

17th December 2025
Project ref – 2677

Sunfield

Formal Recreation Space Provision

1 Introduction

This memo has been prepared to respond to the panel request to outline the following:

- Existing formal recreation spaces in Papakura and Takanini
- Requirement for formal recreation spaces at Sunfield
- Provision of formal recreation spaces proposed at Sunfield
- Location and size of formal recreation spaces in relation to Auckland Council requirements

2 Existing Recreation Spaces

Page 56 of the Sunfield Masterplanned Community Concept Masterplan report identifies the existing recreation and open spaces in the surrounding areas of Papakura and Takanini.

site context

local recreation + open space

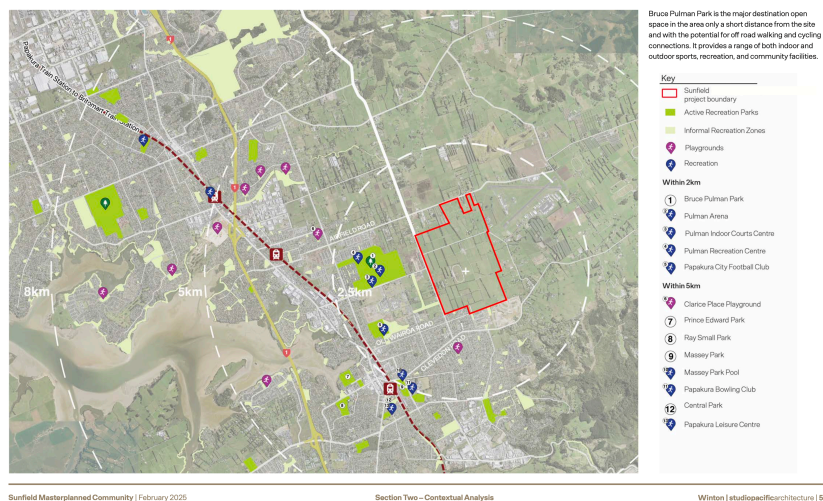


Figure 1: Existing open spaces and recreation facilities

Bruce Pulman Park is the most significant of these open spaces and is located in very close proximity to Sunfield (less than 400m from the boundary of Sunfield). At ~65ha it provides a significant range of formal recreation and organised sports featuring world class indoor and outdoor facilities and is classified as a destination park. Nearby McLennan Park also provides for closely located formal recreation and sports fields. Both of these significant spaces are directly connected to Sunfield through off road cycle and walkways and will provide significant amenity opportunities to residents of Sunfield.



Figure 2: Bruce Pulman Park



Figure 3: McLennan Park

3 Open Space Requirements for Sunfield

The requirements for recreational open space in new developments are outlined in Auckland Councils Manaaki Tāmaki Makaurau Auckland Open Space, Sport and Recreation Strategy, May 2025 document.

Medium density	<ul style="list-style-type: none"> Mixed housing urban Mixed housing suburban 	Pocket park where density is equivalent to high-density	Not within 200m of other publicly accessible open space and ideally located equidistantly between other park types	0.10ha to 0.15ha
		Pocket park at no capital cost	Not within 200m of other publicly accessible open space and ideally located equidistantly between other park types	0.10ha to 0.15ha
		Neighbourhood park in areas with high capacity	400m / 5mins walk (300m radial proxy)	0.2ha
		Neighbourhood park in areas with medium capacity	400m / 5mins walk (300m radial proxy)	0.3ha
		Neighbourhood park in areas with low capacity	400m / 5mins walk (300m radial proxy)	0.5ha
		Suburb park	1000m / 12mins walk (750m radial proxy)	3.0ha

Figure 4: Excerpt of Table 10: Provision standards for pocket, neighbourhood and suburb parks

Through site analysis during the early stages of the project it was identified that the Sunfield development required a Suburb Park and a series of Neighbourhood Parks to meet the open space provision for formal recreation (noting that previous versions of Council policies were applied at the time). This is what is currently reflected within the Sunfield masterplan.

4 Open Space Provision for Sunfield

Overall there is 53ha of open space proposed at Sunfield. This is made up of a combination of Suburban Parks, Neighbourhood Parks, Stormwater Parks, Greenways and Wetlands. There are also a multitude of Local and Neighbourhood hubs, private laneways and connecting walkways that are in access of the 53ha of open space proposed.



Figure 5: Sunfield Open Space Areas

Suburban Park:

A Suburban Park is required for the Sunfield Development to provide for formal recreation within a 1,000m walk for high/medium density housing. Specifically, the requirements for a Suburban Park are to be 3ha minimum in size and within 1000m walk (750m radial proxy) in high and medium-density areas. As such a centrally located ~3.4ha parcel of land has been proposed as local purpose (recreation) reserve to vest within the Sunfield Masterplan as Lot 2006. It should be noted that Lot 2006 is located entirely outside of the flood zone.

