

# Decision on an application to change consent conditions under the Resource Management Act 1991



Discretionary activity under section 127(3) for Landuse

**Application number:** [REDACTED] (Landuse consent Variation)

**Applicant:** Fulton Hogan Land Development Limited

**Original Application numbers:** [REDACTED] (Council Reference)

[REDACTED] (s9 land use consent)

[REDACTED] (s11 Subdivision consent)

**Site address:** 21 Karapapa Road, Milldale

**Legal description:** Lot 9001 DP 581219

## Proposal:

Consent is sought for changes to the approved earthworks extent to enable construction of the proposed JOAL (Lot 6000). The earthworks will involve approximately 1,010m<sup>3</sup> cut and 650m<sup>3</sup> fill over an area of 1.13ha (1,019m<sup>3</sup> cut and 497m<sup>3</sup> fill over an area of 1.13ha approved under [REDACTED]).

To enable the above works, conditions 1 and 16 of the approved land use consent ([REDACTED]) are proposed to be changed as follows (with ~~strike through~~ for deletion, underline for insertions):

The proposal must be carried out in accordance with the plans and all information submitted with the application, detailed below, and all referenced by the council as consent number [REDACTED] and [REDACTED]

- Application Form, and Assessment of Environmental Effects prepared by Woods dated 26 May 2023.
- Application form and Assessment of Environmental Effects prepared by Woods, titled 'Milldale Stage 4C-1 – s127 Variation (i)' dated 17 January 2024

Report title and reference	Author	Rev	Dated
Architects Design Statement	Stevens Lawson Architect		Not dated
MILLDALE STAGE 4C-1 Transportation Assessment	Stantec	2	15 May 2023
Infrastructure Report Milldale Stage 4C-1	Woods	1	3 May 2023
Geotechnical letter STAGE 4C-1 Earthworks Consent Ref: AKL2019-0161DJ Rev 1	CWM Geosciences	1	12 May 2023
<u>S127 Engineering Design Memo</u>	<u>Woods</u>		<u>20</u> <u>December</u> <u>2023</u>

Drawing title and reference	Author	Rev	Dated
P22-289-4C-1-0000-GE - COVER	WOODS	2	Sep 23
P22-289-4C-1-0001-GE - INDEX	WOODS	2	Sep 23
P22-289-4C-1-0010-SU - SCHEME PLAN	WOODS	<del>2</del> <u>3</u>	<del>Aug 23</del> <u>Dec 23</u>
P22-289-4C-1-0104A-GE - ZONING PLAN	WOODS	<del>2</del> <u>3</u>	<del>Sep 23</del> <u>Dec 23</u>
P22-289-4C-1-0104B-GE - ZONING PLAN WITH PRECINCT PLAN OVERLAID	WOODS	<del>2</del> <u>3</u>	<del>Sep 23</del> <u>Dec 23</u>
P22-289-4C-1-0104C-GE - ZONING PLAN - STAGE 4C-1 FOCUS PLAN	WOODS	<del>2</del> <u>3</u>	<del>Sep 23</del> <u>Dec 23</u>
P22-289-4C-1-0105-GE - EXISTING EARTHWORKS CONSENTS PLAN	WOODS	<del>2</del> <u>3</u>	<del>Sep 23</del> <u>Dec 23</u>
P22-289-4C-1-0106-GE - EXISTING SUBDIVISION CONSENTS PLAN	WOODS	<del>2</del> <u>3</u>	<del>Sep 23</del> <u>Dec 23</u>
P22-289-4C-1-0110-GE - DEVELOPMENT CONTROL - OVERALL PLAN	WOODS	<del>3</del> <u>4</u>	<del>Sep 23</del> <u>Dec 23</u>
P22-289-4C-1-1000-EW - DESIGN CONTOUR - OVERALL PLAN	WOODS	<del>2</del> <u>3</u>	<del>Sep 23</del> <u>Dec 23</u>
P22-289-4C-1-1200-EW - CUT FILL - OVERALL PLAN	WOODS	<del>2</del> <u>3</u>	<del>Sep 23</del> <u>Dec 23</u>
P22-289-4C-1-1800-EW - EROSION AND SEDIMENT CONTROL - OVERALL PLAN	WOODS	<del>2</del> <u>3</u>	<del>Sep 23</del> <u>Dec 23</u>
P22-289-4C-1-2000-RD - ROADING LAYOUT PLAN - OVERALL PLAN	WOODS	<del>3</del> <u>4</u>	<del>Sep 23</del> <u>Dec 23</u>
P22-289-4C-1-2001-RD - ROADING LAYOUT PLAN	WOODS	2	Jul 23
P22-289-4C-1-2002-RD - ROADING LAYOUT PLAN	WOODS	3	Sep 23
P22-289-4C-1-2003-RD - ROADING LAYOUT PLAN	WOODS	2	Jul 23
P22-289-4C-1-2200-RD - ROADING TYPOLOGY PLAN	WOODS	<del>2</del> <u>3</u>	<del>Sep 23</del> <u>Dec 23</u>
P22-289-4C-1-2201-RD - TYPICAL ROAD CROSS SECTIONS & KERB DETAILS - GREEN STREET	WOODS	2	Jul 23
P22-289-4C-1-2202-RD - TYPICAL ROAD CROSS SECTIONS & KERB DETAILS - SUBURBAN STREETS	WOODS	1	May 23

P22-289-4C-1-2400-RD - ROADING LONGSECTION PLAN	WOODS	1	Jul 23
<u>P22-289-4C-1-2202-RD - TYPICAL ROAD CROSS SECTIONS &amp; KERB DETAILS – JOALS AND PEDESTRIAN WALKWAY</u>	<u>WOODS</u>	<u>2</u>	<u>Dec 23</u>
<u>P22-289-4C-1-2402-RD – JOAL 6000 LONGSECTION</u>	<u>WOODS</u>	<u>1</u>	<u>Dec 23</u>
P22-289-4C-1-2750-RD - ROADING SIGHT DISTANCE PLAN	WOODS	2	Sep 23
P22-289-4C-1-2800-RD - ROADING VEHICLE TURNING MOVEMENTS - OVERALL PLAN	WOODS	2	Sep 23
P22-289-4C-1-2801-RD - ROADING VEHICLE TURNING MOVEMENTS PLAN	WOODS	2	Sep 23
P22-289-4C-1-2802-RD - ROADING VEHICLE TURNING MOVEMENTS PLAN	WOODS	2	Sep 23
P22-289-4C-1-2900-RD -ROADING CYCLE NETWORK PLAN	WOODS	2	Sep 23
P22-289-4C-1-3000-DR - STORMWATER DRAINAGE LAYOUT – <u>OVERALL PLAN</u>	WOODS	<del>2</del> <u>3</u>	<del>Sep 23</del> <u>Dec 23</u>
P22-289-4C-1-3200-DR - STORMWATER CATCHMENT - OVERALL PLAN	WOODS	2	Sep 23
P22-289-4C-1-3310-DR - OVERLAND FLOW PATH - OVERALL	WOODS	1	Sep 23
P22-289-4C-1-3311-DR - OVERLAND FLOW SECTION PLAN	WOODS	1	Sep 23
P22-289-4C-1-4000-DR - WASTEWATER DRAINAGE LAYOUT	WOODS	<del>3</del> <u>4</u>	<del>Sep 23</del> <u>Dec 23</u>
P22-289-4C-1-6000-WR - WATER RETICULATION OVERALL PLAN	WOODS	<del>2</del> <u>3</u>	<del>Sep 23</del> <u>Dec 23</u>
Landscape Plan - Cover	Bespoke Landscape Architects		<del>August 2023</del> <u>December 2023</u>
Landscape Plan 01	Bespoke Landscape Architects		<del>August 2023</del> <u>December 2023</u>
Detail Plan 02	Bespoke Landscape Architects		<del>August 2023</del> <u>December 2023</u>
<u>Detail Plan 03</u>	<u>Bespoke</u>		<u>December</u>

	<u>Landscape Architects</u>		<u>2023</u>
Planting Plan <del>03</del> <u>04</u>	Bespoke Landscape Architects		August 2023 <u>December 2023</u>
Planting Palette and Schedule <del>04</del> <u>05</u>	Bespoke Landscape Architects		August 2023 <u>December 2023</u>
Rain Garden Planting Layout <del>05</del> <u>06</u>	Bespoke Landscape Architects		August 2023 <u>December 2023</u>
<b>Additional Information</b>			
S92 Response and Table with attachments (as referenced above)	Woods		26 July 2023
S92 Traffic Response	Stantec		21 July 2023
S92 Landscape response	Bespoke Landscape Architects		19 July 2023
S92 Architectural Response	Stevens Lawson)		26 July 2023
S92 Response (ii) and Table with attachments (as referenced above)	Woods		5 September 2023
S92 Overland Flowpath Response (iii)	Woods		12 September 2023

## Condition 16

### Development on Super Lots ~~5400~~ 5700 and 5701 and Balance Lots 9100, 9101 and 9102:

All future dwellings and associated buildings constructed on Super Lots ~~5400~~ 5700 and 5701 and Balance Lots 9100, 9102 and 9101 must be designed to adopt the standards of the Residential -Terrace Housing and Apartment Building (THAB) Zone that are listed under Standard H6.6 of the Auckland Unitary Plan (Operative in Part) or seek resource consent to infringe the aforementioned THAB zone standard(s).

#### Advice Note:

*For clarification purposes, the above blanket land use consents apply to development on the future lots approved under subdivision consent referenced by council as SUB60419152. The applicable future lots as it correlates to each of the infringed standards are listed under the above reasons of consent.*



## Decision

I have read the applications, supporting documents, and the report and recommendations on the consent applications. I am satisfied that I have sufficient information to consider the matters required by the RMA and make a decision under delegated authority on the applications.

Acting under delegated authority, under sections 104, 104B and 127 this application to change and cancellation of conditions is **GRANTED**.

## Reasons

The reasons for this decision are:

1. The proposal is appropriately considered under s127 as the changes will not result in a fundamentally different activity or materially different effects.
2. In accordance with an assessment under s104(1)(a) and s127(3) of the RMA, the actual and potential effects from the changes will be acceptable for the following reasons:
  - a. The proposed changes to the consented earthworks are minimal. There are a suite of earthworks conditions as part of [REDACTED] that remain unchanged and will ensure the works are undertaken with these standards.
  - b. The proposed COAL design includes appropriate pedestrian pathways and landscaping that will provide an appropriate level of on-site amenity.
  - c. The proposal does not propose any fundamental changes to the consented infrastructure, noting that the changes will result in an additional superlot being created. As such, any adverse infrastructure related effects are assessed to be negligible.
3. In accordance with an assessment under s104 (1)(b) and s 127(3) of the RMA the changes are consistent with the relevant statutory documents. In particular, the objectives and policies contained in Chapters I544 (Wainui Precinct Precinct), H6 (Residential – Terrace Housing and Apartment Building zone), E26 (Infrastructure), and E27 (Transportation) of the Auckland Unitary Plan (Operative in part). In addition to the reasons outlined within the above ss104(1)(a) and (ab) assessments and in summary:
  - a. The proposed changes to the consented earthworks are considered minimal. There are a suite of earthworks conditions as part of [REDACTED] that remain unchanged and will ensure the works are undertaken with these standards.
  - b. The proposal will continue to reinforce a safe and connected road pattern.
  - c. The proposal can be serviced with infrastructure that is compatible and integrated with the proposed network.
  - d. The proposal proposed vehicle access (COAL 6000) and vehicle crossing design in a manner that does not adversely affect the safe and efficient operation of the surrounding road network.
4. The original application [REDACTED] were assessed under the relevant provisions of the AUP(OP). As the proposal involves changes to conditions, the planning framework under the original consent is the relevant provisions under which the subject s127 application is required to be assessed.

5. In accordance with an assessment under s104 (1)(c) of the RMA there are no other matters that are considered appropriate.
6. These changes achieve the sustainable management purpose of the RMA in Part 2 being the sustainable management of natural and physical resources as the proposal will provide for an efficient use of an existing land resource in the manner intended on this residential site.

Overall, the proposal meets the provision set out in section 104, 104B and s127 of the RMA.

## Conditions

Under section 108 of the RMA, I grant the changes to existing conditions 1 and 16 of the approved land use consent [REDACTED] and as set out above.

## Advice notes

1. *This consent is to be read in conjunction with the previously approved under resource consent [REDACTED] and [REDACTED] and does not negate the consent holder's requirement to continue to comply with the conditions of that original resource consent, subject to the amendments approved above.*

### Delegated decision maker:

Name: Masato Nakamura

Title: Principal Project Lead, Premium Resource Consents

Signed:



Date: 15 February 2024

# Decision on an application to change consent conditions under the Resource Management Act 1991



Discretionary activity under section 127(3) for Subdivision

**Application number:** [REDACTED] (Subdivision consent variation)

**Applicant:** Fulton Hogan Land Development Limited

**Original Application numbers:** [REDACTED] (Council Reference)

[REDACTED] (s9 land use consent)

[REDACTED] (s11 Subdivision consent)

**Site address:** 21 Karapapa Road, Milldale

**Legal description:** Lot 9001 DP 581219

Consent is sought for changes to the approved scheme plan layout to include two superlots (Lot 5700 and 5701) and one Commonly Owned Access Lot (Lot 6000) within approved Lot 5100. This will result in the creation of one additional residential superlot and COAL from what has been consented to.

Subdivision staging is proposed as follows:

## Stage 4C-1

Creation of super lots 5700 and 5701; and COAL (Lot 6000).

## Stage 4C-2

Creation of super lots 9100, 9101 and 9102; Lot 8100 (road to vest).

To enable the above works, conditions 1, 3, 4, 7, 17, 18, 19, 24, 25, 27 and 29 of Subdivision Consent SUB60419152 are proposed to be changed as follows (with ~~strike through~~ for deletion, underline for insertions):

## **Condition 1**

This Stage 4C subdivision of Milldale, comprising of 4 2 super lots, 3 balance lots, a road and public accessway to vest with associated infrastructure and site works must be as described in the application form and assessment of environmental effects prepared by Woods dated 26 May 2023; and Application form and Assessment of Environmental Effects prepared by Woods, titles 'Milldale Stage 4C-1 – s127 Variation (i)' dated 17 January 2024 and must be carried out in accordance with the plans and information detailed below, and all referenced by the council as consent [REDACTED] and [REDACTED] .

