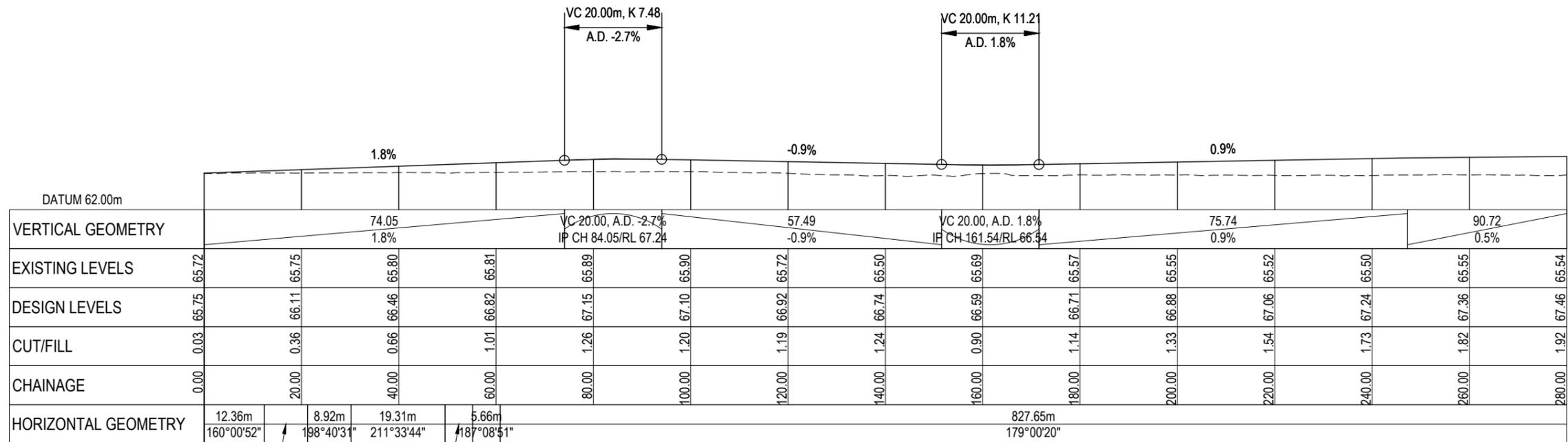
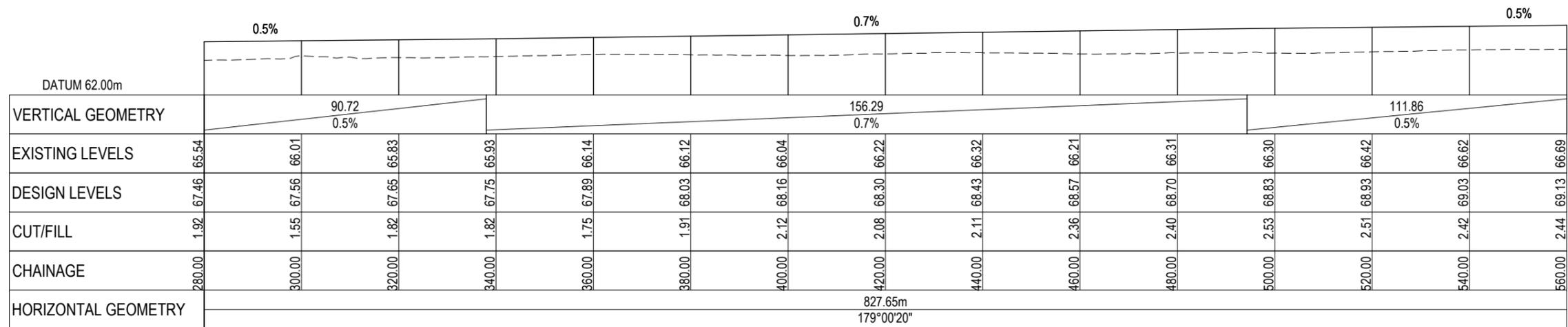


DATE: 11/19/25 FILEPATH: F:\MAVEN\HAMILTON6 - PROJECTS\289001 - STATION ROAD\7 DRAWING\1 - ASHBORNE RESIDENTIAL\C320-LONG SECTIONS.DWG



ROAD 1  
SCALE: HORI 1:1000 VERT 1:500



ROAD 1  
SCALE: HORI 1:1000 VERT 1:500

- NOTES
- All works to be in accordance with Matamata-Piako District Council standards.
  - Co-ordinates in terms of NZ Geodetic Datum MT Eden 2000.
  - Levels in terms of the New Zealand Vertical Datum 2016.
  - Benchmark: IT 1 DPS 29877 RL: 65.51.
  - Boundaries are subject to final survey.

Legend

	EXISTING GROUND LEVEL
	PROPOSED GROUND LEVEL

D	FAST TRACK APP	RJM	11/2025
C	FAST TRACK APP	RJM	11/2025
B	FAST TRACK APP	RJM	04/2025
A	FAST TRACK APP	RJM	04/2025
Rev	Description	By	Date
	Survey	MAVEN	05/2024
	Design	MKS	11/2024
	Drawn	AP	11/2024
	Checked	DJM	11/2024



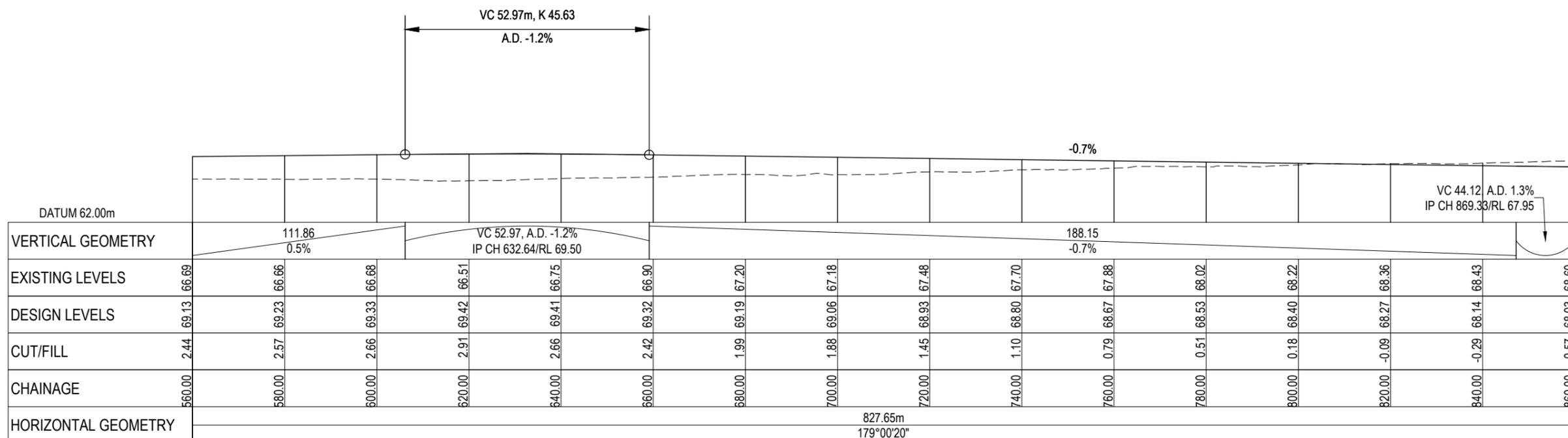
Project  
**ASHBOURNE  
RESIDENTIAL  
FOR  
MATAMATA  
DEVELOPMENTS LTD**

Title  
**PROPOSED  
ROADING  
LONGSECTION**

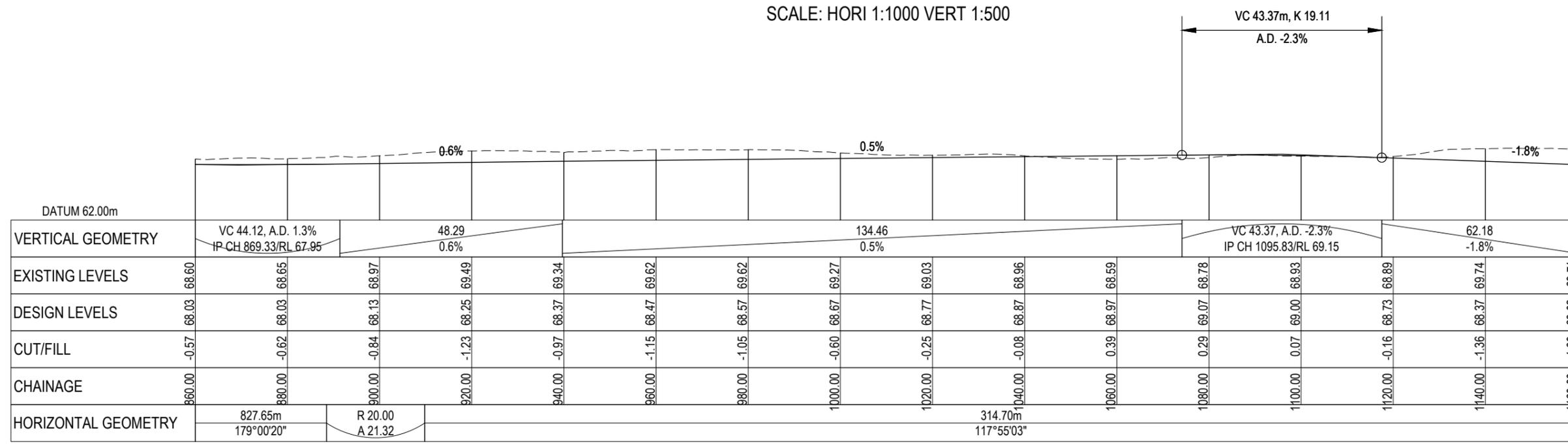
Project no.	289001
Scale	AS SHOWN
Cad file	C320-LONG SECTIONS.DWG
Drawing no.	C320-1
Rev	<b>D</b>

**RESOURCE CONSENT**

- NOTES
1. All works to be in accordance with Matamata-Piako District Council standards.
  2. Co-ordinates in terms of NZ Geodetic Datum MT Eden 2000.
  3. Levels in terms of the New Zealand Vertical Datum 2016.
  4. Benchmark: IT 1 DPS 29877 RL: 65.51.
  5. Boundaries are subject to final survey.



ROAD 1  
SCALE: HORI 1:1000 VERT 1:500



ROAD 1  
SCALE: HORI 1:1000 VERT 1:500

Legend

----- EXISTING GROUND LEVEL

———— PROPOSED GROUND LEVEL

D	FAST TRACK APP	RJM	11/2025
C	FAST TRACK APP	RJM	11/2025
B	FAST TRACK APP	RJM	04/2025
A	FAST TRACK APP	RJM	04/2025
Rev	Description	By	Date
		By	Date
Survey	MAVEN		05/2024
Design	MKS		11/2024
Drawn	AP		11/2024
Checked	DJM		11/2024



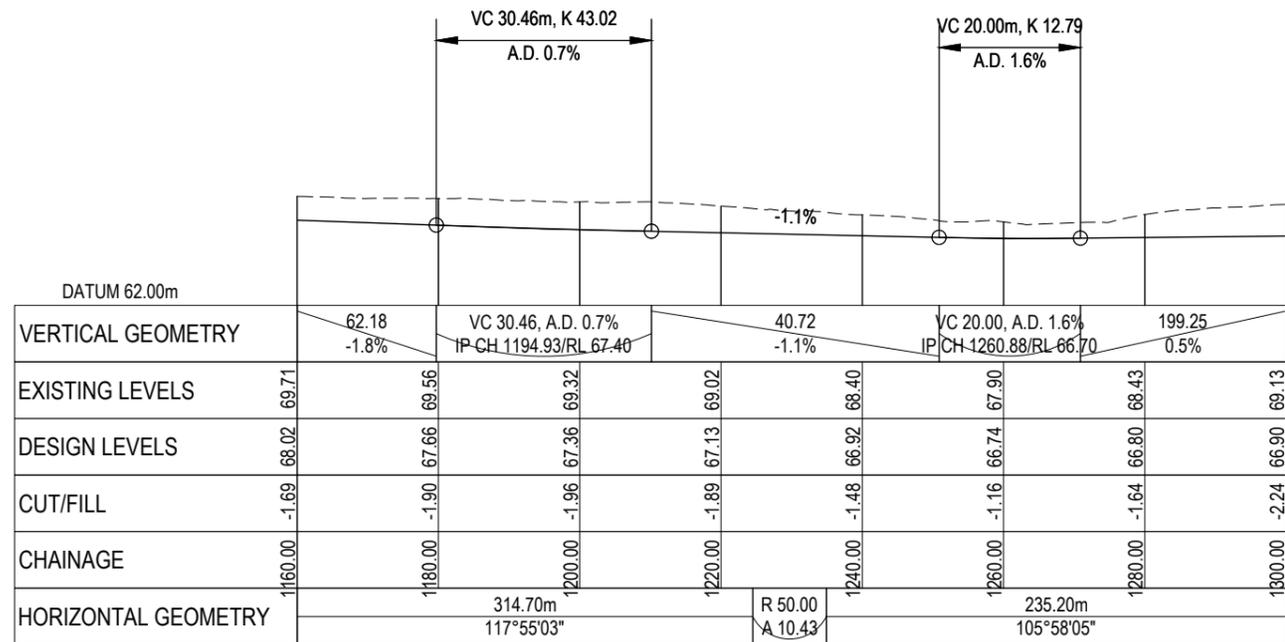
Project  
**ASHBOURNE  
RESIDENTIAL  
FOR  
MATAMATA  
DEVELOPMENTS LTD**

Title  
**PROPOSED  
ROADING  
LONGSECTION**

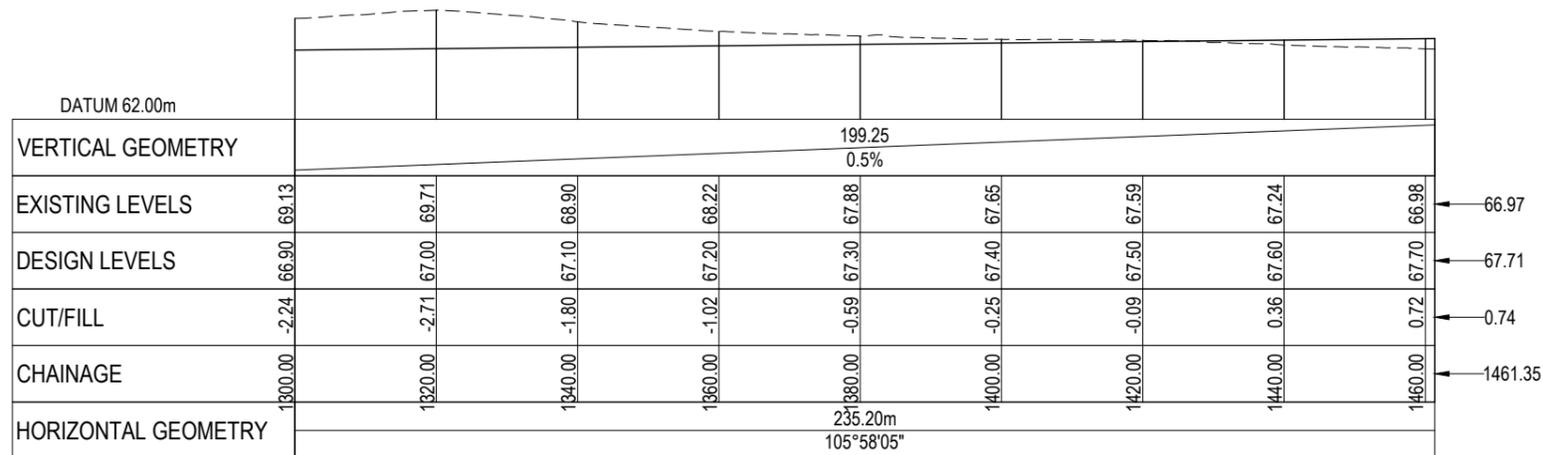
Project no.	289001
Scale	AS SHOWN
Cad file	C320-LONG SECTIONS.DWG
Drawing no.	C320-2
Rev	<b>D</b>

**RESOURCE CONSENT**

DATE: 11/19/25 FILEPATH: F:\MAVEN\HAMILTON6 PROJECTS\289001 - STATION ROAD\7 DRAWING\1 - ASHBOURNE RESIDENTIAL\LONG SECTIONS.DWG



ROAD 1  
SCALE: HORI 1:1000 VERT 1:500



ROAD 1  
SCALE: HORI 1:1000 VERT 1:500

- NOTES
- All works to be in accordance with Matamata-Piako District Council standards.
  - Co-ordinates in terms of NZ Geodetic Datum MT Eden 2000.
  - Levels in terms of the New Zealand Vertical Datum 2016.
  - Benchmark: IT 1 DPS 29877 RL: 65.51.
  - Boundaries are subject to final survey.

Legend

-----	EXISTING GROUND LEVEL
—————	PROPOSED GROUND LEVEL

D	FAST TRACK APP	RJM	11/2025
C	FAST TRACK APP	RJM	11/2025
B	FAST TRACK APP	RJM	04/2025
A	FAST TRACK APP	RJM	04/2025
Rev	Description	By	Date
	Survey	MAVEN	05/2024
	Design	MKS	11/2024
	Drawn	AP	11/2024
	Checked	DJM	11/2024



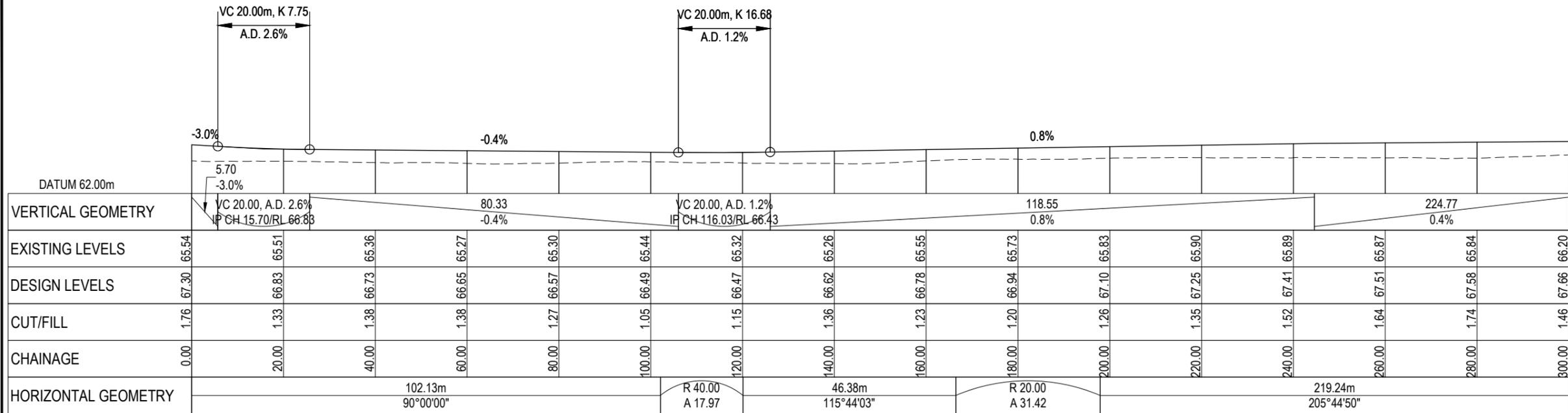
Project  
**ASHBOURNE  
RESIDENTIAL  
FOR  
MATAMATA  
DEVELOPMENTS LTD**

Title  
**PROPOSED  
ROADING  
LONGSECTION**

Project no.	289001
Scale	AS SHOWN
Cad file	C320-LONG SECTIONS.DWG
Drawing no.	C320-3
Rev	<b>D</b>

**RESOURCE CONSENT**

- NOTES
1. All works to be in accordance with Matamata-Piako District Council standards.
  2. Co-ordinates in terms of NZ Geodetic Datum MT Eden 2000.
  3. Levels in terms of the New Zealand Vertical Datum 2016.
  4. Benchmark: IT 1 DPS 29877 RL: 65.51.
  5. Boundaries are subject to final survey.

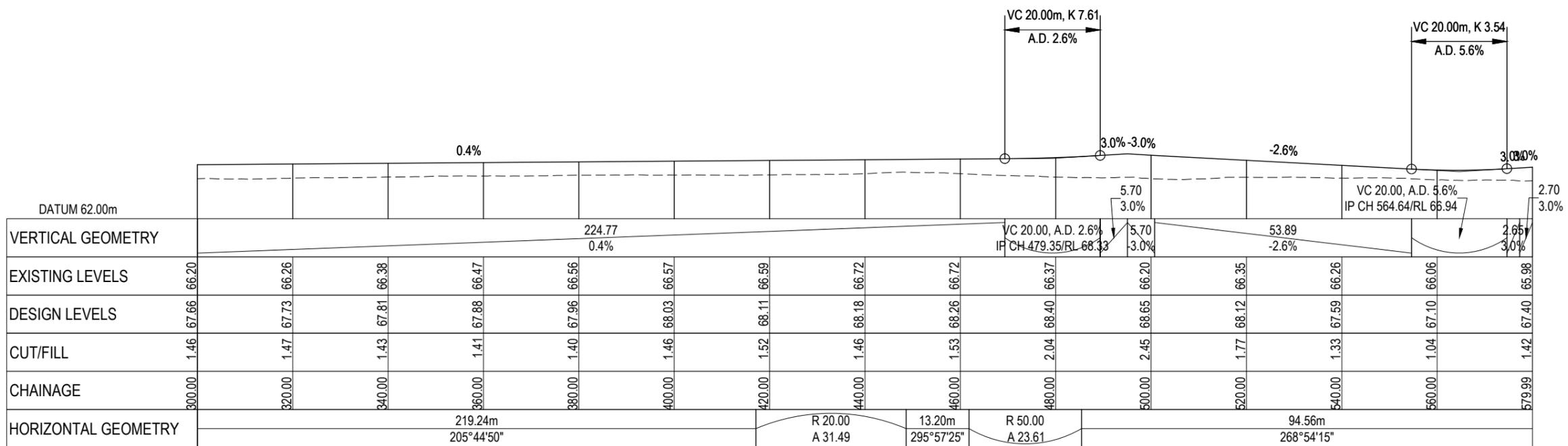


ROAD 2  
SCALE: HORI 1:1000 VERT 1:500

Legend

----- EXISTING GROUND LEVEL

———— PROPOSED GROUND LEVEL



ROAD 2  
SCALE: HORI 1:1000 VERT 1:500

Rev	Description	By	Date
D	FAST TRACK APP	RJM	11/2025
C	FAST TRACK APP	RJM	11/2025
B	FAST TRACK APP	RJM	04/2025
A	FAST TRACK APP	RJM	04/2025

Survey	Design	Drawn	Checked
MAVEN	MKS	AP	DJM
05/2024	11/2024	11/2024	11/2024



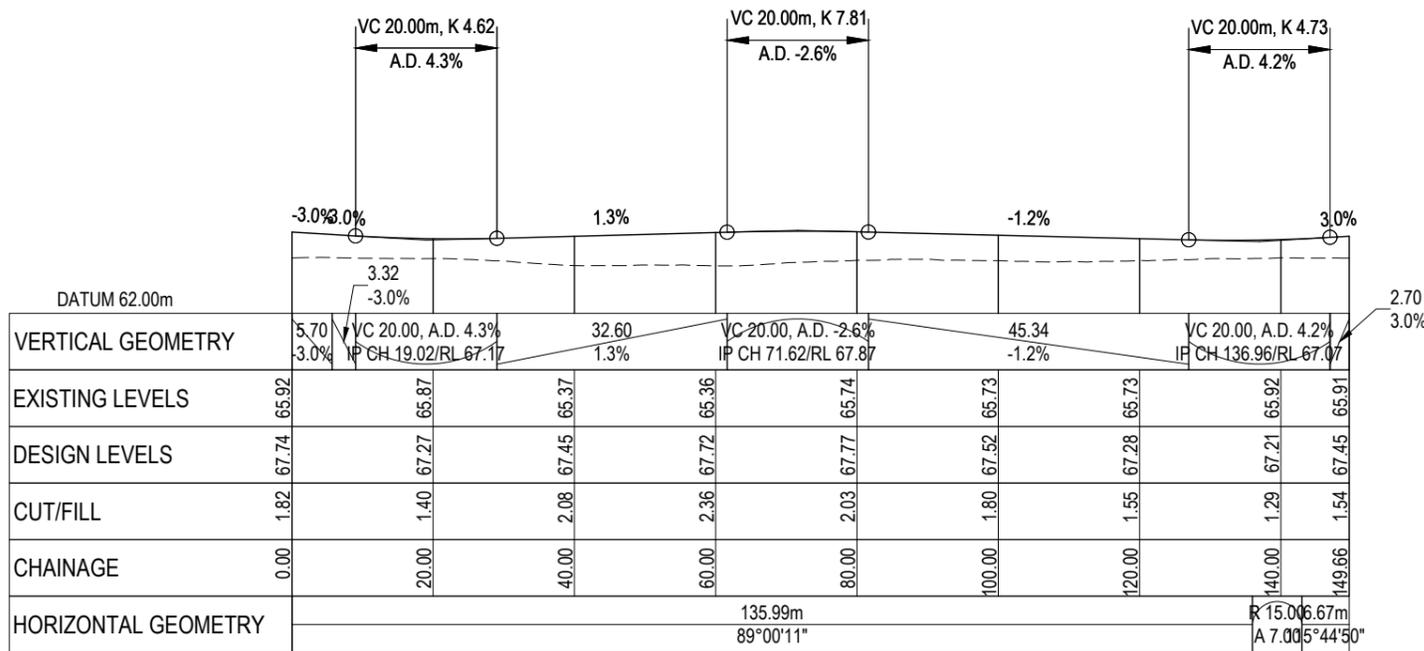
Project  
**ASHBOURNE  
RESIDENTIAL  
FOR  
MATAMATA  
DEVELOPMENTS LTD**

Title  
**PROPOSED  
ROADING  
LONGSECTION**

Project no.	289001
Scale	AS SHOWN
Cad file	C320-LONG SECTIONS.DWG
Drawing no.	C320-4
Rev	<b>D</b>

**RESOURCE CONSENT**

DATE: 11/19/25 FILEPATH: F:\MAVEN\HAMILTON6 - PROJECTS\289001 - STATION ROAD\DRAWING\1 - ASHBOURNE RESIDENTIAL\LONG SECTIONS.DWG



ROAD 3  
SCALE: HORI 1:1000 VERT 1:500

- NOTES
1. All works to be in accordance with Matamata-Piako District Council standards.
  2. Co-ordinates in terms of NZ Geodetic Datum MT Eden 2000.
  3. Levels in terms of the New Zealand Vertical Datum 2016.
  4. Benchmark: IT 1 DPS 29877 RL: 65.51.
  5. Boundaries are subject to final survey.

Legend

----- EXISTING GROUND LEVEL

———— PROPOSED GROUND LEVEL

D	FAST TRACK APP	RJM	11/2025
C	FAST TRACK APP	RJM	11/2025
B	FAST TRACK APP	RJM	04/2025
A	FAST TRACK APP	RJM	04/2025
Rev	Description	By	Date
	By	Date	
Survey	MAVEN	05/2024	
Design	MKS	11/2024	
Drawn	AP	11/2024	
Checked	DJM	11/2024	



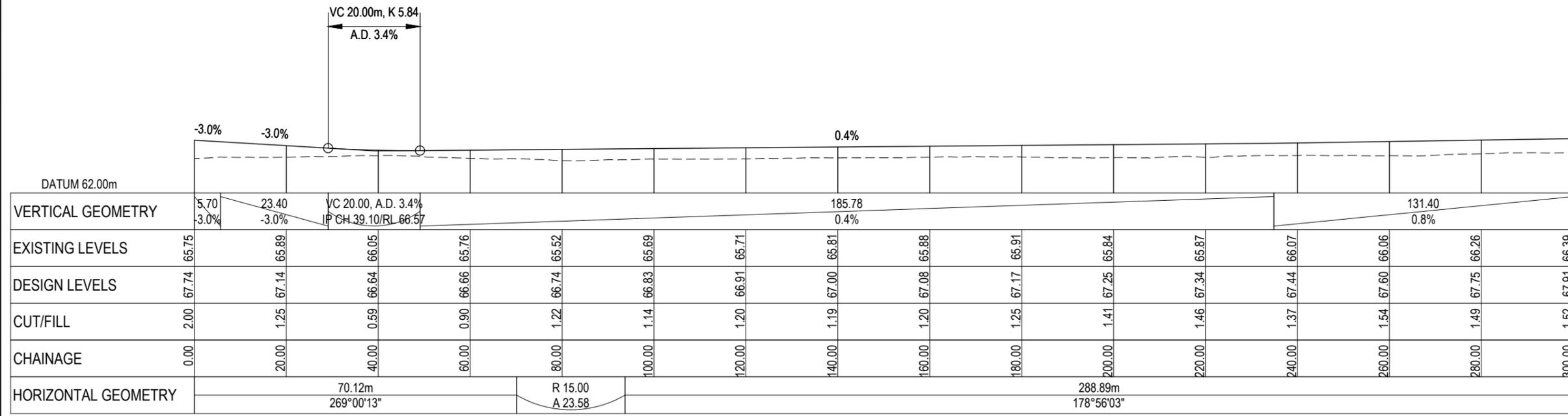
Project  
**ASHBOURNE  
RESIDENTIAL  
FOR  
MATAMATA  
DEVELOPMENTS LTD**

Title  
**PROPOSED  
ROADING  
LONGSECTION**

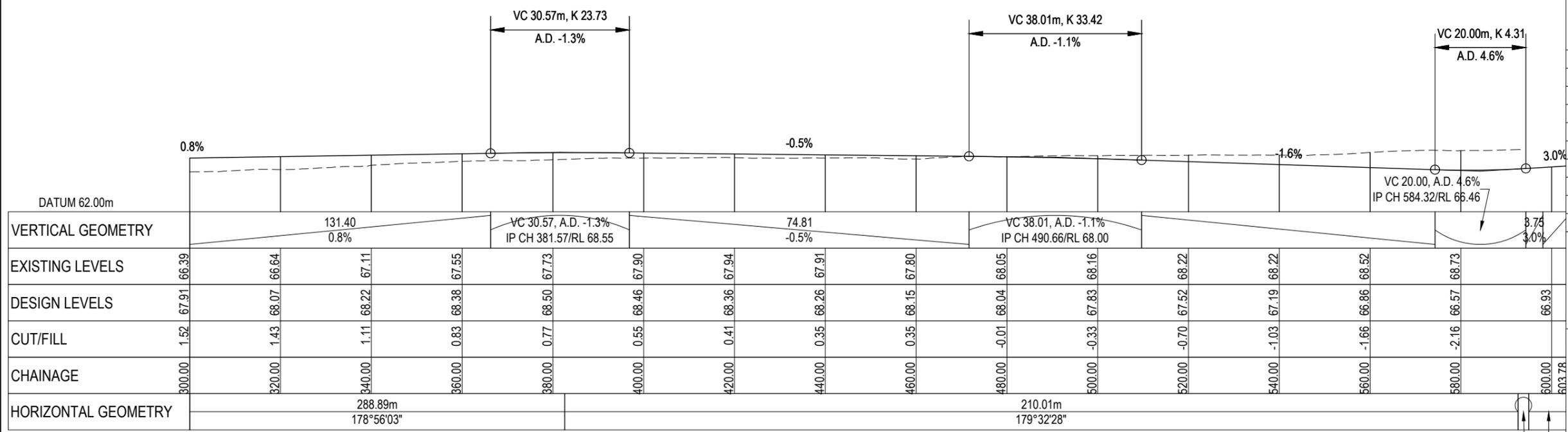
Project no.	289001		
Scale	AS SHOWN		
Cad file	C320-LONG SECTIONS.DWG		
Drawing no.	C320-5	Rev	<b>D</b>

RESOURCE CONSENT

- NOTES
1. All works to be in accordance with Matamata-Piako District Council standards.
  2. Co-ordinates in terms of NZ Geodetic Datum MT Eden 2000.
  3. Levels in terms of the New Zealand Vertical Datum 2016.
  4. Benchmark: IT 1 DPS 29877 RL: 65.51.
  5. Boundaries are subject to final survey.



