Havelock North General Residential Zone of the Hastings District Plan (or any subsequent replacement or amendment of that Zone)."</u></i></p>				
3.	<p>Landscaping</p> <p>The consent holder must register with the Registrar-General of Land a consent notice under Section 221 of the RMA, against the computer registers (certificates of title) for Lots 1-18, 21, 27-33, 38-44, 48-70, 73, 77, 82-102, 107-108 and 120, 122-150, 153-161, and 163- 171. The consent notice must record that the following condition is to be complied with on a continuing basis:</p> <p><i><u>"Landscaping:</u></i></p> <p><i>(a) The minimum landscape area must be 30% of the net site area.</i></p> <p><i>(b) The 3m front boundary building setback must include a minimum of 50% landscape area.</i></p> <p><i>(c) Landscape area can comprise grass."</i></p>				
	Lot Type 2				
4.	<p>Application of Hastings District Plan Havelock North Medium Density Residential Zone Provisions</p> <p>The consent holder must register with the Registrar-General of Land a consent notice under Section 221 of the RMA, against the computer registers (certificates of title) for Lots 22-26, 34-37, 45-47, 74-76, 78-81, 103-106, and 109-119. The consent notice must record that the following condition is to be complied with on a continuing basis:</p> <p><i><u>"Medium Density Residential Zone: Unless resource consent is otherwise obtained or where expressly modified by specific consent notices imposed on the Record of Title, all activities and development shall be in accordance with the Rules and Permitted Activities and the General and</u></i></p>				

	<i>Specific Performance Standards of the Medium Density Residential Zone of the Hastings District Plan (or any subsequent replacement or amendment of that Zone)."</i>
5.	<p>Building Height</p> <p>The consent holder must register with the Registrar-General of Land a consent notice under Section 221 of the RMA, against the computer registers (certificates of title) for Lots 22-26, 34-37, 45-47, 74-76, 78-81, 103-106, and 109-119. The consent notice must record that the following condition is to be complied with on a continuing basis:</p> <p><i>"Building Restrictions - Height: Building height must not exceed a maximum of 8m except that 50 per cent of a building's roof in elevation, measured vertically from the junction between wall and roof, may exceed this height by 1m, where the entire roof slopes 15 degrees or more."</i></p>
6.	<p>Relationship of Garages & Accessory Buildings to the Street</p> <p>The consent holder must register with the Registrar-General of Land a consent notice under Section 221 of the RMA, against the computer registers (certificates of title) for Lots 22-26, 34-37, 45-47, 74-76, 78-81, 103-106, and 109-119. The consent notice must record that the following condition is to be complied with on a continuing basis:</p> <p><i>"Building Restrictions – Setback from Street:</i></p> <p><i>(a) All garage doors must be set back a minimum of 5m from any front boundary.</i></p> <p><i>(b) Garages on sites that front a public road or JOAL and that form part of a single-storey residential building, shall occupy a maximum of 50% of the width of the front elevation of that residential building.</i></p> <p><i>(c) Garages on sites that front a public road or JOAL:</i></p> <p><i>(i) that form part of a single-storey residential building; and</i></p> <p><i>(ii) which occupy more than 50% and up to a maximum of 60% of the width of the front elevation of that residential building must have a minimum setback of 2m from the rest of the building.</i></p> <p><i>The requirements of (b) and (c) below do not apply to garages which form part of a two-storey residential building."</i></p>

7.	<p>Glazing & Street Connection</p> <p>The consent holder must register with the Registrar-General of Land a consent notice under Section 221 of the RMA, against the computer registers (certificates of title) for Lots 22-26, 34-37, 45-47, 74-76, 78-81, 103-106, and 109-119. The consent notice must record that the following condition is to be complied with on a continuing basis:</p> <p><i>“Building Restrictions – Glazing & Street Connection:</i></p> <p>(a) Any residential unit facing the front boundary or legal access must have a minimum of 10% of the façade facing the front boundary in glazing. This can be windows or doors (excluding garage doors).</p> <p>(b) Any residential unit facing the front boundary must incorporate at ground level facing the front boundary or legal access a front door and main pedestrian entrance that is visible and accessible from the front boundary or legal access.”</p>
Arataki Road Corner Lots	
8.	<p>Distance of Vehicle Access from Access Road Intersections</p> <p>The consent holder must register with the Registrar-General of Land a consent notice under Section 221 of the RMA, against the computer registers (certificates of title) for Lots 4, 11, 14, 27, 30, 54, 60, 90 and 98. The consent notice must record that the following condition is to be complied with on a continuing basis:</p>