Report title and reference	Author	Rev	Dated
Architects Design Statement	Stevens Lawson Architect		Not dated
MILLDALE STAGE 4C-1 Transportation Assessment	Stantec	2	15 May 2023
Infrastructure Report Milldale Stage 4C-1	Woods	1	3 May 2023

Geotechnical letter STAGE 4C-1 Earthworks Consent Ref: [REDACTED] Rev 1	CWM Geosciences	1	12 May 2023
<u>S127 Engineering Design Memo</u>	<u>Woods</u>		<u>20</u> <u>December</u> <u>2023</u>

Drawing title and reference	Author	Rev	Dated
P22-289-4C-1-0000-GE - COVER	WOODS	2	Sep 23
P22-289-4C-1-0001-GE - INDEX	WOODS	2	Sep 23
P22-289-4C-1-0010-SU - SCHEME PLAN	WOODS	2 <u>4</u>	<del>Aug 23</del> <u>Jan. 24</u>
P22-289-4C-1-0104A-GE - ZONING PLAN	WOODS	2 <u>3</u>	<del>Sep 23</del> <u>Dec 23</u>
P22-289-4C-1-0104B-GE - ZONING PLAN WITH PRECINCT PLAN OVERLAID	WOODS	2 <u>3</u>	<del>Sep 23</del> <u>Dec 23</u>
P22-289-4C-1-0104C-GE - ZONING PLAN - STAGE 4C-1 FOCUS PLAN	WOODS	2 <u>3</u>	<del>Sep 23</del> <u>Dec 23</u>
P22-289-4C-1-0105-GE - EXISTING EARTHWORKS CONSENTS PLAN	WOODS	2 <u>3</u>	<del>Sep 23</del> <u>Dec 23</u>
P22-289-4C-1-0106-GE - EXISTING SUBDIVISION CONSENTS PLAN	WOODS	2 <u>3</u>	<del>Sep 23</del> <u>Dec 23</u>
P22-289-4C-1-0110-GE - DEVELOPMENT CONTROL - OVERALL PLAN	WOODS	<del>3</del> <u>4</u>	<del>Sep 23</del> <u>Dec 23</u>
P22-289-4C-1-1000-EW - DESIGN CONTOUR - OVERALL PLAN	WOODS	2 <u>3</u>	<del>Sep 23</del> <u>Dec 23</u>
P22-289-4C-1-1200-EW - CUT FILL - OVERALL PLAN	WOODS	2 <u>3</u>	<del>Sep 23</del> <u>Dec 23</u>
P22-289-4C-1-1800-EW - EROSION AND SEDIMENT CONTROL - OVERALL PLAN	WOODS	2 <u>3</u>	<del>Sep 23</del> <u>Dec 23</u>
P22-289-4C-1-2000-RD - ROADING LAYOUT PLAN - OVERALL PLAN	WOODS	<del>3</del> <u>4</u>	<del>Sep 23</del> <u>Dec 23</u>
P22-289-4C-1-2001-RD - ROADING LAYOUT PLAN	WOODS	2	Jul 23
P22-289-4C-1-2002-RD - ROADING LAYOUT PLAN	WOODS	3	Sep 23
P22-289-4C-1-2003-RD - ROADING LAYOUT PLAN	WOODS	2	Jul 23
P22-289-4C-1-2200-RD - ROADING TYPOLOGY	WOODS	2	<del>Sep 23</del>

PLAN		<u>3</u>	<u>Dec 23</u>
P22-289-4C-1-2201-RD - TYPICAL ROAD CROSS SECTIONS & KERB DETAILS - GREEN STREET	WOODS	2	Jul 23
P22-289-4C-1-2202-RD - TYPICAL ROAD CROSS SECTIONS & KERB DETAILS - SUBURBAN STREETS	WOODS	1	May 23
P22-289-4C-1-2400-RD - ROADING LONGSECTION PLAN	WOODS	1	Jul 23
<u>P22-289-4C-1-2202-RD - TYPICAL ROAD CROSS SECTIONS &amp; KERB DETAILS – JOALS AND PEDESTRIAN WALKWAY</u>	<u>WOODS</u>	<u>2</u>	<u>Dec 23</u>
<u>P22-289-4C-1-2402-RD – JOAL 6000 LONGSECTION</u>	<u>WOODS</u>	<u>1</u>	<u>Dec 23</u>
P22-289-4C-1-2750-RD - ROADING SIGHT DISTANCE PLAN	WOODS	2	Sep 23
P22-289-4C-1-2800-RD - ROADING VEHICLE TURNING MOVEMENTS - OVERALL PLAN	WOODS	2	Sep 23
P22-289-4C-1-2801-RD - ROADING VEHICLE TURNING MOVEMENTS PLAN	WOODS	2	Sep 23
P22-289-4C-1-2802-RD - ROADING VEHICLE TURNING MOVEMENTS PLAN	WOODS	2	Sep 23
P22-289-4C-1-2900-RD -ROADING CYCLE NETWORK PLAN	WOODS	2	Sep 23
P22-289-4C-1-3000-DR - STORMWATER DRAINAGE LAYOUT – <u>OVERALL PLAN</u>	WOODS	<del>2</del> <u>3</u>	<del>Sep 23</del> <u>Dec 23</u>
P22-289-4C-1-3200-DR - STORMWATER CATCHMENT - OVERALL PLAN	WOODS	2	Sep 23
P22-289-4C-1-3310-DR - OVERLAND FLOW PATH - OVERALL	WOODS	1	Sep 23
P22-289-4C-1-3311-DR - OVERLAND FLOW SECTION PLAN	WOODS	1	Sep 23
P22-289-4C-1-4000-DR - WASTEWATER DRAINAGE LAYOUT	WOODS	<del>3</del> <u>4</u>	<del>Sep 23</del> <u>Dec 23</u>
P22-289-4C-1-6000-WR - WATER RETICULATION OVERALL PLAN	WOODS	<del>2</del> <u>3</u>	<del>Sep 23</del> <u>Dec 23</u>
Landscape Plan - Cover	Bespoke Landscape Architects		<del>August 2023</del> <u>December 2023</u>
Landscape Plan 01	Bespoke Landscape		<del>August 2023</del>

	Architects		<u>December 2023</u>
Detail Plan 02	Bespoke Landscape Architects		<u>August 2023</u> <u>December 2023</u>
<u>Detail Plan 03</u>	<u>Bespoke Landscape Architects</u>		<u>December 2023</u>
Planting Plan 03_04	Bespoke Landscape Architects		<u>August 2023</u> <u>December 2023</u>
Planting Palette and Schedule 04_05	Bespoke Landscape Architects		<u>August 2023</u> <u>December 2023</u>
Rain Garden Planting Layout 05_06	Bespoke Landscape Architects		<u>August 2023</u> <u>December 2023</u>
<b>Additional Information</b>			
S92 Response and Table with attachments (as referenced above)	Woods		26 July 2023
S92 Traffic Response	Stantec		21 July 023
S92 Landscape response	Bespoke Landscape Architects		19 July 2023
S92 Architectural Response	Stevens Lawson)		26 July 2023
S92 Response (ii) and Table with attachments (as referenced above)	Woods		5 September 2023
S92 Overland Flowpath Response (iii)	Woods		12 September 2023

**Advice Notes:**

- *This consent has been granted on the basis of all the documents and information provided by the consent holder, demonstrating that the new lot(s) can be appropriately serviced (infrastructure and access).*
- *Details and specifications for the provision of infrastructure (e.g. public/ private drainage, location, and types of connections) and access (including drainage of accessways, construction standards etc) are subject to a separate EPA and/or Building Consent approval process.*
- *Should it become apparent during the EPA and/or Building Consent process that a*

*component of the granted resource consent cannot be implemented (e.g. detailed tests for soakage fail to achieve sufficient soakage rates, or sufficient gradients for drainage cannot be achieved in accordance with engineering standards/ bylaws etc), changes to the proposal will be required. This may require either a variation to this subdivision consent or a new consent.*

- Similarly, should the detailed design stage demonstrate that additional reasons for consent under the AUP are triggered (e.g. after detailed survey the access gradient increases to now infringe or increase an approved infringement to a standard in the plan), a new or varied resource consent is required.*
- It is the responsibility of the consent holder to ensure that all information submitted and assessed as part of the subdivision consent is correct and can be implemented as per the subdivision consent (without requiring additional reasons for consent). Any subsequent approval processes (such as the EPA) do not override the necessity to comply with the conditions of this resource consent.*

### **Staging of Consents**

For the purposes of the s223 and s224 conditions set out below, the subdivision staging is proposed as follows:

#### **Stage 4C-1**

Creation of super lots 5700 and 5701; and COAL (Lot 6000).

#### **Stage 4C-2**

Creation of super lots 9100, 9101 and 9102; Lot 8100 (road to vest).

### **Condition 3**

#### **Survey Plan**

The consent holder must submit a survey plan in accordance with the approved resource consent subdivision plan as follows:

<b>Plan title and reference</b>	<b>Author</b>	<b>Rev</b>	<b>Dated</b>
Survey Scheme Plan 0010-SU	Woods	<u>24</u>	August 2023  <u>Jan. 2024</u>

### **~~Condition 4~~**

~~Any drainage and services easements must be included in a memorandum and/or schedule of easements endorsed on the survey plan and must be duly granted or reserved. The consent holder must meet the costs for the preparation, review and registration of the easement instruments on the relevant computer registers (certificates of title).~~

### **Condition 7**

The application for a certificate under section 224(c) of the RMA must be accompanied by certification from a professionally qualified surveyor or engineer that all the conditions of subdivision consent [REDACTED] have been complied with, and identify all those conditions that have not been complied with and are subject to the following:

- b. a consent notice has been issued in relation to any conditions to which section 221

applies.

## **Parks requirements – streetscape and Accessway**

### **Streetscape and Accessway Landscaping**

#### **Condition 17**

The consent holder must submit a detailed streetscape landscaping plan(s) for rain gardens, street trees, and accessways for road Lot 8100, COAL 6000 and Accessway Lot 7500 for approval by the Parks Planning Team Leader. In particular, the plans must:

- i) Be prepared by a suitably qualified landscape architect.
- j) Be in general accordance with the submitted scheme plan titled 'Milldale Local Centre Scheme Plan' prepared by Woods, revision 2\_4, drawing no P22-289-4C-1-01010-SU dated ~~August~~ Jan. 2024 and landscape plans prepared by Bespoke dated ~~28 August 2023~~ 21 December 2023.
- k) Show all planting including details of intended species, location, plant sizes at time of planting and likely heights on maturity, tree pit specifications, the overall material palette, location of streetlights and other service access points.
- l) Ensure that selected species can maintain appropriate separation distances from paths, roads, streetlights, and vehicle crossings in accordance with the Auckland Transport Code of Practice.
- m) Comply with Council's latest specifications or relevant Code of Practice for green assets and landscaping. Contact the Parks Planning Team Leader for the most up to date information.
- n) Include hard landscaping details for the accessway.
- o) Include planting methodology.
- p) Include all lighting details within the proposed street. and accessway

#### **Advice note:**

*Plans approved under Resource Consent do not constitute an Engineering Plan Approval and should not be used for the purposes of constructing public works in the absence of that approval.*

### **Implementation of streetscape and accessway landscape works**

#### **Condition 18**

Prior to issue of section 224(c) certification, all street and accessway landscaping for road Lot 8100, COAL 6000 and Accessway Lot 7500 must be implemented in accordance with the approved streetscape plans to the satisfaction of the Parks Planning Team Leader and landscaped in accordance with the Code of Practice for green assets and landscaping (contact the Parks Planning Team Leader for the most up to date information), and in particular:

- d) The street must be cleared of any construction material, rubbish, and surplus soil, and must be maintained in a neat and tidy condition;
- e) Should site factors preclude compliance with any of these conditions, the Parks Planning Team Leader must be advised in writing as soon as practicable and, in any case, prior to planting, and an alternative soil improvement methodology proposed to the satisfaction of the Advisor; and



- f) Grassing must only be undertaken when the weather is suitable i.e., mild, dull, and moist, and when the ground is moist and workable. Where delays occur in the agreed programme which prevents areas being planted, the consent holder must inform the Parks Planning Team Leader immediately.

**Advice note:**

*Practical completion will be determined by Parks prior to the issue of the certificate required under 224(c) to demonstrate reserve development has been satisfactorily implemented and to formalise the commencement of the maintenance period.*

**Maintenance – Streetscape and Accessways**

**Condition 19**

Prior to the issue of the section 224(c) certificate the consent holder must provide for the approval of the Parks Planning Team Leader a Maintenance Plan, for all planting and landscaping to be established in the streetscape, and accessways for road Lot 8100, COAL 6000 and Accessway Lot 7500. The Maintenance Plan must include:

- d) Vegetation maintenance policies for the proposed planting, in particular details of maintenance methodology and dates / frequencies;
- e) Details of watering, weeding, trimming, cultivation, pest, and disease control, checking of stakes and ties, pruning and other accepted horticultural operations to ensure normal and healthy plant establishment and growth; and
- f) Vandalism eradication policies.

**Maintenance Bonds - Streetscape and Accessway Landscaping**

**Condition 24**

Prior to the issue of the 224(c) certificate, and in accordance with section 108(2)(b) of the RMA, the consent holder will provide the Council a refundable bond in respect of the maintenance of the landscaping works required by the conditions of this consent. The maintenance bond will be held for a period of two years from the issue of the certificate under s224(c) for road Lot 8100, COAL 6000 and Accessway Lot 7500. The amount of the bond will be 1.5 x the contracted rate for maintenance and must be agreed in consultation with the Parks Planning Team Leader.

**CONSENT NOTICES**

**Building Restrictions**

**Condition 25**

The consent holder must register with the Registrar-General of Land a consent notice under Section 221 of the RMA, against the computer registers (certificates of title) for all Lots. The consent notice must record that the following condition is to be complied with on a continuing basis:

*“Any buildings erected on the building sites identified on the “Milldale Stage 4C-1 Survey Scheme Plan prepared by Woods, dwg no P22-289-4C-0010-SU, Rev-1 4, dated: ~~May 2023~~ Jan. 2024” shall be subject to the requirements of the “Geotechnical memo prepared by CMW, ref: [REDACTED] dated: 12 May 2023” and any subsequent reports. Copies of the said plan and report(s) will be held at the offices of the Council, Centreway Road, Orewa.”*

## **Blanket consents**

### **Open Space zone**

#### **Condition 27**

The consent holder must register with the Registrar-General of Land a consent notice under Section 221 of the RMA, against the computer registers (certificates of title) for Super Lots ~~5400~~ 5700 and 5701 and Balance Lots 9100, 9102 and 9101. The consent notice must record that the following condition is to be complied with on a continuing basis:

*“A blanket land use consent has been approved for Super Lots ~~5400~~ 5700 and 5701 and Balance Lots 9100, 9102 and 9101 and enables infringements to the following development standards within those portions of the site that are zoned Open Space:*

- *H7.11.1 Building height;*
- *H7.11.2 Height in relation to boundary;*
- *H7.11.3 Yards;*
- *H7.11.4 Screening;*
- *H7.11.5 Gross floor threshold;*
- *H7.11.6 Maximum site coverage; and*
- *H7.11.7 Maximum impervious area.*

*All future development on these lots shall be designed to adopt the Residential: Terrace Housing and Apartment Building (THAB) zone activity table and standards, or seek resource consent to infringe the applicable THAB zone standards.*

#### **Condition 29**

The consent holder must register with the Registrar-General of Land a consent notice under Section 221 of the RMA, against the computer registers (certificates of title) for Lots ~~5400–5700 and 5701~~, 9100 & 9102. The consent notice/s must record that fencing requirements are to be complied with on a continuing basis.

*“For Lots ~~5400–5700 and 5701~~, 9100 and 9102, no subdivision or development shall create a vehicle crossing directly over the shared path to the Green Street (Lot 8100 road to vest) without prior written approval from Auckland Council.”*

## **Decision**

I have read the applications, supporting documents, and the report and recommendations on the consent applications. I am satisfied that I have sufficient information to consider the matters required by the RMA and make a decision under delegated authority on the applications.