ROAD 4  
SCALE: HORI 1:1000 VERT 1:500



ROAD 4  
SCALE: HORI 1:1000 VERT 1:500

Legend

----- EXISTING GROUND LEVEL

———— PROPOSED GROUND LEVEL

Rev	Description	By	Date
D	FAST TRACK APP	RJM	11/2025
C	FAST TRACK APP	RJM	11/2025
B	FAST TRACK APP	RJM	04/2025
A	FAST TRACK APP	RJM	04/2025

Survey	By	Date
MAVEN	MAVEN	05/2024
Design	MKS	11/2024
Drawn	AP	11/2024
Checked	DJM	11/2024



Project  
**ASHBOURNE RESIDENTIAL FOR MATAMATA DEVELOPMENTS LTD**

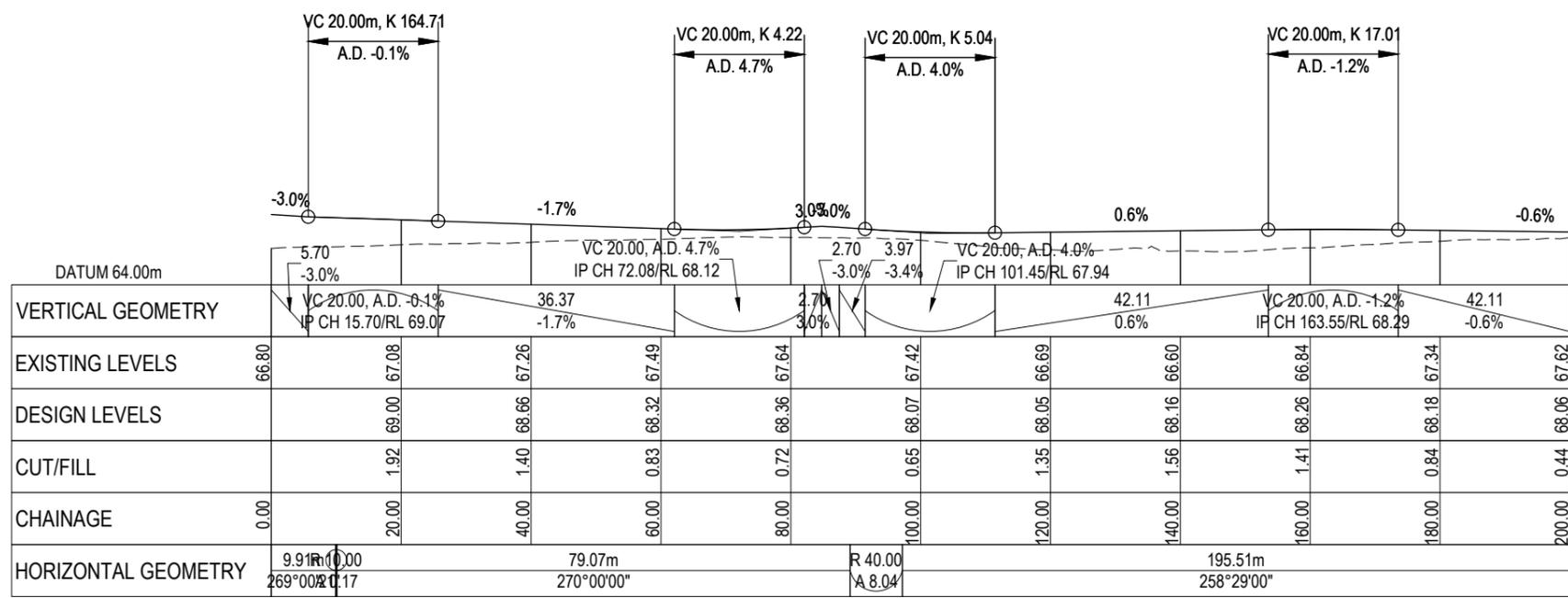
Title  
**PROPOSED ROADING LONGSECTION**

Project no.	289001
Scale	AS SHOWN
Cad file	C320-LONG SECTIONS.DWG
Drawing no.	C320-6
Rev	D

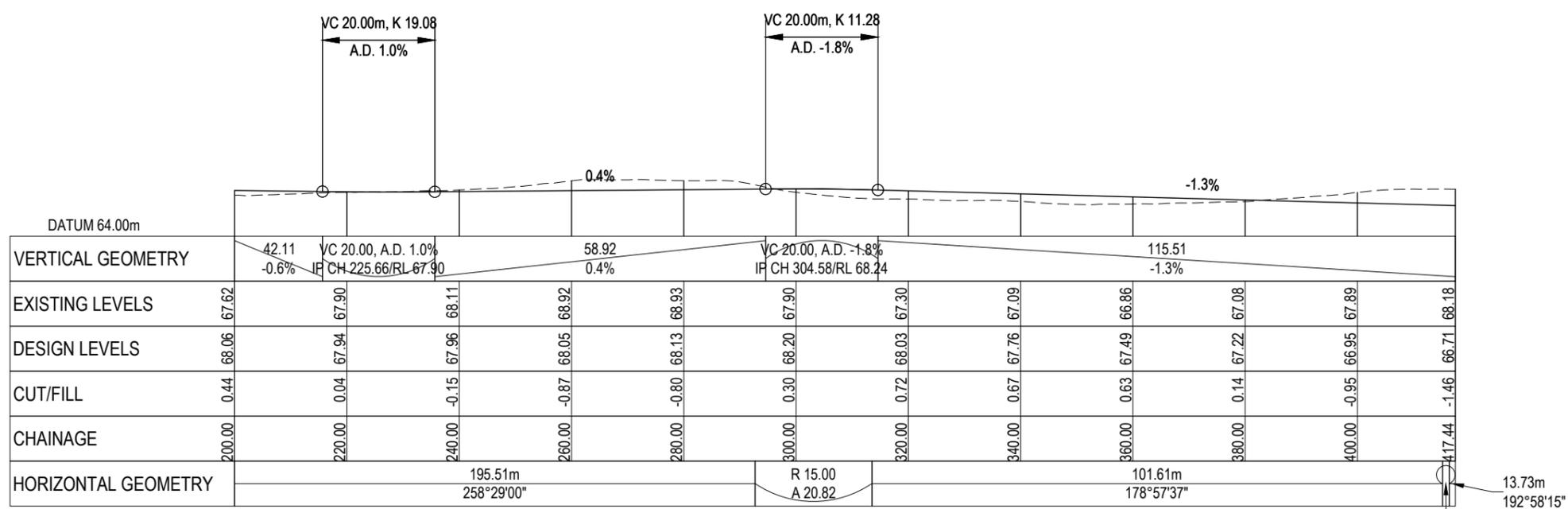
**RESOURCE CONSENT**

DATE: 11/19/25 FILEPATH: F:\MAVEN\HAMILTON6 - PROJECTS\289001 - STATION ROAD\7 DRAWING\1 - ASHBOURNE RESIDENTIAL\LONG SECTIONS.DWG

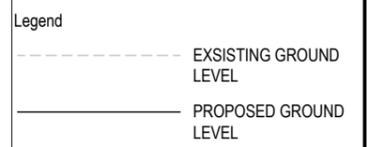
- NOTES
- All works to be in accordance with Matamata-Piako District Council standards.
  - Co-ordinates in terms of NZ Geodetic Datum MT Eden 2000.
  - Levels in terms of the New Zealand Vertical Datum 2016.
  - Benchmark: IT 1 DPS 29877 RL: 65.51.
  - Boundaries are subject to final survey.



ROAD 5  
SCALE: HORI 1:1000 VERT 1:500



ROAD 5  
SCALE: HORI 1:1000 VERT 1:500



Rev	Description	By	Date
D	FAST TRACK APP	RJM	11/2025
C	FAST TRACK APP	RJM	11/2025
B	FAST TRACK APP	RJM	04/2025
A	FAST TRACK APP	RJM	04/2025

Survey	By	Date
MAVEN		05/2024

Design	By	Date
MKS		11/2024

Drawn	By	Date
AP		11/2024

Checked	By	Date
DJM		11/2024



Project  
**ASHBOURNE  
RESIDENTIAL  
FOR  
MATAMATA  
DEVELOPMENTS LTD**

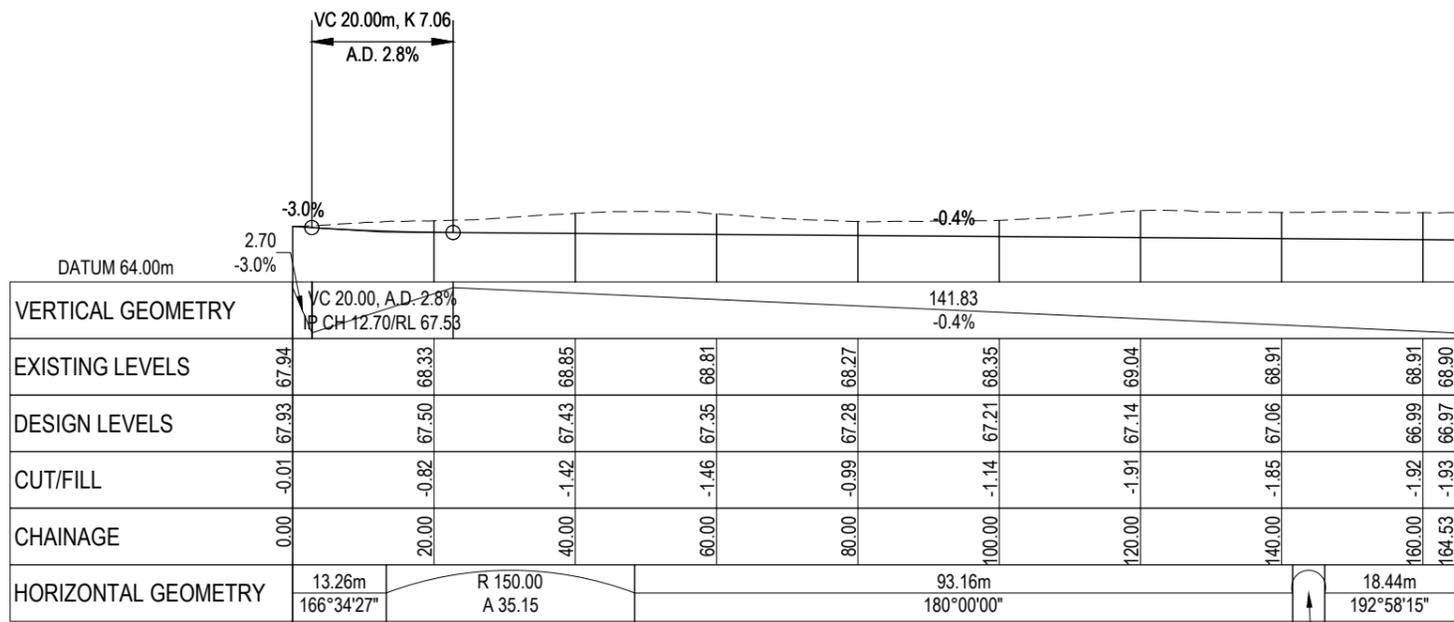
Title  
**PROPOSED  
ROADING  
LONGSECTION**

Project no.	289001
Scale	AS SHOWN
Cad file	C320-LONG SECTIONS.DWG
Drawing no.	C320-7
Rev	<b>D</b>

**RESOURCE CONSENT**

DATE: 11/19/25 FILEPATH: F:\MAVEN\HAMILTON6 - PROJECTS\289001 - STATION ROAD7 DRAWING11 - ASHBOURNE RESIDENTIAL\C320-LONG SECTIONS.DWG

DATE: 11/19/25 FILEPATH: F:\MAVEN\HAMILTON\6 - PROJECTS\289001 - STATION ROAD\7 DRAWING\1 - ASHBURNE RESIDENTIAL\C320-LONG SECTIONS.DWG



ROAD 6  
SCALE: HORI 1:1000 VERT 1:500

R 20.00  
A 4.53

- NOTES
- All works to be in accordance with Matamata-Piako District Council standards.
  - Co-ordinates in terms of NZ Geodetic Datum MT Eden 2000.
  - Levels in terms of the New Zealand Vertical Datum 2016.
  - Benchmark: IT 1 DPS 29877 RL: 65.51.
  - Boundaries are subject to final survey.

Legend

----- EXISTING GROUND LEVEL

———— PROPOSED GROUND LEVEL

D	FAST TRACK APP	RJM	11/2025
C	FAST TRACK APP	RJM	11/2025
B	FAST TRACK APP	RJM	04/2025
A	FAST TRACK APP	RJM	04/2025
Rev	Description	By	Date
		By	Date
Survey	MAVEN		05/2024
Design	MKS		11/2024
Drawn	AP		11/2024
Checked	DJM		11/2024



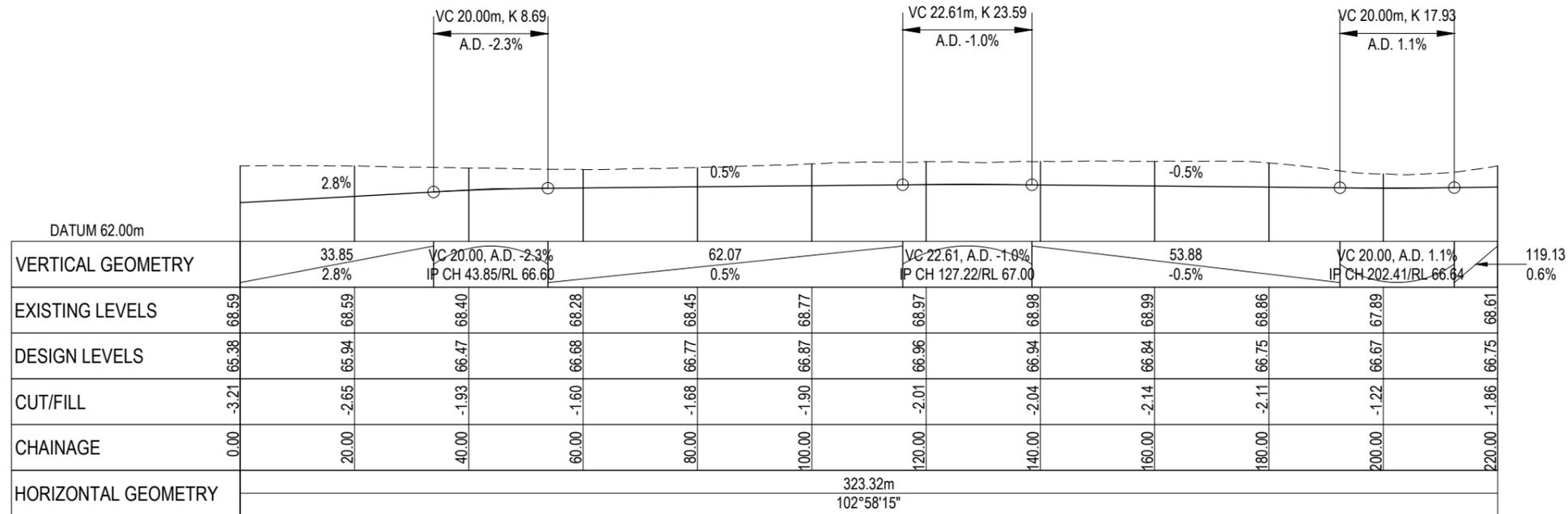
Project  
**ASHBOURNE  
RESIDENTIAL  
FOR  
MATAMATA  
DEVELOPMENTS LTD**

Title  
**PROPOSED  
ROADING  
LONGSECTION**

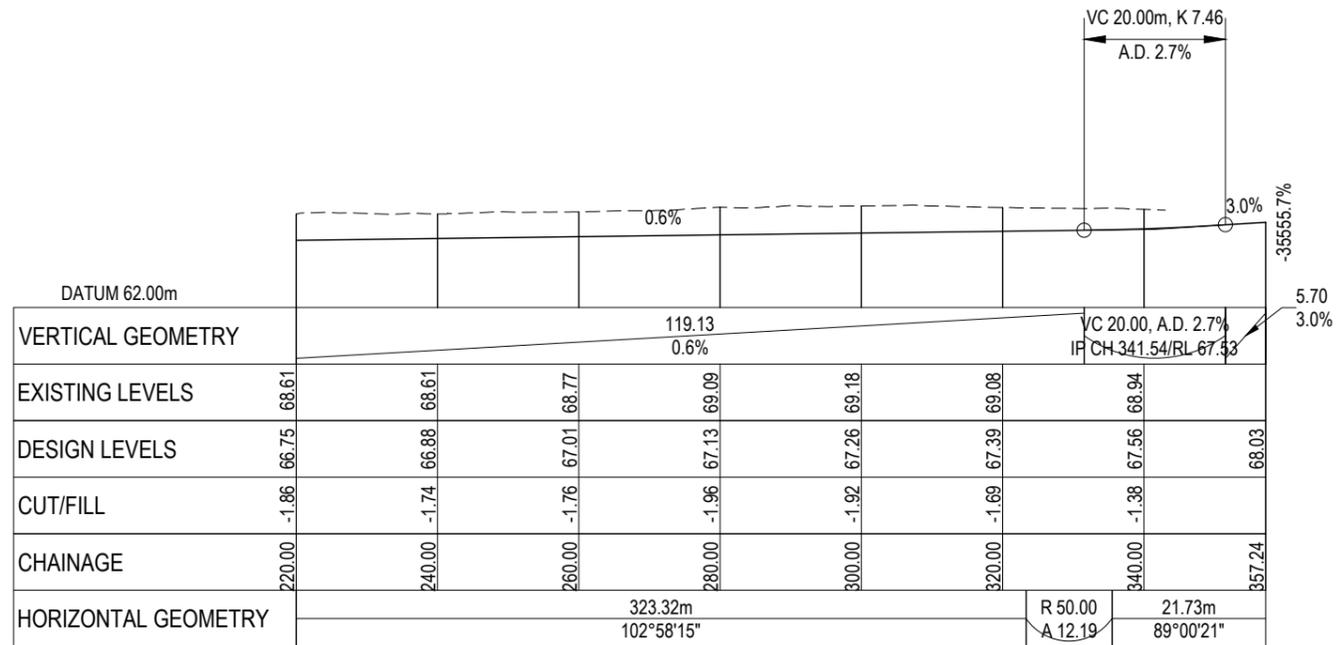
Project no.	289001
Scale	AS SHOWN
Cad file	C320-LONG SECTIONS.DWG
Drawing no.	C320-8
Rev	<b>D</b>

**RESOURCE CONSENT**

DATE: 11/19/25 FILEPATH: F:\MVEN\HAMILTON6 - PROJECTS\28901 - STATION ROAD7 DRAWING\1 - ASHBURNE RESIDENTIAL\C320-LONG SECTIONS.DWG



**ROAD 7**  
SCALE: HORI 1:1000 VERT 1:500



**ROAD 7**  
SCALE: HORI 1:1000 VERT 1:500

- NOTES
- All works to be in accordance with Matamata-Piako District Council standards.
  - Co-ordinates in terms of NZ Geodetic Datum MT Eden 2000.
  - Levels in terms of the New Zealand Vertical Datum 2016.
  - Benchmark: IT 1 DPS 29877 RL: 65.51.
  - Boundaries are subject to final survey.

Legend

	EXISTING GROUND LEVEL
	PROPOSED GROUND LEVEL

D	FAST TRACK APP	RJM	11/2025
C	FAST TRACK APP	RJM	11/2025
B	FAST TRACK APP	RJM	04/2025
A	FAST TRACK APP	RJM	04/2025
Rev	Description	By	Date
	Survey	MAVEN	05/2024
	Design	MKS	11/2024
	Drawn	AP	11/2024
	Checked	DJM	11/2024

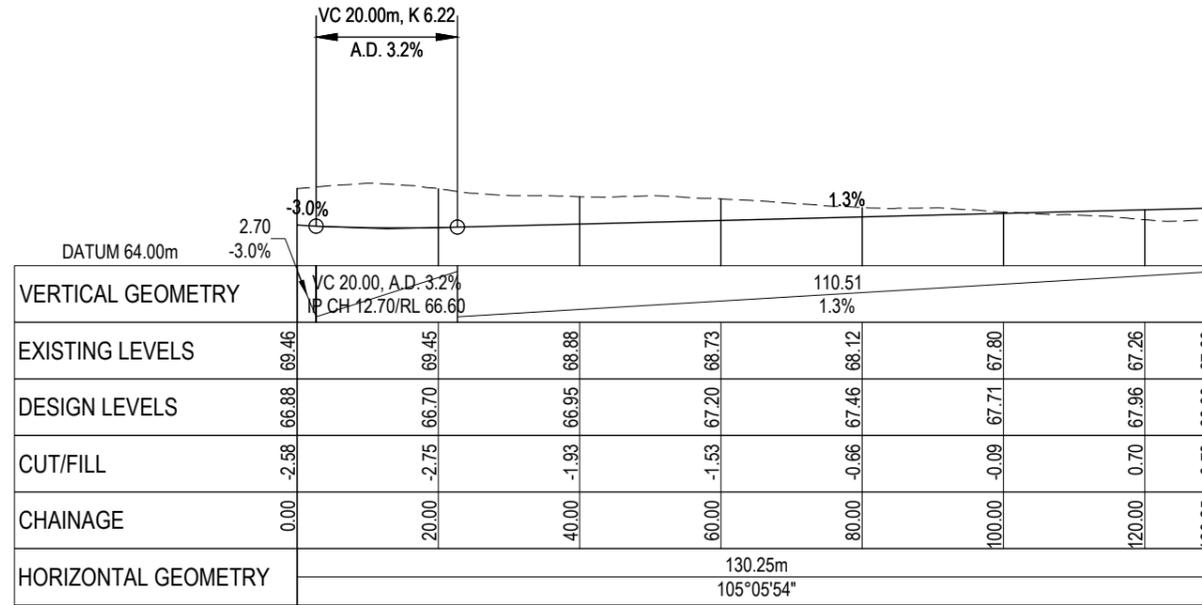


Project  
**ASHBOURNE  
RESIDENTIAL  
FOR  
MATAMATA  
DEVELOPMENTS LTD**

Title  
**PROPOSED  
ROADING  
LONGSECTION**

Project no.	289001
Scale	AS SHOWN
Cad file	C320-LONG SECTIONS.DWG
Drawing no.	C320-9
Rev	<b>D</b>

**RESOURCE CONSENT**



ROAD 8  
SCALE: HORI 1:1000 VERT 1:500

- NOTES
1. All works to be in accordance with Matamata-Piako District Council standards.
  2. Co-ordinates in terms of NZ Geodetic Datum MT Eden 2000.
  3. Levels in terms of the New Zealand Vertical Datum 2016.
  4. Benchmark: IT 1 DPS 29877 RL: 65.51.
  5. Boundaries are subject to final survey.

Legend

----- EXISTING GROUND LEVEL

———— PROPOSED GROUND LEVEL

D	FAST TRACK APP	RJM	11/2025
C	FAST TRACK APP	RJM	11/2025
B	FAST TRACK APP	RJM	04/2025
A	FAST TRACK APP	RJM	04/2025
Rev	Description	By	Date
	By	Date	
Survey	MAVEN	05/2024	
Design	MKS	11/2024	
Drawn	AP	11/2024	
Checked	DJM	11/2024	



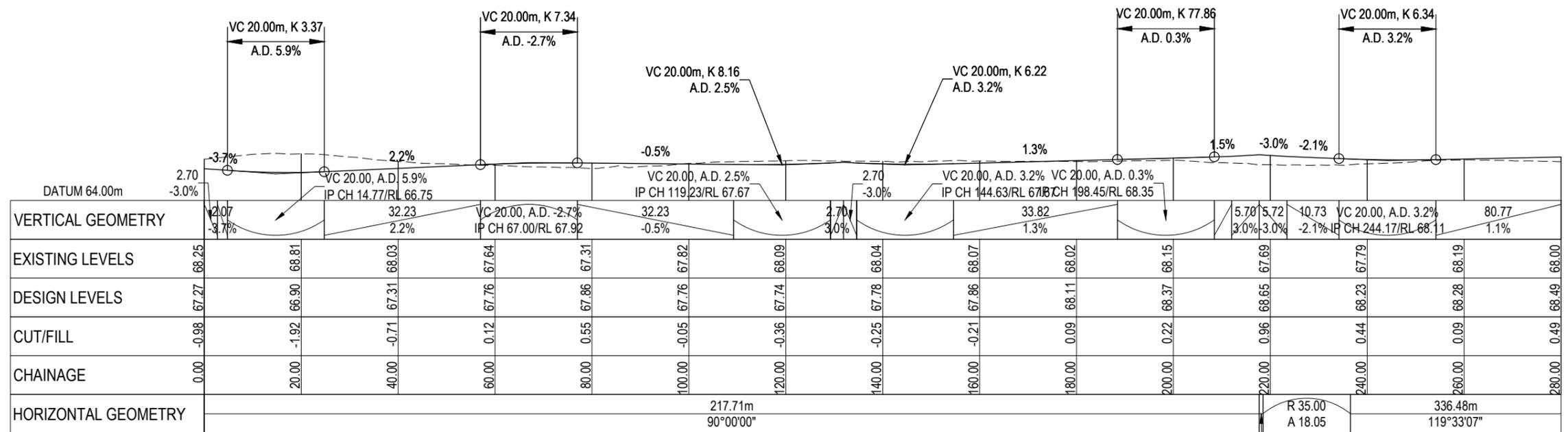
Project  
**ASHBOURNE  
RESIDENTIAL  
FOR  
MATAMATA  
DEVELOPMENTS LTD**

Title  
**PROPOSED  
ROADING  
LONGSECTION**

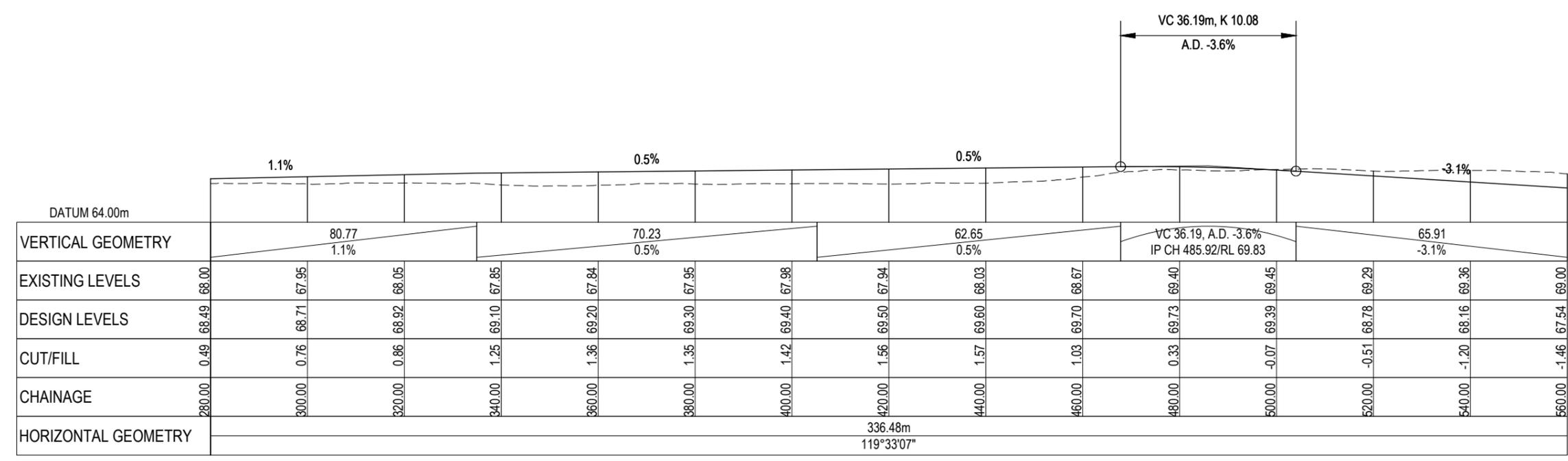
Project no.	289001		
Scale	AS SHOWN		
Cad file	C320-LONG SECTIONS.DWG		
Drawing no.	C320-10	Rev	<b>D</b>

RESOURCE CONSENT

- NOTES
- All works to be in accordance with Matamata-Piako District Council standards.
  - Co-ordinates in terms of NZ Geodetic Datum MT Eden 2000.
  - Levels in terms of the New Zealand Vertical Datum 2016.
  - Benchmark: IT 1 DPS 29877 RL: 65.51.
  - Boundaries are subject to final survey.