At 3.4ha in size this reserve is located in a prominent central location directly adjacent to the town centre and will help form the identity of Sunfield. It will be highly accessible by walking, cycling, and public transport. It is also directly adjacent to the central stormwater park making it highly connected to a range of walking and cycling trails that access all parts of the surrounding neighbourhoods integrating it with the car-less nature of the whole development. It is a flat site and will provide a mix of formal and informal recreation opportunities in the form of multiple playing fields, hard courts, and associated amenity e.g car parking, toilets, changing facilities etc. The illustrative masterplan has shown a proposed aquatic centre in this location as part of the reserve, however, this is indicative only as a range of outcomes is possible in the space. The final components, layout, and design of the reserve will be subject to detailed design alongside council.

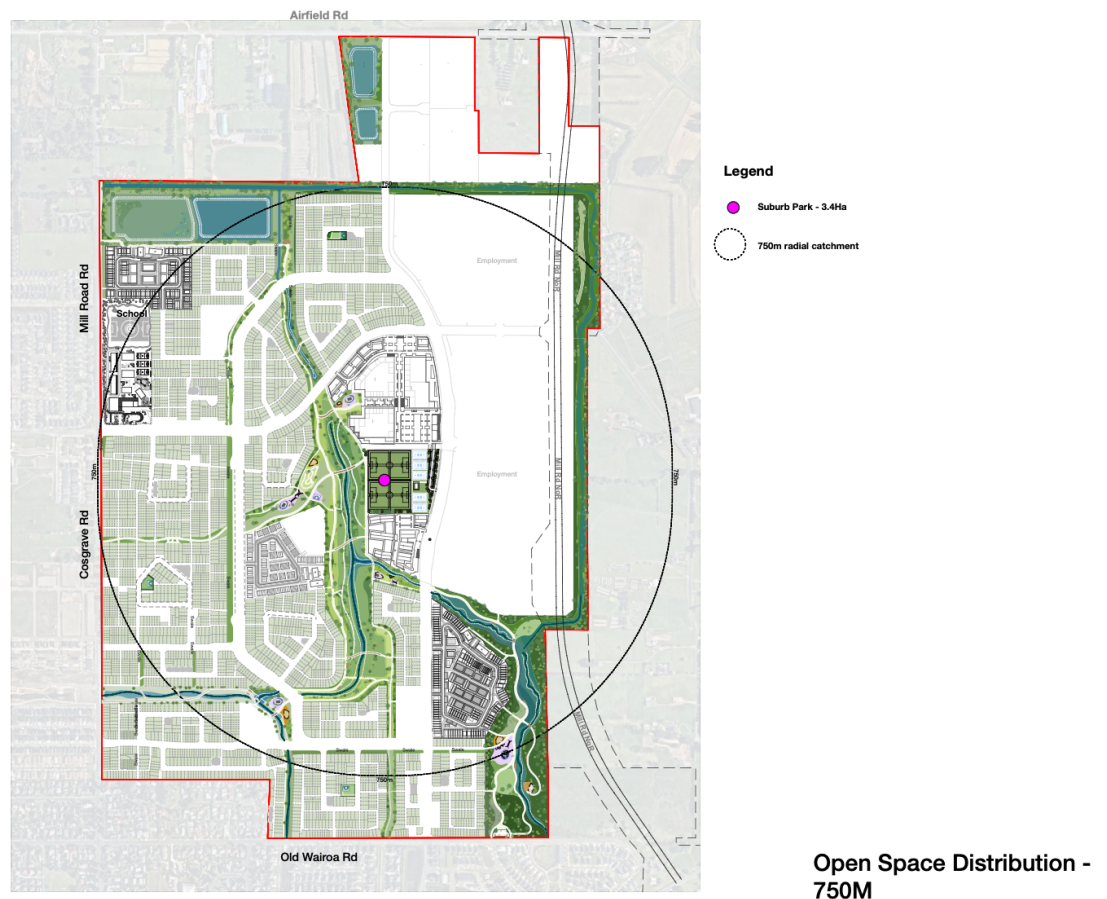


Figure 6: Suburb Park and 750m walking radius

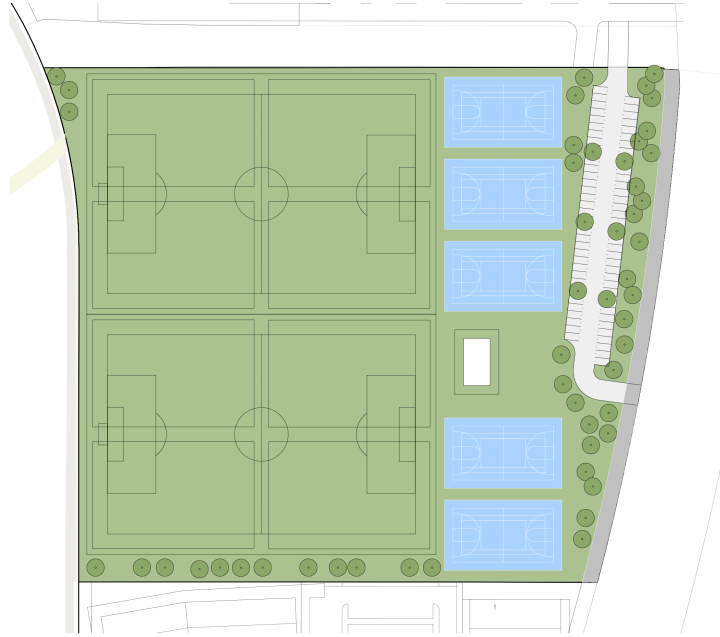


Figure 7: Indicative potential layout of Suburb Park showing winter layout for:

- 5x multi use hardcourts (netball / tennis / basketball)
- 2x full size senior football fields or 8x junior football fields
- Car parking and facilities such as shelter / toilets / changing rooms



Figure 8: Indicative potential layout of Suburb Park showing summer layout for:

- 5x multi use hardcourts (netball / tennis / basketball)
- 1x senior cricket or 2x junior cricket pitches
- Car parking and facilities such as shelter / toilets / changing rooms

Neighbourhood Parks:

The provision standards also require Neighbourhood Parks within a 5min walk (300m radial proxy) for residents. As previously outlined in the Studio Pacific response to council comments (Urban Design and Parks) additional neighbourhood parks have been provided within neighbourhoods to perform this function and supplement those already proposed. These parks are smaller than the 0.2ha requirement at 0.1ha, however we are of the opinion that they are appropriately sized given the extensive and significant role of the 'car less' laneways throughout the entire development. These laneways and the car free nature of living in these neighbourhoods will provide for a rich range of doorstep play and 'play along the way' opportunities that fall outside of the current policy classifications. At 0.1ha in size the neighbourhood parks would comfortably provide for all of the functional amenity required of a neighbourhood park, specifically that they include a level, unobstructed grass space for informal games of at least 20m x 20m in parks less than 0.3ha in size.