Acting under delegated authority, under sections 104, 104B and 127 this application to change and cancellation of conditions is **GRANTED**.

## **Reasons**

The reasons for this decision are:

1. The proposal is appropriately considered under s127 as the changes will not result in a fundamentally different activity or materially different effects.

2. In accordance with an assessment under s104(1)(a) and s127(3) of the RMA, the actual and potential effects from the changes will be acceptable for the following reasons:
- a. The effects on the wider environment will not be discernibly different in comparison with resource consents [REDACTED] with the changes to the subdivision primarily relating to the sequencing and staging of the approved to subdivision.
  - b. The proposed changes will primarily include consented superlot 5100 being split into two superlots (5700 and 5701). The size and shape of the new proposed superlots will have a less than minor adverse effect on the neighbourhood character and amenity. The two super lots and the overall subdivision design and layout will continue to be compatible with the anticipated future subdivision land pattern (including its amenity values and character) on the subject land and within this part of the Wainui Precinct.
  - c. The proposed subdivision layout and road pattern is broadly consistent with these anticipated outcomes and is in keeping with the amenity and future residential and neighbourhood character of the surrounding environment.
  - d. The proposal proposed vehicle access (COAL 6000) and vehicle crossing design in a manner that does not adversely affect the safe and efficient operation of the surrounding road network or result in adverse traffic generation.
  - e. The proposed COAL design includes appropriate pedestrian pathways and landscaping that will provide an appropriate level of on-site amenity.
  - f. To ensure that Lots 5700 and 5701 remain adequately serviced and connected, a covenant is proposed by the consent holder to own and be responsible and liable for the ongoing operation of the common accessway, stormwater management device, and landscaping within the Lot 6000 (COAL) area. This has been accepted by the Applicant and now forms part of this consent.
  - g. The proposed staging does not affect the provision of infrastructure and that the original subdivision has the necessary mechanisms to ensure all lots can be serviced.
  - h. The proposed changes to the staging do not adversely affect the delivery of land to be vest in Council including roads or accessways.
  - i. The proposal does not propose any fundamental changes to the consented infrastructure, noting that the changes will result in two additional residential lots being created. As such, any adverse infrastructure related effects are assessed to be negligible.
3. In accordance with an assessment under s104 (1)(b) and s 127(3) of the RMA the changes are consistent with the relevant statutory documents, in particular the relevant objectives and policies as they relate to the subdivision in urban areas and in particular Objectives E38.2, and Policies E38.3 and in particular Policy E38.3(6). The proposed changes will continue to provide for a subdivision in a manner that is anticipated in this location and that will maintain an appropriate level of amenity, and which can be appropriately serviced by public infrastructure. The superlots (5700 and 5701) and COAL (6000) and the overall subdivision design and layout will continue to be compatible with the anticipated future subdivision land pattern (including its amenity values and character) on the subject land and within this part of the Wainui Precinct.

4. The original application SUB60419152 were assessed under the relevant provisions of the AUP(OP). As the proposal involves changes to conditions, the planning framework under the original consent is the relevant provisions under which the subject s127 application is required to be assessed.
5. In accordance with an assessment under s104 (1)(c) of the RMA there are no other matters that are considered appropriate.
6. These changes achieve the sustainable management purpose of the RMA in Part 2 being the sustainable management of natural and physical resources as the proposal will provide for an efficient use of an existing land resource in the manner intended on this residential site.

Overall, the proposal meets the provision set out in section 104, 104B and s127 of the RMA.

## Conditions

Under section 108 of the RMA, I grant the changes to existing conditions 1, 3, 4, 7, 17, 18, 19, 24, 25, 27 and 29 of [REDACTED] and as set out above.

Additional conditions 3a, 12a, 16a, 16b for stormwater, vehicle access (COAL 6000) design and associated vehicle crossing together with a covenant condition for the maintenance and management of common stormwater assets within the COAL are necessary. These are set out in the enclosed Consolidated Consent Conditions.

## Advice notes

1. *This consent is to be read in conjunction with the previously approved under resource consent [REDACTED] and [REDACTED] and does not negate the consent holder's requirement to continue to comply with the conditions of that original resource consent, subject to the amendments approved above.*

### Delegated decision maker:

Name: Masato Nakamura


Title: Principal Project Lead, Premium Resource Consents

Signed:



Date: 15 February 2024



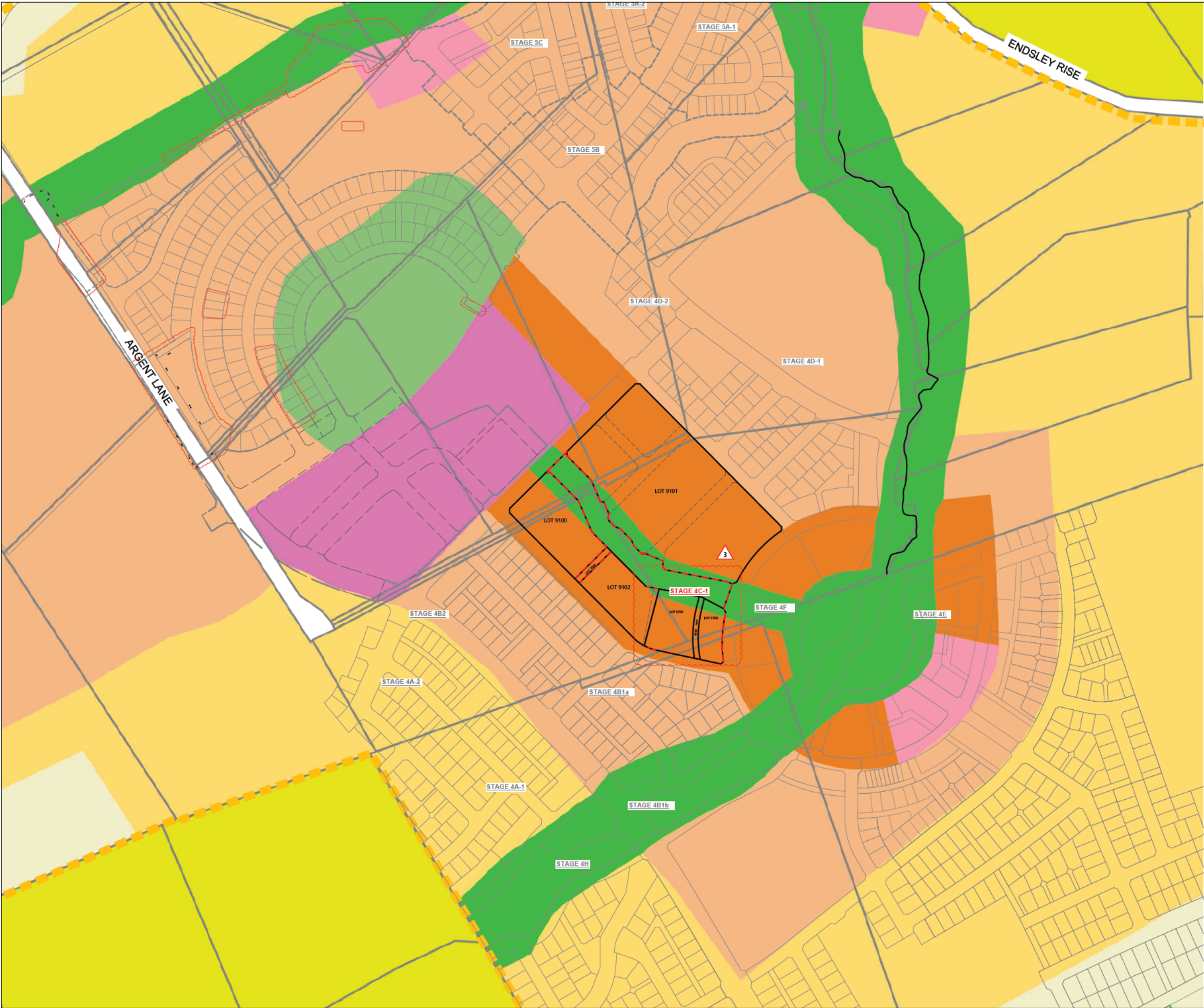


Approved Resource Consent Plan

15/02/2024

REVISION DETAILS				INT	DATE	SURVEYED	WOODS	SIDWELL ROAD MILLDALE AUCKLAND		MILLDALE STAGE 4C-1	SURVEY SCHEME PLAN	
1	ISSUE FOR CONSENT			NN	MAY 2023	DESIGNED	WOODS					
2	ISSUE FOR RFI			NN	AUG 2023	DRAWN	NN					
3	s127 - SLS 5700 & 5701 AMENDMENT			PL	DEC 2023	CHECKED	KR					
4	s127 - JOAL 6000			NN	JAN 2024	APPROVED	JW	WOODS.CO.NZ				





LEGEND:

- WAINUI PRECINCT BOUNDARY  
STAGE 4C EXTENTS  
WEITI RIVER CORRIDOR  
FUTURE BOUNDARIES  
BOUNDARIES

Residential

- Residential - Large Lot Zone  
Residential - Rural and Coastal Settlement Zone  
Residential - Single House Zone  
Residential - Mixed Housing Suburban Zone  
Residential - Mixed Housing Urban Zone  
Residential - Terrace Housing and Apartment Buildings Zone

Business

- Business - City Centre Zone  
Business - Metropolitan Centre Zone  
Business - Town Centre Zone  
Business - Local Centre Zone  
Business - Neighbourhood Centre Zone  
Business - Mixed Use Zone  
Business - General Business Zone  
Business - Business Park Zone  
Business - Heavy Industry Zone  
Business - Light Industry Zone

Open space


- Open Space - Conservation Zone  
Open Space - Informal Recreation Zone  
Open Space - Sport and Active Recreation Zone  
Open Space - Civic Spaces Zone  
Open Space - Community Zone

SCALEBAR (m) 0 50 100 250  
SCALE | 1:5000 @A3 | 1:2500 @A1 |

REVISION DETAILS		INT	DATE	SURVEYED	WOODS	SIDWELL ROAD MILLDALE AUCKLAND
1	ISSUED FOR CONSENT	NN	MAY 2023	DESIGNED	WOODS	
2	ISSUED FOR RFI	NN	SEP 23	DRAWN	FA	
3	s127 - SLS 5700 & 5701 AMENDMENT	PL	DEC 2023	CHECKED	JW	
				APPROVED	JW	WOODS.CO.NZ



MILLDALE STAGE 4C-1  
ZONING PLAN

 N	STATUS	ISSUED FOR AAPPROVAL	REV
	SCALE	1:5000 @ A3	3
	COUNCIL	AUCKLAND COUNCIL	
	DWG NO	P22-289-4C-1-0104A-GE	







**LEGEND:**

WAINUI PRECINCT BOUNDARY ————

STAGE 4C EXTENTS - - - - -

WEITI RIVER CORRIDOR ————

FUTURE BOUNDARIES - - - - -

BOUNDARIES ————



**Residential**

- Residential - Large Lot Zone
- Residential - Rural and Coastal Settlement Zone
- Residential - Single House Zone
- Residential - Mixed Housing Suburban Zone
- Residential - Mixed Housing Urban Zone
- Residential - Terrace Housing and Apartment Buildings Zone

**Business**

- Business - City Centre Zone
- Business - Metropolitan Centre Zone
- Business - Town Centre Zone
- Business - Local Centre Zone
- Business - Neighbourhood Centre Zone
- Business - Mixed Use Zone
- Business - General Business Zone
- Business - Business Park Zone
- Business - Heavy Industry Zone
- Business - Light Industry Zone

**Open space**

- Open Space - Conservation Zone
- Open Space - Informal Recreation Zone
- Open Space - Sport and Active Recreation Zone
- Open Space - Civic Spaces Zone
- Open Space - Community Zone

**Possible Neighbourhood Parks**

- Possible Neighbourhood Parks

**Indicative Infrastructure**

- Indicative District Arterial
- Indicative Collector Road
- Indicative Key Local Road
- Indicative Key Pedestrian Links
- Indicative Reserve Edge Road
- Indicative Streams
- Precinct boundary
- Parcel boundaries

SCALEBAR (m) 0 50 100 250  
SCALE | 1:5000 @A3 | 1:2500 @A1 |

REVISION DETAILS		INT	DATE	SURVEYED	WOODS	SIDWELL ROAD MILLDALE AUCKLAND
1	ISSUED FOR CONSENT	NN	MAY 2023	DESIGNED	WOODS	
2	ISSUED FOR RFI	NN	SEP 23	DRAWN	FA	
3	s127 - SLS 5700 & 5701 AMENDMENT	PL	DEC 2023	CHECKED	JW	
				APPROVED	JW	WOODS.CO.NZ

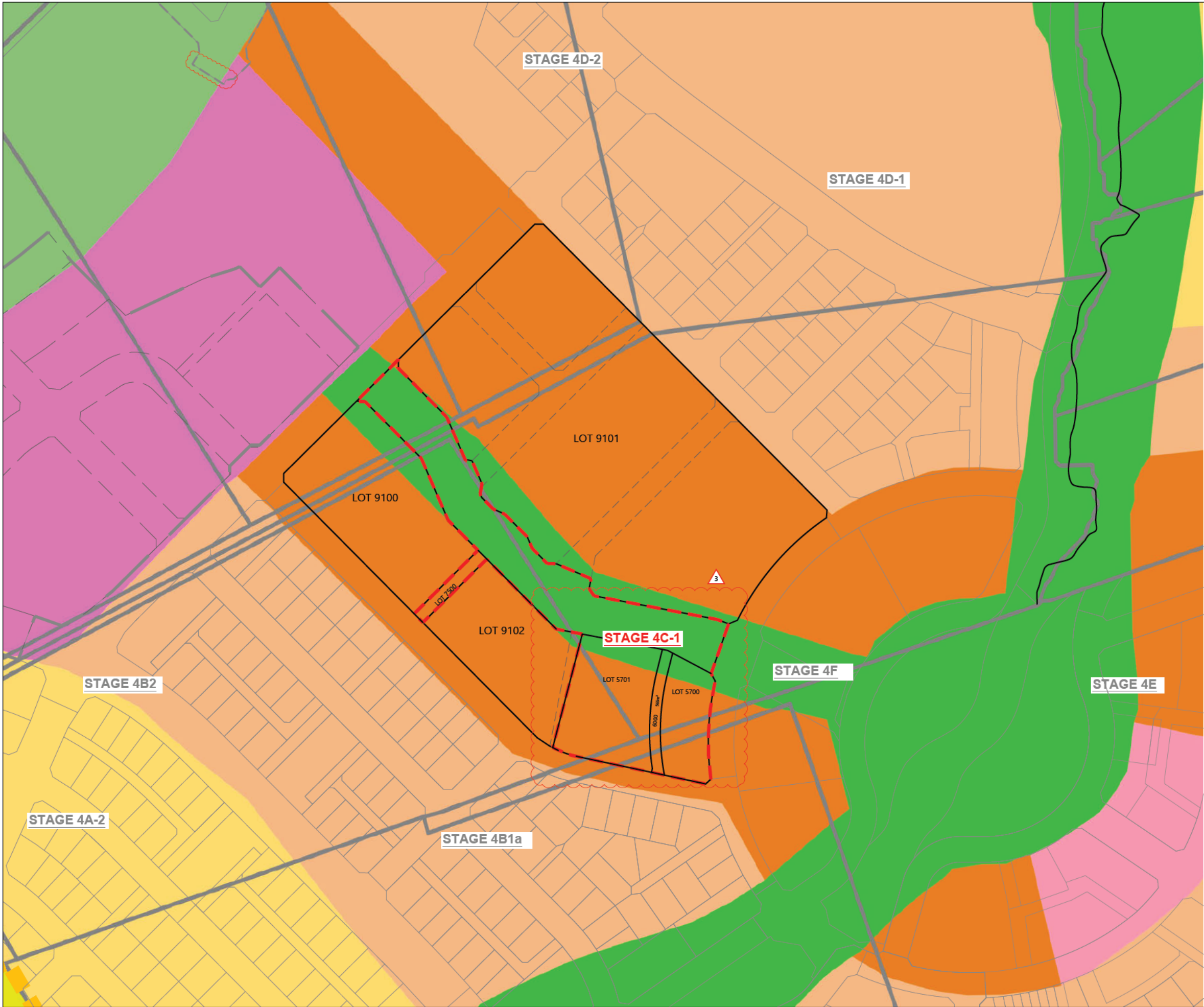


MILLDALE STAGE 4C-1

ZONING PLAN WITH PRECINCT PLAN OVERLAID

N	STATUS	ISSUED FOR APPROVAL	REV 3
	SCALE	1:5000 @ A3	
	COUNCIL	AUCKLAND COUNCIL	
	DWG NO	P22-289-4C-1-0104B-GE	





**LEGEND:**

- WAINUI PRECINCT BOUNDARY  
STAGE 4C EXTENTS  
WEITI RIVER CORRIDOR  
FUTURE BOUNDARIES  
BOUNDARIES

**Residential**

- Residential - Large Lot Zone  
Residential - Rural and Coastal Settlement Zone  
Residential - Single House Zone  
Residential - Mixed Housing Suburban Zone  
Residential - Mixed Housing Urban Zone  
Residential - Terrace Housing and Apartment Buildings Zone