ROAD 9  
SCALE: HORI 1:1000 VERT 1:500



ROAD 9  
SCALE: HORI 1:1000 VERT 1:500

Legend

---	EXISTING GROUND LEVEL
—	PROPOSED GROUND LEVEL

Rev	Description	By	Date
D	FAST TRACK APP	RJM	11/2025
C	FAST TRACK APP	RJM	11/2025
B	FAST TRACK APP	RJM	04/2025
A	FAST TRACK APP	RJM	04/2025

Survey	By	Date
MAVEN	MAVEN	05/2024

Design	By	Date
MKS	MKS	11/2024

Drawn	By	Date
AP	AP	11/2024

Checked	By	Date
DJM	DJM	11/2024



Project  
**ASHBOURNE  
RESIDENTIAL  
FOR  
MATAMATA  
DEVELOPMENTS LTD**

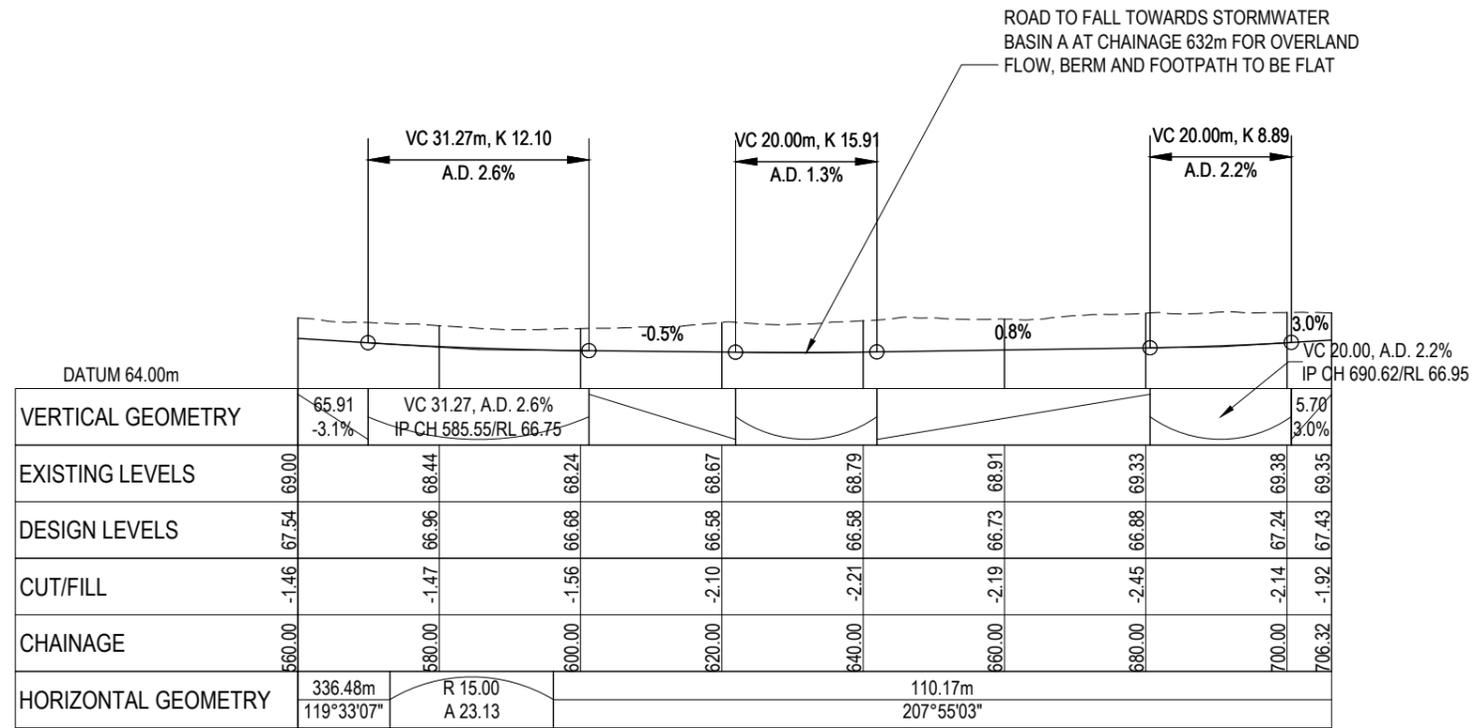
Title  
**PROPOSED  
ROADING  
LONGSECTION**

Project no.	289001
Scale	AS SHOWN
Cad file	C320-LONG SECTIONS.DWG
Drawing no.	C320-11
Rev	<b>D</b>

**RESOURCE CONSENT**

DATE: 11/19/25 FILEPATH: F:\MVEN\HAM1016 PROJECTS\289001 - STATION ROAD\DRAWING\1 - ASHBOURNE RESIDENTIAL\C320-LONG SECTIONS.DWG

DATE: 11/19/25 FILEPATH: F:\MAVEN\HAMILTON\6 PROJECTS\28901 - STATION ROAD\7 DRAWING\1 - ASHBURNE RESIDENTIAL\C320-LONG SECTIONS.DWG



- NOTES
- All works to be in accordance with Matamata-Piako District Council standards.
  - Co-ordinates in terms of NZ Geodetic Datum MT Eden 2000.
  - Levels in terms of the New Zealand Vertical Datum 2016.
  - Benchmark: IT 1 DPS 29877 RL: 65.51.
  - Boundaries are subject to final survey.

Legend

----- EXISTING GROUND LEVEL

———— PROPOSED GROUND LEVEL

D	FAST TRACK APP	RJM	11/2025
C	FAST TRACK APP	RJM	11/2025
B	FAST TRACK APP	RJM	04/2025
A	FAST TRACK APP	RJM	04/2025
Rev	Description	By	Date
	Survey	MAVEN	05/2024
	Design	MKS	11/2024
	Drawn	AP	11/2024
	Checked	DJM	11/2024



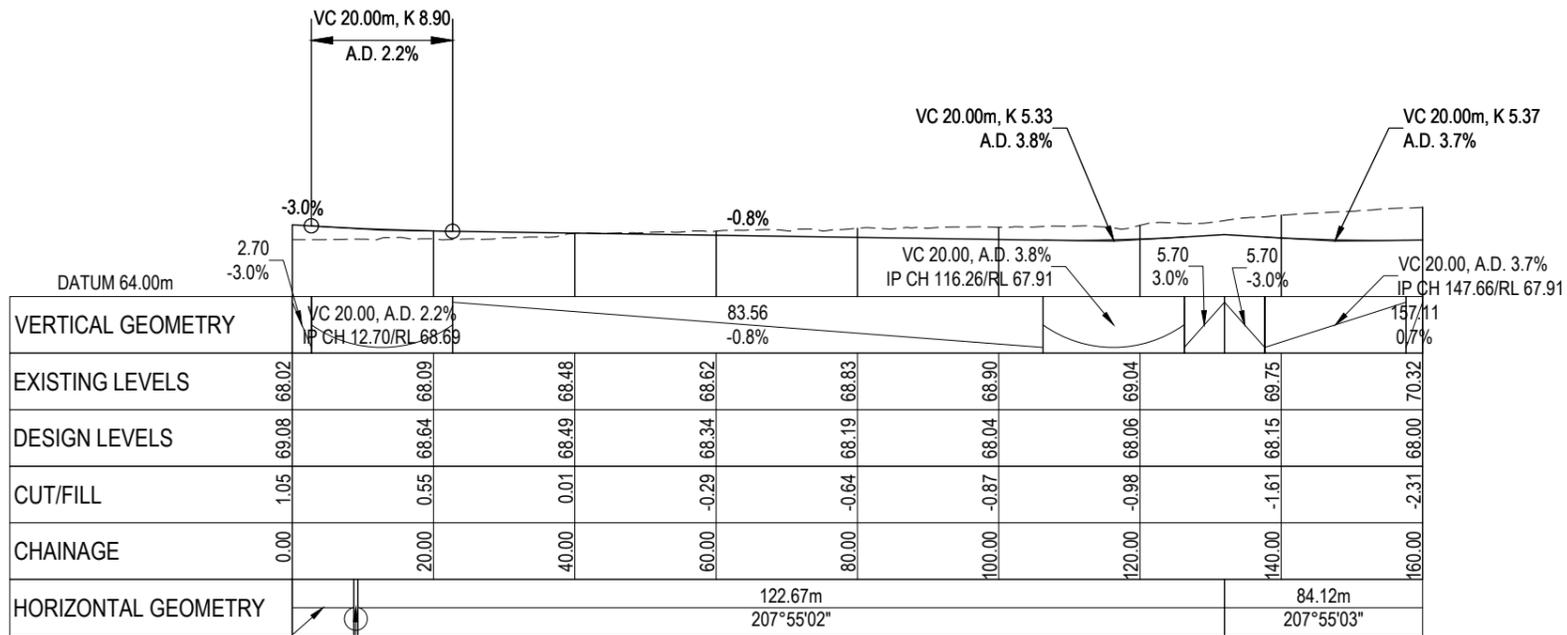
Project  
**ASHBOURNE  
RESIDENTIAL  
FOR  
MATAMATA  
DEVELOPMENTS LTD**

Title  
**PROPOSED  
ROADING  
LONGSECTION**

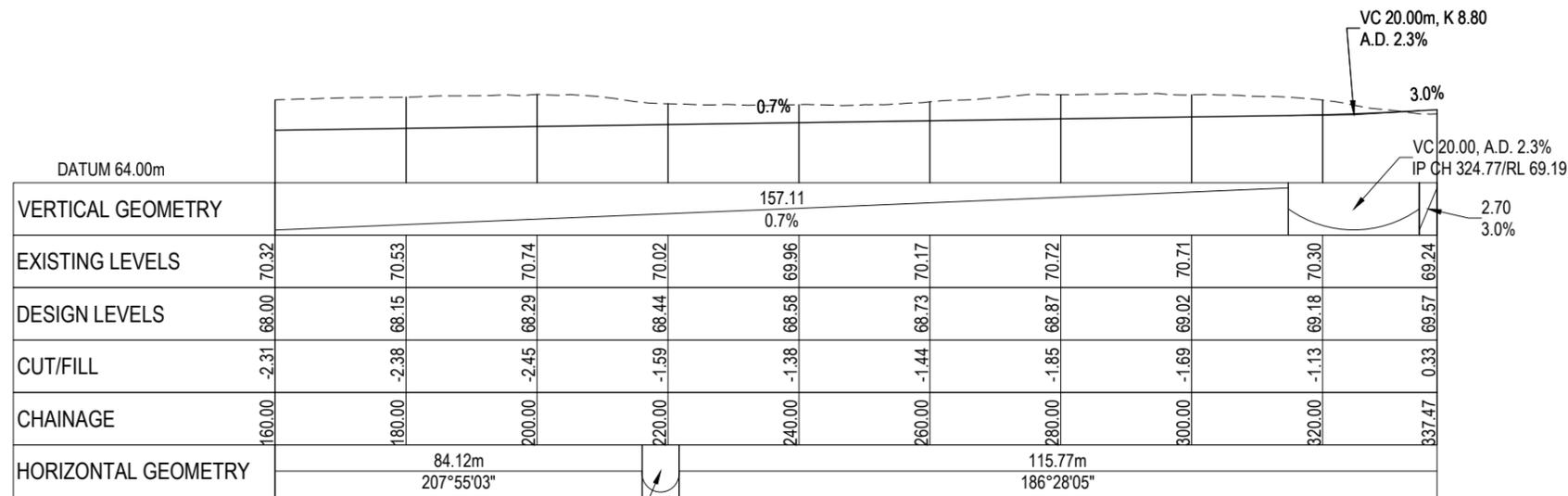
Project no.	289001
Scale	AS SHOWN
Cad file	C320-LONG SECTIONS.DWG
Drawing no.	C320-12
Rev	<b>D</b>

**RESOURCE CONSENT**

DATE: 11/19/25 FILEPATH: F:\MAVEN\HAMILTON6 - PROJECTS\289001 - STATION ROAD\ DRAWING\11 - ASHBURNE RESIDENTIAL\C320-LONG SECTIONS.DWG



ROAD 10  
SCALE: HORI 1:1000 VERT 1:500



ROAD 10  
SCALE: HORI 1:1000 VERT 1:500

- NOTES
- All works to be in accordance with Matamata-Piako District Council standards.
  - Co-ordinates in terms of NZ Geodetic Datum MT Eden 2000.
  - Levels in terms of the New Zealand Vertical Datum 2016.
  - Benchmark: IT 1 DPS 29877 RL: 65.51.
  - Boundaries are subject to final survey.

Legend

	EXISTING GROUND LEVEL
	PROPOSED GROUND LEVEL

D	FAST TRACK APP	RJM	11/2025
C	FAST TRACK APP	RJM	11/2025
B	FAST TRACK APP	RJM	04/2025
A	FAST TRACK APP	RJM	04/2025
Rev	Description	By	Date
	Survey	MAVEN	05/2024
	Design	MKS	11/2024
	Drawn	AP	11/2024
	Checked	DJM	11/2024

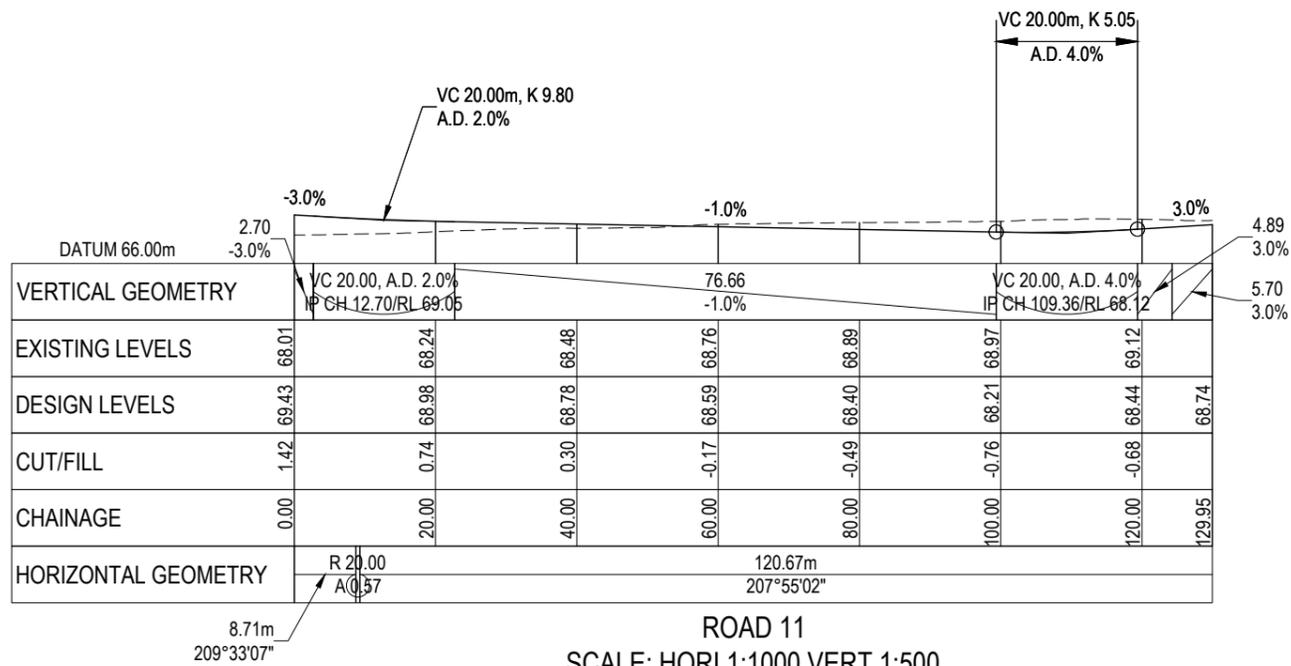


Project  
**ASHBOURNE  
RESIDENTIAL  
FOR  
MATAMATA  
DEVELOPMENTS LTD**

Title  
**PROPOSED  
ROADING  
LONGSECTION**

Project no.	289001
Scale	AS SHOWN
Cad file	C320-LONG SECTIONS.DWG
Drawing no.	C320-13
Rev	<b>D</b>

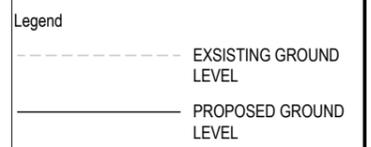
**RESOURCE CONSENT**



VERTICAL GEOMETRY	VC 20.00, A.D. 2.0%	76.66	VC 20.00, A.D. 4.0%					
EXISTING LEVELS	68.01	68.24	68.48	68.76	68.99	68.97	69.12	
DESIGN LEVELS	69.43	68.98	68.78	68.59	68.40	68.21	68.44	68.74
CUT/FILL	1.42	0.74	0.30	-0.17	-0.49	-0.76	-0.68	
CHAINAGE	0.00	20.00	40.00	60.00	80.00	100.00	120.00	129.95
HORIZONTAL GEOMETRY	R 20.00 A 0.37		120.67m 207°55'02"					

ROAD 11  
SCALE: HORI 1:1000 VERT 1:500

- NOTES
1. All works to be in accordance with Matamata-Piako District Council standards.
  2. Co-ordinates in terms of NZ Geodetic Datum MT Eden 2000.
  3. Levels in terms of the New Zealand Vertical Datum 2016.
  4. Benchmark: IT 1 DPS 29877 RL: 65.51.
  5. Boundaries are subject to final survey.



D	FAST TRACK APP	RJM	11/2025
C	FAST TRACK APP	RJM	11/2025
B	FAST TRACK APP	RJM	04/2025
A	FAST TRACK APP	RJM	04/2025
Rev	Description	By	Date
	Survey	MAVEN	05/2024
	Design	MKS	11/2024
	Drawn	AP	11/2024
	Checked	DJM	11/2024



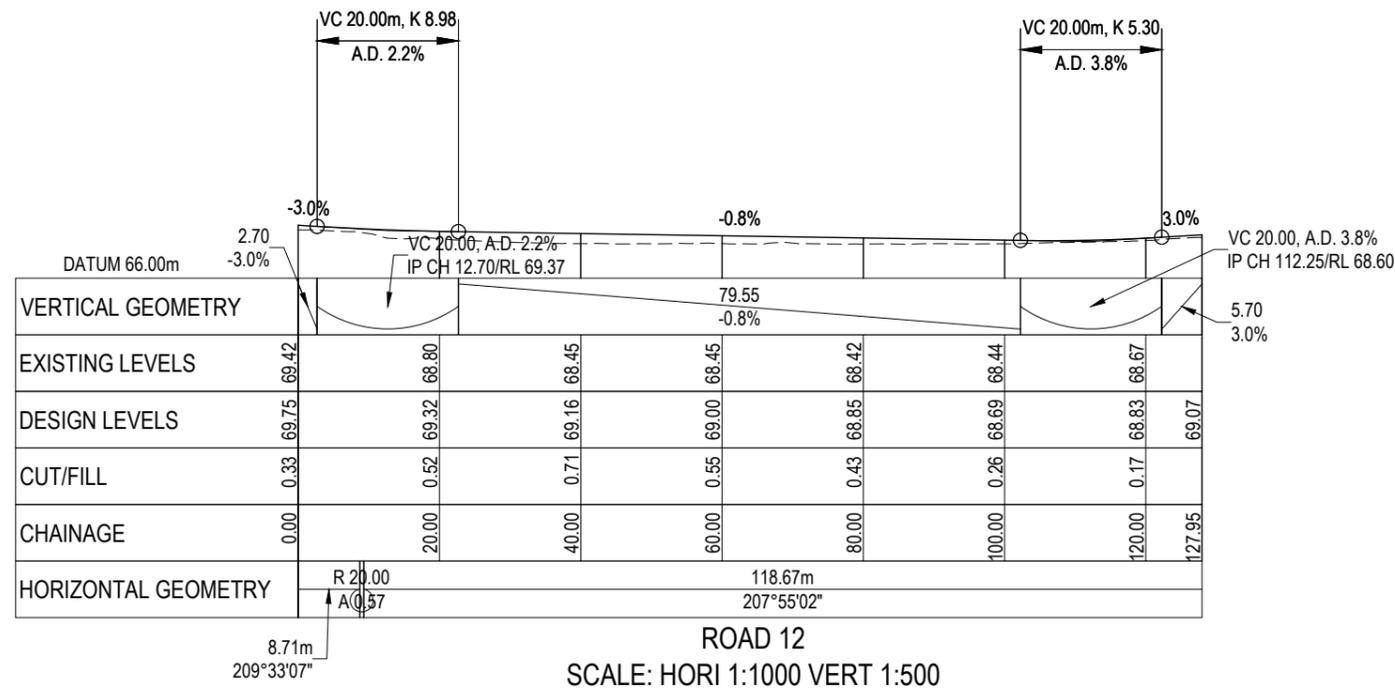
Project  
**ASHBOURNE  
RESIDENTIAL  
FOR  
MATAMATA  
DEVELOPMENTS LTD**

Title  
**PROPOSED  
ROADING  
LONGSECTION**

Project no.	289001
Scale	AS SHOWN
Cad file	C320-LONG SECTIONS.DWG
Drawing no.	C320-14
Rev	<b>D</b>

**RESOURCE CONSENT**

DATE: 11/19/25 FILEPATH: F:\MAVEN\HAMILTON\6 - PROJECTS\28901 - STATION ROAD\7 DRAWING\1 - ASHBOURNE RESIDENTIAL\C320-LONG SECTIONS.DWG



VERTICAL GEOMETRY	79.55 -0.8%									
EXISTING LEVELS	69.42	68.80	68.45	68.45	68.42	68.44	68.67	69.07		
DESIGN LEVELS	69.75	69.32	69.16	69.00	68.85	68.69	68.83	69.07		
CUT/FILL	0.33	0.52	0.71	0.55	0.43	0.26	0.17			
CHAINAGE	0.00	20.00	40.00	60.00	80.00	100.00	120.00	127.95		
HORIZONTAL GEOMETRY	R 20.00 A 0.57 118.67m 207°55'02"									

- NOTES
- All works to be in accordance with Matamata-Piako District Council standards.
  - Co-ordinates in terms of NZ Geodetic Datum MT Eden 2000.
  - Levels in terms of the New Zealand Vertical Datum 2016.
  - Benchmark: IT 1 DPS 29877 RL: 65.51.
  - Boundaries are subject to final survey.

Legend

----- EXISTING GROUND LEVEL

————— PROPOSED GROUND LEVEL

D	FAST TRACK APP	RJM	11/2025
C	FAST TRACK APP	RJM	11/2025
B	FAST TRACK APP	RJM	04/2025
A	FAST TRACK APP	RJM	04/2025
Rev	Description	By	Date
		By	Date
Survey	MAVEN		05/2024
Design	MKS		11/2024
Drawn	AP		11/2024
Checked	DJM		11/2024



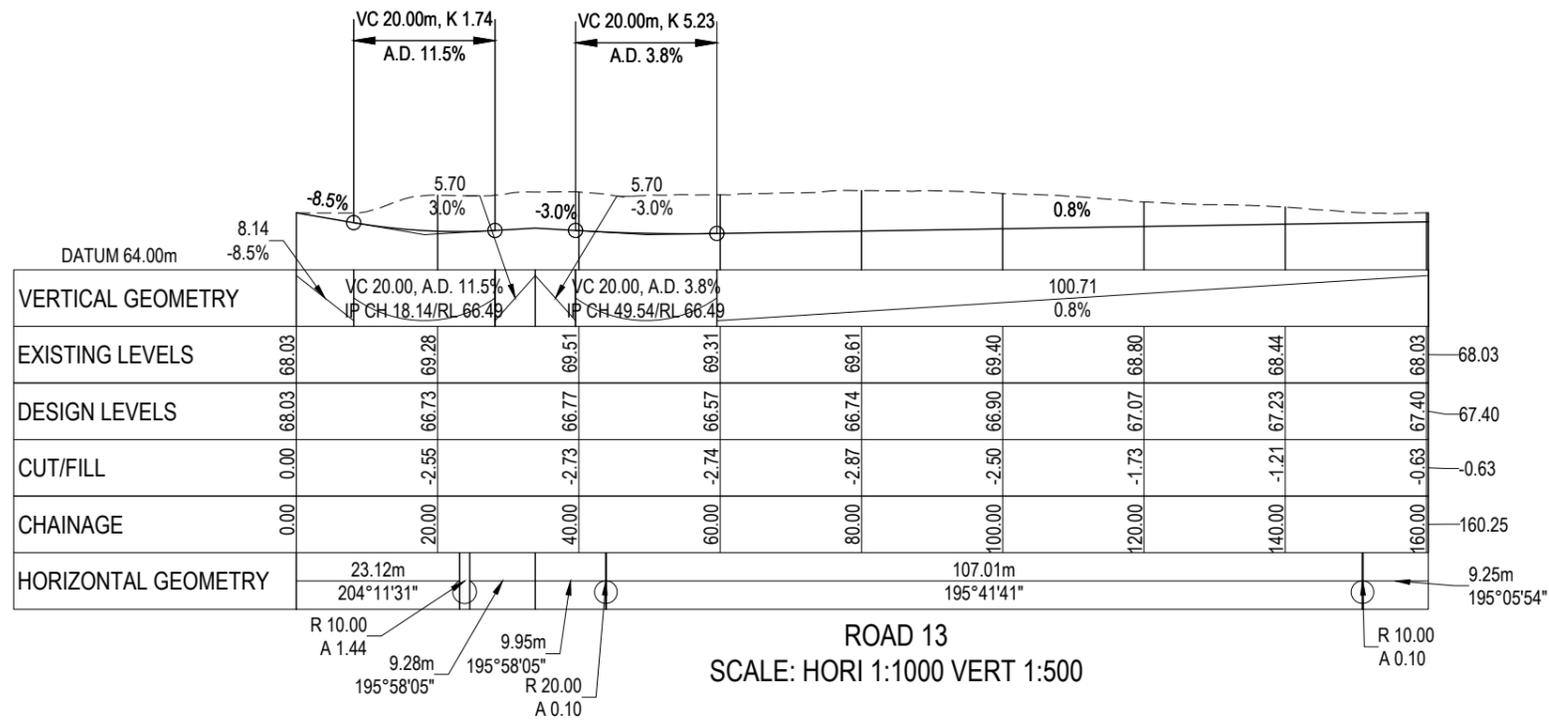
Project  
**ASHBOURNE  
RESIDENTIAL  
FOR  
MATAMATA  
DEVELOPMENTS LTD**

Title  
**PROPOSED  
ROADING  
LONGSECTION**

Project no.	289001
Scale	AS SHOWN
Cad file	C320-LONG SECTIONS.DWG
Drawing no.	C320-15
Rev	<b>D</b>

**RESOURCE CONSENT**

DATE: 11/19/25 FILEPATH: F:\MAVEN\HAMILTON\6 - PROJECTS\28901 - STATION ROAD\7 DRAWING\1 - ASHBOURNE RESIDENTIAL\C320-LONG SECTIONS.DWG



ROAD 13  
SCALE: HORI 1:1000 VERT 1:500

- NOTES
- All works to be in accordance with Matamata-Piako District Council standards.
  - Co-ordinates in terms of NZ Geodetic Datum MT Eden 2000.
  - Levels in terms of the New Zealand Vertical Datum 2016.
  - Benchmark: IT 1 DPS 29877 RL: 65.51.
  - Boundaries are subject to final survey.

Legend

	EXISTING GROUND LEVEL
	PROPOSED GROUND LEVEL

D	FAST TRACK APP	RJM	11/2025
C	FAST TRACK APP	RJM	11/2025
B	FAST TRACK APP	RJM	04/2025
A	FAST TRACK APP	RJM	04/2025
Rev	Description	By	Date

**Maven Waikato**  
07 242 0601  
info@maven.co.nz  
www.maven.co.nz  
Level 1 286 Victoria Street, Hamilton  
New Zealand

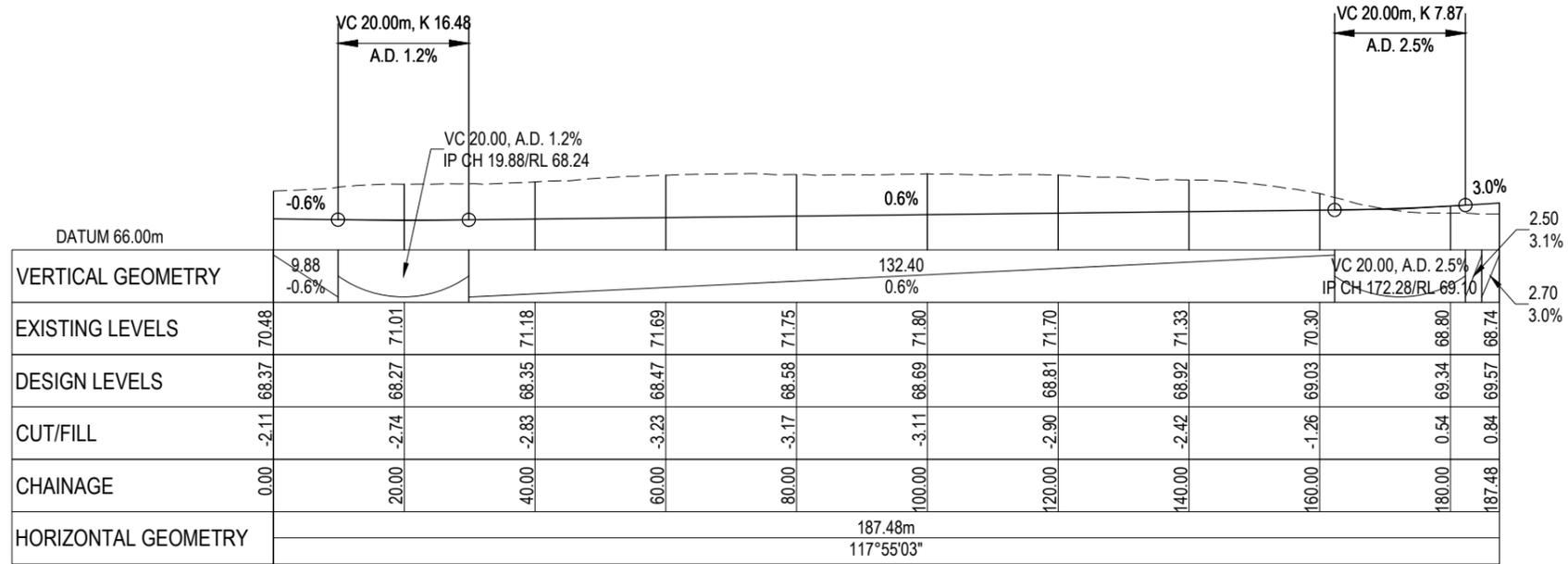
Project  
**ASHBOURNE  
RESIDENTIAL  
FOR  
MATAMATA  
DEVELOPMENTS LTD**

Title  
**PROPOSED  
ROADING  
LONGSECTION**

Project no.	289001
Scale	AS SHOWN
Cad file	C320-LONG SECTIONS.DWG
Drawing no.	C320-16
Rev	<b>D</b>

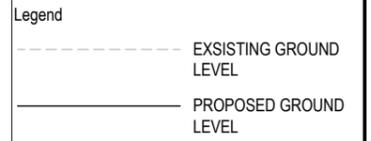
**RESOURCE CONSENT**

DATE: 11/19/25 FILEPATH: F:\MAVEN\HAMILTON\6 PROJECTS\28901 - STATION ROAD\7 DRAWING\11 - ASHBOURNE RESIDENTIAL\C320-LONG SECTIONS.DWG



**ROAD 14**  
SCALE: HORI 1:1000 VERT 1:500

- NOTES**
- All works to be in accordance with Matamata-Piako District Council standards.
  - Co-ordinates in terms of NZ Geodetic Datum MT Eden 2000.
  - Levels in terms of the New Zealand Vertical Datum 2016.
  - Benchmark: IT 1 DPS 29877 RL: 65.51.
  - Boundaries are subject to final survey.