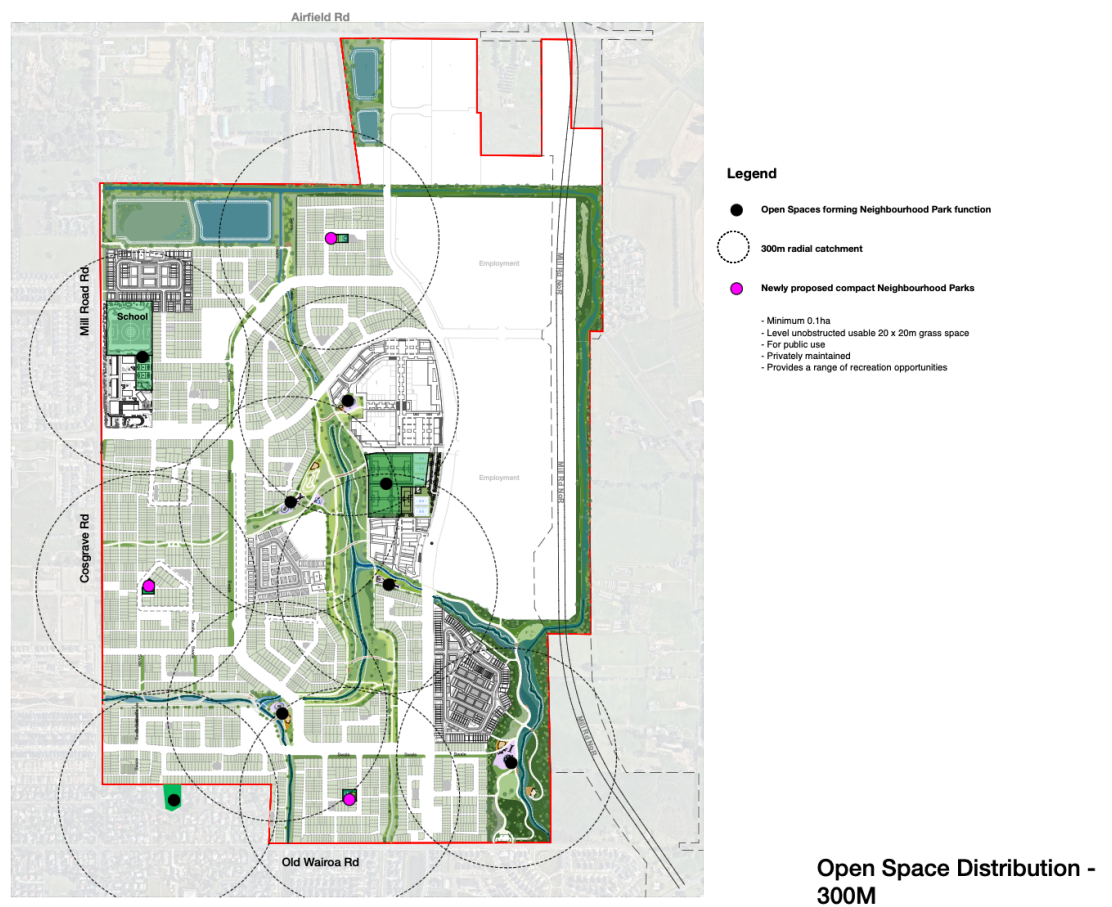


Figure 9: Proposed Open Space Provision Plan for Neighbourhood Parks

Critically the proposed Suburb Park and the Neighbourhood Parks are all outside of the flood zone and these formal recreation spaces **will not** be adversely affected during stormwater events.

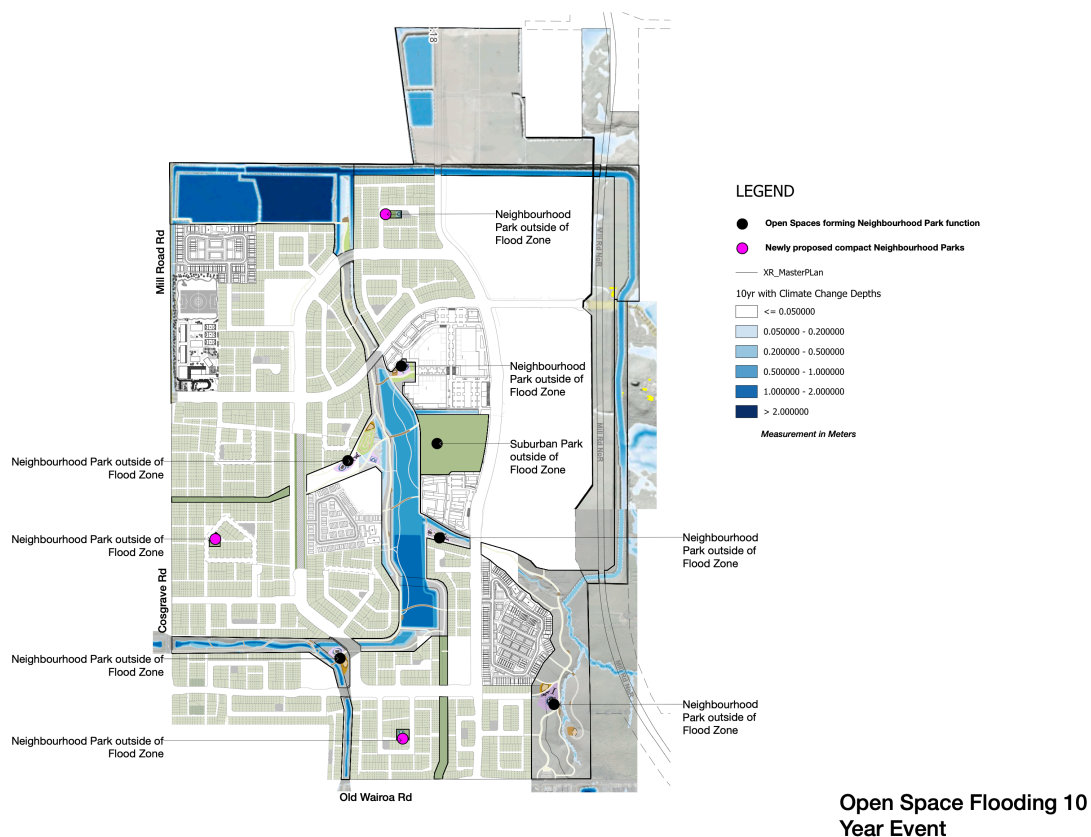


Figure 10: Location of formal recreation spaces outside of flood zone

5 Conclusion

In summary the provision of a centrally located 3.4ha Suburb Park and the locations and provision of Neighbourhood Parks and open spaces performing the function of Neighbourhood Parks provide for an adequate supply of formal recreation spaces within Sunfield as required by Auckland Council. These formal recreation spaces are complimented by a significant and highly connected network of reserves and open space that perform the dual use of informal recreation and stormwater management, and by a significant and extensive network of car free laneways that provide for a rich range of informal doorstep play.

Yours sincerely

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For and on behalf of Studio of Pacific Architecture Limited