**Business**

- Business - City Centre Zone  
Business - Metropolitan Centre Zone  
Business - Town Centre Zone  
Business - Local Centre Zone  
Business - Neighbourhood Centre Zone  
Business - Mixed Use Zone  
Business - General Business Zone  
Business - Business Park Zone  
Business - Heavy Industry Zone  
Business - Light Industry Zone

**Open space**

- Open Space - Conservation Zone  
Open Space - Informal Recreation Zone  
Open Space - Sport and Active Recreation Zone  
Open Space - Civic Spaces Zone  
Open Space - Community Zone

SCALEBAR (m) SCALE | 1:2500 @A3 | 1:1250 @A1 |

REVISION DETAILS		INT	DATE	SURVEYED	WOODS	SIDWELL ROAD MILLDALE AUCKLAND
1	ISSUED FOR CONSENT	NN	MAY 2023	DESIGNED	WOODS	
2	ISSUED FOR RFI	NN	SEP 23	DRAWN	FA	
3	s127 - SLS 5700 & 5701 AMENDMENT	PL	DEC 2023	CHECKED	JW	
				APPROVED	JW	

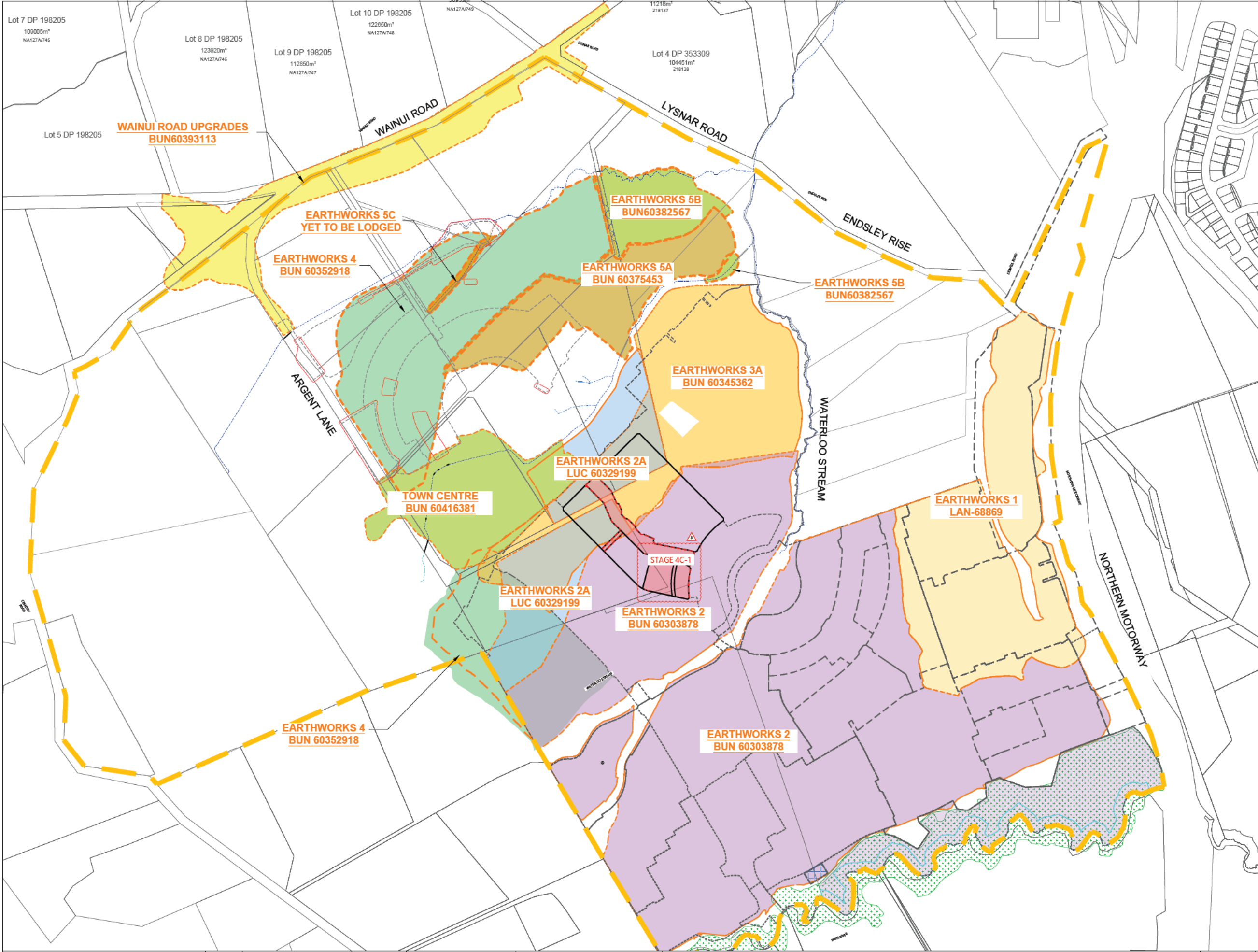


**MILLDALE STAGE 4C-1**  
ZONING PLAN - STAGE 4C-1 FOCUS PLAN



STATUS	ISSUED FOR APROVAL	REV
SCALE	1:2500 @ A3	3
COUNCIL	AUCKLAND COUNCIL	
DWG NO	P22-289-4C-1-0104C-GE	





**LEGEND:**

STAGE 4C BOUNDARIES  
WAINUI PRECINCT BOUNDARY  
PREVIOUS STAGE BOUNDARY  
SIGNIFICANT ECOLOGICAL AREA  
QEII BUSH COVENANT  
STAGE 4C AREA

**EXISTING CONSENTS:**

EARTHWORKS 1  
LAN-68869  
EARTHWORKS 2  
BUN 60303878  
EARTHWORKS 3A  
BUN 60345362  
EARTHWORKS 2A  
LUC 60329199  
EARTHWORKS 4  
BUN 60352918  
EARTHWORKS 5A  
BUN 60375453  
EARTHWORKS 5B  
BUN60382567  
EARTHWORKS 5C  
YET TO BE LODGED  
WAINUI ROAD UPGRADES  
BUN60393113  
TOWN CENTRE PROJECT  
YET TO BE LODGED

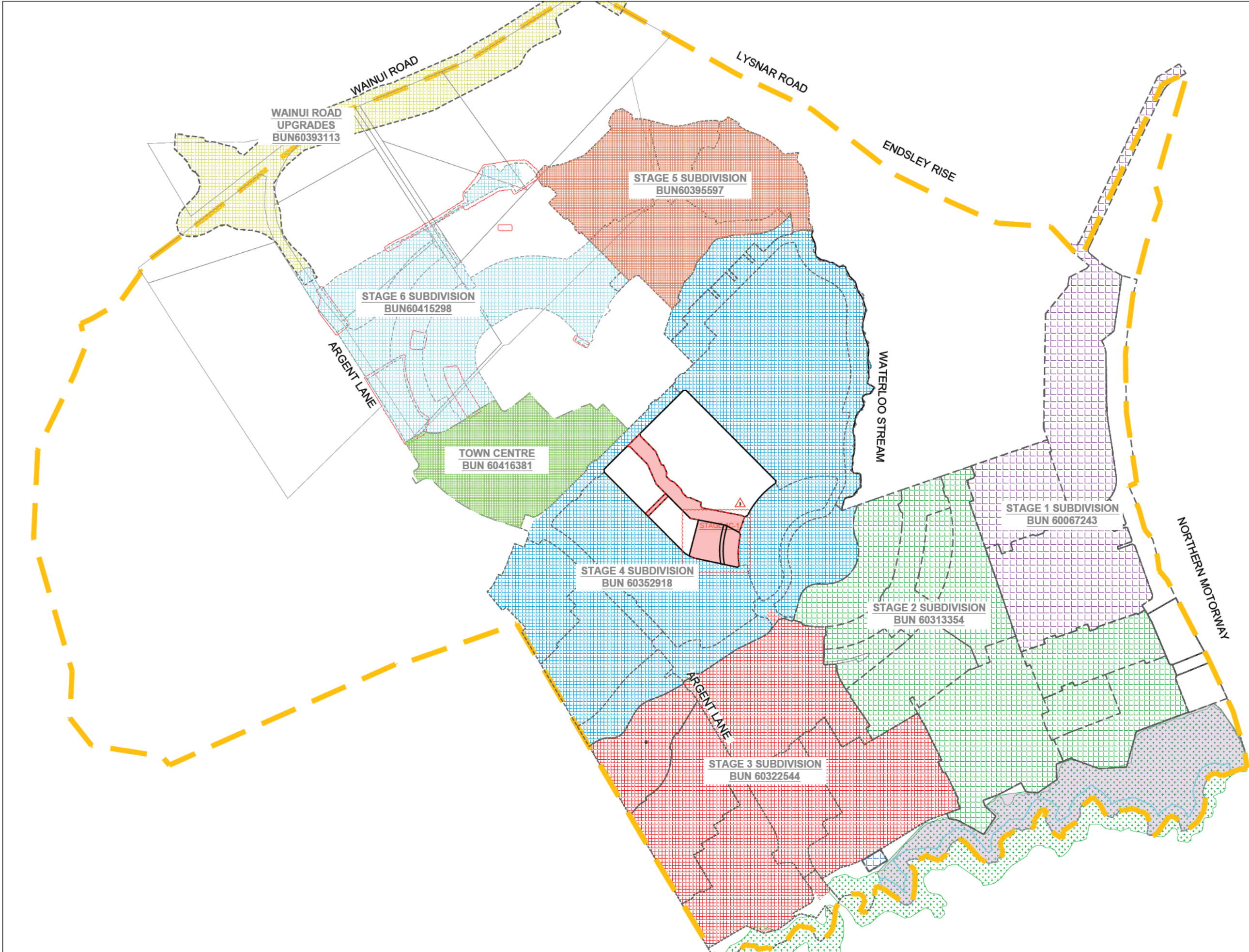
REVISION DETAILS		INT	DATE	SURVEYED	WOODS
1	ISSUED FOR CONSENT	NN	MAY 2023	DESIGNED	NN
2	ISSUED FOR RFI	NN	SEP 23	DRAWN	NN
3	s127 - SLS 5700 & 5701 AMENDMENT	PL	DEC 2023	CHECKED	JW
				APPROVED	JW

SIDWELL ROAD  
MILLDALE  
AUCKLAND  
WOODS.CO.NZ

**MILLDALE STAGE 4C-1**  
EXISTING EARTHWORKS CONSENTS PLAN

STATUS	ISSUED FOR APPROVAL	REV
SCALE	1:8000 @ A3	3
COUNCIL	AUCKLAND COUNCIL	
DWG NO	P22-289-4C-1-0105-GE	

Plot Date: 10:50:42 am, 18 December 2023, FATNA  
File: C:\1205\ENERGY\DATA\WP-PEN-APP-01\P22-289 - MILLDALE STAGE 4C-1\0105-GE EXISTING EARTHWORK CONSENTS PLAN.DWG



LEGEND:

- STAGE 4C BOUNDARIES  
WAINUI PRECINCT BOUNDARY  
PREVIOUS STAGE BOUNDARY

- SIGNIFICANT ECOLOGICAL AREA  
QEII BUSH COVENANT

EXISTING CONSENTS:

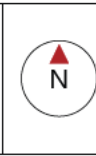
- STAGE 4 SUBDIVISION  
BUN 60352918  
STAGE 1 SUBDIVISION  
BUN 60067243  
STAGE 2 SUBDIVISION  
BUN 60313354  
STAGE 3 SUBDIVISION  
BUN 60322544  
STAGE 5 SUBDIVISION  
BUN 60395597  
STAGE 6 SUBDIVISION  
BUN 60415298  
WAINUI ROAD UPGRADES  
BUN 60393113  
TOWN CENTRE PROJECT  
YET TO BE LODGED

SCALEBAR (m)  
0 75 150 375  
SCALE | 1:7500 @A3 | 1:3750 @A1 |

REVISION DETAILS		INT	DATE	SURVEYED	WOODS	
1	ISSUED FOR CONSENT	NN	MAY 2023	DESIGNED	NN	SIDWELL ROAD MILLDALE AUCKLAND
2	ISSUED OFR RFI	NN	SEP 23	DRAWN	FA	
3	s127 - SLS 5700 & 5701 AMENDMENT	PL	DEC 2023	CHECKED	JW	
				APPROVED	JW	WOODS.CO.NZ



MILLDALE STAGE 4C-1  
EXISTING SUBDIVISION CONSENTS PLAN



STATUS	ISSUED FOR APPROVAL	REV
SCALE	1:7500 @ A3	3
COUNCIL	AUCKLAND COUNCIL	
DWG NO	P22-289-4C-1-0106-GE	





LEGEND	
STAGE 4C BOUNDARY	<span style="color: red;">---</span>
PROPOSED BOUNDARIES	<span style="color: black;">---</span>
INDICATIVE FUTURE BOUNDARIES	<span style="color: grey;">---</span>
SUPERLOTS	<span style="color: blue;">---</span>