D	FAST TRACK APP	RJM	11/2025
C	FAST TRACK APP	RJM	11/2025
B	FAST TRACK APP	RJM	04/2025
A	FAST TRACK APP	RJM	04/2025
Rev	Description	By	Date
	Survey	MAVEN	05/2024
	Design	MKS	11/2024
	Drawn	AP	11/2024
	Checked	DJM	11/2024

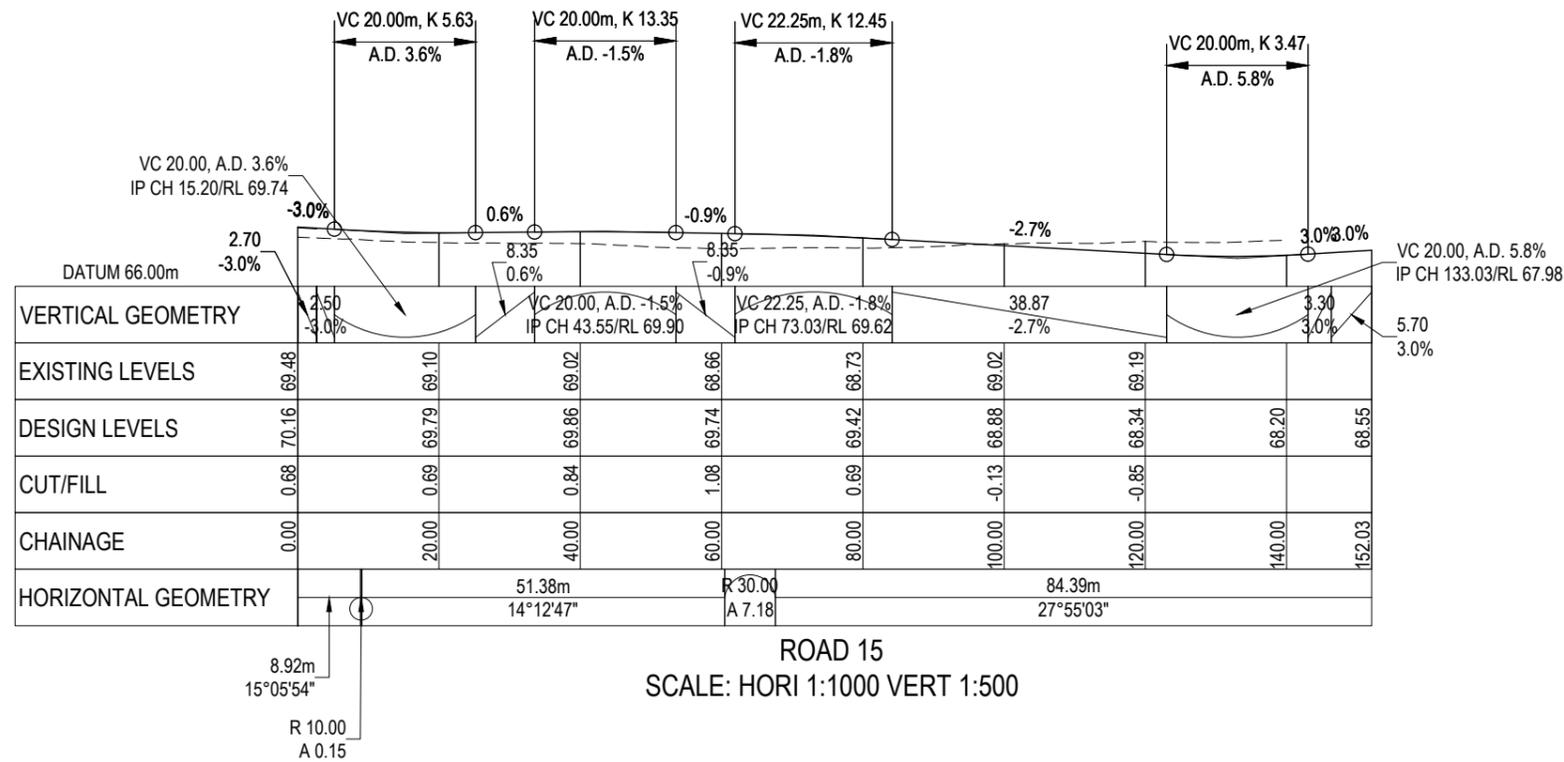


**Project**  
**ASHBOURNE  
RESIDENTIAL  
FOR  
MATAMATA  
DEVELOPMENTS LTD**

**Title**  
**PROPOSED  
ROADING  
LONGSECTION**

Project no.	289001
Scale	AS SHOWN
Cad file	C320-LONG SECTIONS.DWG
Drawing no.	C320-17
Rev	<b>D</b>

**RESOURCE CONSENT**



ROAD 15  
SCALE: HORI 1:1000 VERT 1:500

- NOTES
- All works to be in accordance with Matamata-Piako District Council standards.
  - Co-ordinates in terms of NZ Geodetic Datum MT Eden 2000.
  - Levels in terms of the New Zealand Vertical Datum 2016.
  - Benchmark: IT 1 DPS 29877 RL: 65.51.
  - Boundaries are subject to final survey.

Legend

----- EXISTING GROUND LEVEL

———— PROPOSED GROUND LEVEL

D	FAST TRACK APP	RJM	11/2025
C	FAST TRACK APP	RJM	11/2025
B	FAST TRACK APP	RJM	04/2025
A	FAST TRACK APP	RJM	04/2025
Rev	Description	By	Date
		By	Date
	Survey	MAVEN	05/2024
	Design	MKS	11/2024
	Drawn	AP	11/2024
	Checked	DJM	11/2024



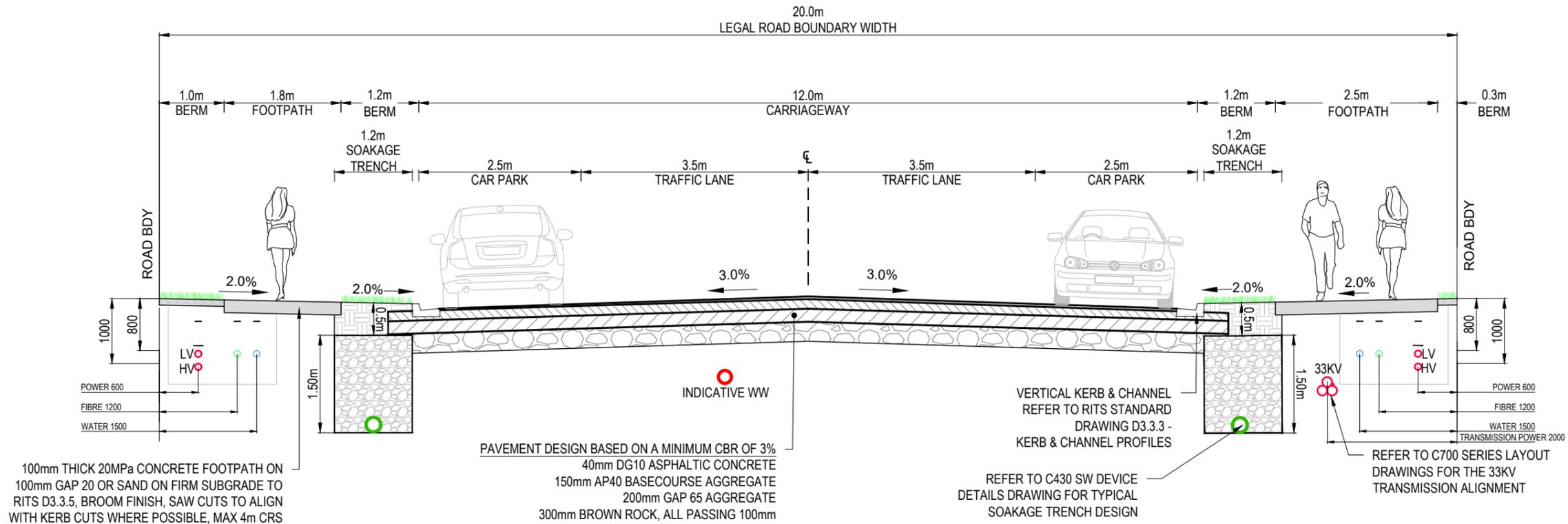
Project  
**ASHBOURNE  
RESIDENTIAL  
FOR  
MATAMATA  
DEVELOPMENTS LTD**

Title  
**PROPOSED  
ROADING  
LONGSECTION**

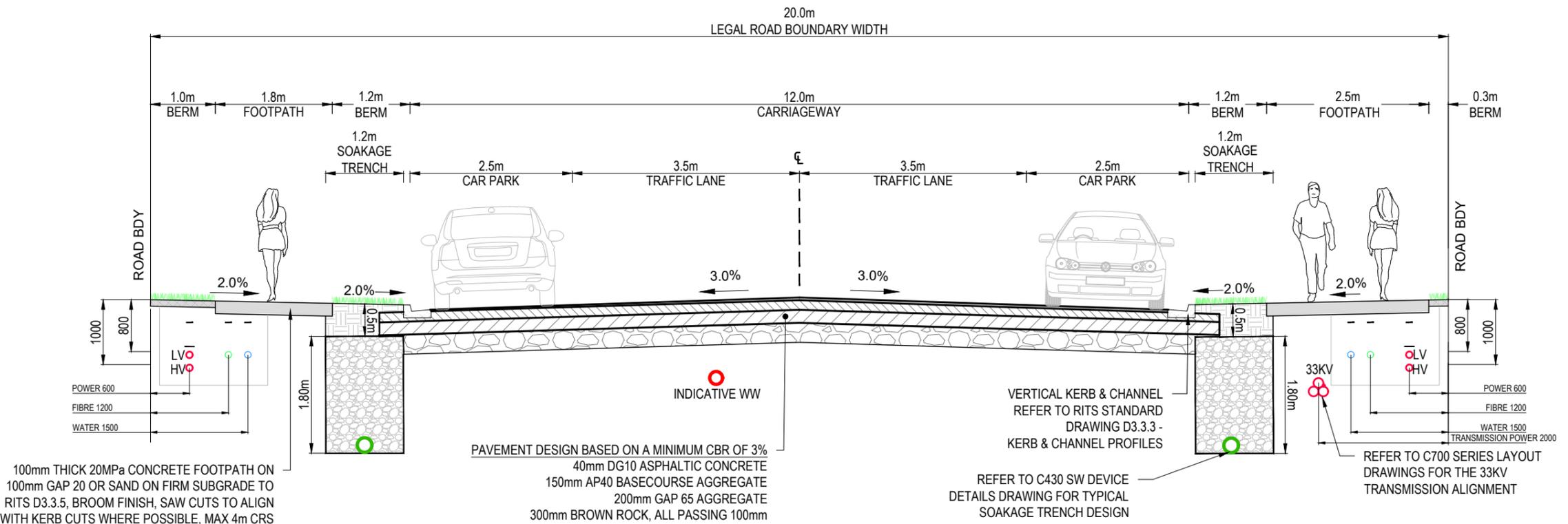
Project no.	289001
Scale	AS SHOWN
Cad file	C320-LONG SECTIONS.DWG
Drawing no.	C320-18
Rev	<b>D</b>

RESOURCE CONSENT





SECTION A1 - 20m ROAD - TYPICAL CROSS SECTION (ROAD 1)  
SCALE: 1:75 @ A3



SECTION A2 - 20m ROAD - TYPICAL CROSS SECTION (ROAD 1)  
SCALE: 1:75 @ A3

- Notes
- All works to be in accordance with local council standards.
  - Co-ordinates in terms of Mount Eden 2000
  - Reduced levels in terms of NZVD 2016.
  - Benchmark: IT I DPS 29877 RL: 65.19
  - The Contractors shall obtain all necessary approval from utility operators before commencing work under or near their services.
  - Final pavement design subject to CBR/Beam tests on subgrade material.
  - Setout schedule with co-ordinates of chainage points along road centerline to be supplied to the Contractors prior to construction.
  - Refer to long section for finished centerline levels. Refer to typical cross sections to obtain levels for other locations.
  - Vehicle crossing to be constructed by others unless otherwise stated.
  - The Contractor may, with the agreement of the Engineer, adopt the alternative pavement design as specified on typical cross section, provided that the subgrade can achieve a minimum of CBR 3.
  - Subgrade testing required, contractor shall notify engineer of any results below CBR of 3%. Engineer to advise on the additional pavement requirements or Subgrade remediation.

D	FAST TRACK APP	MKS	11/2025
C	FAST TRACK APP	RJM	05/2025
B	FAST TRACK APP	RJM	04/2025
A	FAST TRACK APP	TCH	04/2025
Rev	Description	By	Date
	Survey	MAVEN	03/2024
	Design	MKS	10/2024
	Drawn	MKS	10/2024
	Checked	DJM	05/2025

**M** Maven Associates  
09 571 0050  
info@maven.co.nz  
www.maven.co.nz  
5 Owens Road, Epsom  
Auckland 1023

Project  
**ASHBOURNE  
RESIDENTIAL  
FOR  
MATAMATA  
DEVELOPMENTS**

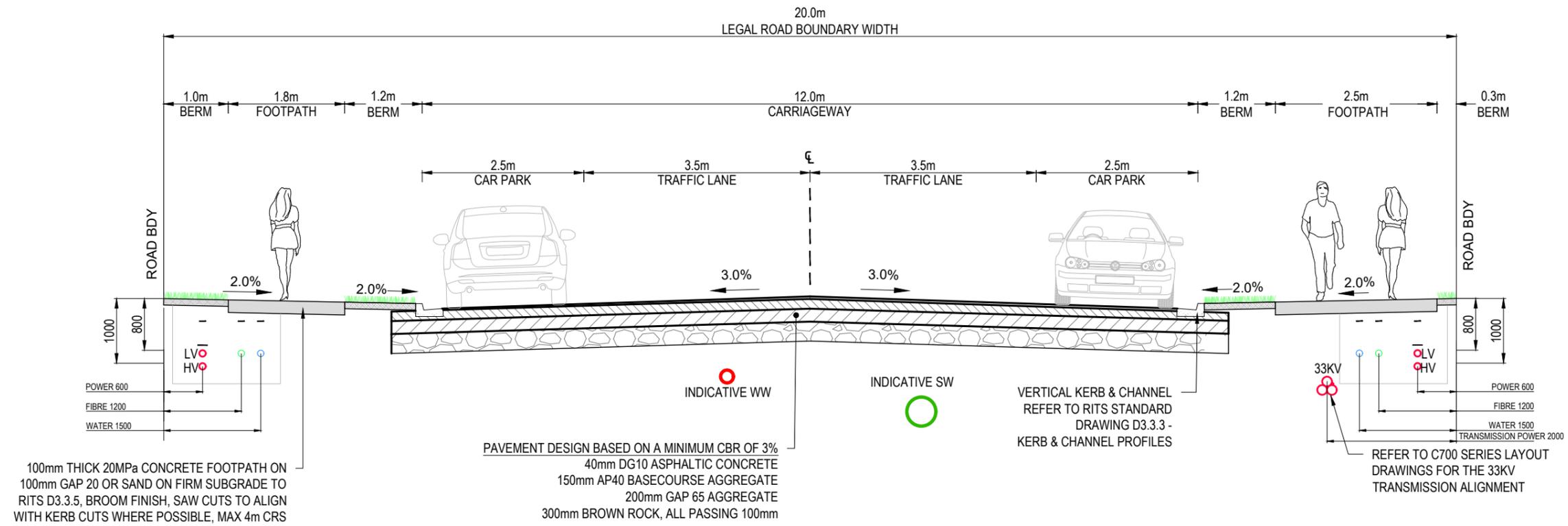
Title  
**TYPICAL ROAD  
CROSS SECTION  
SHEET**

Project no.	289001
Scale	AS SHOWN
Cad file	C340-TYP RD SECTION.DWG
Drawing no.	C340-1
Rev	<b>D</b>

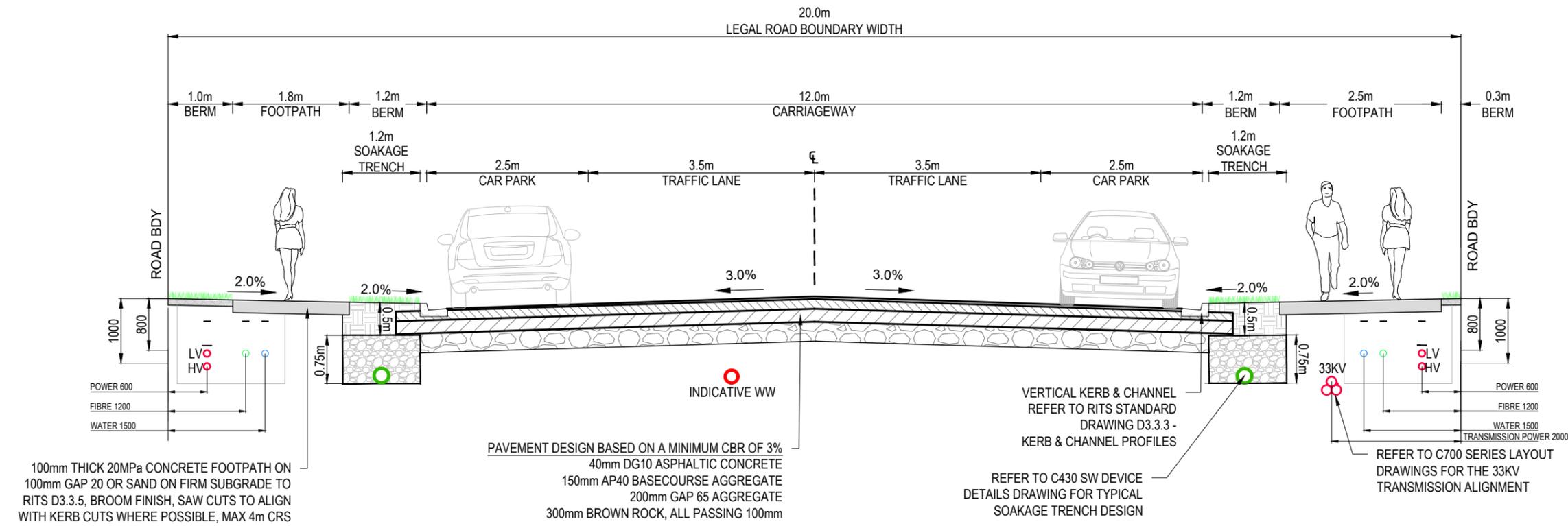
**RESOURCE CONSENT**

DATE: 11/1/25 FILEPATH: F:\MVEN\HAMITON6 - PROJECTS\289001 - STATION ROAD\DRAWING\1 - ASHBOURNE RESIDENTIAL\C340-TYP RD SECTION.DWG

- Notes
- All works to be in accordance with local council standards.
  - Co-ordinates in terms of Mount Eden 2000
  - Reduced levels in terms of NZVD 2016.
  - Benchmark: IT I DPS 29877 RL: 65.19
  - The Contractors shall obtain all necessary approval from utility operators before commencing work under or near their services.
  - Final pavement design subject to CBR/Beam tests on subgrade material.
  - Setout schedule with co-ordinates of chainage points along road centerline to be supplied to the Contractors prior to construction.
  - Refer to long section for finished centerline levels. Refer to typical cross sections to obtain levels for other locations.
  - Vehicle crossing to be constructed by others unless otherwise stated.
  - The Contractor may, with the agreement of the Engineer, adopt the alternative pavement design as specified on typical cross section, provided that the subgrade can achieve a minimum of CBR 3.
  - Subgrade testing required, contractor shall notify engineer of any results below CBR of 3%. Engineer to advise on the additional pavement requirements or Subgrade remediation.



SECTION A3 - 20m ROAD - TYPICAL CROSS SECTION (ROAD 1)  
 SCALE: 1:75 @ A3



SECTION A4 - 20m ROAD - TYPICAL CROSS SECTION (ROAD 7)  
 SCALE: 1:75 @ A3

A	FAST TRACK APP	MKS	11/2025
Rev	Description	By	Date
Survey	MAVEN		03/2024
Design	MKS		11/2025
Drawn	MKS		11/2025
Checked	DJM		11/2025

**M** Maven Associates  
 09 571 0050  
 info@maven.co.nz  
 www.maven.co.nz  
 5 Owens Road, Epsom  
 Auckland 1023

Project  
**ASHBOURNE  
 RESIDENTIAL  
 FOR  
 MATAMATA  
 DEVELOPMENTS**

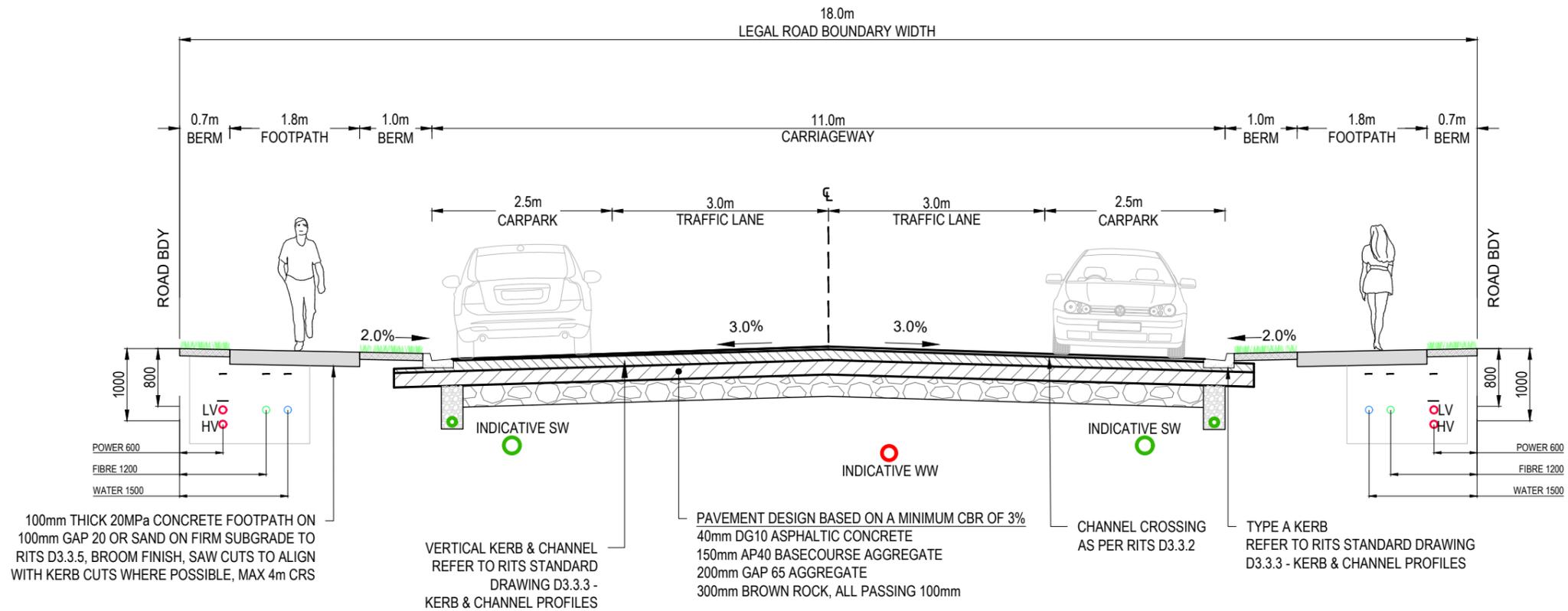
Title  
**TYPICAL ROAD  
 CROSS SECTION  
 SHEET**

Project no.	289001
Scale	AS SHOWN
Cad file	C340-TYP RD SECTION.DWG
Drawing no.	C340-1A
Rev	<b>A</b>

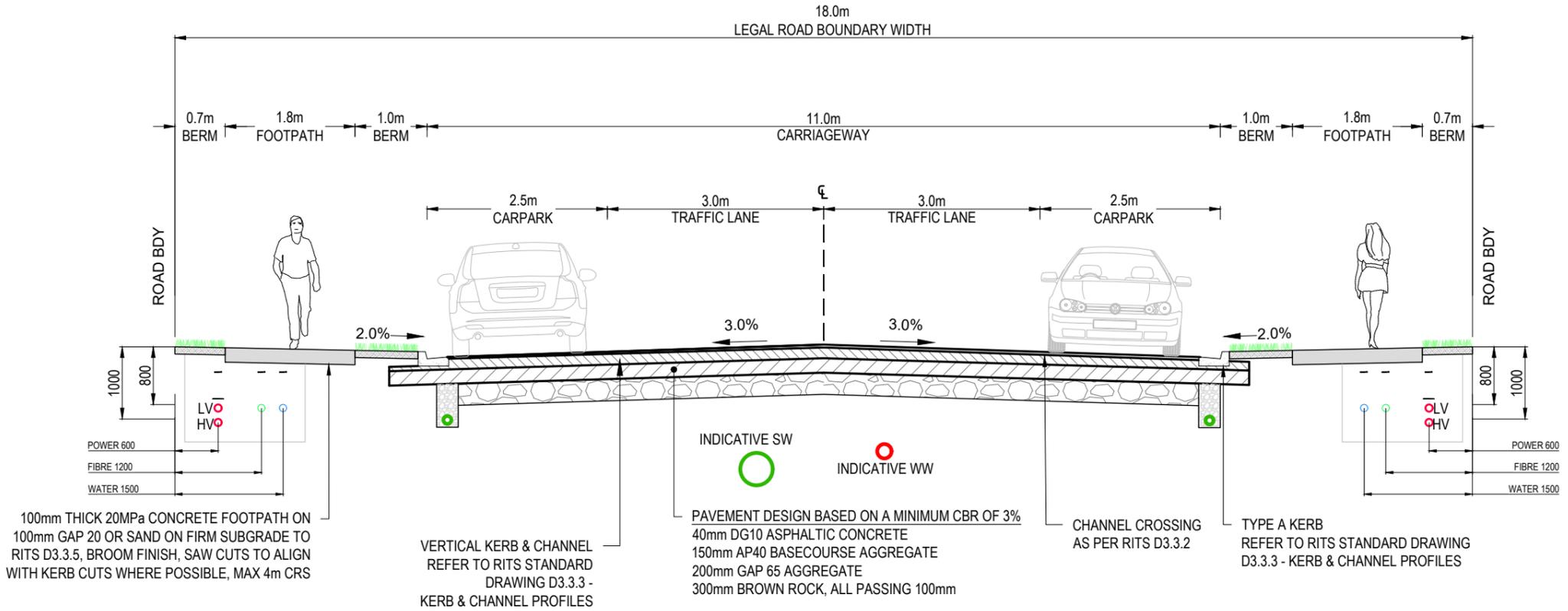
**RESOURCE CONSENT**

DATE: 11/11/25 FILEPATH: F:\MVEN\HAMITON6 - STATION ROAD\DRAWING\1 - ASHBOURNE RESIDENTIAL\C340-TYP RD SECTION.DWG

- Notes
- All works to be in accordance with local council standards.
  - Co-ordinates in terms of Mount Eden 2000
  - Reduced levels in terms of NZVD 2016.
  - Benchmark: IT 1 DPS 29877 RL: 65.19
  - The Contractors shall obtain all necessary approval from utility operators before commencing work under or near their services.
  - Final pavement design subject to CBR/Beam tests on subgrade material.
  - Setout schedule with co-ordinates of chainage points along road centerline to be supplied to the Contractors prior to construction.
  - Refer to long section for finished centerline levels. Refer to typical cross sections to obtain levels for other locations.
  - Vehicle crossing to be constructed by others unless otherwise stated.
  - The Contractor may, with the agreement of the Engineer, adopt the alternative pavement design as specified on typical cross section, provided that the subgrade can achieve a minimum of CBR 3.
  - Subgrade testing required, contractor shall notify engineer of any results below CBR of 3%. Engineer to advise on the additional pavement requirements or Subgrade remediation.



**SECTION B1 - 18m ROAD - TYPICAL CROSS SECTION (NO SW DEVICES)**  
SCALE: 1:75 @ A3



**SECTION B2 - 18m ROAD - TYPICAL CROSS SECTION (PIPE NETWORK)**  
SCALE: 1:75 @ A3

A	FAST TRACK APP	MKS	11/2025
Rev	Description	By	Date
Survey	MAVEN		03/2024
Design	MKS		11/2025
Drawn	MKS		11/2025
Checked	DJM		11/2025

**M** Maven Associates  
09 571 0050  
info@maven.co.nz  
www.maven.co.nz  
5 Owens Road, Epsom  
Auckland 1023

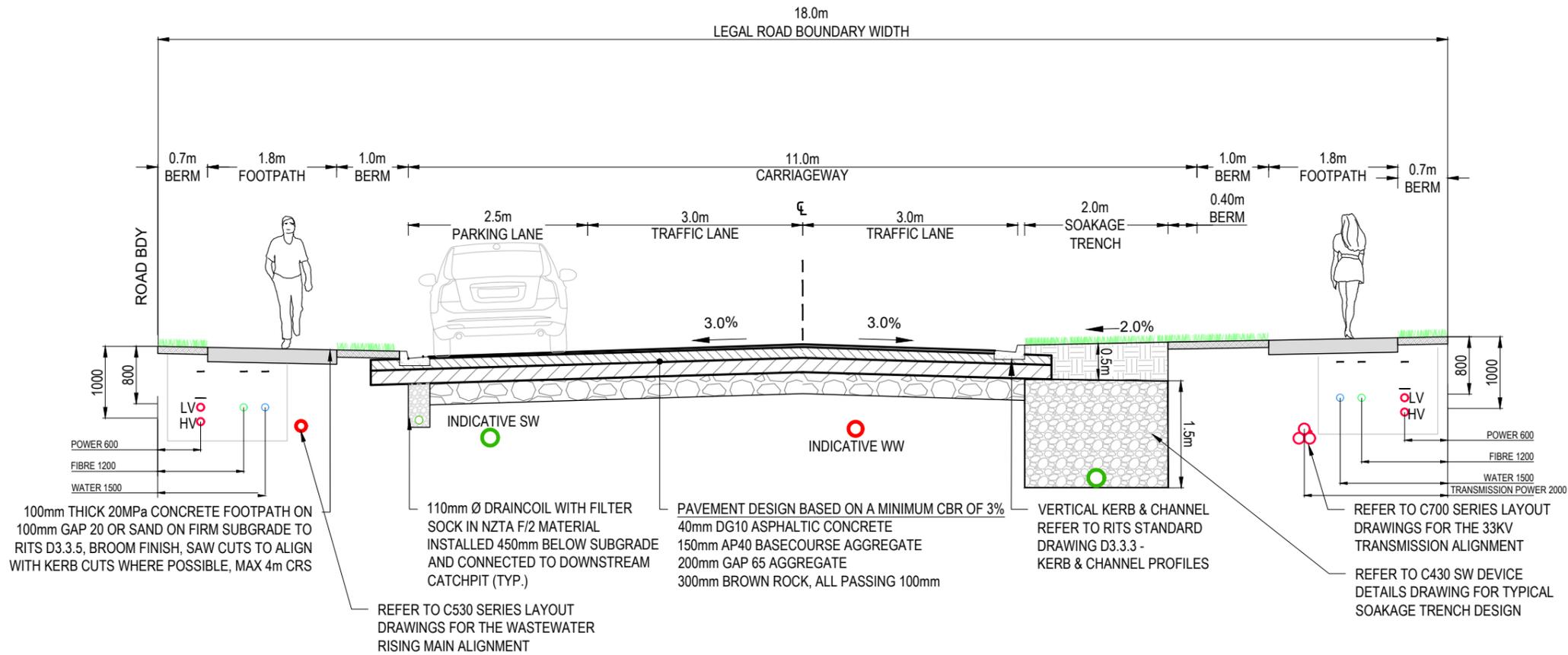
Project  
**ASHBOURNE  
RESIDENTIAL  
FOR  
MATAMATA  
DEVELOPMENTS**

Title  
**TYPICAL ROAD  
CROSS SECTION  
SHEET**

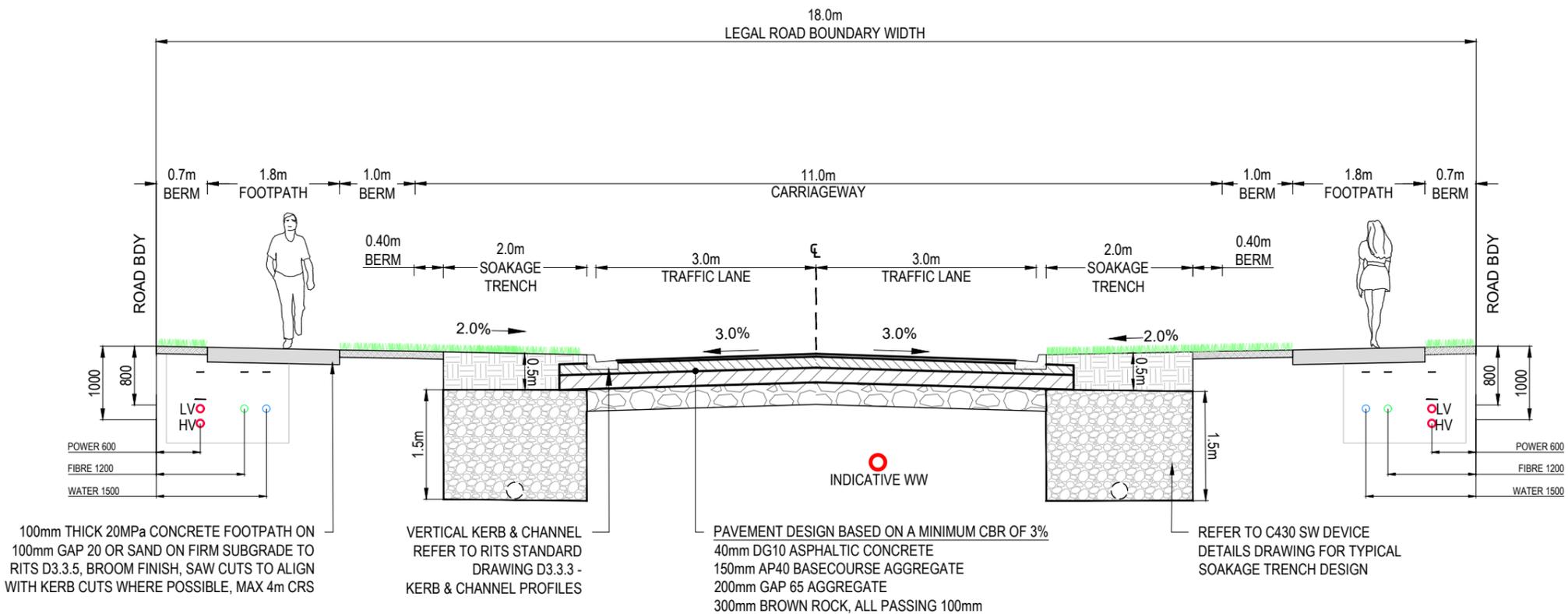
Project no.	289001
Scale	AS SHOWN
Cad file	C340-TYP RD SECTION.DWG
Drawing no.	C340-1B
Rev	<b>A</b>

**RESOURCE CONSENT**

DATE: 11/25 FILEPATH: F:\MVEN\HAMITON6 - PROJECTS\289001 - STATION ROAD\DRAWING\1 - ASHBOURNE RESIDENTIAL\C340-TYP RD SECTION.DWG



**SECTION C - 18m ROAD - TYPICAL CROSS SECTION**  
SCALE: 1:75 @ A3



**SECTION D - 18m ROAD - TYPICAL CROSS SECTION**  
SCALE: 1:75 @ A3

- Notes
- All works to be in accordance with local council standards.
  - Co-ordinates in terms of Mount Eden 2000
  - Reduced levels in terms of NZVD 2016.
  - Benchmark: IT 1 DPS 29877 RL: 65.19
  - The Contractors shall obtain all necessary approval from utility operators before commencing work under or near their services.
  - Final pavement design subject to CBR/Beam tests on subgrade material.
  - Setout schedule with co-ordinates of chainage points along road centerline to be supplied to the Contractors prior to construction.
  - Refer to long section for finished centerline levels. Refer to typical cross sections to obtain levels for other locations.
  - Vehicle crossing to be constructed by others unless otherwise stated.
  - The Contractor may, with the agreement of the Engineer, adopt the alternative pavement design as specified on typical cross section, provided that the subgrade can achieve a minimum of CBR 3.
  - Subgrade testing required, contractor shall notify engineer of any results below CBR of 3%. Engineer to advise on the additional pavement requirements or Subgrade remediation.

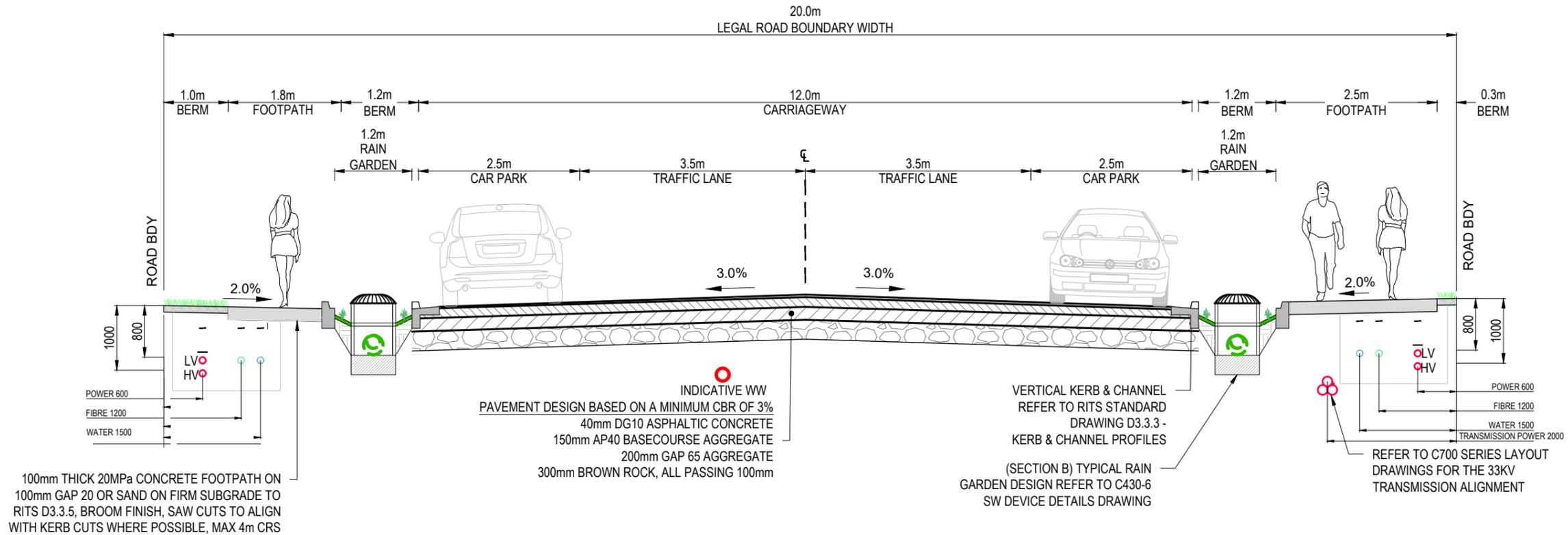
D	FAST TRACK APP	MKS	11/2025
C	FAST TRACK APP	RJM	05/2025
B	FAST TRACK APP	RJM	04/2025
A	FAST TRACK APP	TCH	04/2025
Rev	Description	By	Date
	Survey	MAVEN	03/2024
	Design	MKS	10/2024
	Drawn	MKS	10/2024
	Checked	DJM	05/2025



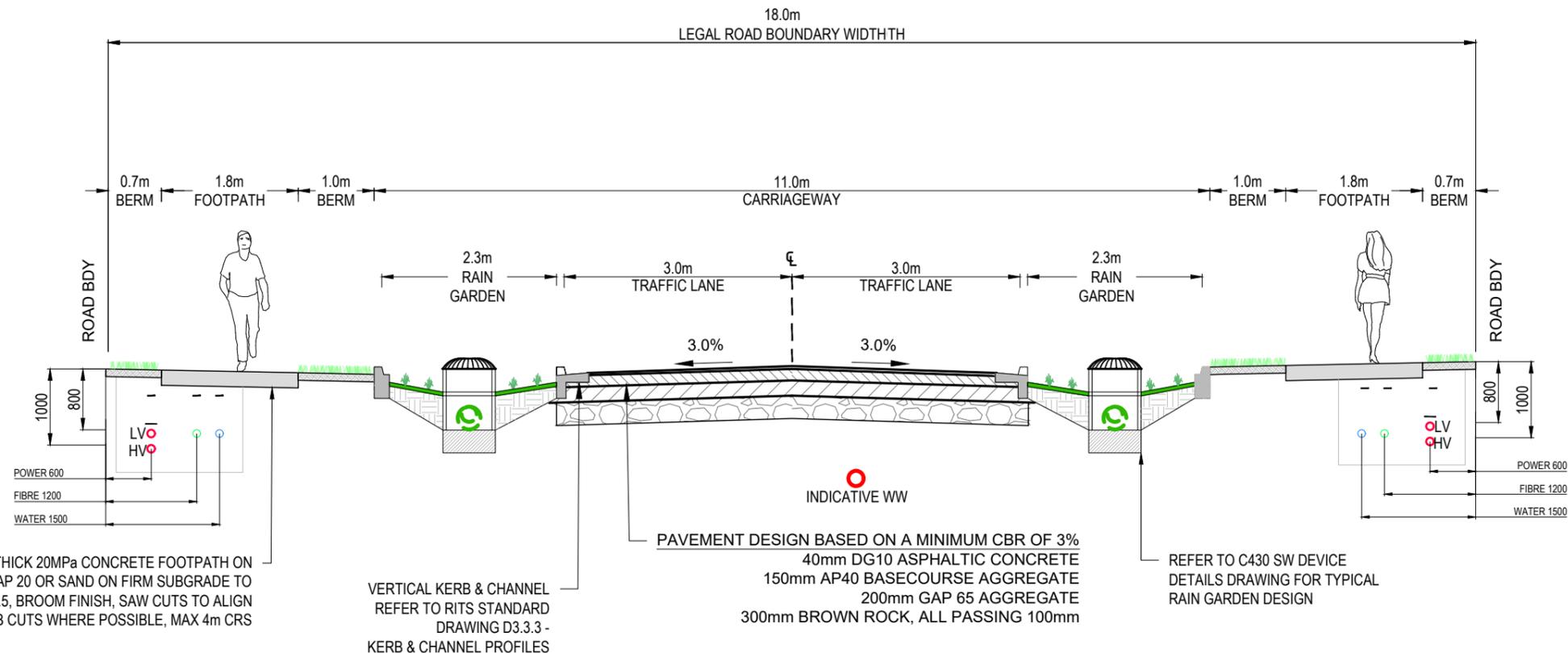
Project  
**ASHBOURNE  
RESIDENTIAL  
FOR  
MATAMATA  
DEVELOPMENTS**

Title  
**TYPICAL ROAD  
CROSS SECTION  
SHEET**

Project no.	289001
Scale	AS SHOWN
Cad file	C340-TYP RD SECTION.DWG
Drawing no.	C340-2
Rev	<b>D</b>



SECTION E - 20m ROAD - TYPICAL CROSS SECTION (ROAD 1 & 7)  
SCALE: 1:75 @ A3



SECTION F - 18m ROAD - TYPICAL CROSS SECTION  
SCALE: 1:75 @ A3

- Notes
- All works to be in accordance with local council standards.
  - Co-ordinates in terms of Mount Eden 2000
  - Reduced levels in terms of NZVD 2016.
  - Benchmark: IT 1 DPS 29877 RL: 65.19
  - The Contractors shall obtain all necessary approval from utility operators before commencing work under or near their services.
  - Final pavement design subject to CBR/Beam tests on subgrade material.
  - Setout schedule with co-ordinates of chainage points along road centerline to be supplied to the Contractors prior to construction.
  - Refer to long section for finished centerline levels. Refer to typical cross sections to obtain levels for other locations.
  - Vehicle crossing to be constructed by others unless otherwise stated.
  - The Contractor may, with the agreement of the Engineer, adopt the alternative pavement design as specified on typical cross section, provided that the subgrade can achieve a minimum of CBR 3.
  - Subgrade testing required, contractor shall notify engineer of any results below CBR of 3%. Engineer to advise on the additional pavement requirements or Subgrade remediation.

C	FAST TRACK APP	RJM	05/2025
B	FAST TRACK APP	RJM	04/2025
A	FAST TRACK APP	TCH	04/2025
Rev	Description	By	Date
		MAVEN	03/2024
		MKS	10/2024
		MKS	10/2024
		DJM	05/2025

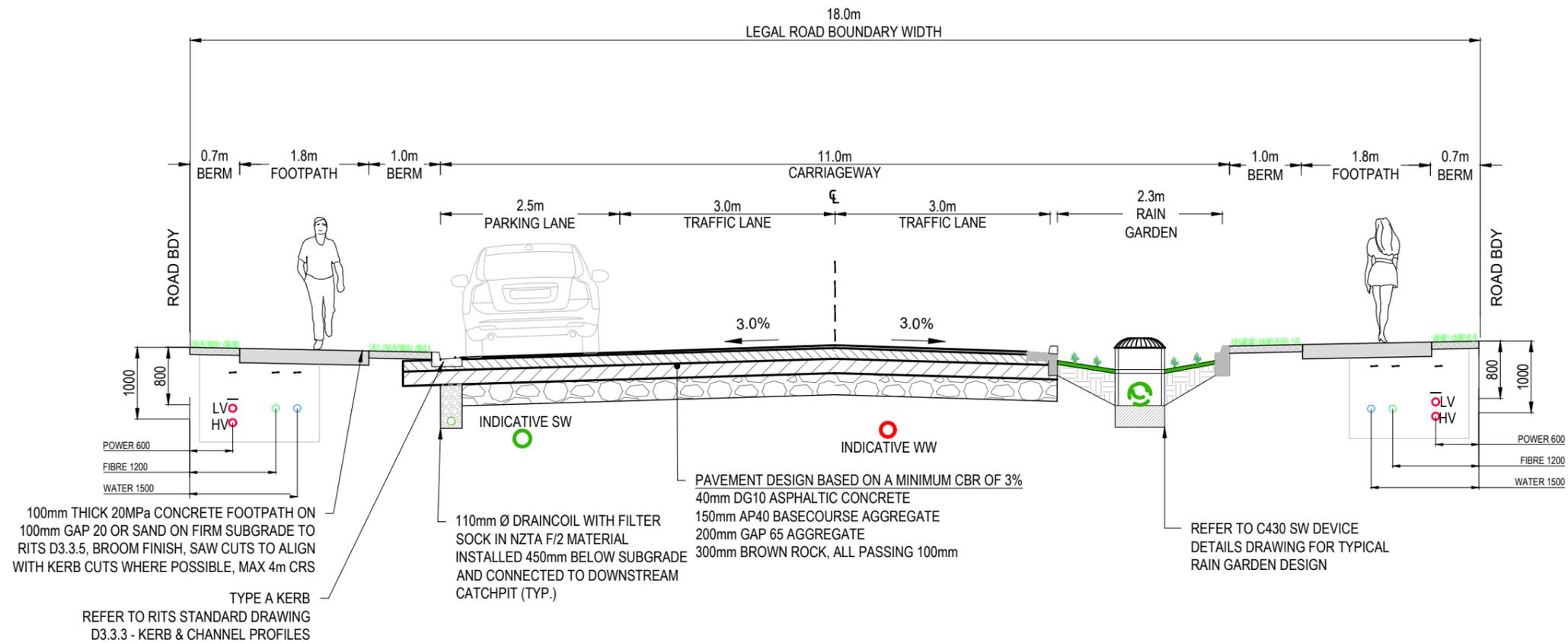
**M** Maven Associates  
09 571 0050  
info@maven.co.nz  
www.maven.co.nz  
5 Owens Road, Epsom  
Auckland 1023

Project  
**ASHBOURNE  
RESIDENTIAL  
FOR  
MATAMATA  
DEVELOPMENTS**

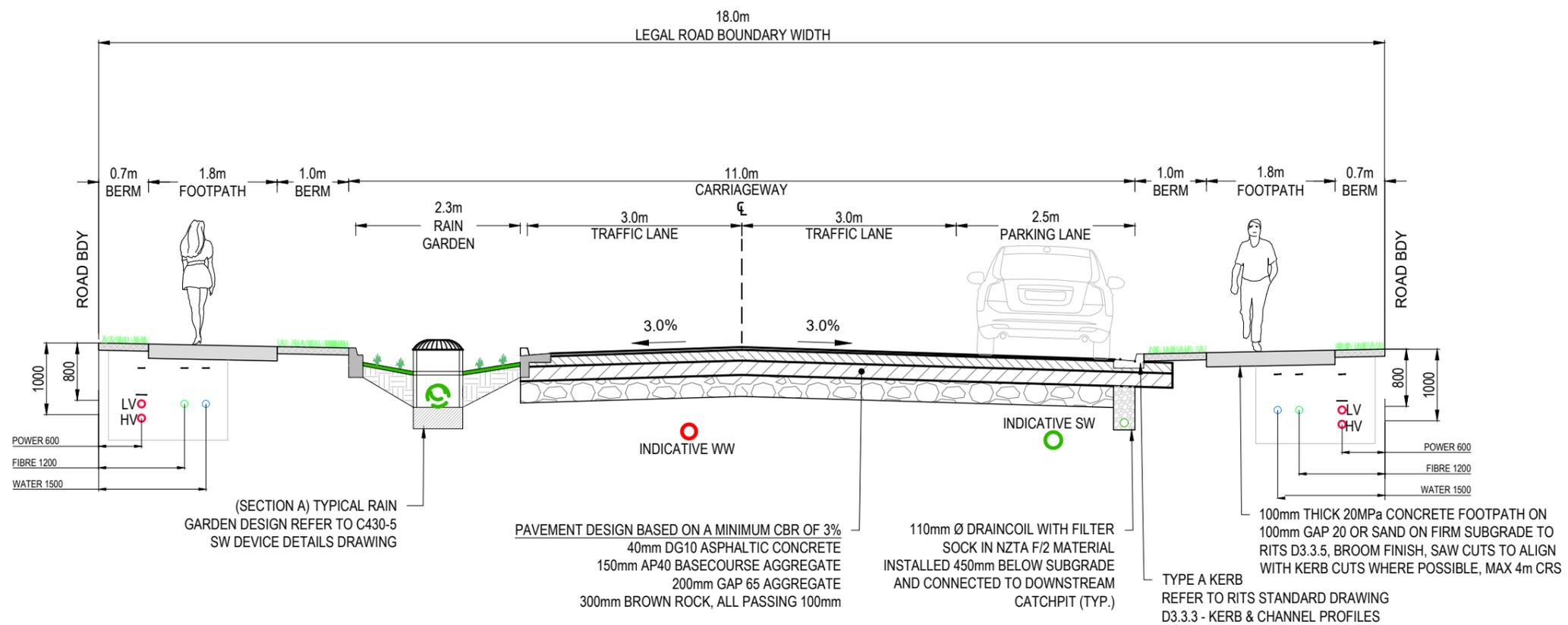
Title  
**TYPICAL ROAD  
CROSS SECTION  
SHEET**

Project no.	289001
Scale	AS SHOWN
Cad file	C340-TYP RD SECTION.DWG
Drawing no.	C340-3
Rev	<b>C</b>

RESOURCE CONSENT



SECTION G - 18m ROAD - TYPICAL CROSS SECTION  
SCALE: 1:75 @ A3



SECTION H - 18m ROAD - TYPICAL CROSS SECTION  
SCALE: 1:75 @ A3

- Notes
- All works to be in accordance with local council standards.
  - Co-ordinates in terms of Mount Eden 2000
  - Reduced levels in terms of NZVD 2016.
  - Benchmark: IT 1 DPS 29877 RL: 65.19
  - The Contractors shall obtain all necessary approval from utility operators before commencing work under or near their services.
  - Final pavement design subject to CBR/Beam tests on subgrade material.
  - Setout schedule with co-ordinates of chainage points along road centerline to be supplied to the Contractors prior to construction.
  - Refer to long section for finished centerline levels. Refer to typical cross sections to obtain levels for other locations.
  - Vehicle crossing to be constructed by others unless otherwise stated.
  - The Contractor may, with the agreement of the Engineer, adopt the alternative pavement design as specified on typical cross section, provided that the subgrade can achieve a minimum of CBR 3.
  - Subgrade testing required, contractor shall notify engineer of any results below CBR of 3%. Engineer to advise on the additional pavement requirements or Subgrade remediation.

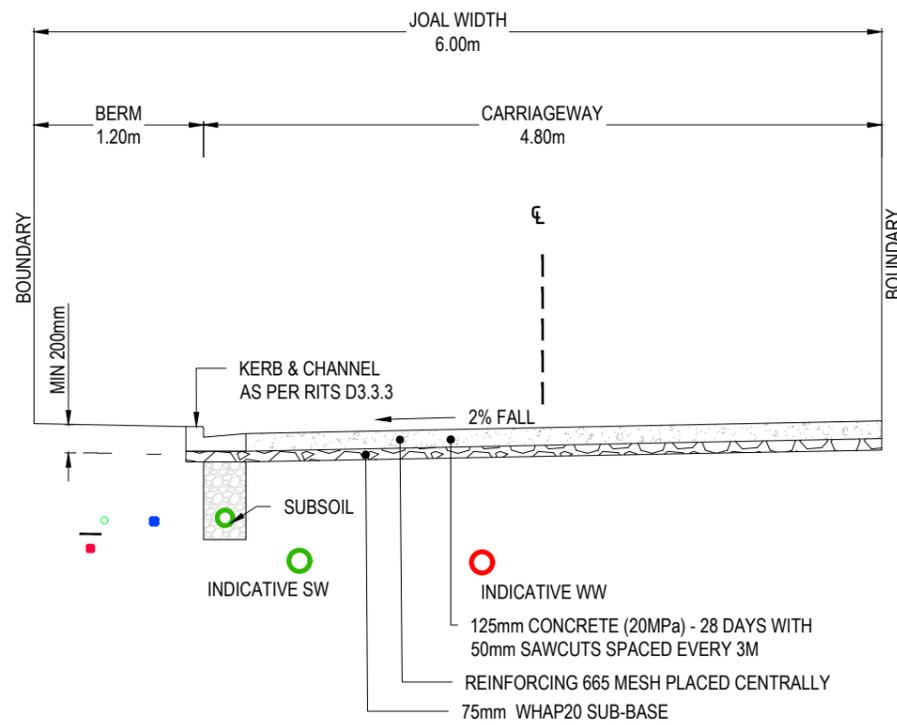
C	FAST TRACK APP	RJM	05/2025
B	FAST TRACK APP	RJM	04/2025
A	FAST TRACK APP	TCH	04/2025
Rev	Description	By	Date
	Survey	MAVEN	03/2024
	Design	MKS	10/2024
	Drawn	MKS	10/2024
	Checked	DJM	05/2025



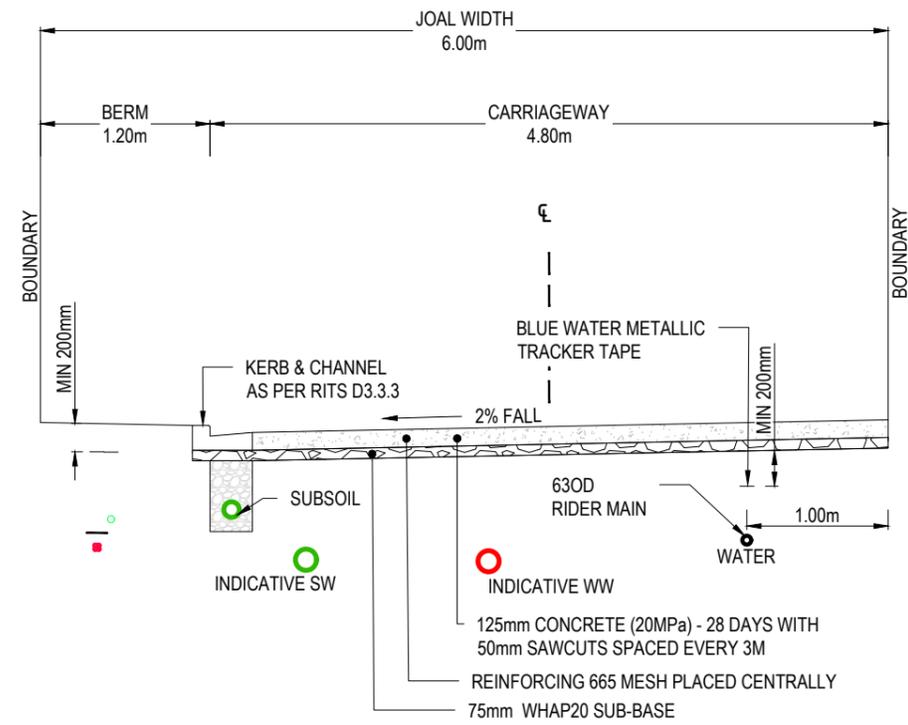
Project  
**ASHBOURNE  
RESIDENTIAL  
FOR  
MATAMATA  
DEVELOPMENTS**

Title  
**TYPICAL ROAD  
CROSS SECTION  
SHEET**

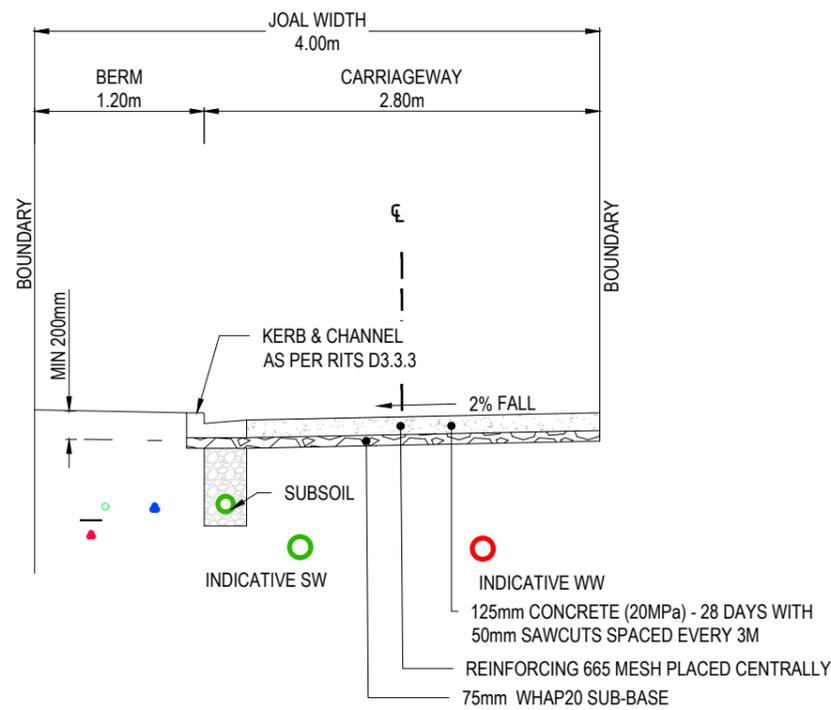
Project no.	289001
Scale	AS SHOWN
Cad file	C340-TYP RD SECTION.DWG
Drawing no.	C340-4
Rev	<b>C</b>



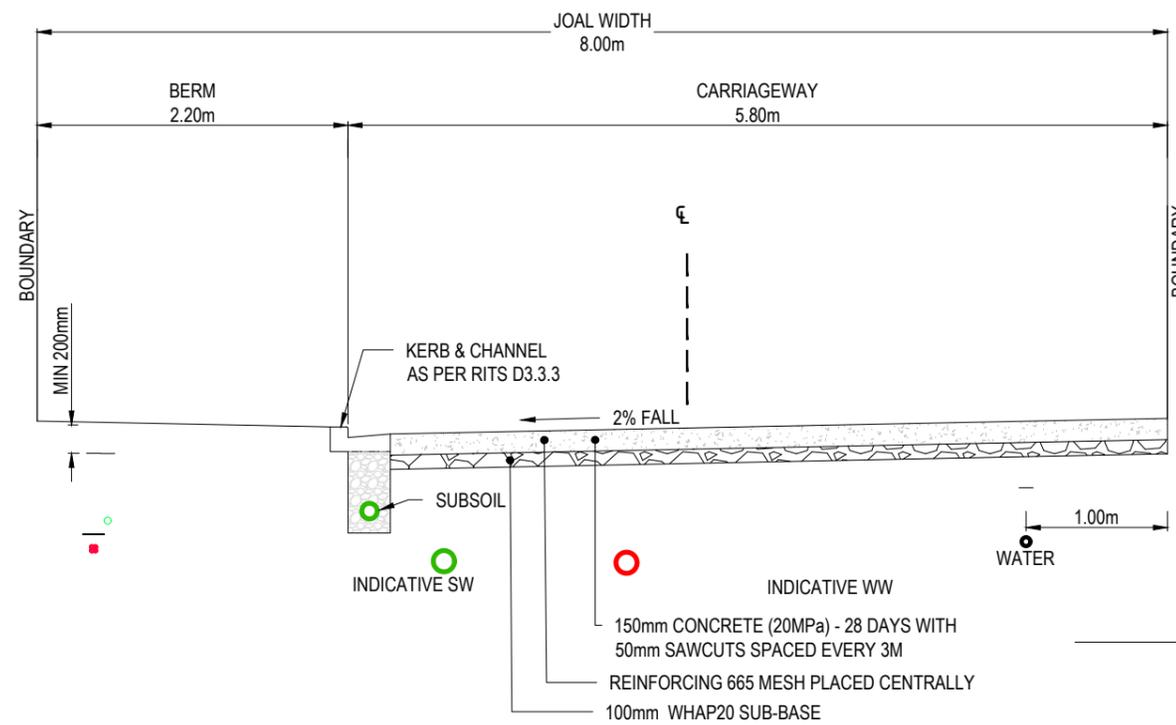
**6m JOAL TYPICAL CROSS SECTION  
(TYPE 1)**  
SCALE @ A3 1:50



**6m JOAL TYPICAL CROSS SECTION  
(TYPE 2)**  
SCALE @ A3 1:50



**4m JOAL - TYPICAL CROSS SECTION  
(TYPE 3)**  
SCALE 1:50 @ A3



**8m JOAL TYPICAL CROSS SECTION  
(TYPE 1)**  
SCALE @ A3 1:50

- Notes
- All works to be in accordance with local council standards.
  - Co-ordinates in terms of Mount Eden 2000
  - Reduced levels in terms of NZVD 2016.
  - Benchmark: IT 1 DPS 29877 RL: 65.19
  - The Contractors shall obtain all necessary approval from utility operators before commencing work under or near their services.
  - Final pavement design subject to CBR/Beam tests on subgrade material.
  - Setout schedule with co-ordinates of chainage points along road centerline to be supplied to the Contractors prior to construction.
  - Refer to long section for finished centerline levels. Refer to typical cross sections to obtain levels for other locations.
  - Vehicle crossing to be constructed by others unless otherwise stated.
  - The Contractor may, with the agreement of the Engineer, adopt the alternative pavement design as specified on typical cross section, provided that the subgrade can achieve a minimum of CBR 3.
  - Subgrade testing required, contractor shall notify engineer of any results below CBR of 3%. Engineer to advise on the additional pavement requirements or Subgrade remediation.