MILLDALE STAGE 4C-1 LOT YIELD

SUPERLOTS	2
SUPERLOT DWELLINGS*	33
<b>TOTAL DWELLINGS</b>	<b>33</b>

\* SUPERLOT YIELD BASED ON SLA CONCEPT DESIGN PROPOSAL

REVISION DETAILS	INT	DATE	SURVEYED	WOODS	
1 ISSUE FOR CONSENT	NN	MAY 2023	DESIGNED	NN	SIDWELL ROAD MILLDALE AUCKLAND
2 ISSUE FOR RFI	NN	JUL 2023	DRAWN	NN	
3 ISSUE FOR RFI	NN	SEP 23	CHECKED	JW	
4 s127 - SLS 5700 & 5701 AMENDMENT	PL	DEC 2023	APPROVED	JW	WOODS.CO.NZ



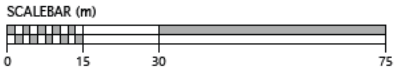
MILLDALE STAGE 4C-1  
DEVELOPMENT CONTROL - OVERALL PLAN



STATUS	ISSUED FOR APPROVAL	REV
SCALE	1:1500 @ A3	4
COUNCIL	AUCKLAND COUNCIL	
DWG NO	P22-289-4C-1-0110-GE	



- LEGEND**
- STAGE BOUNDARY
  - EXTENTS OF STAGE 4C-1 EARTHWORKS
  - FINAL MAJOR CONTOURS (1.0m INTERVALS)
  - FINAL MINOR CONTOURS (0.25m INTERVALS)



REVISION DETAILS		INT	DATE	SURVEYED	WOODS	
1	ISSUED FOR CONSENT	NN	MAY 2023	DESIGNED	NN	SIDWELL ROAD MILLDALE AUCKLAND  WOODS.CO.NZ
2	ISSUE FOR RFI	NN	SEP 23	DRAWN	NN	
3	s127 - SLS 5700 & 5701 AMENDMENT	PL	DEC 2023	CHECKED	JW	
				APPROVED	JW	



MILLDALE STAGE 4C-1  
DESIGN CONTOUR



STATUS	ISSUED FOR APPROVAL	REV
SCALE	1:1500 @A3	3
COUNCIL	AUCKLAND COUNCIL	
DWG NO	P22-289-4C-1-1000-EW	



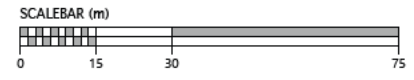


LEGEND

- STAGE BOUNDARY
- 0.25 CUT CONTOUR (0.25m INTERVAL)
- 0.25 FILL CONTOUR (0.25m INTERVAL)
- 0.00 ZERO CONTOUR
- CUT HATCH (<1m)
- FILL HATCH (<1m)

RAW VOLUME CALCULATION:  
SOLID MEASURED FROM THE EXISTING EARTHWORK DESIGN SURFACE TO STAGE 4C-1 FINISHED DESIGN SURFACE.

STAGE 4C-1 EXTENT  
CUT = 1010m3  
FILL = 650m3  
BAL = -360m3 (CUT)  
AREA = 1.13ha



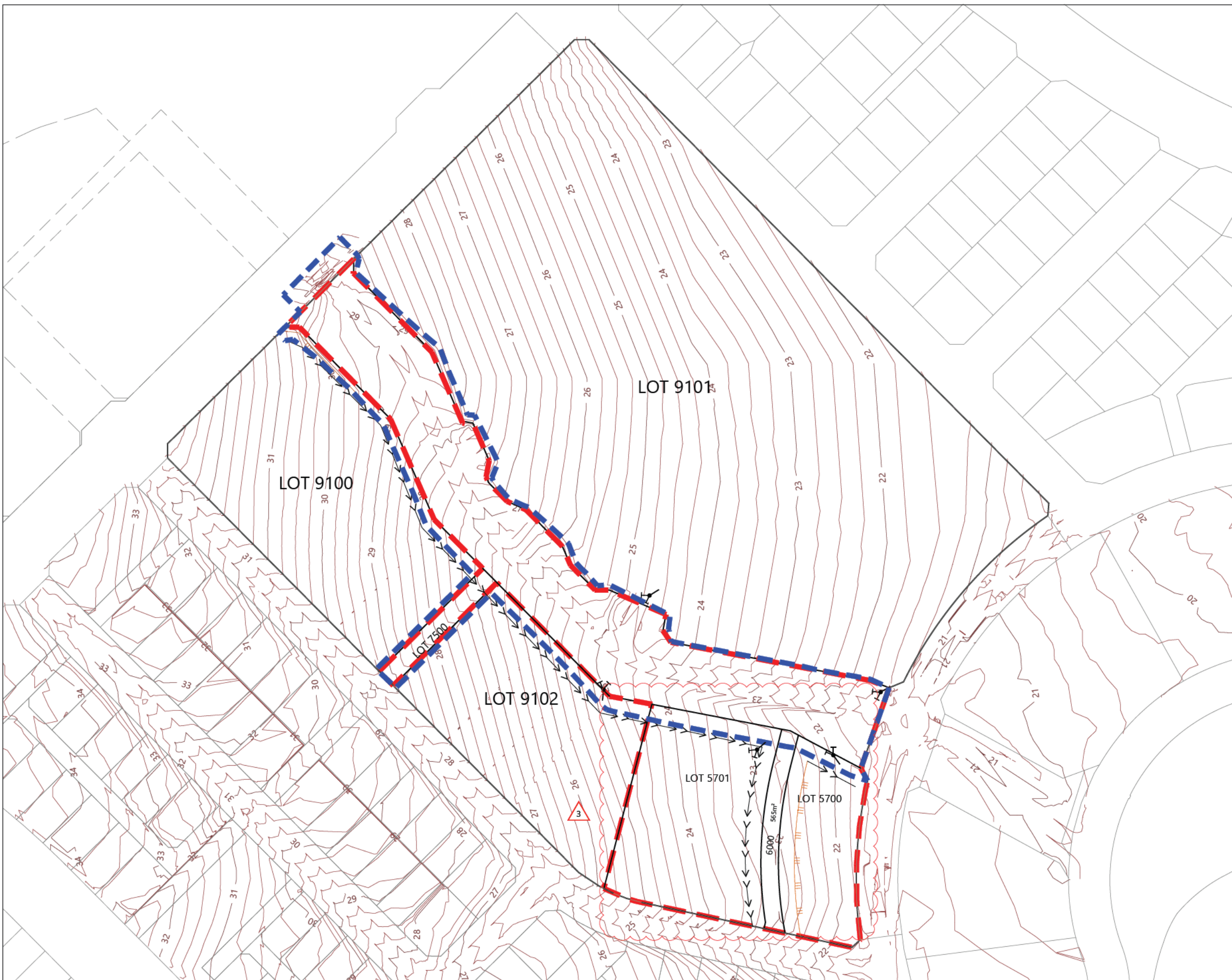
REVISION DETAILS		INT	DATE	SURVEYED	WOODS
1	ISSUED FOR CONSENT	NN	MAY 2023	DESIGNED	NN
2	ISSUE FOR RFI	NN	SEP 23	DRAWN	NN
3	s127 - SLS 5700 & 5701 AMENDMENT	PL	DEC 2023	CHECKED	JW
				APPROVED	JW

SIDWELL ROAD  
MILLDALE  
AUCKLAND

**MILLDALE**  
Connecting Lifelines

MILLDALE STAGE 4C-1  
EARTHWORKS CUT FILL PLAN

STATUS	ISSUED FOR APPROVAL	REV
SCALE	1:1500 @A3	3
COUNCIL	AUCKLAND COUNCIL	
DWG NO	P22-289-4C-1-1200-EW	



**LEGEND**

- ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE AUCKLAND COUNCIL NATURAL RESOURCE'S (FORMER AUCKLAND REGIONAL COUNCIL) TECHNICAL PUBLICATION NO. 90 MARCH 1999 AND THE LATEST GUIDELINE: EROSION AND SEDIMENT CONTROL GUIDE FOR LAND DISTURBING ACTIVITIES IN THE AUCKLAND REGION GUIDELINE DOCUMENT 2016/005 JUNE 2016.
- BEFORE COMMENCING WORKS THE CONTRACTOR SHALL ENSURE THAT HE HAS A COPY OF THE RESOURCE CONSENT - LAND USE : SEDIMENT CONTROL FROM THE ENGINEER.
- ANY MODIFICATIONS TO THE CONSENTED EROSION & SEDIMENT CONTROL DRAWING MUST BE APPROVED BY THE ENGINEER PRIOR TO CONSTRUCTION.
- THE EXTENT OF AREAS TO BE WORKED ARE TO BE CLEARLY IDENTIFIED PRIOR TO STRIPPING AND ALL EROSION & SEDIMENT CONTROL MEASURES IN PLACE AND APPROVED BEFORE EARTHWORKS COMMENCE.

**LEGEND**

STAGE BOUNDARY

DESIGN MAJOR CONTOURS (1m INTERVAL)

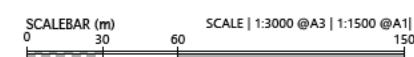
DESIGN MINOR CONTOURS (0.25m INTERVAL)

EXTENT OF EARTHWORKS

DECANT EARTH BUND OUTLET

CLEAN WATER DIVERSION DRAIN

EARTH BUND



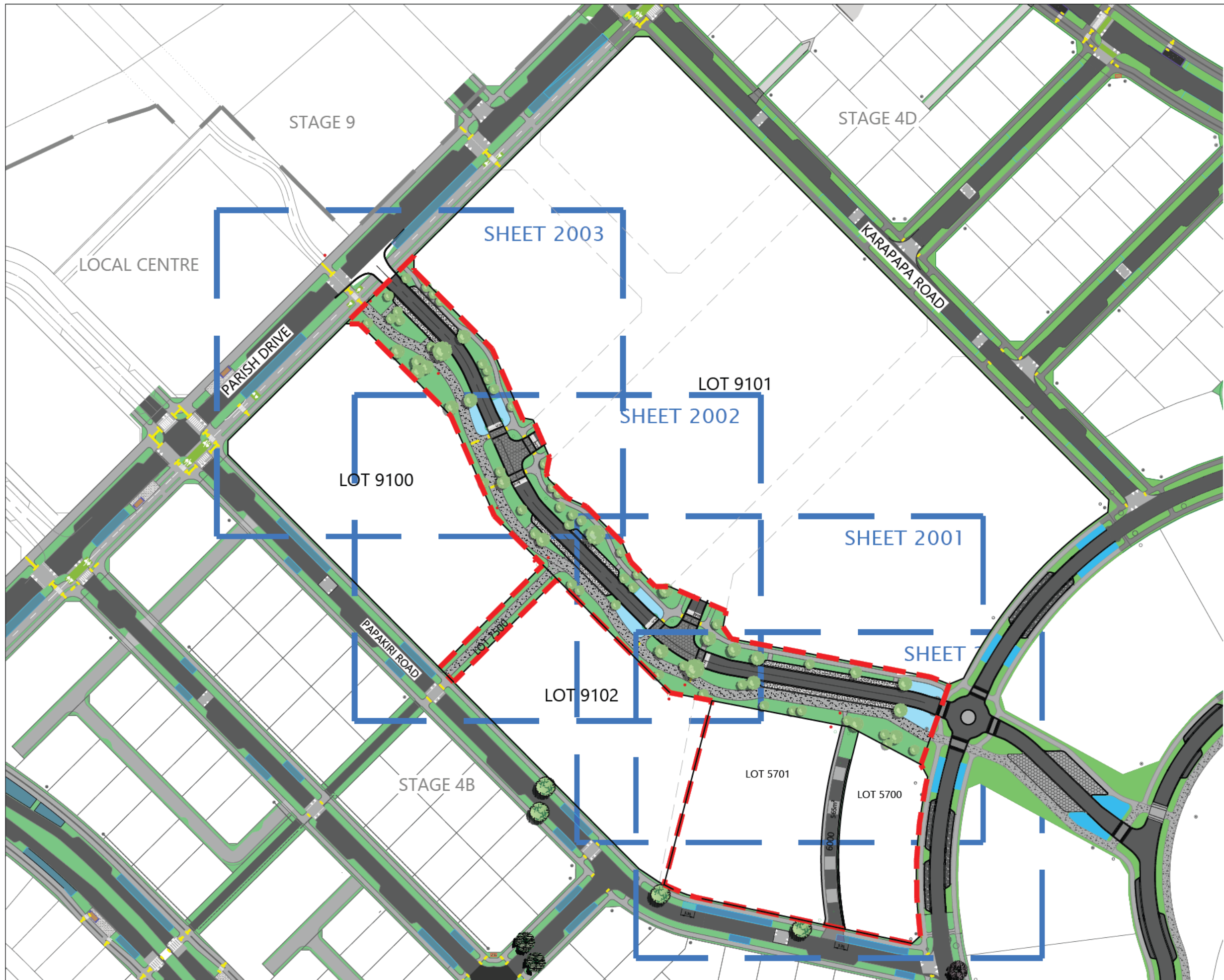
REVISION DETAILS		INT	DATE	SURVEYED	WOODS	
1	ISSUED FOR CONSENT	NN	MAY 2023	DESIGNED	NN	SIDWELL ROAD MILLDALE AUCKLAND
2	ISSUE FOR RFI	NN	SEP 23	DRAWN	NN	
3	s127 - SLS 5700 & 5701 AMENDMENT	PL	DEC 2023	CHECKED	JW	
				APPROVED	JW	WOODS.CO.NZ



**MILLDALE STAGE 4C-1**  
**SEDIMENT AND EROSION CONTROL - OVERALL PLAN**

	STATUS	ISSUED FOR APPROVAL	REV
	SCALE	1:3000 @ A3	3
	COUNCIL	AUCKLAND COUNCIL	
	DWG NO	P22-289-4C-1-1800-EW	





LEGEND

- STAGE BOUNDARY  
PROPOSED CARRIAGEWAY  
FOOTPATH  
AT K&C/RAMP  
EXPOSED AGGREGATE  
RAISED INTERSECTION  
BERM  
RAINGARDEN  
HOLLAND 80 SET PAVERS
- WW MANHOLE  
SW MANHOLE  
SW CATCHPIT  
TACTILE GROUND SURFACE  
INDICATIVE STREET LIGHTING  
STREET SIGN  
INDICATIVE STREET TREE