C	FAST TRACK APP	RJM	05/2025
B	FAST TRACK APP	RJM	04/2025
A	FAST TRACK APP	TCH	04/2025
Rev	Description	By	Date
		MAVEN	03/2024
		AP	03/2024
		AP	03/2024
		DJM	05/2025

**M** Maven Associates  
09 571 0050  
info@maven.co.nz  
www.maven.co.nz  
5 Owens Road, Epsom  
Auckland 1023

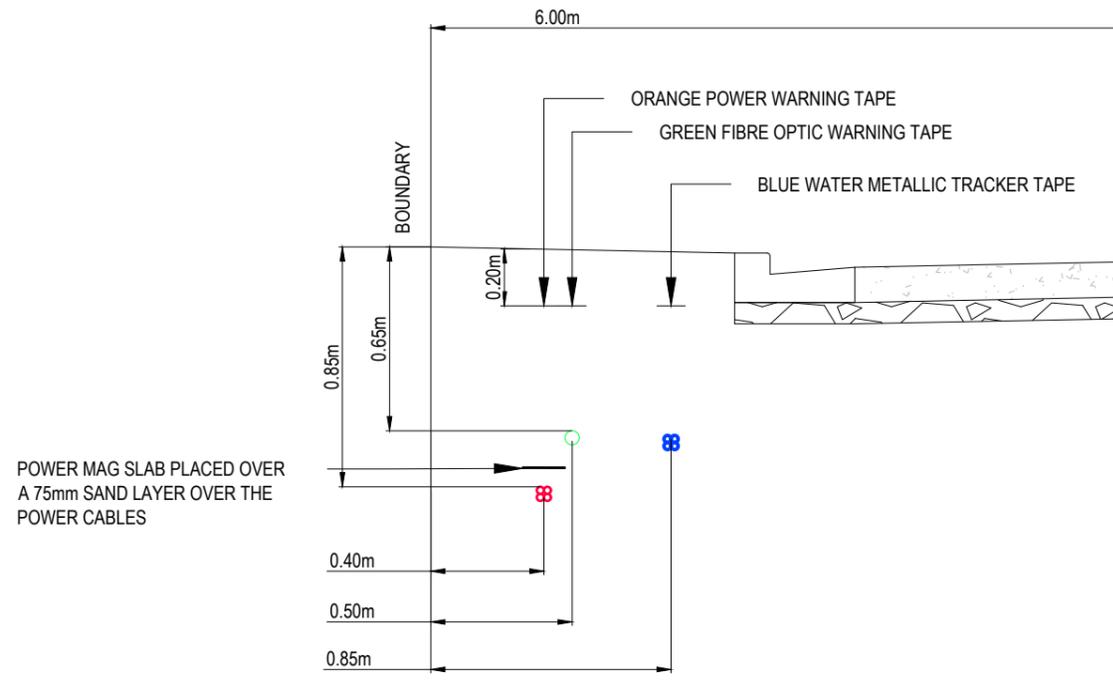
Project  
**ASHBOURNE  
RESIDENTIAL  
FOR  
MATAMATA  
DEVELOPMENTS**

Title  
**TYPICAL ROAD  
CROSS SECTION  
SHEET**

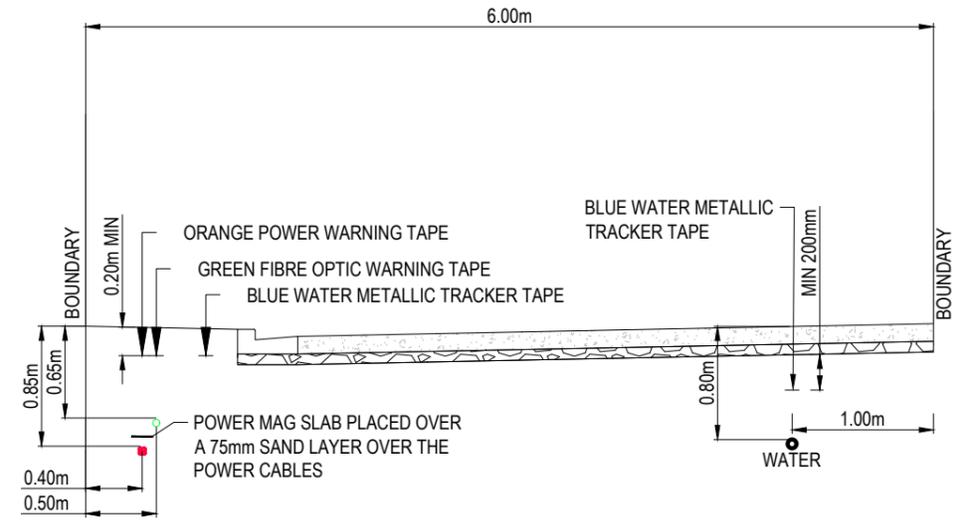
Project no.	289001
Scale	AS SHOWN
Cad file	C340-TYP RD SECTION.DWG
Drawing no.	C340-5
Rev	<b>C</b>

**RESOURCE CONSENT**

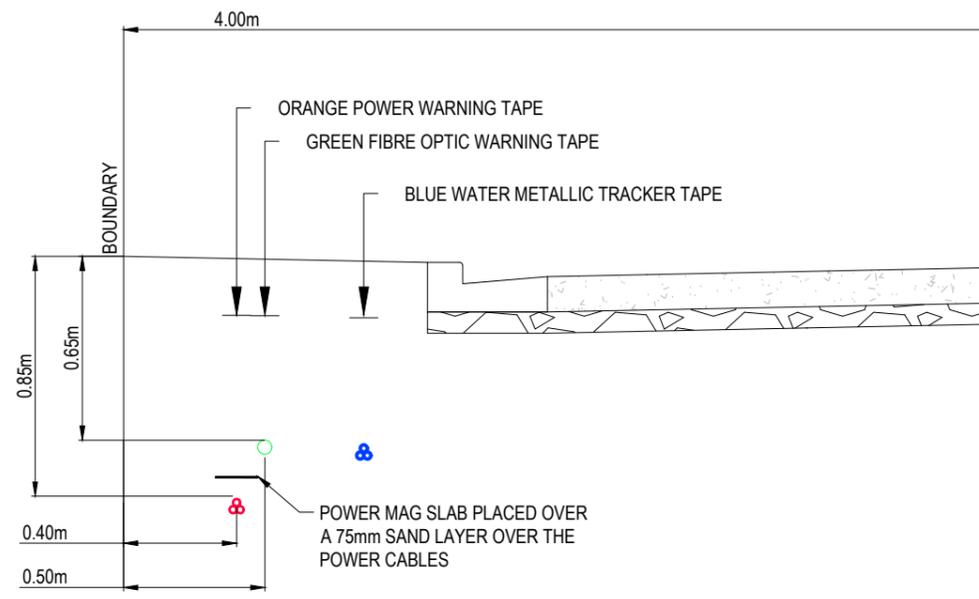
DATE: 11/1/25 FILEPATH: F:\MAVEN\HAMLTON6 - PROJECTS\289001 - STATION ROAD\DRAWING\11 - ASHBOURNE RESIDENTIAL\C340-TYP RD SECTION.DWG



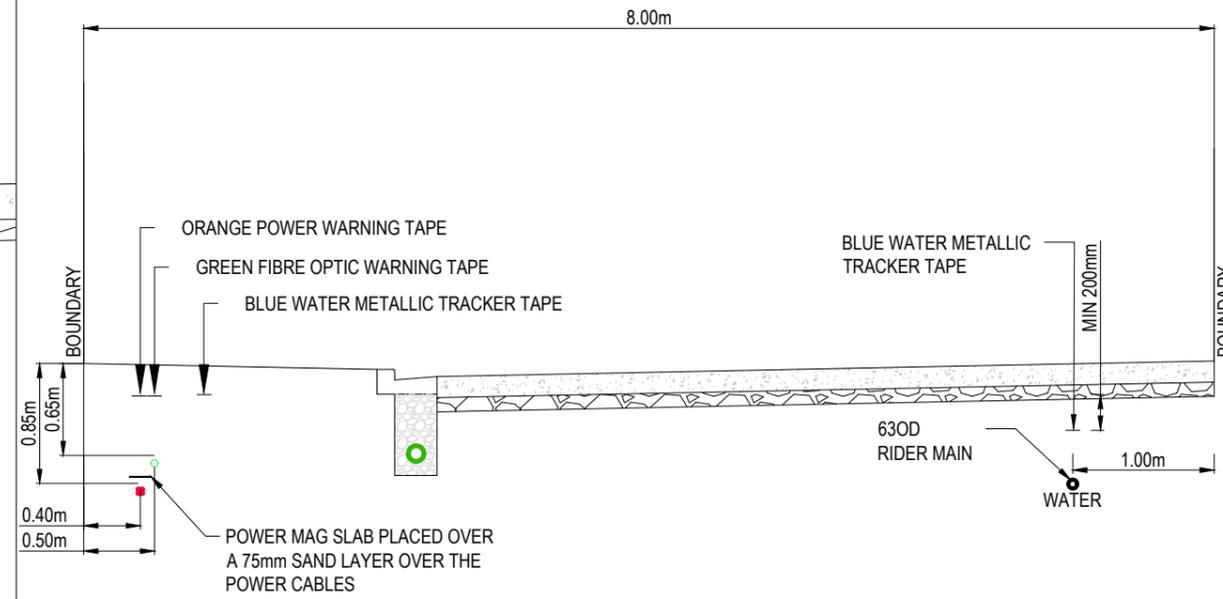
6m JOAL TYPICAL SERVICE TRENCH (SERVING 4 LOTS)  
(TYPE 1)  
SCALE @ A3 1:25



6m JOAL TYPICAL SERVICE TRENCH (SERVING 5+ LOTS)  
(TYPE 2)  
SCALE @ A3 1:50



4m JOAL - TYPICAL SERVICE TRENCH (SERVING 3 LOTS)  
(TYPE 3)  
SCALE 1:25 @ A3



8m JOAL TYPICAL SERVICE TRENCH (SERVING 5+ LOTS)  
(TYPE 1)  
SCALE @ A3 1:50

- Notes
- All works to be in accordance with local council standards.
  - Co-ordinates in terms of Mount Eden 2000
  - Reduced levels in terms of NZVD 2016.
  - Benchmark: IT 1 DPS 29877 RL: 65.19
  - The Contractors shall obtain all necessary approval from utility operators before commencing work under or near their services.
  - Final pavement design subject to CBR/Beam tests on subgrade material.
  - Setout schedule with co-ordinates of chainage points along road centerline to be supplied to the Contractors prior to construction.
  - Refer to long section for finished centerline levels. Refer to typical cross sections to obtain levels for other locations.
  - Vehicle crossing to be constructed by others unless otherwise stated.
  - The Contractor may, with the agreement of the Engineer, adopt the alternative pavement design as specified on typical cross section, provided that the subgrade can achieve a minimum of CBR 3.
  - Subgrade testing required, contractor shall notify engineer of any results below CBR of 3%. Engineer to advise on the additional pavement requirements or Subgrade remediation.

C	FAST TRACK APP	RJM	05/2025
B	FAST TRACK APP	RJM	04/2025
A	FAST TRACK APP	TCH	04/2025
Rev	Description	By	Date
		By	Date
Survey	MAVEN		03/2024
Design	AP		03/2024
Drawn	AP		03/2024
Checked	DJM		05/2025

**M** Maven Associates  
09 571 0050  
info@maven.co.nz  
www.maven.co.nz  
5 Owens Road, Epsom  
Auckland 1023

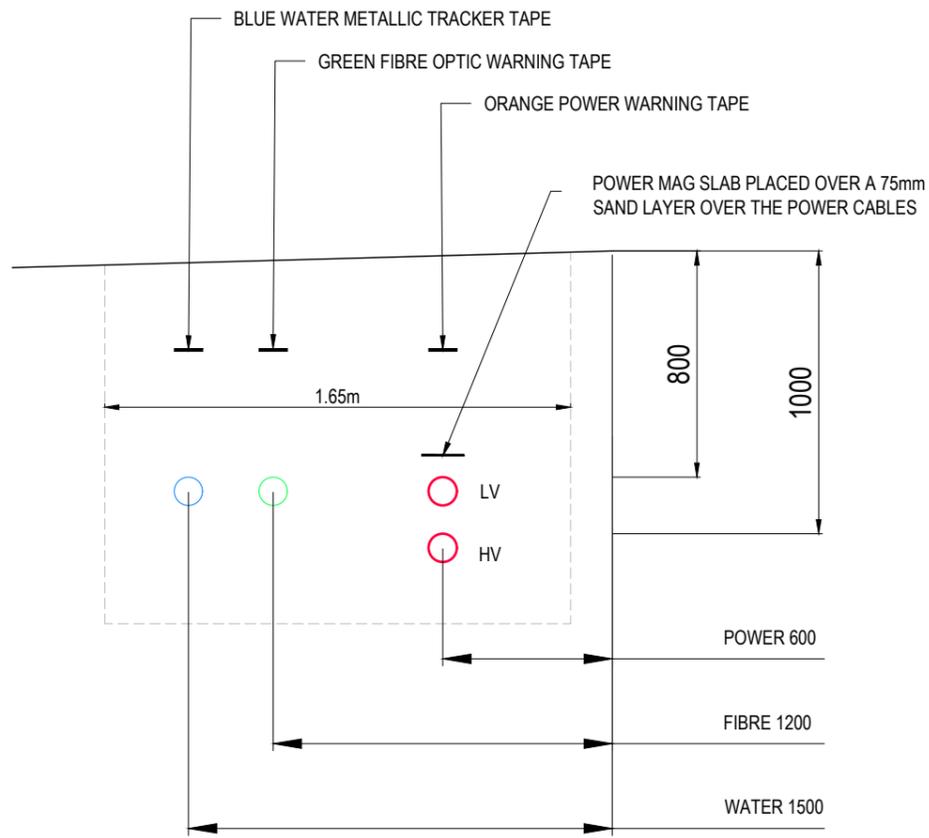
Project  
**ASHBOURNE  
RESIDENTIAL  
FOR  
MATAMATA  
DEVELOPMENTS**

Title  
**TYPICAL ROAD  
CROSS SECTION  
SHEET**

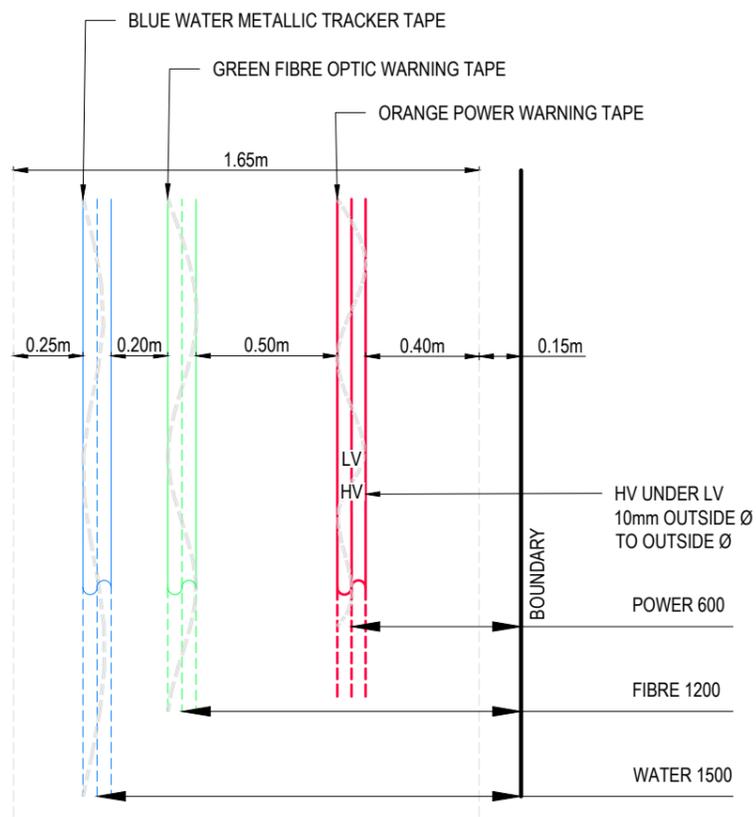
Project no.	289001
Scale	AS SHOWN
Cad file	C340-TYP RD SECTION.DWG
Drawing no.	C340-6
Rev	<b>C</b>

DATE: 11/1/25 FILEPATH: F:\MAVEN\HAMITON6 - PROJECTS\289001 - STATION ROAD.TYP DRAWING:1 - ASHBOURNE RESIDENTIAL\C340-TYP RD SECTION.DWG

**RESOURCE CONSENT**



TYPICAL SERVICE TRENCH CROSS SECTION (PUBLIC ROAD)  
(TYPE 1)  
SCALE 1:25@ A3



TYPICAL SERVICE TRENCH PLAN VIEW (PUBLIC ROAD)  
(TYPE 1)  
SCALE 1:25@ A3

Notes

- All works to be in accordance with local council standards.
- Co-ordinates in terms of Mount Eden 2000
- Reduced levels in terms of NZVD 2016.
- Benchmark: IT 1 DPS 29877 RL: 65.19
- The Contractors shall obtain all necessary approval from utility operators before commencing work under or near their services.
- Final pavement design subject to CBR/Beam tests on subgrade material.
- Setout schedule with co-ordinates of chainage points along road centerline to be supplied to the Contractors prior to construction.
- Refer to long section for finished centerline levels. Refer to typical cross sections to obtain levels for other locations.
- Vehicle crossing to be constructed by others unless otherwise stated.
- The Contractor may, with the agreement of the Engineer, adopt the alternative pavement design as specified on typical cross section, provided that the subgrade can achieve a minimum of CBR 3.
- Subgrade testing required, contractor shall notify engineer of any results below CBR of 3%. Engineer to advise on the additional pavement requirements or Subgrade remediation.

C	FAST TRACK APP	RJM	05/2025
B	FAST TRACK APP	RJM	04/2025
A	FAST TRACK APP	TCH	04/2025
Rev	Description	By	Date
		By	Date
Survey	MAVEN		03/2024
Design	AP		03/2024
Drawn	AP		03/2024
Checked	DJM		05/2025

Project  
**ASHBOURNE  
RESIDENTIAL  
FOR  
MATAMATA  
DEVELOPMENTS**

Title  
**TYPICAL ROAD  
CROSS SECTION  
SHEET**

Project no.	289001
Scale	AS SHOWN
Cad file	C340-TYP RD SECTION.DWG
Drawing no.	C340-7
Rev	<b>C</b>

**RESOURCE CONSENT**



PROPOSED  
NORTHERN SOLAR FARM

STATION ROAD

STATION ROAD

C360-1

C360-2

C360-3

BALANCE LOT

PROPOSED  
RETIREMENT VILLAGE

C360-4

C360-5

C360-6

C360-7

C360-8

PROPOSED  
SOUTHERN SOLAR FARM

C360-9

C360-10

LOT 3 DP 463448

LOT 1 DP 463448

- Notes
- All works to be in accordance with Waikato Regional Infrastructure Technical Specifications.
  - Co-ordinates in terms of NZ Geodetic Datum Mount Eden 2000.
  - Levels in terms of the NZ Vertical Datum 2016.
  - Boundaries are subject to final survey.
  - It is the Contractors responsibility to locate all services that may be affected by his operations.
  - The Contractors shall obtain all necessary approval from utility operators before commencing work under or near their services.
  - Final pavement design subject to CBR/Beam tests on subgrade material.
  - Setout schedule with co-ordinates of chainage points along road centerline to be supplied to the Contractors prior to construction.
  - Refer to long section for finished centerline levels. Refer to typical cross sections to obtain levels for other locations.
  - Vehicle crossing to be constructed by others unless otherwise stated.
  - The Contractor may, with the agreement of the Engineer, adopt the alternative pavement design as specified on typical cross section, provided that the subgrade can achieve a minimum of CBR 3.
  - Traffic signs and markings to be in accordance with MOTSAM and NZTA TCD manual.
  - Centerline type 1 : 100mm solid lane line
  - Centerline type 2 : 100mm dashed 3-7 lane line

Legend

	STAGE BOUNDARY
	EX BDY
	PROP BDY
	ROAD CENTRELINE
	PROP STREET TREE
	PROP STREET LIGHT
	PROP STREET SIGN
	ROAD NAME SIGN
	TACTILE PAVERS
	RAISED CROSSING

D	FAST TRACK APP	RJM	11/2025
C	FAST TRACK APP	RJM	05/2025
B	FAST TRACK APP	RJM	04/2025
A	FAST TRACK APP	RJM	04/2025
Rev	Description	By	Date
	Survey	MAVEN	05/2024
	Design	AP	11/2024
	Drawn	AP	11/2024
	Checked	DJM	05/2025

Project  
**ASHBOURNE  
RESIDENTIAL  
FOR  
MATAMATA  
DEVELOPMENTS LTD**

Title  
**PROPOSED  
ROADING MARKING  
OVERVIEW PLAN**

Project no.	289001		
Scale	1:6000 @ A3		
Cad file	C360-MARKINGS.DWG		
Drawing no.	C360	Rev	D

**RESOURCE CONSENT**

DATE: 11/05/25 FILE PATH: F:\MVEN\HAMILTON\PROJECTS\289001 - STATION ROAD\DRAWING\11 - ASHBOURNE RESIDENTIAL\C360-MARKINGS.DWG



CONTINUITY LINE REFLECTORISED  
WHITE 100mm 1m LINE 1.5m GAP  
REFER TO MOTSAM 2 SECTION 3.07.03

URBAN LIMIT LINE  
REFLECTORISED 300mm REFER  
TO MOTSAM 2 SECTION 3.06.03

APORO DRIVE

OTUMIHIPO DRIVE

URBAN 'GIVEWAY' TRIANGLE REFER  
TO MOTSAM 2 FIGURE 3.09A

LOT 1  
DP 365568

GIVEWAY SIGN - RG6

CONTINUOUS WHITE REFLECTORISED  
LINE 100mm REFER TO MOTSAM 2  
SECTION 3.04.02

LOT 2  
DP 365568

LOT 1  
DP 404835

ROAD 1

LOT 2  
DP 404835

STORMWATER  
WETLAND D

3m LINEMARKING 7m GAP  
REFLECTORISED WHITE 100mm  
MOTSAM 2 SECTION 2.01.02

LOT 5  
DP 365568

Notes

- All works to be in accordance with Waikato Regional Infrastructure Technical Specifications.
- Co-ordinates in terms of NZ Geodetic Datum Mount Eden 2000.
- Levels in terms of the NZ Vertical Datum 2016.
- Boundaries are subject to final survey.
- It is the Contractors responsibility to locate all services that may be affected by his operations.
- The Contractors shall obtain all necessary approval from utility operators before commencing work under or near their services.
- Final pavement design subject to CBR/Beam tests on subgrade material.
- Setout schedule with co-ordinates of chainage points along road centerline to be supplied to the Contractors prior to construction.
- Refer to long section for finished centerline levels. Refer to typical cross sections to obtain levels for other locations.
- Vehicle crossing to be constructed by others unless otherwise stated.
- The Contractor may, with the agreement of the Engineer, adopt the alternative pavement design as specified on typical cross section, provided that the subgrade can achieve a minimum of CBR 3.
- Traffic signs and markings to be in accordance with MOTSAM and NZTA TCD manual.
- Centerline type 1: 100mm solid lane line
- Centerline type 2: 100mm dashed 3-7 lane line

Legend

	STAGE BOUNDARY
	EX BDY
	PROP BDY
	ROAD CENTRELINE
	PROP STREET TREE
	PROP STREET LIGHT
	PROP STREET SIGN
	ROAD NAME SIGN
	TACTILE PAVERS
	RAISED CROSSING

D	FAST TRACK APP	RJM	11/2025
C	FAST TRACK APP	RJM	05/2025
B	FAST TRACK APP	RJM	04/2025
A	FAST TRACK APP	RJM	04/2025
Rev	Description	By	Date
		MAVEN	05/2024
		AP	11/2024
		AP	11/2024
		DJM	05/2025

**M** Maven Waikato  
07 242 0601  
info@maven.co.nz  
www.maven.co.nz  
Level 1 286 Victoria Street, Hamilton  
New Zealand

Project  
**ASHBOURNE  
RESIDENTIAL  
FOR  
MATAMATA  
DEVELOPMENTS LTD**

Title  
**PROPOSED  
ROADING MARKING  
PLAN**

Project no.	289001
Scale	1:1000 @ A3
Cad file	C360-MARKINGS.DWG
Drawing no.	C360-1
Rev	<b>D</b>

**RESOURCE CONSENT**



OLIVE PLACE

LOT 3  
DP 404835

LOT 9  
DP 562902

STORMWATER  
WETLAND C

LOT 13  
DP 562902

LOT 14  
DP 562902

CONTINUITY LINE REFLECTORISED  
WHITE 100mm 1m LINE 1.5m GAP  
REFER TO MOTSAM 2 SECTION 3.07.03

GIVEWAY SIGN - RG6

URBAN 'GIVEWAY' TRIANGLE REFER  
TO MOTSAM 2 FIGURE 3.09A

ROAD 4

CONTINUOUS WHITE REFLECTORISED  
LINE 100mm REFER TO MOTSAM 2  
SECTION 3.04.02

3m LINEMARKING 7m GAP  
REFLECTORISED WHITE 100mm  
MOTSAM 2 SECTION 2.01.02

Notes

- All works to be in accordance with Waikato Regional Infrastructure Technical Specifications.
- Co-ordinates in terms of NZ Geodetic Datum Mount Eden 2000.
- Levels in terms of the NZ Vertical Datum 2016.
- Boundaries are subject to final survey.
- It is the Contractors responsibility to locate all services that may be affected by his operations.
- The Contractors shall obtain all necessary approval from utility operators before commencing work under or near their services.
- Final pavement design subject to CBR/Beam tests on subgrade material.
- Setout schedule with co-ordinates of chainage points along road centerline to be supplied to the Contractors prior to construction.
- Refer to long section for finished centerline levels. Refer to typical cross sections to obtain levels for other locations.
- Vehicle crossing to be constructed by others unless otherwise stated.
- The Contractor may, with the agreement of the Engineer, adopt the alternative pavement design as specified on typical cross section, provided that the subgrade can achieve a minimum of CBR 3.
- Traffic signs and markings to be in accordance with MOTSAM and NZTA TCD manual.
- Centerline type 1 : 100mm solid lane line
- Centerline type 2 : 100mm dashed 3-7 lane line

Legend

- STAGE BOUNDARY
- EX BDY
- PROP BDY
- ROAD CENTRELINE
- PROP STREET TREE
- PROP STREET LIGHT
- PROP STREET SIGN
- ROAD NAME SIGN
- TACTILE PAVERS
- RAISED CROSSING

Rev	Description	By	Date
D	FAST TRACK APP	RJM	11/2025
C	FAST TRACK APP	RJM	05/2025
B	FAST TRACK APP	RJM	04/2025
A	FAST TRACK APP	RJM	04/2025

Rev	Description	By	Date
Survey	MAVEN		05/2024
Design	AP		11/2024
Drawn	AP		11/2024
Checked	DJM		05/2025

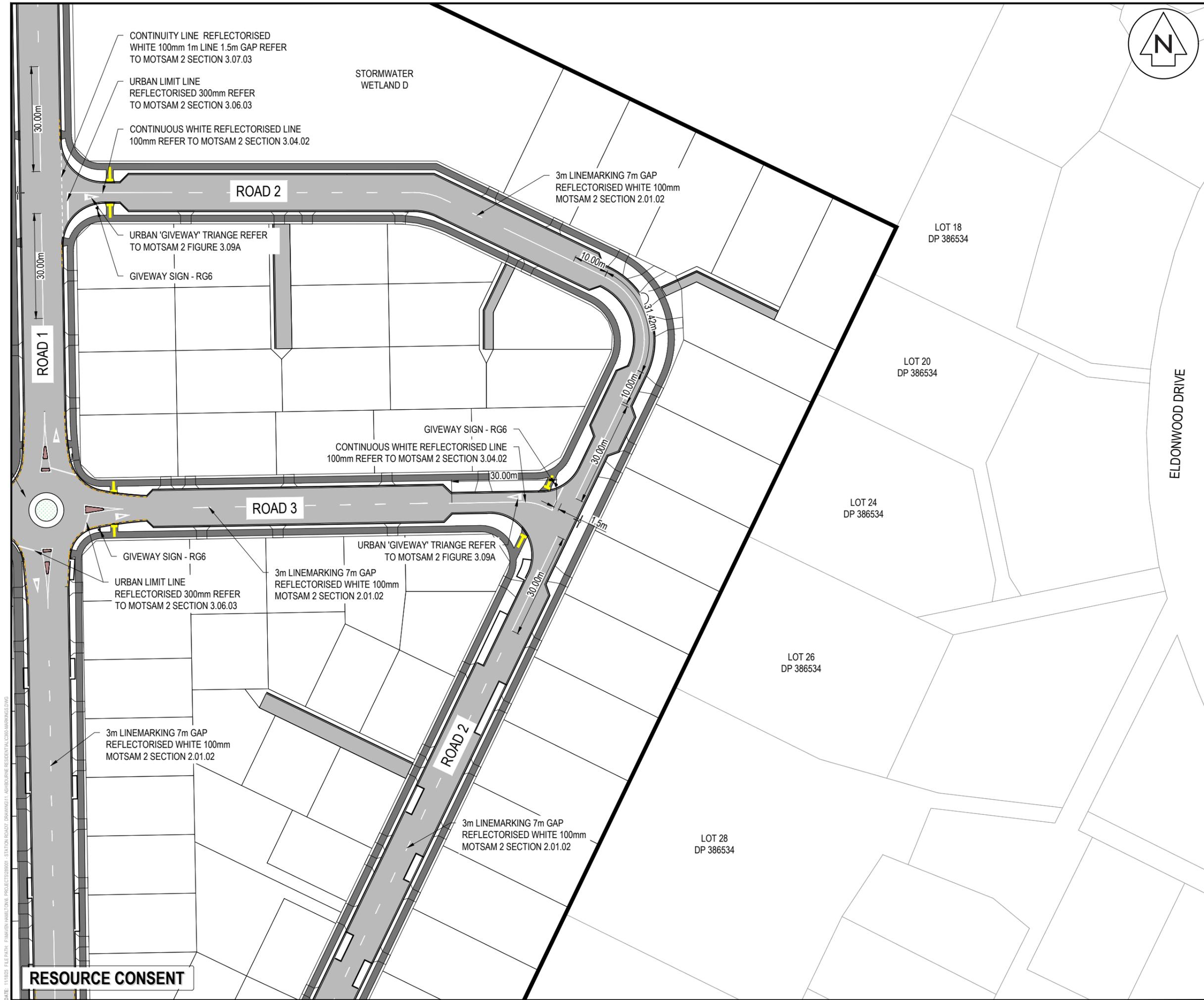
Project  
**ASHBOURNE  
RESIDENTIAL  
FOR  
MATAMATA  
DEVELOPMENTS LTD**

Title  
**PROPOSED  
ROADING MARKING  
PLAN**

Project no.	289001
Scale	1:1000 @ A3
Cad file	C360-MARKINGS.DWG
Drawing no.	C360-2
Rev	<b>D</b>

RESOURCE CONSENT

DATE: 11/10/25 FILEPATH: F:\MAVEN\HAMILTON\6 - PROJECTS\289001 - STATION ROAD\ DRAWING\11 - ASHBOURNE RESIDENTIAL\C360-MARKINGS.DWG



- Notes
- All works to be in accordance with Waikato Regional Infrastructure Technical Specifications.
  - Co-ordinates in terms of NZ Geodetic Datum Mount Eden 2000.
  - Levels in terms of the NZ Vertical Datum 2016.
  - Boundaries are subject to final survey.
  - It is the Contractors responsibility to locate all services that may be affected by his operations.
  - The Contractors shall obtain all necessary approval from utility operators before commencing work under or near their services.
  - Final pavement design subject to CBR/Beam tests on subgrade material.
  - Setout schedule with co-ordinates of chainage points along road centerline to be supplied to the Contractors prior to construction.
  - Refer to long section for finished centerline levels. Refer to typical cross sections to obtain levels for other locations.
  - Vehicle crossing to be constructed by others unless otherwise stated.
  - The Contractor may, with the agreement of the Engineer, adopt the alternative pavement design as specified on typical cross section, provided that the subgrade can achieve a minimum of CBR 3.
  - Traffic signs and markings to be in accordance with MOTSAM and NZTA TCD manual.
  - Centerline type 1: 100mm solid lane line
  - Centerline type 2: 100mm dashed 3-7 lane line

Legend

	STAGE BOUNDARY
	EX BDY
	PROP BDY
	ROAD CENTRELINE
	PROP STREET TREE
	PROP STREET LIGHT
	PROP STREET SIGN
	ROAD NAME SIGN
	TACTILE PAVERS
	RAISED CROSSING

D	FAST TRACK APP	RJM	11/2025
C	FAST TRACK APP	RJM	05/2025
B	FAST TRACK APP	RJM	04/2025
A	FAST TRACK APP	RJM	04/2025
Rev	Description	By	Date
		MAVEN	05/2024
		AP	11/2024
		AP	11/2024
		DJM	05/2025