NOTES

1. ALL WORK AND MATERIALS TO COMPLY WITH AUCKLAND COUNCIL STANDARDS. ANY AMBIGUITY BETWEEN DRAWINGS AND COUNCIL STANDARDS TO BE REPORTED TO THE ENGINEER FOR CLARIFICATION.
2. KERB & CHANNEL TO BE SLIPFORM VERTICAL.
3. ALL CATCH PITS TO BE AT SEMI-RECESSED CESSPIT AS PER AT TDM DRAWING RD020 UNLESS SPECIFIED OTHERWISE.
4. FOOTPATHS TO BE CONSTRUCTED AS PER DETAILS ON TYPICAL CROSS SECTION DRAWINGS.
5. PRAM CROSSINGS TO BE CONSTRUCTED AS PER AUCKLAND COUNCIL STANDARD. (AT DRAWING FP009).
6. VEHICLE CROSSINGS ARE INDICATIVE AND WILL BE CONSTRUCTED TO AUCKLAND COUNCIL STANDARD WITH ONE LAYER OF 665 MESH CENTRALLY PLACED IN ALL CASES.
7. SERVICE DUCTS SHOWN MAY BE INDICATIVE ONLY. ALL DUCTS TO BE POSITIONED USING RELEVANT SERVICE AUTHORITIES DRAWINGS.
8. PAVING IS TO BE CONSTRUCTED AS PER THE DETAILS INCLUDED IN THIS DRAWING SET.
9. ALL LANE MARKING AND ROAD SIGNAGE IS TO BE CONSTRUCTED AS PER NEW ZEALAND TRANSPORT AGENCY MANUAL OF SIGNS AND MARKINGS.
10. ALL INDICATIVE STREET TREE AND STREETLIGHT LOCATIONS ARE SUBJECT TO FINAL IBEX AND LASZ DESIGNS

SCALEBAR (m) 0 15 30  
SCALE | 1:1500 @A3 | 1:750 @A1 | 75

REVISION DETAILS	INT	DATE	SURVEYED	WOODS	
1 ISSUE FOR CONSENT	NN	MAY 2023	DESIGNED	WOODS	SIDWELL ROAD MILLDALE AUCKLAND
2 ISSUE FOR RFI	NN	JUL 23	DRAWN	NN	
3 ISSUE FOR RFI - LOT 7500	NN	SEP 23	CHECKED	JW	
4 s127 - SLS 5700 & 5701 AMENDMENT	PL	DEC 2023	APPROVED	JW	WOODS.CO.NZ



MILLDALE STAGE 4C-1  
ROADING LAYOUT - OVERALL PLAN



STATUS	ISSUED FOR APPROVAL	REV
SCALE	1:1500 @ A3	4
COUNCIL	AUCKLAND COUNCIL	
DWG NO	P22-289-4C-1-2000-RD	





LOCALITY PLAN  
SCALE: 10000 (A3)



### LEGEND

STAGE BOUNDARY	
PROPOSED CARRIAGEWAY	
FOOTPATH	
AT K&C/RAMP	
EXPOSED AGGREGATE	
RAISED INTERSECTION	
BERM	
RAINGARDEN	
HOLLAND 80 SET PAVERS	
WW MANHOLE	
SW MANHOLE	
SW CATCHPIT	
TACTILE GROUND SURFACE	
INDICATIVE STREET LIGHTING	
STREET SIGN	
INDICATIVE STREET TREE	

### NOTES

1. ALL WORK AND MATERIALS TO COMPLY WITH AUCKLAND COUNCIL STANDARDS. ANY AMBIGUITY BETWEEN DRAWINGS AND COUNCIL STANDARDS TO BE REPORTED TO THE ENGINEER FOR CLARIFICATION.
2. KERB & CHANNEL TO BE SLIPFORM VERTICAL.
3. ALL CATCH PITS TO BE AT SEMI-RECESSED CESSPIT AS PER AT TDM DRAWING RD020 UNLESS SPECIFIED OTHERWISE.
4. FOOTPATHS TO BE CONSTRUCTED AS PER DETAILS ON TYPICAL CROSS SECTION DRAWINGS.
5. PRAM CROSSINGS TO BE CONSTRUCTED AS PER AUCKLAND COUNCIL STANDARD. (AT DRAWING FP009).
6. VEHICLE CROSSINGS ARE INDICATIVE AND WILL BE CONSTRUCTED TO AUCKLAND COUNCIL STANDARD WITH ONE LAYER OF 665 MESH CENTRALLY PLACED IN ALL CASES.
7. SERVICE DUCTS SHOWN MAY BE INDICATIVE ONLY. ALL DUCTS TO BE POSITIONED USING RELEVANT SERVICE AUTHORITIES DRAWINGS.
8. PAVING IS TO BE CONSTRUCTED AS PER THE DETAILS INCLUDED IN THIS DRAWING SET.
9. ALL LANE MARKING AND ROAD SIGNAGE IS TO BE CONSTRUCTED AS PER NEW ZEALAND TRANSPORT AGENCY MANUAL OF SIGNS AND MARKINGS.
10. ALL INDICATIVE STREET TREE AND STREETLIGHT LOCATIONS ARE SUBJECT TO FINAL IBEX AND LASF DESIGNS



REVISION DETAILS		INT	DATE	SURVEYED	WOODS	SIDWELL ROAD MILLDALE AUCKLAND  WOODS.CO.NZ
1	s127 - SLS 5700 & 5701 AMENDMENT	PL	DEC 2023	DESIGNED	WOODS	
				DRAWN	NN	
				CHECKED	JW	
				APPROVED	JW	



## MILLDALE STAGE 4C-1 ROADING LAYOUT - SHEET 4



STATUS	ISSUE FOR APPROVAL	REV
SCALE	1:500 @ A3	1
COUNCIL	AUCKLAND COUNCIL	
DWG NO	P22-289-4C-1-2003-RD	





LEGEND:

- STAGES 4C BOUNDARIES
- GREEN STREET
- FUTURE SUBURBAN STREET
- FUTURE INDICATIVE JOALS
- FUTURE INDICATIVE PEDESTRIAN WALKWAY
- PEDESTRIAN WALKWAY

NOTE:

- ALL WORKS AND MATERIALS ARE TO COMPLY WITH AUCKLAND TRANSPORT STANDARDS. ANY AMBIGUITY BETWEEN DRAWINGS AND COUNCIL STANDARDS ARE TO BE REPORTED TO THE ENGINEER FOR CLARIFICATION.
- PRAM CROSSINGS ARE TO BE CONSTRUCTED AS PER AUCKLAND TRANSPORT STANDARDS.
- VEHICLE CROSSINGS TO BE CONSTRUCTED IN ACCORDANCE AUCKLAND COUNCIL STANDARD WITH ONE LAYER OF 665 MESH CENTRALLY PLACED IN ALL CASES.
- ALL LANE MARKING AND ROAD SIGNAGE IS TO BE CONSTRUCTED AS PER THE NEW ZEALAND TRANSPORT AGENCY (NZTA) MANUAL OF TRAFFIC SIGNS AND MARKINGS.
- NO PRIVATE VEHICLE CROSSINGS ONTO GREEN STREET.

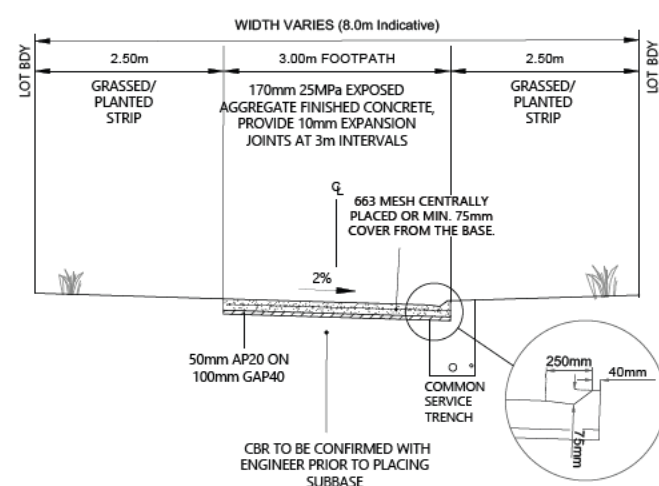
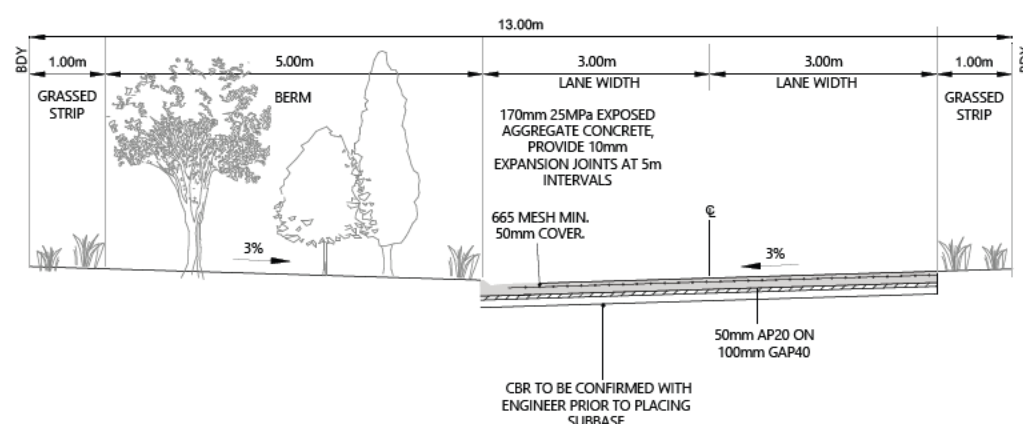
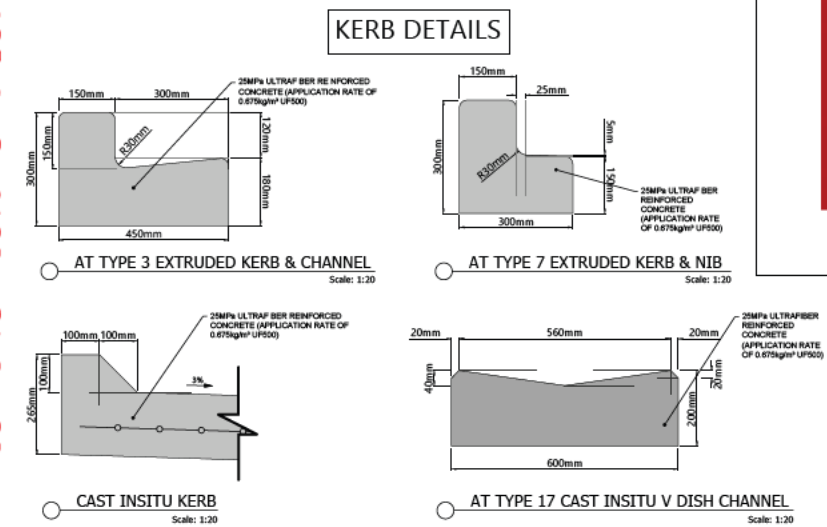
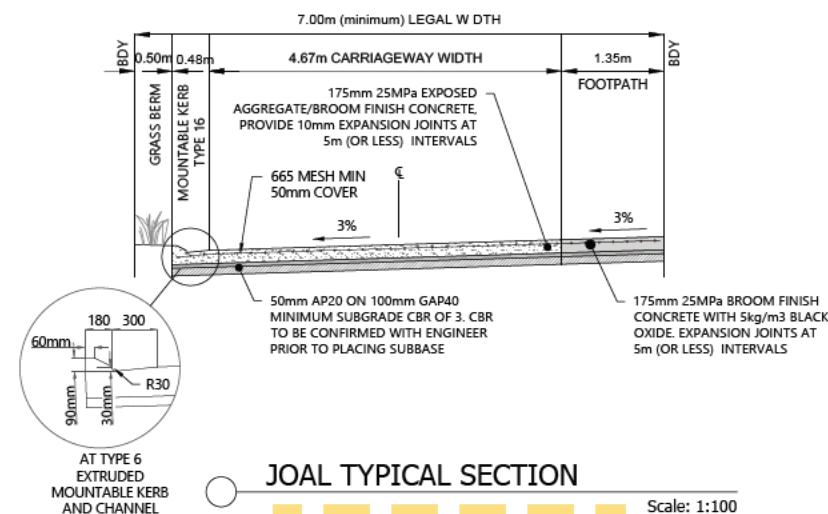
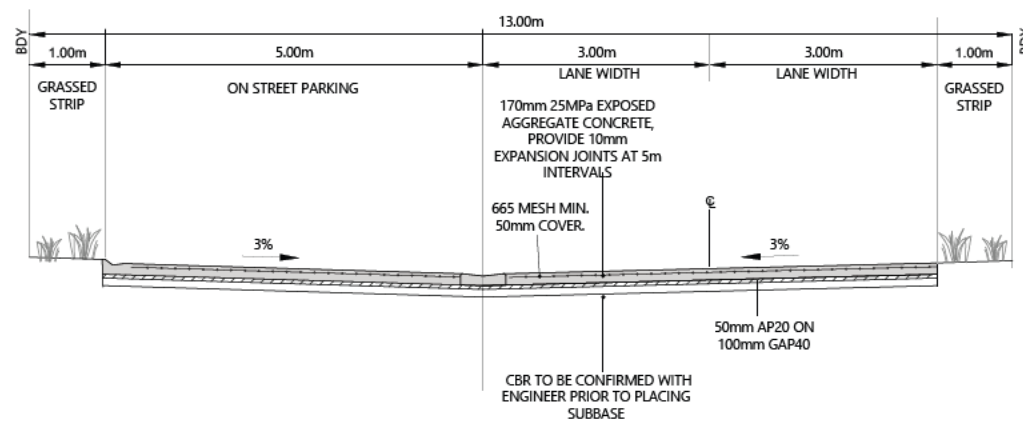
REVISION DETAILS		INT	DATE	SURVEYED	WOODS	SIDWELL ROAD MILLDALE AUCKLAND  WOODS.CO.NZ
1	ISSUE FOR CONSENT	NN	MAY 2023	DESIGNED	WOODS	
2	ISSUED FOR RFI	NN	SEP 23	DRAWN	FA	
3	s127 - SLS 5700 & 5701 AMENDMENT	PL	DEC 2023	CHECKED	JW	
				APPROVED	JW	




MILLDALE STAGE 4C-1  
ROAD TYPOLOGY PLAN

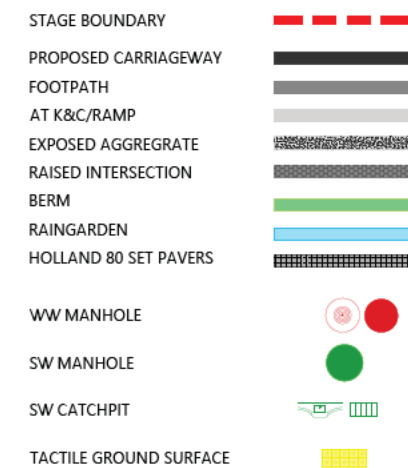


STATUS	ISSUED FOR APPROVAL	REV
SCALE	1:1500 @ A3	3
COUNCIL	AUCKLAND COUNCIL	
DWG NO	P22-289-4C-1-2200-RD	



- ## NOTE:
1. CONTRACTOR TO CONFIRM TO ENGINEER INSITU SUBGRADE CBR PRIOR TO TRIMMING TO FINAL SUBGRADE LEVEL TO CONFIRM PAVEMENT DEPTHS.
  2. CONTRACTOR TO USE ONLY AT APPROVED ASPHALT MIXES.
  3. MAXIMUM DEFLECTION (BB) & CURVATURE (CF) OF ROAD PAVEMENT TO BE:
    - SUBURBAN & STREET EDGE:  
AT BASECOURSE: 1.2mm (BB)  
AT ASPHALT SURFACE: 1.2 mm (BB)
  3. ALL WORKS AND MATERIALS ARE TO COMPLY WITH AUCKLAND TRANSPORT STANDARDS. ANY AMBIGUITY BETWEEN DRAWINGS AND COUNCIL STANDARDS ARE TO BE REPORTED TO THE ENGINEER FOR CLARIFICATION.
  4. PRAM CROSSINGS ARE TO BE CONSTRUCTED AS PER AUCKLAND TRANSPORT STANDARDS.
  5. VEHICLE CROSSINGS TO BE CONSTRUCTED AS PER DETAIL ON DWG P20-240-4D-2300-RD TO 2306-RD AND IN ACCORDANCE AUCKLAND COUNCIL STANDARD WITH ONE LAYER OF 665 MESH CENTRALLY PLACED IN ALL CASES.
  6. SERVICE TRENCHES SHOWN ARE INDICATIVE ONLY. ALL DUCTS/PIPES ARE TO BE POSITIONED AS PER RELEVANT SERVICE PROVIDER STANDARDS.
  7. STORMWATER AND WASTEWATER PIPES TO BE LAID WITH MINIMUM 1.00m COVER WITH HARDFILL BACKFILL UNDER ROAD CARRIAGEWAY.
  8. ALL LANE MARKING AND ROAD SIGNAGE IS TO BE CONSTRUCTED AS PER THE NEW ZEALAND TRANSPORT AGENCY (NZTA) MANUAL OF TRAFFIC SIGNS AND MARKINGS.
  9. ALL UNDERCHANNELS AND SUBSOIL DRAINSTO COMPLY WITH TNZ/F2 SPEC.