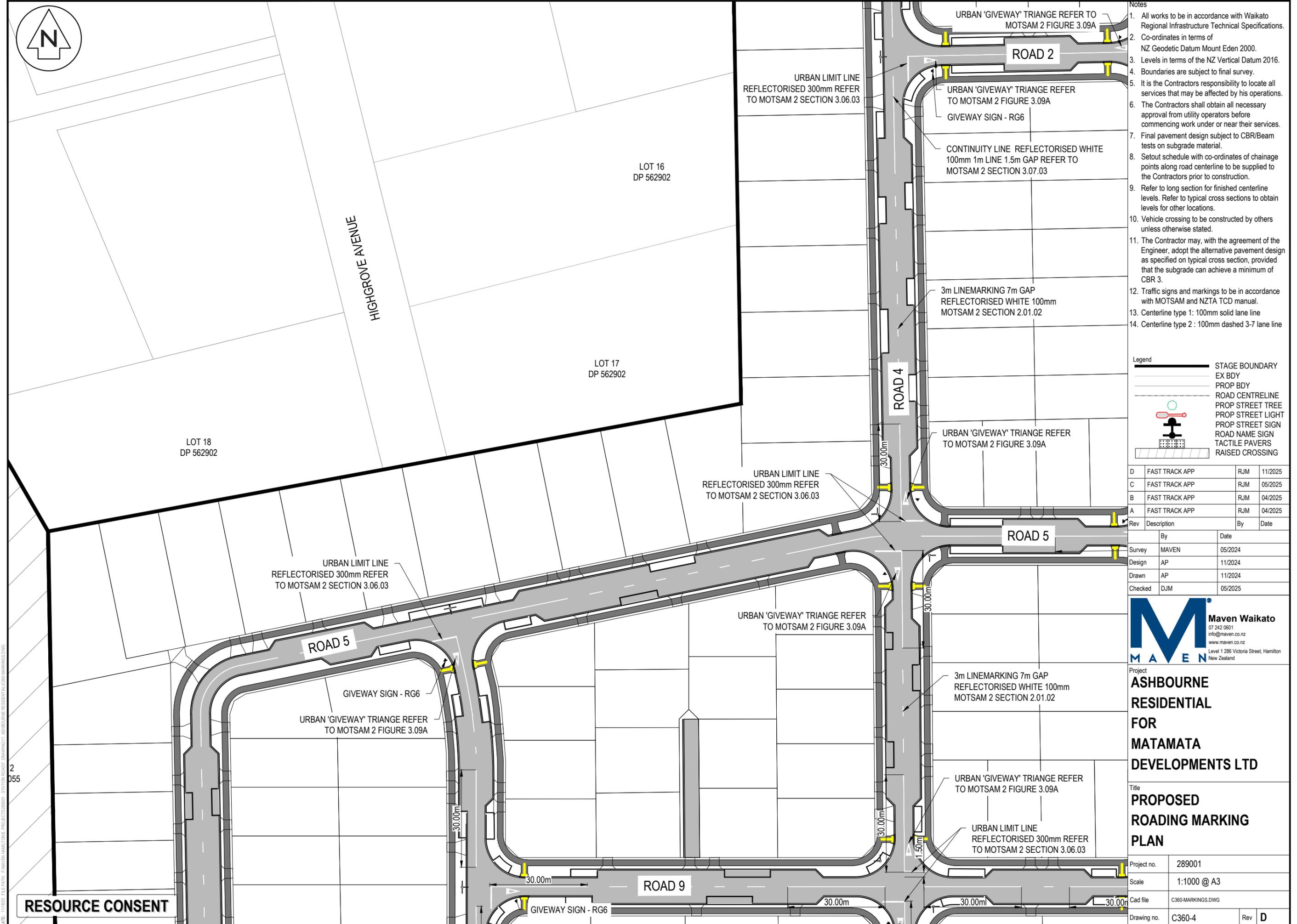
Project  
**ASHBOURNE  
 RESIDENTIAL  
 FOR  
 MATAMATA  
 DEVELOPMENTS LTD**

Title  
**PROPOSED  
 ROADING MARKING  
 PLAN**

Project no.	289001
Scale	1:1000 @ A3
Cad file	C360-MARKINGS.DWG
Drawing no.	C360-3
Rev	<b>D</b>

DATE: 11/2025 FILEPATH: F:\MAVEN\HAMILTON\PROJECTS\289001 - STATION ROAD\DRAWING\11 - ASHBOURNE RESIDENTIAL\C360-MARKINGS.DWG

**RESOURCE CONSENT**



- Notes
- All works to be in accordance with Waikato Regional Infrastructure Technical Specifications.
  - Co-ordinates in terms of NZ Geodetic Datum Mount Eden 2000.
  - Levels in terms of the NZ Vertical Datum 2016.
  - Boundaries are subject to final survey.
  - It is the Contractors responsibility to locate all services that may be affected by his operations.
  - The Contractors shall obtain all necessary approval from utility operators before commencing work under or near their services.
  - Final pavement design subject to CBR/Beam tests on subgrade material.
  - Setout schedule with co-ordinates of chainage points along road centerline to be supplied to the Contractors prior to construction.
  - Refer to long section for finished centerline levels. Refer to typical cross sections to obtain levels for other locations.
  - Vehicle crossing to be constructed by others unless otherwise stated.
  - The Contractor may, with the agreement of the Engineer, adopt the alternative pavement design as specified on typical cross section, provided that the subgrade can achieve a minimum of CBR 3.
  - Traffic signs and markings to be in accordance with MOTSAM and NZTA TCD manual.
  - Centerline type 1 : 100mm solid lane line
  - Centerline type 2 : 100mm dashed 3-7 lane line

Legend

	STAGE BOUNDARY
	EX BDY
	PROP BDY
	ROAD CENTRELINE
	PROP STREET TREE
	PROP STREET LIGHT
	PROP STREET SIGN
	ROAD NAME SIGN
	TACTILE PAVERS
	RAISED CROSSING

D	FAST TRACK APP	RJM	11/2025
C	FAST TRACK APP	RJM	05/2025
B	FAST TRACK APP	RJM	04/2025
A	FAST TRACK APP	RJM	04/2025
Rev	Description	By	Date
Survey	MAVEN		05/2024
Design	AP		11/2024
Drawn	AP		11/2024
Checked	DJM		05/2025

Project  
**ASHBOURNE  
 RESIDENTIAL  
 FOR  
 MATAMATA  
 DEVELOPMENTS LTD**

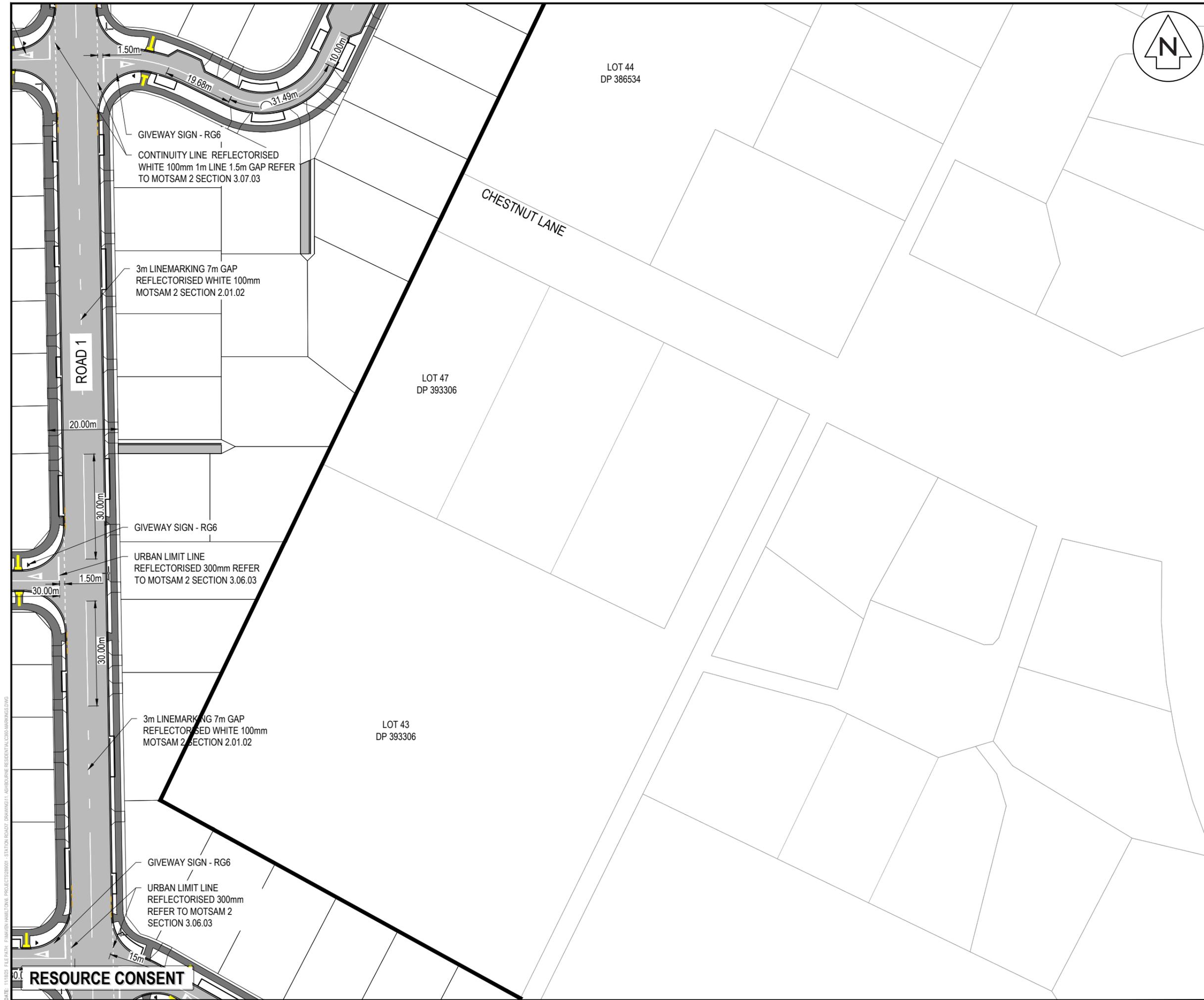
Title  
**PROPOSED  
 ROADING MARKING  
 PLAN**

Project no.	289001
Scale	1:1000 @ A3
Cad file	C360-MARKINGS.DWG
Drawing no.	C360-4
Rev	<b>D</b>

DATE: 11/2025 FILEPATH: F:\MVEN\HAMILTON6 - PROJECTS\289001 - STATION ROAD\ DRAWING\1 - ASHBOURNE RESIDENTIAL\CBM-MARKINGS.DWG

2  
055

**RESOURCE CONSENT**



- Notes
- All works to be in accordance with Waikato Regional Infrastructure Technical Specifications.
  - Co-ordinates in terms of NZ Geodetic Datum Mount Eden 2000.
  - Levels in terms of the NZ Vertical Datum 2016.
  - Boundaries are subject to final survey.
  - It is the Contractors responsibility to locate all services that may be affected by his operations.
  - The Contractors shall obtain all necessary approval from utility operators before commencing work under or near their services.
  - Final pavement design subject to CBR/Beam tests on subgrade material.
  - Setout schedule with co-ordinates of chainage points along road centerline to be supplied to the Contractors prior to construction.
  - Refer to long section for finished centerline levels. Refer to typical cross sections to obtain levels for other locations.
  - Vehicle crossing to be constructed by others unless otherwise stated.
  - The Contractor may, with the agreement of the Engineer, adopt the alternative pavement design as specified on typical cross section, provided that the subgrade can achieve a minimum of CBR 3.
  - Traffic signs and markings to be in accordance with MOTSAM and NZTA TCD manual.
  - Centerline type 1: 100mm solid lane line
  - Centerline type 2: 100mm dashed 3-7 lane line

Legend

	STAGE BOUNDARY
	EX BDY
	PROP BDY
	ROAD CENTRELINE
	PROP STREET TREE
	PROP STREET LIGHT
	PROP STREET SIGN
	ROAD NAME SIGN
	TACTILE PAVERS
	RAISED CROSSING

D	FAST TRACK APP	RJM	11/2025
C	FAST TRACK APP	RJM	05/2025
B	FAST TRACK APP	RJM	04/2025
A	FAST TRACK APP	RJM	04/2025
Rev	Description	By	Date
Survey	MAVEN		05/2024
Design	AP		11/2024
Drawn	AP		11/2024
Checked	DJM		05/2025

**Maven Waikato**  
 07 242 0601  
 info@maven.co.nz  
 www.maven.co.nz  
 Level 1 286 Victoria Street, Hamilton  
 New Zealand

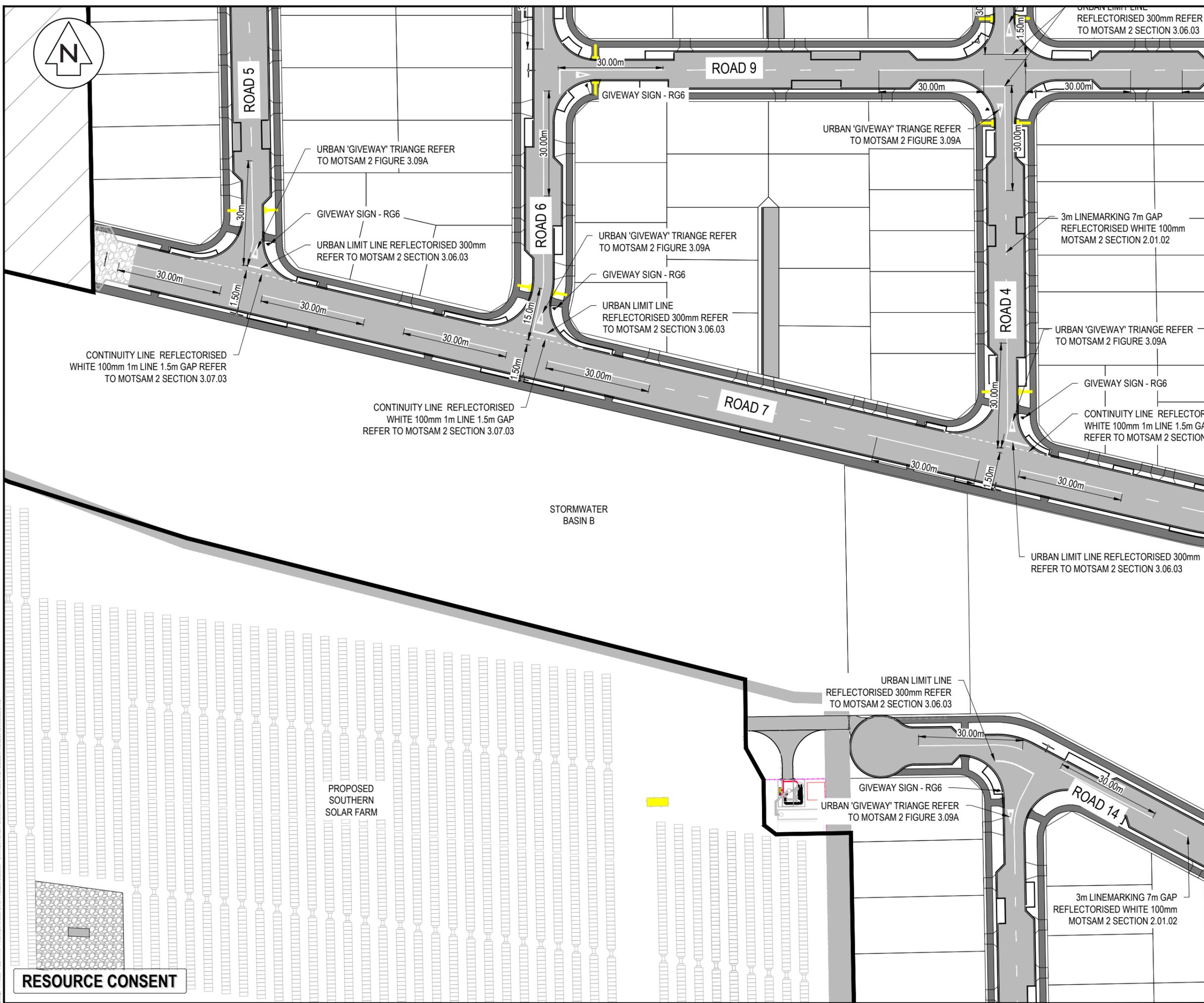
Project  
**ASHBOURNE  
 RESIDENTIAL  
 FOR  
 MATAMATA  
 DEVELOPMENTS LTD**

Title  
**PROPOSED  
 ROADING MARKING  
 PLAN**

Project no.	289001
Scale	1:1000 @ A3
Cad file	C360-MARKINGS.DWG
Drawing no.	C360-5
Rev	<b>D</b>

DATE: 11/05/25 FILE PATH: F:\MVEN\HAMILTON6 - PROJECTS\88091 - STATION ROAD\ DRAWING\11 - ASHBOURNE RESIDENTIAL\CB-MARKINGS.DWG

**RESOURCE CONSENT**



- Notes
- All works to be in accordance with Waikato Regional Infrastructure Technical Specifications.
  - Co-ordinates in terms of NZ Geodetic Datum Mount Eden 2000.
  - Levels in terms of the NZ Vertical Datum 2016.
  - Boundaries are subject to final survey.
  - It is the Contractors responsibility to locate all services that may be affected by his operations.
  - The Contractors shall obtain all necessary approval from utility operators before commencing work under or near their services.
  - Final pavement design subject to CBR/Beam tests on subgrade material.
  - Setout schedule with co-ordinates of chainage points along road centerline to be supplied to the Contractors prior to construction.
  - Refer to long section for finished centerline levels. Refer to typical cross sections to obtain levels for other locations.
  - Vehicle crossing to be constructed by others unless otherwise stated.
  - The Contractor may, with the agreement of the Engineer, adopt the alternative pavement design as specified on typical cross section, provided that the subgrade can achieve a minimum of CBR 3.
  - Traffic signs and markings to be in accordance with MOTSAM and NZTA TCD manual.
  - Centerline type 1 : 100mm solid lane line
  - Centerline type 2 : 100mm dashed 3-7 lane line

Legend

	STAGE BOUNDARY
	EX BDY
	PROP BDY
	ROAD CENTRELINE
	PROP STREET TREE
	PROP STREET LIGHT
	PROP STREET SIGN
	ROAD NAME SIGN
	TACTILE PAVERS
	RAISED CROSSING

D	FAST TRACK APP	RJM	11/2025
C	FAST TRACK APP	RJM	05/2025
B	FAST TRACK APP	RJM	04/2025
A	FAST TRACK APP	RJM	04/2025
Rev	Description	By	Date
Survey	MAVEN		05/2024
Design	AP		11/2024
Drawn	AP		11/2024
Checked	DJM		05/2025

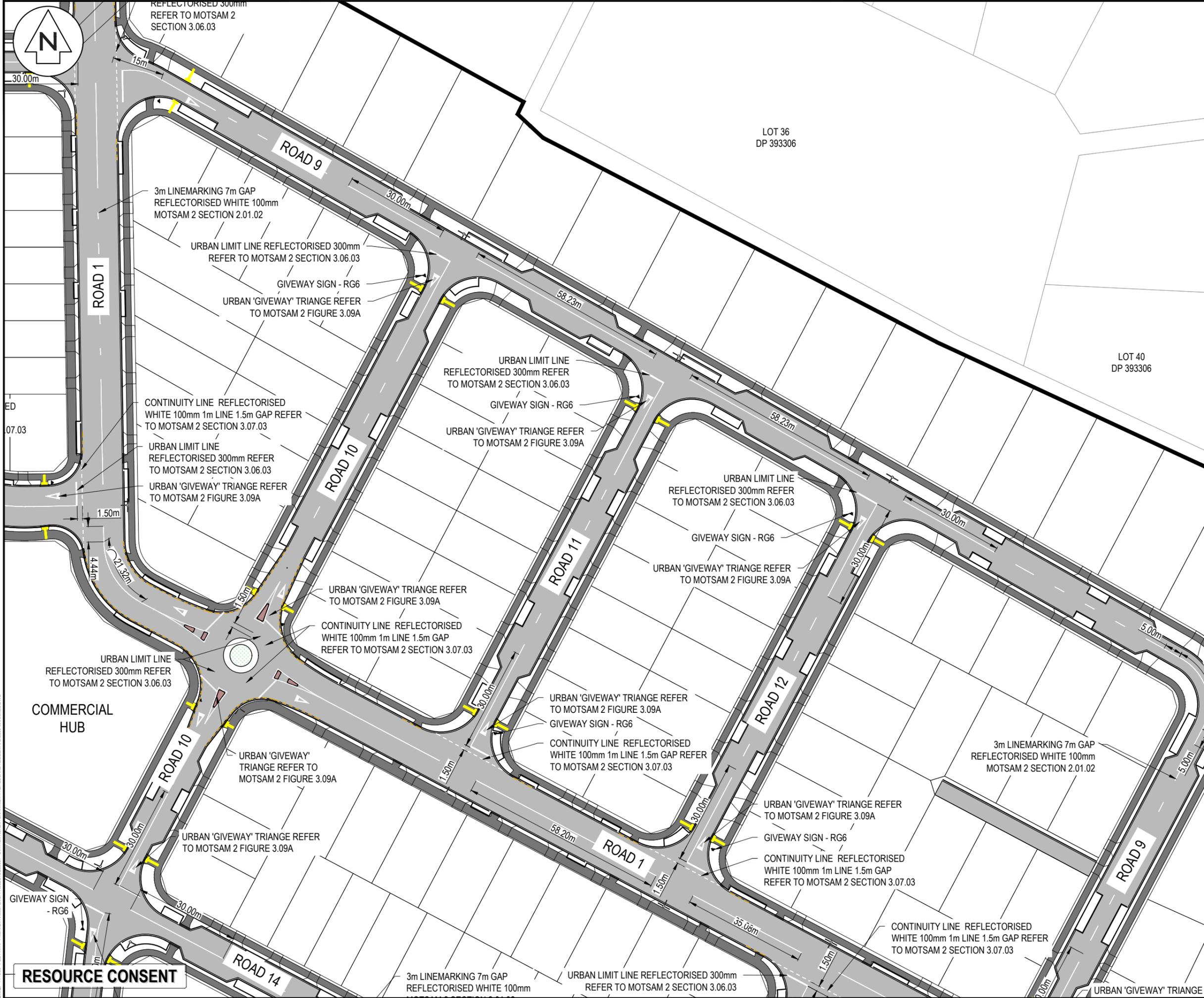
Project  
**ASHBOURNE  
 RESIDENTIAL  
 FOR  
 MATAMATA  
 DEVELOPMENTS LTD**

Title  
**PROPOSED  
 ROADING MARKING  
 PLAN**

Project no.	289001
Scale	1:1000 @ A3
Cad file	C360-MARKINGS.DWG
Drawing no.	C360-6
Rev	<b>D</b>

DATE: 11/05/25 FILE PATH: F:\MVEN\HAMILTON6 - PROJECTS\289001 - STATION ROAD\ DRAWING\11 - ASHBOURNE RESIDENTIAL\C360-MARKINGS.DWG

**RESOURCE CONSENT**



- Notes
- All works to be in accordance with Waikato Regional Infrastructure Technical Specifications.
  - Co-ordinates in terms of NZ Geodetic Datum Mount Eden 2000.
  - Levels in terms of the NZ Vertical Datum 2016.
  - Boundaries are subject to final survey.
  - It is the Contractors responsibility to locate all services that may be affected by his operations.
  - The Contractors shall obtain all necessary approval from utility operators before commencing work under or near their services.
  - Final pavement design subject to CBR/Beam tests on subgrade material.
  - Setout schedule with co-ordinates of chainage points along road centerline to be supplied to the Contractors prior to construction.
  - Refer to long section for finished centerline levels. Refer to typical cross sections to obtain levels for other locations.
  - Vehicle crossing to be constructed by others unless otherwise stated.
  - The Contractor may, with the agreement of the Engineer, adopt the alternative pavement design as specified on typical cross section, provided that the subgrade can achieve a minimum of CBR 3.
  - Traffic signs and markings to be in accordance with MOTSAM and NZTA TCD manual.
  - Centerline type 1 : 100mm solid lane line
  - Centerline type 2 : 100mm dashed 3-7 lane line

Legend

	STAGE BOUNDARY
	EX BDY
	PROP BDY
	ROAD CENTRELINE
	PROP STREET TREE
	PROP STREET LIGHT
	PROP STREET SIGN
	ROAD NAME SIGN
	TACTILE PAVERS
	RAISED CROSSING

D	FAST TRACK APP	RJM	11/2025
C	FAST TRACK APP	RJM	05/2025
B	FAST TRACK APP	RJM	04/2025
A	FAST TRACK APP	RJM	04/2025
Rev	Description	By	Date
	Survey	MAVEN	05/2024
	Design	AP	11/2024
	Drawn	AP	11/2024
	Checked	DJM	05/2025

**Maven Waikato**  
 07 242 0601  
 info@maven.co.nz  
 www.maven.co.nz  
 Level 1 286 Victoria Street, Hamilton  
 New Zealand

Project  
**ASHBOURNE  
 RESIDENTIAL  
 FOR  
 MATAMATA  
 DEVELOPMENTS LTD**

Title  
**PROPOSED  
 ROADING MARKING  
 PLAN**

Project no.	289001
Scale	1:1000 @ A3
Cad file	C360-MARKINGS.DWG
Drawing no.	C360-7
Rev	<b>D</b>

DATE: 11/05/25 FILEPATH: F:\MVEN\HAMPTONS - STATION ROAD\ DRAWING\1 - ASHBOURNE RESIDENTIAL\CBR-MARKINGS.DWG

**RESOURCE CONSENT**



LOT 40  
DP 393306

ELDONWOOD DRIVE

LOT 106  
DP 393306

LOT 14  
DP 584421

LOT 15  
DP 584421

LOT 16  
DP 584421

LOT 17  
DP 584421

LOT 18  
DP 584421

LOT 19  
DP 584421

STORMWATER  
BASIN A

PEAKEDALE DRIVE

3m LINEMARKING 7m GAP  
REFLECTORISED WHITE 100mm  
MOTSAM 2 SECTION 2.01.02

ROAD 9

CONTINUITY LINE REFLECTORISED  
WHITE 100mm 1m LINE 1.5m GAP REFER  
TO MOTSAM 2 SECTION 3.07.03

WAVEWAY TRIANGLE REFER  
M 2 FIGURE 3.09A

SIGN - RG6

CONTINUITY LINE REFLECTORISED  
100mm 1m LINE 1.5m GAP  
REFER TO MOTSAM 2 SECTION 3.07.03

**RESOURCE CONSENT**

URBAN 'GIVEWAY' TRIANGLE REFER

Notes

- All works to be in accordance with Waikato Regional Infrastructure Technical Specifications.
- Co-ordinates in terms of NZ Geodetic Datum Mount Eden 2000.
- Levels in terms of the NZ Vertical Datum 2016.
- Boundaries are subject to final survey.
- It is the Contractors responsibility to locate all services that may be affected by his operations.
- The Contractors shall obtain all necessary approval from utility operators before commencing work under or near their services.
- Final pavement design subject to CBR/Beam tests on subgrade material.
- Setout schedule with co-ordinates of chainage points along road centerline to be supplied to the Contractors prior to construction.
- Refer to long section for finished centerline levels. Refer to typical cross sections to obtain levels for other locations.
- Vehicle crossing to be constructed by others unless otherwise stated.
- The Contractor may, with the agreement of the Engineer, adopt the alternative pavement design as specified on typical cross section, provided that the subgrade can achieve a minimum of CBR 3.
- Traffic signs and markings to be in accordance with MOTSAM and NZTA TCD manual.
- Centerline type 1 : 100mm solid lane line
- Centerline type 2 : 100mm dashed 3-7 lane line

Legend

- STAGE BOUNDARY
- EX BDY
- PROP BDY
- ROAD CENTRELINE
- PROP STREET TREE
- PROP STREET LIGHT
- PROP STREET SIGN
- ROAD NAME SIGN
- TACTILE PAVERS
- RAISED CROSSING

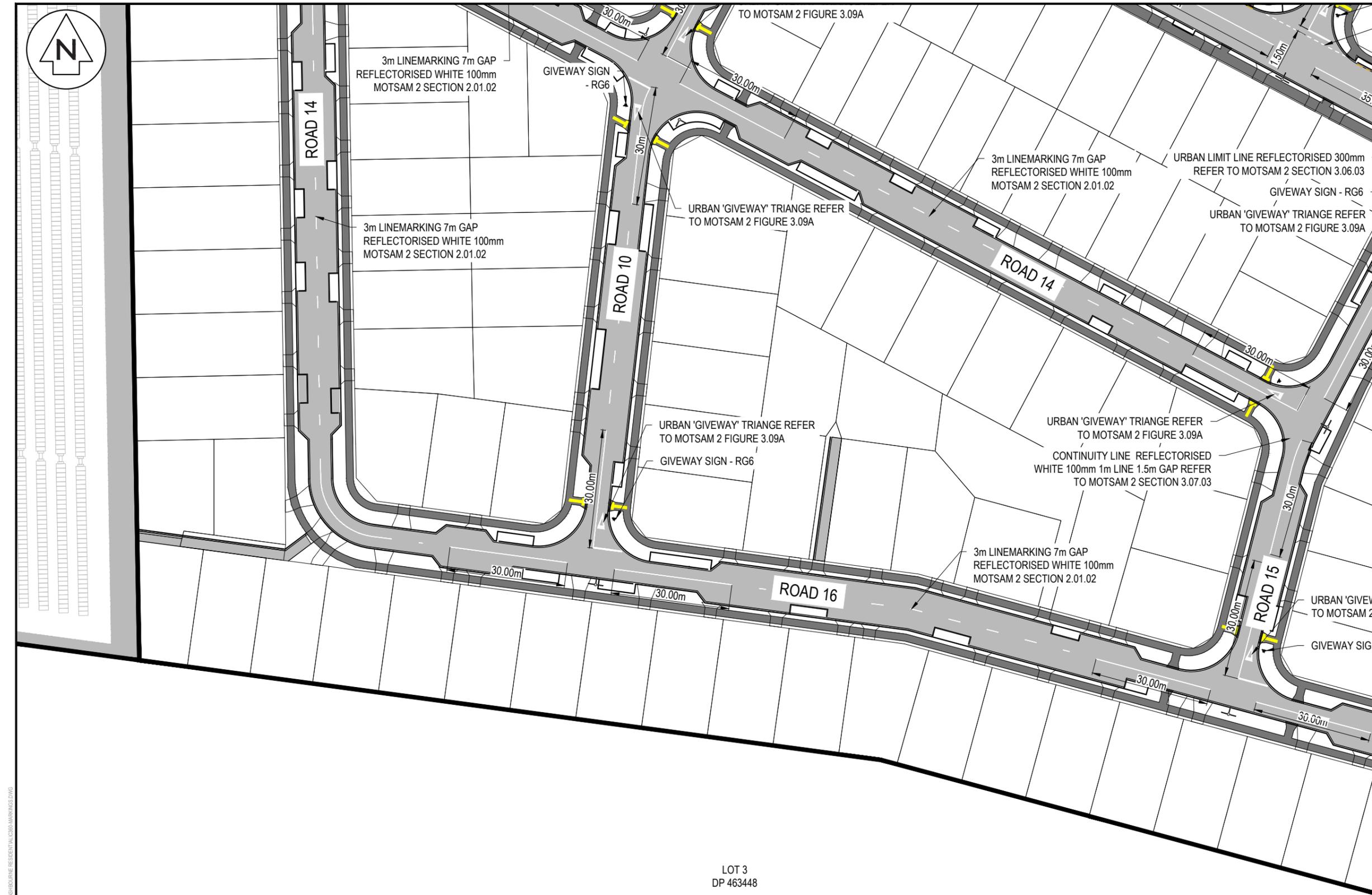
D	FAST TRACK APP	RJM	11/2025
C	FAST TRACK APP	RJM	05/2025
B	FAST TRACK APP	RJM	04/2025
A	FAST TRACK APP	RJM	04/2025
Rev	Description	By	Date
		MAVEN	05/2024
	Design	AP	11/2024
	Drawn	AP	11/2024
	Checked	DJM	05/2025