REVISION DETAILS		INT	DATE	SURVEYED	WOODS	<div></div>	MILLDALE STAGE 4C-1	TYPICAL ROAD CROSS SECTIONS & KERB DETAILS - JOALS AND PEDESTRIAN WALKWAY			STATUS	ISSUED FOR APPROVAL	REV	
1	ISSUE FOR CONSENT	NN	MAY 2023	DESIGNED	PL						SIDWELL ROAD MILLDALE AUCKLAND	SCALE	AS SHOWN	2
2	s127 JOAL DETAILS AMENDMENT	PL	DEC 2023	DRAWN	FA							COUNCIL	AUCKLAND COUNCIL	
				CHECKED	PL							DWG NO	P22-289-4C-1-2203-RD	
				APPROVED	JW							WOODS.CO.NZ		



- SCALEBAR (m) SCALE | 1:500 @A3 | 1:250 @A1 | 1:125 @A1+ | 1:62.5 @A1+  
HOR. 0 5 10 25  
VERT. 1 2 5  
SCALE | 1:100 @A3 | 1:50 @A1 | 1:25 @A1+ | 1:12.5 @A1+ | 1:6.25 @A1+ | 1:3.125 @A1+

STATUS	ISSUED FOR APPROVAL	REV 1
SCALE	AS SHOWN	
COUNCIL	AUCKLAND COUNCIL	
DWG NO	P22-289-4C-1-2402-RD	



LOCAL CENTRE

STAGE 4D

LOT 9101

LOT 9100

LOT 9102

STAGE 4B

LOT 5701

LOT 5700

STAGE 4F

### LEGEND

STAGE BOUNDARY	
PROPOSED STORMWATER LINE AND PIT	
PROPOSED SANITARY SEWER LINE AND PIT	
SINGLE CATCHPIT	
DOUBLE CATCHPIT	
HEADWALL	
RAINGARDEN LOCATIONS	
PROPOSED CONTOUR (1.0m INTERVAL)	

### NOTES

1. ALL WORKS AND MATERIALS TO COMPLY WITH AUCKLAND COUNCIL STANDARDS AND WATERCARE STANDARDS. ANY AMBIGUITY BETWEEN DRAWINGS AND COUNCIL STANDARDS TO BE REPORTED TO THE ENGINEER FOR CLARIFICATION.
2. FOR PIPE BEDDING DETAILS REFER TO AUCKLAND COUNCIL STANDARD DETAIL SHEETS UNLESS OTHERWISE NOTED ON THE DRAINAGE LONG SECTIONS IN WHICH CASE SUCH NOTES TAKE PRECEDENCE.
3. CONCRETE PIPES ARE TO BE 300mmØ UNLESS OTHERWISE NOTED.
4. ALL PIPE CROSSINGS UNDER ROADS TO BE HARDFILL BACKFILLED.
5. ALL MANHOLES ARE TO BE 1050mm DIA. UNLESS OTHERWISE NOTED ON THE DRAINAGE LONG SECTION IN WHICH CASE SUCH NOTES SHALL TAKE PRECEDENCE.
6. ALL CATCHPITS ARE TO BE STANDARD AT APPROVED RECESSED 800X500mm. UNLESS STATED OTHERWISE. ALL CATCHPIT LEADS TO BE 300mmØ CLASS 4 RCRRJ UNLESS STATED OTHERWISE.
7. THE CONTRACTOR IS TO PEG MANHOLES AND CHECK FINISHED EARTHWORKS LEVELS (MH LID LEVELS) PRIOR TO ORDERING MANHOLES.
8. PIPE GRADES ON THE LONG SECTIONS ARE CALCULATED FROM MANHOLE CENTRE TO MANHOLE CENTRE. THIS MAY RESULT IN CREEP (ON STEEP SITES PARTICULARLY) AND THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT LASER LEVELS ARE SET TO COMPENSATE FOR THIS.

SCALEBAR (m) SCALE | 1:1500 @A3 | 1:750 @A1 |  
0 15 30 75

REVISION DETAILS	INT	DATE	SURVEYED	WOODS	
1 ISSUED FOR CONSENT	NN	MAY 2023	DESIGNED	NN	SIDWELL ROAD MILDALE AUCKLAND
2 ISSUE FOR RFI	NN	SEP 23	DRAWN	NN	
3 s127 - SLS 5700 & 5701 AMENDMENT	PL	DEC 2023	CHECKED	JW	
			APPROVED	JW	WOODS.CO.NZ



MILDALE STAGE 4C-1

STORMWATER DRAINAGE LAYOUT - OVERALL PLAN



STATUS	ISSUED FOR APPROVAL	REV
SCALE	1:1500 @ A3	3
COUNCIL	AUCKLAND COUNCIL	
DWG NO	P22-289-4C-1-3000-DR	



LOCAL CENTRE

STAGE 4D

LOT 9101

LOT 9100

LOT 9102

STAGE 4B

PROPOSED 1500 WW CONNECTION  
LOT 5701

LOT 5700

EX. 1500 WW CONNECTION

EX. 1500 WW CONNECTION

STAGE 4F

DENORO RING ROAD

### LEGEND

STAGE BOUNDARY	
PROPOSED STORMWATER LINE AND PIT	
PROPOSED SANITARY SEWER LINE AND PIT	
SINGLE CATCHPIT	
DOUBLE CATCHPIT	
HEADWALL	
RAINGARDEN INDICATIVE LOCATIONS	
PROPOSED CONTOUR (1.0m INTERVAL)	

### NOTES

1. ALL WORKS AND MATERIALS TO COMPLY WITH AUCKLAND COUNCIL STANDARDS AND WATERCARE STANDARDS. ANY AMBIGUITY BETWEEN DRAWINGS AND COUNCIL STANDARDS TO BE REPORTED TO THE ENGINEER FOR CLARIFICATION.
2. FOR PIPE BEDDING DETAILS REFER TO AUCKLAND COUNCIL STANDARD DETAIL SHEETS UNLESS OTHERWISE NOTED ON THE DRAINAGE LONG SECTIONS IN WHICH CASE SUCH NOTES TAKE PRECEDENCE.
3. CONCRETE PIPES ARE TO BE 300mmØ UNLESS OTHERWISE NOTED.
4. ALL PIPE CROSSINGS UNDER ROADS TO BE HARDFILL BACKFILLED.
5. ALL MANHOLES ARE TO BE 1050mm DIA. UNLESS OTHERWISE NOTED ON THE DRAINAGE LONG SECTION IN WHICH CASE SUCH NOTES SHALL TAKE PRECEDENCE.
6. ALL CATCHPITS ARE TO BE STANDARD AT APPROVED RECESSED 800X500mm. UNLESS STATED OTHERWISE. ALL CATCHPIT LEADS TO BE 300mmØ CLASS 4 RCRRJ UNLESS STATED OTHERWISE.
7. ALL JOAL CATCHPIT TO BE FITTED WITH STORMWATER 360 LITTA TRAP FILTER
8. THE CONTRACTOR IS TO PEG MANHOLES AND CHECK FINISHED EARTHWORKS LEVELS (MH LID LEVELS) PRIOR TO ORDERING MANHOLES.
9. PIPE GRADES ON THE LONG SECTIONS ARE CALCULATED FROM MANHOLE CENTRE TO MANHOLE CENTRE. THIS MAY RESULT IN CREEP (ON STEEP SITES PARTICULARLY) AND THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT LASER LEVELS ARE SET TO COMPENSATE FOR THIS.

SCALEBAR (m) SCALE | 1:1500 @A3 | 1:750 @A1 |

REVISION DETAILS	INT	DATE	SURVEYED	WOODS	SIDWELL ROAD MILDDALE AUCKLAND
1 ISSUED FOR CONSENT	NN	MAY 2023	DESIGNED	NN	
2 ISSUED FOR RFI	NN	JUL 23	DRAWN	NN	
3 ISSUED FOR RFI	NN	SEP 23	CHECKED	JW	
4 s127 - SLS 5700 & 5701 AMENDMENT	PL	2023	APPROVED	JW	WOODS.CO.NZ



MILDDALE STAGE 4C-1

WASTEWATER DRAINAGE LAYOUT - OVERALL PLAN



STATUS	ISSUED FOR APPROVAL	REV
SCALE	1:1500 @ A3	4
COUNCIL	AUCKLAND COUNCIL	
DWG NO	P22-289-1-4C-4000-DR	



LOCAL CENTRE

STAGE 4D

LOT 9101

LOT 9100

LOT 9102

LOT 5701

LOT 5700

STAGE 4F

STAGE 4B

PROPOSED SERVICE DUCTS  
UNDER THE PROPOSED  
FOOTPATH FOR FUTURE  
PRIVATE CONNECTIONS

### LEGEND

STAGE BOUNDARY	
PROPOSED WATER RETICULATION	
PROPOSED WATER CONNECTIONS	
EXISTING WATER RETICULATION	
FUTURE WATER RETICULATION	
SLUICE VALVE	
PEET VALVE	
BLANK CAP	
FIRE HYDRANT	
METER BOX	

### NOTES

1. ALL WORKS AND MATERIALS TO COMPLY WITH WATERCARE STANDARD. ANY AMBIGUITY BETWEEN THESE DRAWINGS AND COUNCIL STANDARDS IS TO BE REFERRED TO THE ENGINEER FOR CLARIFICATION.
2. ALL WATERMAIN TO HAVE MIN. COVER OF 600mm UNDER BERM & 900mm UNDER CARRIAGEWAY. ALL ROAD CROSSINGS ARE TO BE HARDFILL BACKFILLED WITH MIN. 900mm COVER.
3. CONNECTIONS TO EXISTING COUNCIL WATERMAINS ARE TO BE MADE ONLY AFTER TESTING, STERILISATION AND ACCEPTANCE BY WATERCARE. CONNECTIONS TO BE MADE IN ACCORDANCE WITH COUNCIL'S ALC POLICY.
4. ALL PIPE MATERIAL TO BE PE100 WITH PRESSURE RATING OF PN12.5. UNLESS INDICATED OTHERWISE. ALL PIPE TO INCLUDE TRACER WIRE.
5. ALL PIPES ARE SHOWN AS NOMINAL INTERNAL DIAMETER (ID).
6. PE80 SDR11 PIPES ARE NOT TO BE WELDED TO A PE100 SDR 13.6 PIPE OF THE SAME NOMINAL DIAMETER.
7. ALL 25mmOD SERVICE LINES (PRIVATE) ARE TO BE INSTALLED AS PER WATERCARE DETAIL DRAWING WS 13 (2015).
8. ALL BENDS ARE TO BE PROVIDED WITH A 45° FITTINGS AND THRUST BLOCKS TO WATERCARE STANDARD.

SCALEBAR (m) 0 15 30 75  
SCALE | 1:1500 @A3 | 1:750 @A1

REVISION DETAILS	INT	DATE	SURVEYED	WOODS	
1 ISSUED FOR CONSENT	NN	MAY 2023	DESIGNED	NN	MILDALE AUCKLAND
2 ISSUE FOR RFI	NN	SEP 23	DRAWN	NN	
3 s127 - SLS 5700 & 5701 AMENDMENT	PL	DEC 2023	CHECKED	JW	
			APPROVED	JW	WOODS.CO.NZ



## MILDALE - STAGE 6

### WATER RETICULATION LAYOUT - OVERALL PLAN



STATUS	ISSUED FOR APPROVAL	REV
SCALE	1:1500 @ A3	3
COUNCIL	AUCKLAND COUNCIL	
DWG NO	P22-289-4C-1-6000-WR	

# MILLDALE STREETSCAPE – STAGE 4C-1

MILLDALE DEVELOPMENT, AUCKLAND



REVISED CONCEPT DESIGN FOR RESOURCE CONSENT

December 2023





## LEGEND

- 01 Car park connections
- 02 Indicative future connection to Stage 4B

## HARDSCAPE

- 4m Shared Path**  
Exposed aggregate concrete with Peter Fell oxide, to match Stage 4F
- 1.8m Footpath and Pedestrian Crossing**  
Broom finish concrete with 5kg/m<sup>3</sup> black oxide, to match Stage 4F
- Intersection**  
Vehicular grade Firth Holland Set pavers
- Band Treatment to Shared Path Nodes**  
Coloured concrete band treatment to key shared path nodes
- Carpark Buffer Strip**  
Coloured concrete band to provide buffer between carpark and shared path

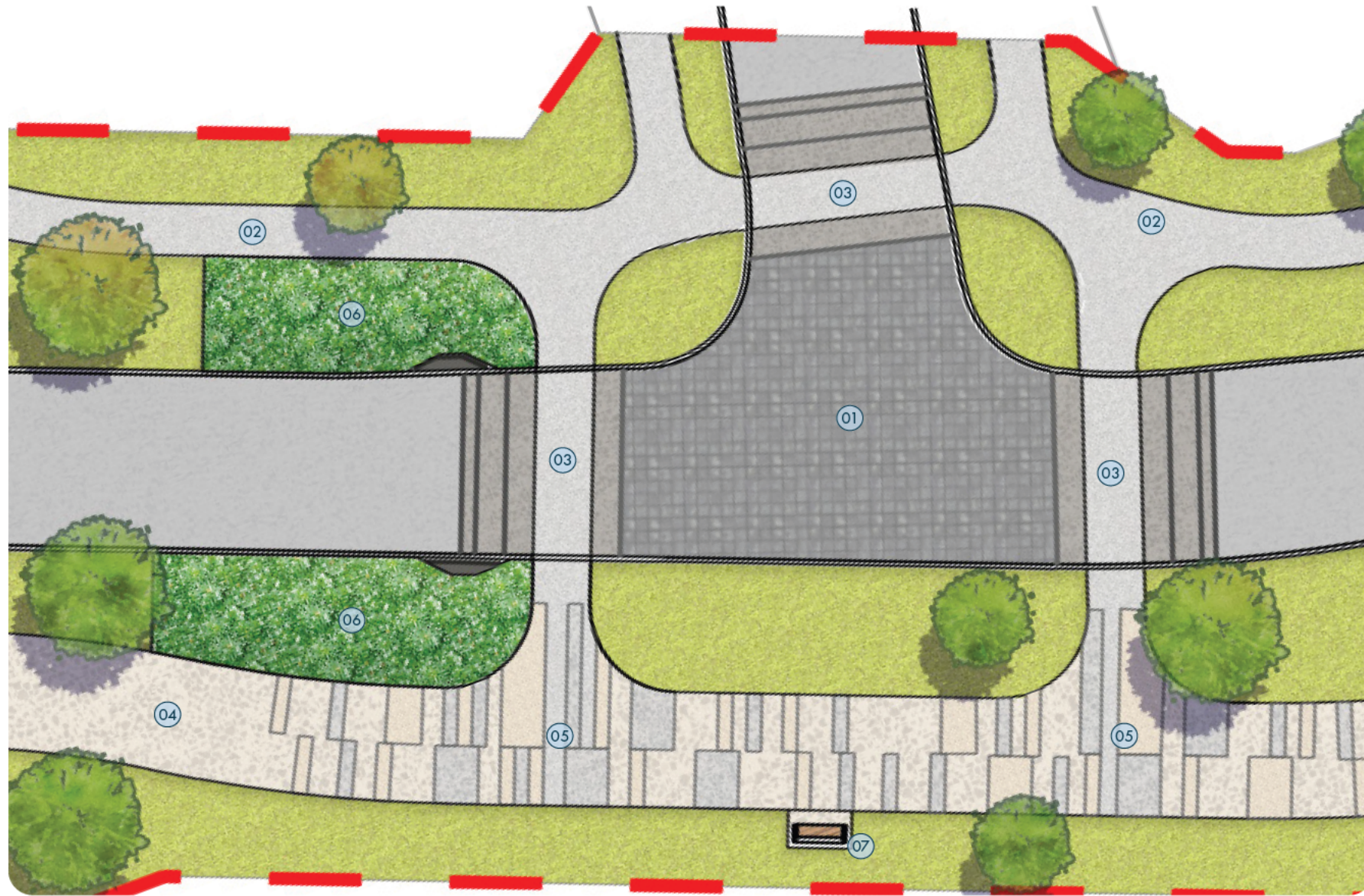
## INDICATIVE STREET FURNITURE

- Picnic Set**  
SFNZ Sandringham accessible picnic set
  - Bench**  
SFNZ Portland seat with backrest and armrest
- Subject to Local Board approval at EPA*

## PLANTING

- Grassed areas
- Raingarden Planting Mix, refer to Planting Schedule
- Specimen Trees, refer to Planting Plan





DETAIL PLAN A  
TYPICAL GREEN STREET INTERSECTION  
1:200 at A3

- 01 Intersection with vehicular grade cobblestone sets
- 02 1.8m wide footpath
- 03 Pedestrian crossing
- 04 4m wide shared path
- 05 Coloured concrete bands
- 06 Rain garden
- 07 Bench (indicative only)

## MATERIAL PALETTE



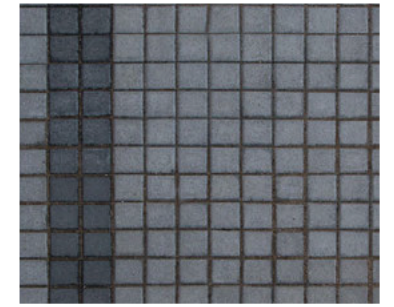
### Shared Path

Exposed aggregate concrete with Peter Fell oxide, to match Stage 4F



### Footpath and Pedestrian Crossing

Broom finish concrete with 5kg/m³ black oxide, to match Stage 4F



### Intersection

Vehicular grade Firth Holland Set pavers



### Shared Path Nodes

Exposed aggregate concrete with varying Peter Fell oxides



### Carpark Buffer Strip

Exposed aggregate concrete with varying Peter Fell oxides

## INDICATIVE STREET FURNITURE PALETTE

*Subject to Local Board approval at EPA*



### Picnic Set

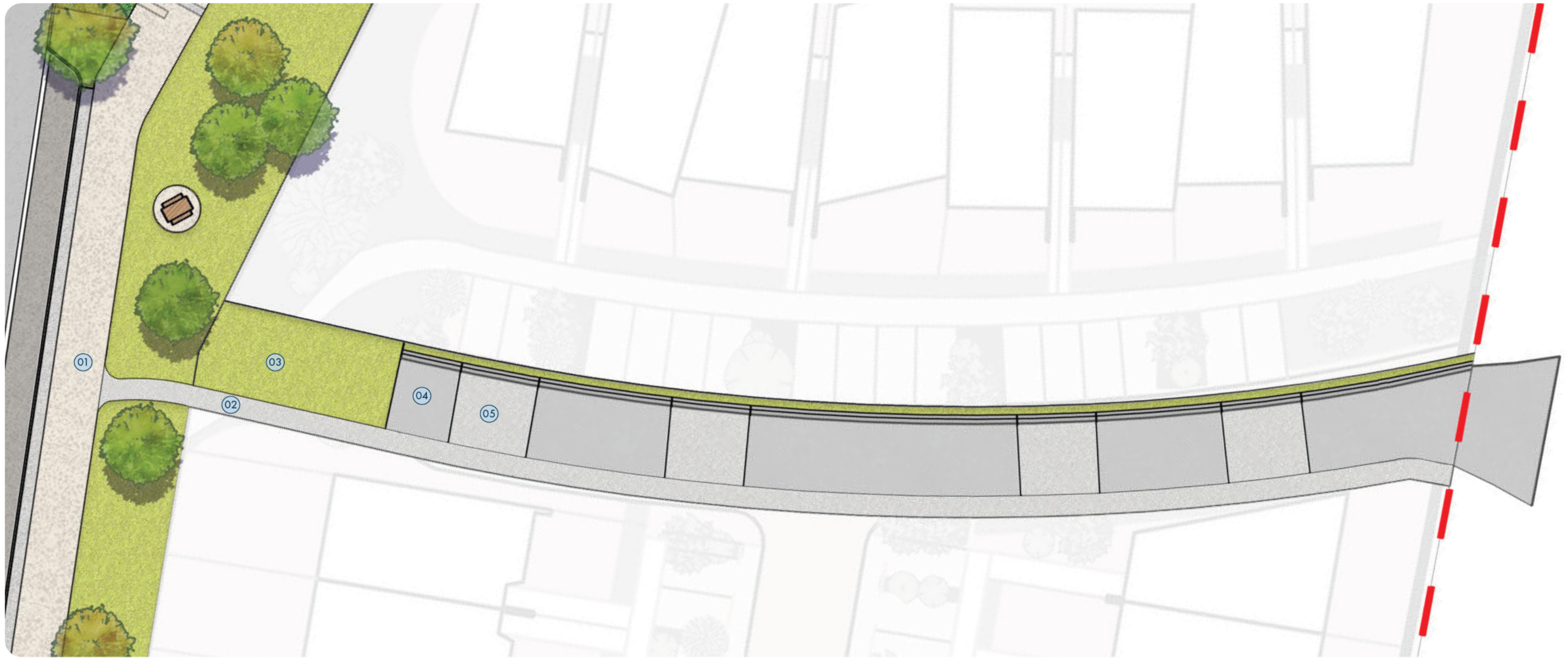
SFNZ Sandringham accessible picnic set



### Bench

SFNZ Portland seat with backrest and armrest

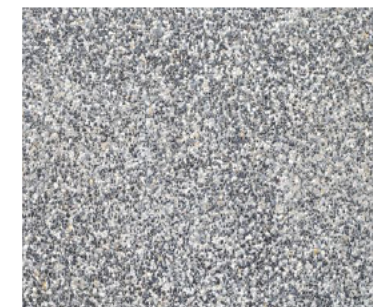




DETAIL PLAN B  
**JOAL CARRIAGEWAY**  
 1:250 at A3

- 01 4m wide shared path
- 02 Joal Footpath
- 03 Area for private amenity planting
- 04 Joal Mix 1
- 05 Joal Mix 2

#### MATERIAL PALETTE



**Joal Mix 1 (Carriageway)**  
 Exposed aggregate concrete with  
 Peter Fell oxide





**Joal Mix 2 (Carriageway and Joal  
 Footpath)**  
 Broom finish concrete with 5kg/m³  
 black oxide











#### SHRUB PLANTING AND GRASSED AREAS

-  Raingarden Planting Mix, refer to Planting Schedule
-  Grassed Areas

#### TREE PLANTING

-  **Titoki**  
*Alectryon excelsus*
-  **Tawapou**  
*Planchonella costata*
-  **Tānekaha**  
*Phyllocladus trichomanoides*
-  **Mānatu, ribbonwood**  
*Plagianthus regius*
-  **Puriri**  
*Vitex lucens*
-  1m offset from SW line



GREEN STREET TREES



RAIN GARDEN MIX



PLANTING SCHEDULE

GREEN STREET SPECIMEN TREES

BOTANICAL NAME	COMMON NAME	Mix (%)	Area (m2)	GRADE	Min. Size at Planting (m)		Size at Maturity (m)		Spacing (m)	Estimated Quantity
					Height x Width		Height x Width			
<i>Alectryon excelsus</i>	Titoki	-	-	45L	2.2	0.8	7	4	As shown	17
<i>Planchonella costata</i>	Tawapou	-	-	45L	2.0	0.8	6	3	As shown	30
<i>Phyllocladus trichomanoides</i>	Tānekaha	-	-	45L	2.3	0.8	12	4	As shown	17
<i>Plagianthus regius</i>	Mānatu, ribbonwood	-	-	45L	2.0	0.6	12	4	As shown	12
<i>Vitex lucens</i>	Pūriri	-	-	45L	1.7	0.8	8	6	As shown	4
TOTAL										68

RAIN GARDEN MIX

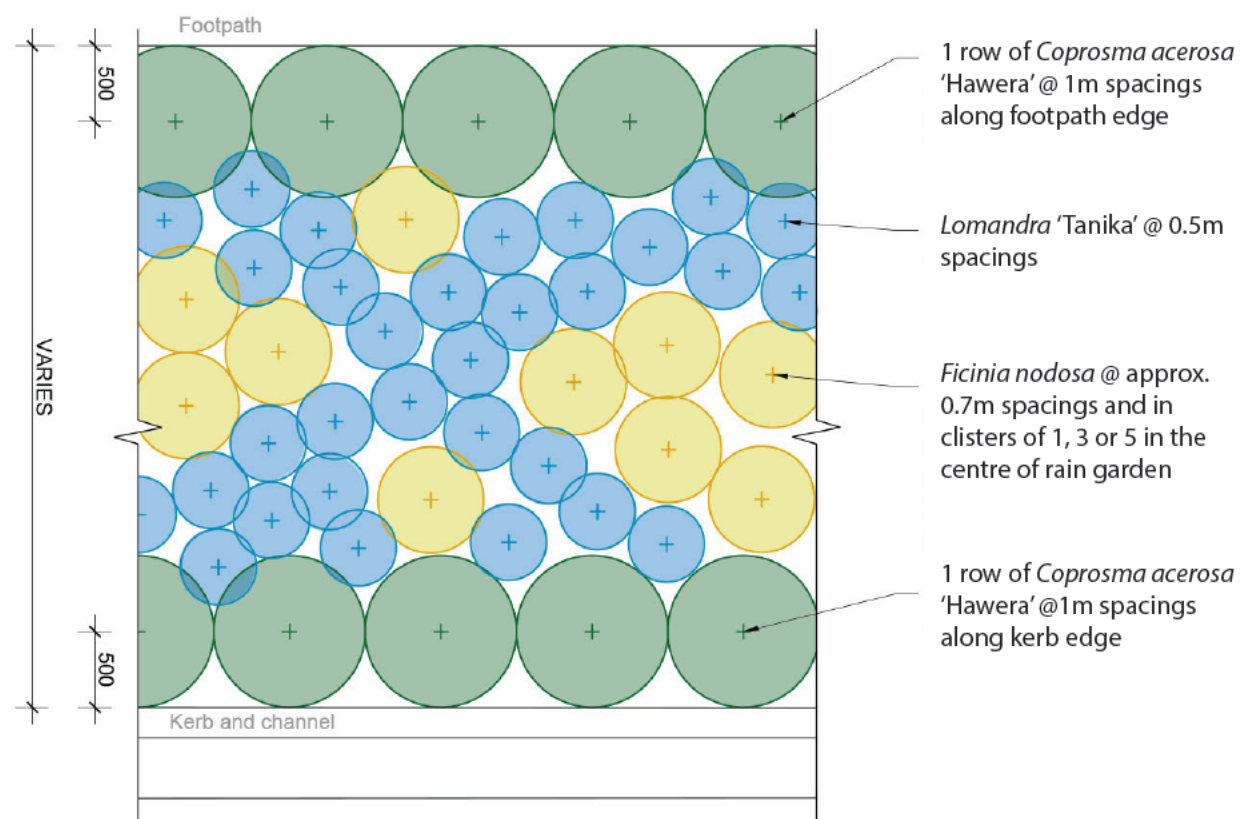
BOTANICAL NAME	COMMON NAME	Mix (%)	Area (m2)	GRADE	Size at Planting (m)		Size at Maturity (m)		Spacing (m)	Estimated Quantity
					Height x Width		Height x Width			
					367					
<i>Coprosma acerosa</i> 'Hawera'	Groundcover coprosma	52	191	2L	0.05	0.15	0.2	1	1	191
<i>Ficinia nodosa</i>	Wiwi / Knobby club rush	15	55	2L	0.3	0.15	0.7	1	0.7	112
<i>Lomandra</i> 'Tanika'	Lomandra Tanika	33	121	2L	0.4	0.15	0.7	0.7	0.5	484
TOTAL										788

GENERAL NOTES

- The Contractor is to ensure all plants are of a healthy and consistent stock which meet the requirements outlined in the Schedule and Landscape Specification. If alternatives are required to meet any of these conditions then the contractor shall propose accordingly to the Landscape Architect for approval.
- All nursery stock shall be reviewed and approved by the Landscape Architect for health and structure prior to installation. Notification for inspection must be provided at least one (1) month prior to planned installation.

The following inspections are required prior to installation of mulch and planting:

1. Review of excavation to formation levels where applicable
2. Topsoil samples prior to installation
3. Garden bed/grass area profiling



## TYPICAL RAIN GARDEN PLANTING LAYOUT

1:50 at A3

## SHRUB PLANTING NOTES

- A minimum 400mm soil media layer shall be achieved with an additional 100mm layer of approved mulch applied to all areas of shrub planting.
- The Landscape Architect shall approve the sample planting layout(s) prior to implementation. The Contractor shall notify the Landscape Architect minimum 48 hours in advance so that joint site inspection(s) can be arranged.
- All planted and grassed areas shall be excavated to formation levels and/ or as required to ensure no impervious surfaces occur beneath and required topsoil depths are achieved as applicable.
- All planting should be planted individually or in clusters of 3 or 5, unless otherwise stated.