Project  
**ASHBOURNE  
 RESIDENTIAL  
 FOR  
 MATAMATA  
 DEVELOPMENTS LTD**

Title  
**PROPOSED  
 ROADING MARKING  
 PLAN**

Project no.	289001
Scale	1:1000 @ A3
Cad file	C360-MARKINGS.DWG
Drawing no.	C360-8
Rev	<b>D</b>

DATE: 11/05/25 FILEPATH: F:\MAVEN\HAMILTON\PROJECTS\289001 - ASHBOURNE RESIDENTIAL\360-MARKINGS.DWG



LOT 3  
DP 463448

- Notes
- All works to be in accordance with Waikato Regional Infrastructure Technical Specifications.
  - Co-ordinates in terms of NZ Geodetic Datum Mount Eden 2000.
  - Levels in terms of the NZ Vertical Datum 2016.
  - Boundaries are subject to final survey.
  - It is the Contractors responsibility to locate all services that may be affected by his operations.
  - The Contractors shall obtain all necessary approval from utility operators before commencing work under or near their services.
  - Final pavement design subject to CBR/Beam tests on subgrade material.
  - Setout schedule with co-ordinates of chainage points along road centerline to be supplied to the Contractors prior to construction.
  - Refer to long section for finished centerline levels. Refer to typical cross sections to obtain levels for other locations.
  - Vehicle crossing to be constructed by others unless otherwise stated.
  - The Contractor may, with the agreement of the Engineer, adopt the alternative pavement design as specified on typical cross section, provided that the subgrade can achieve a minimum of CBR 3.
  - Traffic signs and markings to be in accordance with MOTSAM and NZTA TCD manual.
  - Centerline type 1: 100mm solid lane line
  - Centerline type 2: 100mm dashed 3-7 lane line

Legend

	STAGE BOUNDARY
	EX BDY
	PROP BDY
	ROAD CENTRELINE
	PROP STREET TREE
	PROP STREET LIGHT
	PROP STREET SIGN
	ROAD NAME SIGN
	TACTILE PAVERS
	RAISED CROSSING

D	FAST TRACK APP	RJM	11/2025
C	FAST TRACK APP	RJM	05/2025
B	FAST TRACK APP	RJM	04/2025
A	FAST TRACK APP	RJM	04/2025
Rev	Description	By	Date
	Survey	MAVEN	05/2024
	Design	AP	11/2024
	Drawn	AP	11/2024
	Checked	DJM	05/2025

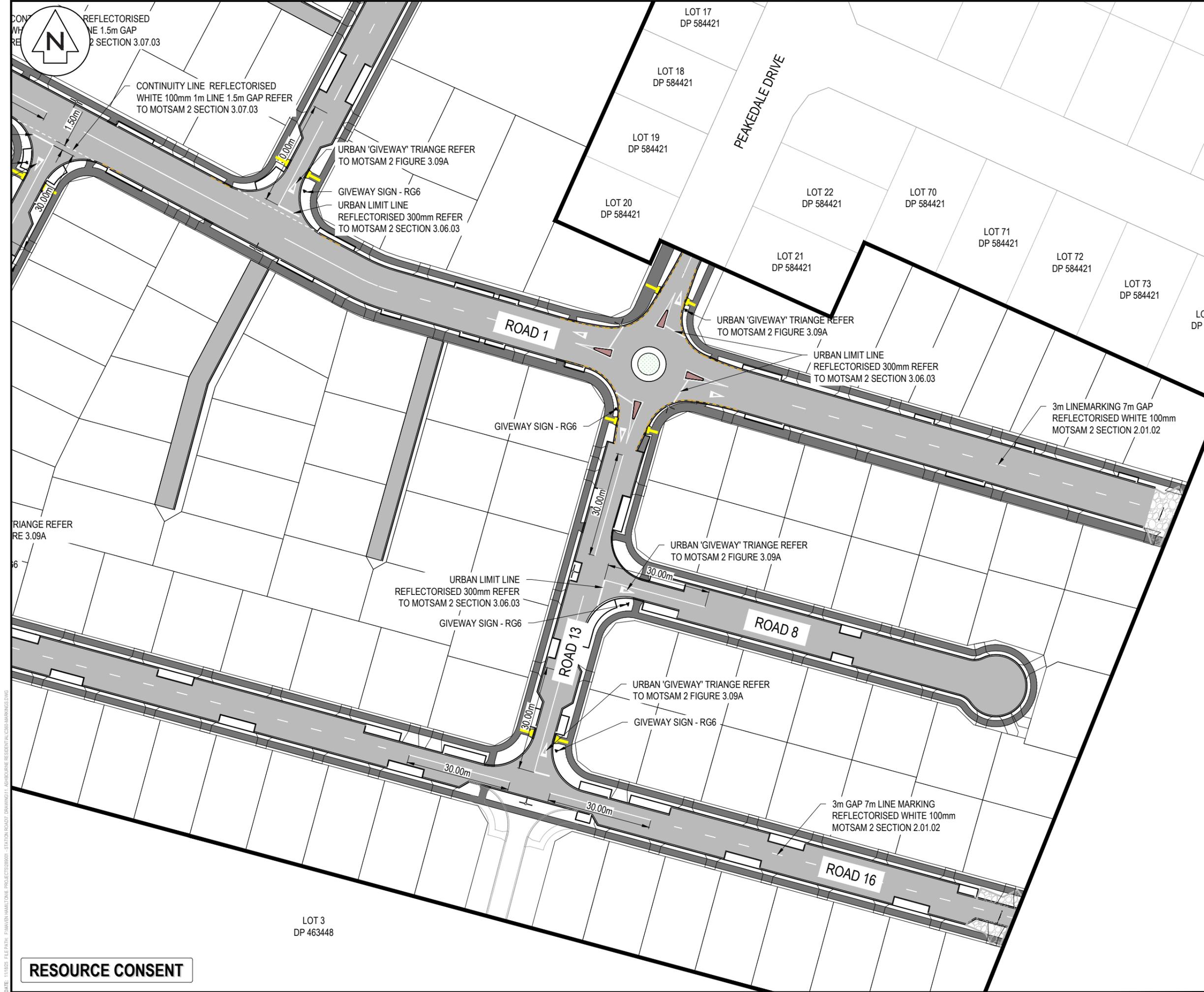
Project  
**ASHBOURNE  
RESIDENTIAL  
FOR  
MATAMATA  
DEVELOPMENTS LTD**

Title  
**PROPOSED  
ROADING MARKING  
PLAN**

Project no.	289001		
Scale	1:1000 @ A3		
Cad file	C360-MARKINGS.DWG		
Drawing no.	C360-9	Rev	<b>D</b>

**RESOURCE CONSENT**

DATE: 11/2025 FILEPATH: F:\MVRN\HAMILTON6 - PROJECTS\889091 - STATION ROAD\ DRAWING\11 - ASHBOURNE RESIDENTIAL\C360-MARKINGS.DWG



- Notes
- All works to be in accordance with Waikato Regional Infrastructure Technical Specifications.
  - Co-ordinates in terms of NZ Geodetic Datum Mount Eden 2000.
  - Levels in terms of the NZ Vertical Datum 2016.
  - Boundaries are subject to final survey.
  - It is the Contractors responsibility to locate all services that may be affected by his operations.
  - The Contractors shall obtain all necessary approval from utility operators before commencing work under or near their services.
  - Final pavement design subject to CBR/Beam tests on subgrade material.
  - Setout schedule with co-ordinates of chainage points along road centerline to be supplied to the Contractors prior to construction.
  - Refer to long section for finished centerline levels. Refer to typical cross sections to obtain levels for other locations.
  - Vehicle crossing to be constructed by others unless otherwise stated.
  - The Contractor may, with the agreement of the Engineer, adopt the alternative pavement design as specified on typical cross section, provided that the subgrade can achieve a minimum of CBR 3.
  - Traffic signs and markings to be in accordance with MOTSAM and NZTA TCD manual.
  - Centerline type 1: 100mm solid lane line
  - Centerline type 2: 100mm dashed 3-7 lane line

Legend

	STAGE BOUNDARY
	EX BDY
	PROP BDY
	ROAD CENTRELINE
	PROP STREET TREE
	PROP STREET LIGHT
	PROP STREET SIGN
	ROAD NAME SIGN
	TACTILE PAVERS
	RAISED CROSSING

D	FAST TRACK APP	RJM	11/2025
C	FAST TRACK APP	RJM	05/2025
B	FAST TRACK APP	RJM	04/2025
A	FAST TRACK APP	RJM	04/2025
Rev	Description	By	Date
		MAVEN	05/2024
	Design	AP	11/2024
	Drawn	AP	11/2024
	Checked	DJM	05/2025

**Maven Waikato**  
 07 242 0601  
 info@maven.co.nz  
 www.maven.co.nz  
 Level 1 286 Victoria Street, Hamilton  
 New Zealand

Project  
**ASHBOURNE  
 RESIDENTIAL  
 FOR  
 MATAMATA  
 DEVELOPMENTS LTD**

Title  
**PROPOSED  
 ROADING MARKING  
 PLAN**

Project no.	289001		
Scale	1:1000 @ A3		
Cad file	C360-MARKINGS.DWG		
Drawing no.	C360-10	Rev	<b>D</b>

**RESOURCE CONSENT**

DATE: 11/10/25 FILEPATH: F:\MVR\HAMILTON\PROJECTS\360\01 - STATION ROAD\DRAWING\1 - ASHBOURNE RESIDENTIAL\360-MARKINGS.DWG



PROPOSED  
NORTHERN SOLAR FARM

STATION ROAD

STATION ROAD

C400-1

C400-2

C400-3

C400-4

C400-5

BALANCE LOT

PROPOSED  
RETIREMENT VILLAGE

PROPOSED GREENWAY

C400-6

C400-7

C400-8

PROPOSED  
SOUTHERN SOLAR FARM

C400-9

C400-10

LOT 3 DP 463448

LOT 1 DP 463448

- Notes
1. All works to be in accordance with Waikato Regional Infrastructure Technical Specifications.
  2. Co-ordinates in terms of NZ Geodetic Datum Mount Eden 2000.
  3. Levels in terms of the New Zealand Vertical Datum 2016.
  4. It is the contractors responsibility to locate all services that may be affected by his operations.
  5. Approved hardfill is to be used in backfilling of all stormwater lines within the road reserve.
  6. All catchpit leads shall be laid at 1% unless otherwise specified.
  7. All lines to be abandoned shall be sealed at each end. Timing of all sealing to be coordinated with council staff.

Legend

	EX BOUNDARY
	PROP LOT BOUNDARY
	PROP SWMH 1050mmØ
	PROP SCRUFFY DOME
	SOAKAGE TRENCH - 1.2m WIDE
	SOAKAGE TRENCH - 2m WIDE
	RAINGARDEN - 1.2m / 2.3m WIDE

D	FAST TRACK APP	MKS	11/2025
C	FAST TARK APP	NDL	05/2025
B	FAST TRACK APP	NDL	04/2025
A	FAST TRACK APPLICATION	NDL	04/2025
Rev	Description	By	Date
		MAVEN	05/2024
		MKS	04/2025
		NDL	04/2025
		DJM	05/2025

Project  
**ASHBOURNE  
RESIDENTIAL  
FOR  
MATAMATA  
DEVELOPMENTS LTD**

Title  
**PROPOSED  
STORMWATER  
OVERVIEW PLAN**

Project no.	289001
Scale	1:6000 @ A3
Cad file	C400-STORMWATER.DWG
Drawing no.	C400
Rev	D

**RESOURCE CONSENT**

DATE: 11/1/25 FILEPATH: F:\MVEN\HAMITON6 - PROJECTS\289001 - STATION ROAD\DRAWING\01 - ASHBOURNE RESIDENTIAL\C400-STORMWATER.DWG



- Notes
1. All works to be in accordance with Waikato Regional Infrastructure Technical Specifications.
  2. Co-ordinates in terms of NZ Geodetic Datum Mount Eden 2000.
  3. Levels in terms of the New Zealand Vertical Datum 2016.
  4. It is the contractors responsibility to locate all services that may be affected by his operations.
  5. Approved hardfill is to be used in backfilling of all stormwater lines within the road reserve.
  6. All catchpit leads shall be laid at 1% unless otherwise specified.
  7. All lines to be abandoned shall be sealed at each end. Timing of all sealing to be coordinated with council staff.

Legend

	EX BOUNDARY
	PROP LOT BOUNDARY
	PROP SWMH 1050mmØ
	PROP MANHOLE GRATE
	SOAKAGE TRENCH - 1.2m WIDE
	SOAKAGE TRENCH - 2m WIDE
	RAINGARDEN - 1.2m / 2.3m WIDE

D	FAST TRACK APP	MKS	11/2025
C	FAST TRACK APP	NDL	05/2025
B	FAST TRACK APP	NDL	04/2025
A	FAST TRACK APP	NDL	04/2025
Rev	Description	By	Date
		MAVEN	05/2024
	Design	MKS	04/2025
	Drawn	NDL	04/2025
	Checked	DJM	05/2025

Project  
**ASHBOURNE  
 RESIDENTIAL  
 FOR  
 MATAMATA  
 DEVELOPMENTS LTD**

Title  
**PROPOSED  
 STORMWATER  
 PLAN**

Project no.	289001
Scale	1:1000 @ A3
Cad file	C400-STORMWATER.DWG
Drawing no.	C400-1
Rev	<b>D</b>



DATE: 11/1/25 FILEPATH: F:\MAVEN\HAMILT06 PROJECTS\289001 - STATION ROAD\DRAWING\1 - ASHBORNE RESIDENTIAL\C400-STORMWATER.DWG

**RESOURCE CONSENT**



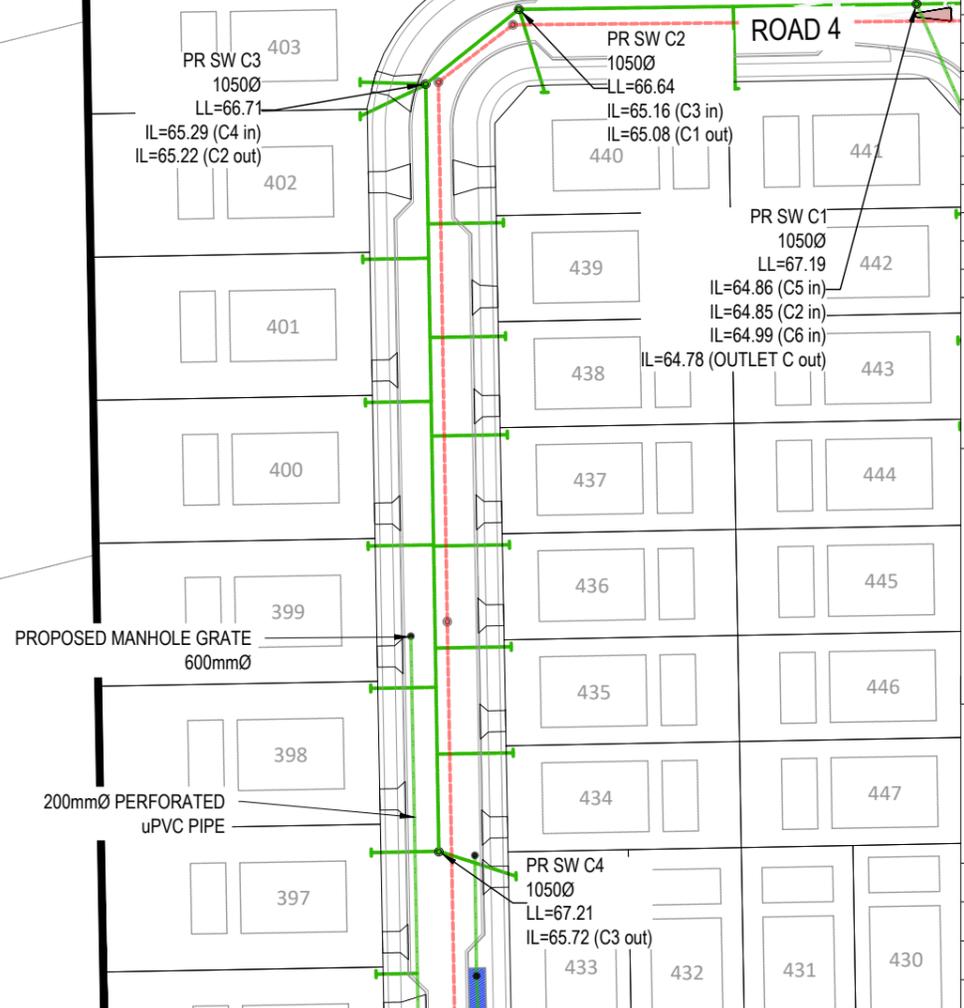
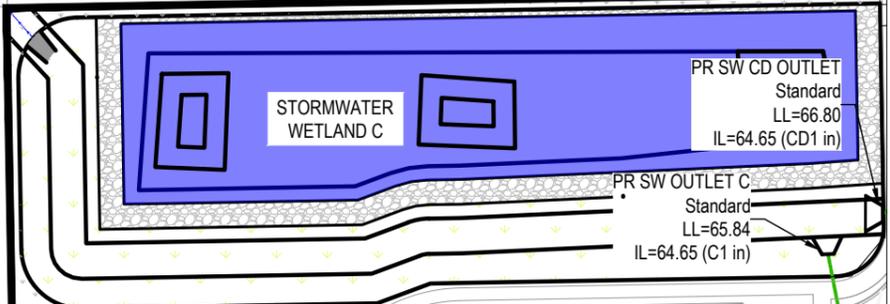
- Notes
1. All works to be in accordance with Waikato Regional Infrastructure Technical Specifications.
  2. Co-ordinates in terms of NZ Geodetic Datum Mount Eden 2000.
  3. Levels in terms of the New Zealand Vertical Datum 2016.
  4. It is the contractors responsibility to locate all services that may be affected by his operations.
  5. Approved hardfill is to be used in backfilling of all stormwater lines within the road reserve.
  6. All catchpit leads shall be laid at 1% unless otherwise specified.
  7. All lines to be abandoned shall be sealed at each end. Timing of all sealing to be coordinated with council staff.

LOT 3  
DP 404835

LOT 9  
DP 562902

LOT 13  
DP 562902

LOT 14  
DP 562902



Legend

	EX BOUNDARY
	PROP LOT BOUNDARY
	PROP SWMH 1050mmØ
	PROP MANHOLE GRATE
	SOAKAGE TRENCH - 1.2m WIDE
	SOAKAGE TRENCH - 2m WIDE
	RAINGARDEN - 1.2m / 2.3m WIDE

D	FAST TRACK APP	MKS	11/2025
C	FAST TRACK APP	NDL	05/2025
B	FAST TRACK APP	NDL	04/2025
A	FAST TRACK APP	NDL	04/2025
Rev	Description	By	Date
	Survey	MAVEN	05/2024
	Design	MKS	04/2025
	Drawn	NDL	04/2025
	Checked	DJM	05/2025

**Maven Associates**  
09 571 0050  
info@maven.co.nz  
www.maven.co.nz  
5 Owens Road, Epsom  
Auckland 1023

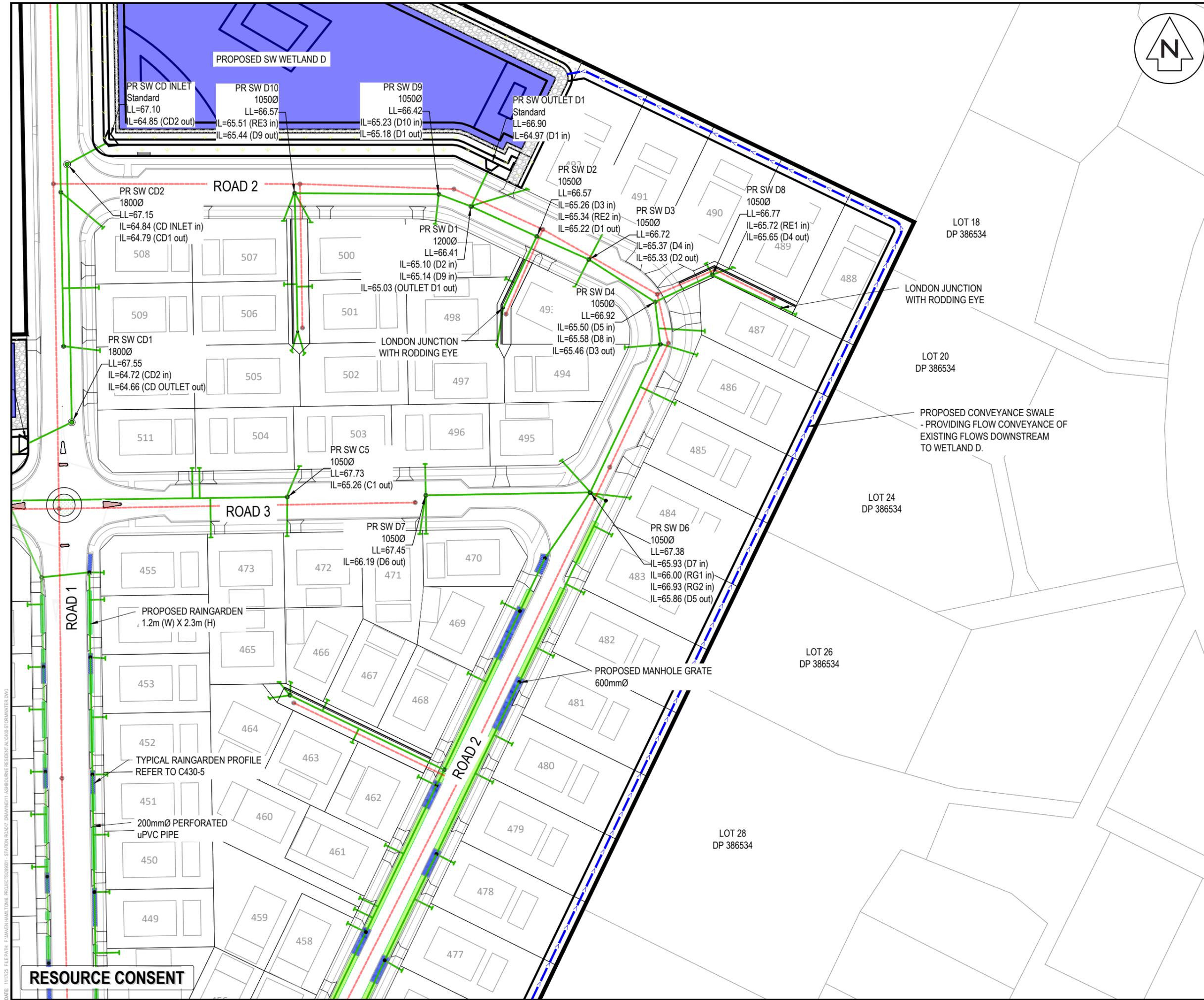
Project  
**ASHBOURNE  
RESIDENTIAL  
FOR  
MATAMATA  
DEVELOPMENTS LTD**

Title  
**PROPOSED  
STORMWATER  
PLAN**

Project no.	289001
Scale	1:1000 @ A3
Cad file	C400-STORMWATER.DWG
Drawing no.	C400-2
Rev	<b>D</b>

DATE: 11/17/25 FILEPATH: F:\MAVEN\HAMITON\6 - PROJECTS\289001 - STATION ROAD\7 - DRAWING\1 - ASHBOURNE RESIDENTIAL\C400-STORMWATER.DWG

**RESOURCE CONSENT**



- Notes
1. All works to be in accordance with Waikato Regional Infrastructure Technical Specifications.
  2. Co-ordinates in terms of NZ Geodetic Datum Mount Eden 2000.
  3. Levels in terms of the New Zealand Vertical Datum 2016.
  4. It is the contractors responsibility to locate all services that may be affected by his operations.
  5. Approved hardfill is to be used in backfilling of all stormwater lines within the road reserve.
  6. All catchpit leads shall be laid at 1% unless otherwise specified.
  7. All lines to be abandoned shall be sealed at each end. Timing of all sealing to be coordinated with council staff.

Legend

	EX BOUNDARY
	PROP LOT BOUNDARY
	PROP SWMH 1050mmØ
	PROP MANHOLE GRATE
	SOAKAGE TRENCH - 1.2m WIDE
	SOAKAGE TRENCH - 2m WIDE
	RAINGARDEN - 1.2m / 2.3m WIDE

D	FAST TRACK APP	MKS	11/2025
C	FAST TRACK APP	NDL	05/2025
B	FAST TRACK APP	NDL	04/2025
A	FAST TRACK APP	NDL	04/2025
Rev	Description	By	Date
		MAVEN	05/2024
	Design	MKS	04/2025
	Drawn	RJM	04/2025
	Checked	DJM	05/2025



Project  
**ASHBOURNE  
 RESIDENTIAL  
 FOR  
 MATAMATA  
 DEVELOPMENTS LTD**

Title  
**PROPOSED  
 STORMWATER  
 PLAN**

Project no.	289001
Scale	1:1000 @ A3
Cad file	C400-STORMWATER.DWG
Drawing no.	C400-3
Rev	<b>D</b>

DATE: 11/1/25 FILEPATH: F:\MVEN\HAMITON6 PROJECTS\289001 - STATION ROAD\DRAWING\1 - ASHBOURNE RESIDENTIAL\C400-STORMWATER.DWG

**RESOURCE CONSENT**



- Notes
1. All works to be in accordance with Waikato Regional Infrastructure Technical Specifications.
  2. Co-ordinates in terms of NZ Geodetic Datum Mount Eden 2000.
  3. Levels in terms of the New Zealand Vertical Datum 2016.
  4. It is the contractors responsibility to locate all services that may be affected by his operations.
  5. Approved hardfill is to be used in backfilling of all stormwater lines within the road reserve.
  6. All catchpit leads shall be laid at 1% unless otherwise specified.
  7. All lines to be abandoned shall be sealed at each end. Timing of all sealing to be coordinated with council staff.

- Legend
- EX BOUNDARY
  - PROP LOT BOUNDARY
  - PROP SWMH 1050mmØ
  - PROP MANHOLE GRATE
  - SOAKAGE TRENCH - 1.2m WIDE
  - SOAKAGE TRENCH - 2m WIDE
  - RAINGARDEN - 1.2m / 2.3m WIDE

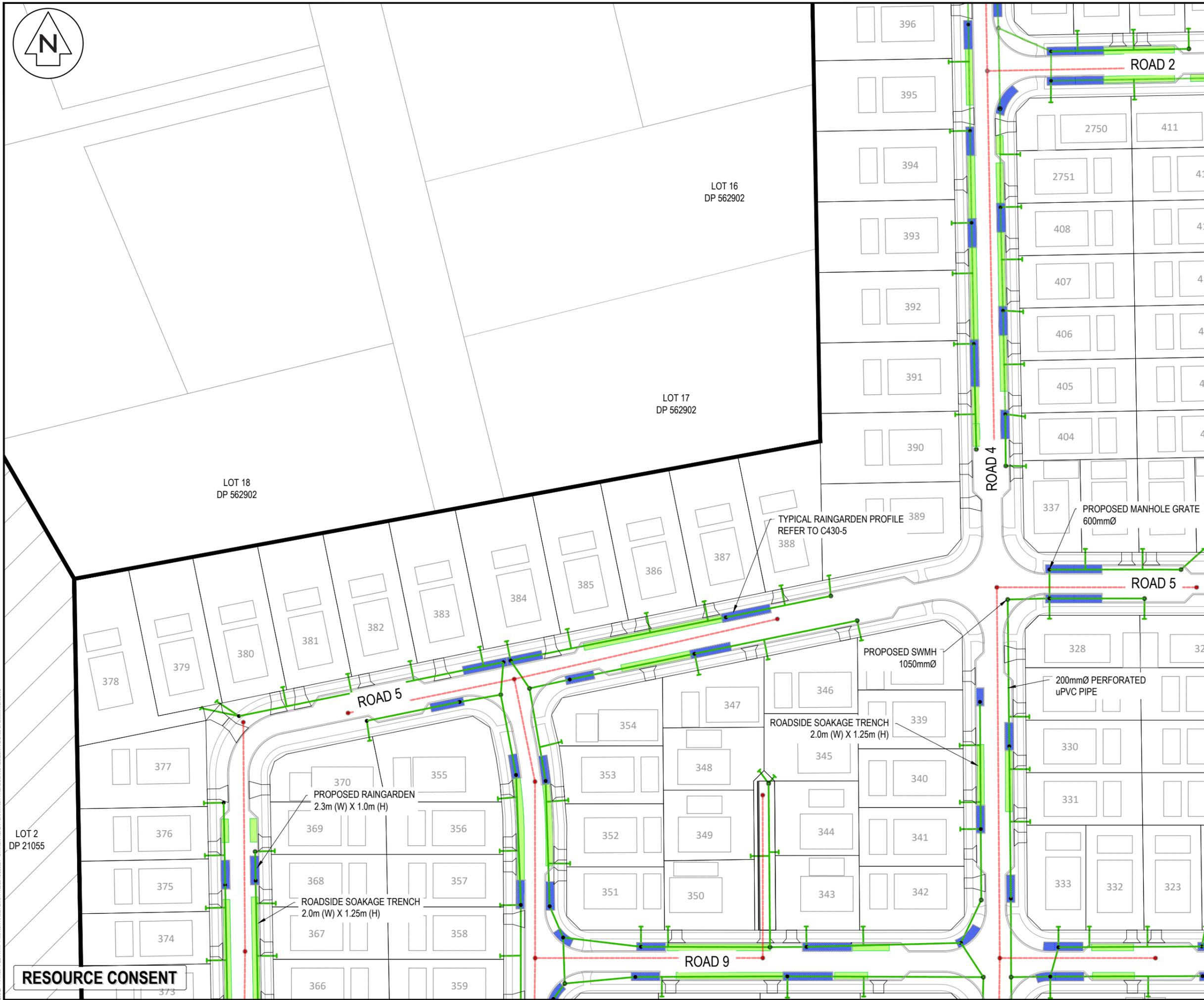
D	FAST TRACK APP	MKS	11/2025
C	FAST TRACK APP	NDL	05/2025
B	FAST TRACK APP	NDL	04/2025
A	FAST TRACK APPLICATION	NDL	04/2025
Rev	Description	By	Date
	Survey	MAVEN	05/2024
	Design	MKS	04/2025
	Drawn	NDL	04/2025
	Checked	DJM	05/2025

**Maven Associates**  
 09 571 0050  
 info@maven.co.nz  
 www.maven.co.nz  
 5 Owens Road, Epsom  
 Auckland 1023

Project  
**ASHBOURNE  
 RESIDENTIAL  
 FOR  
 MATAMATA  
 DEVELOPMENTS LTD**

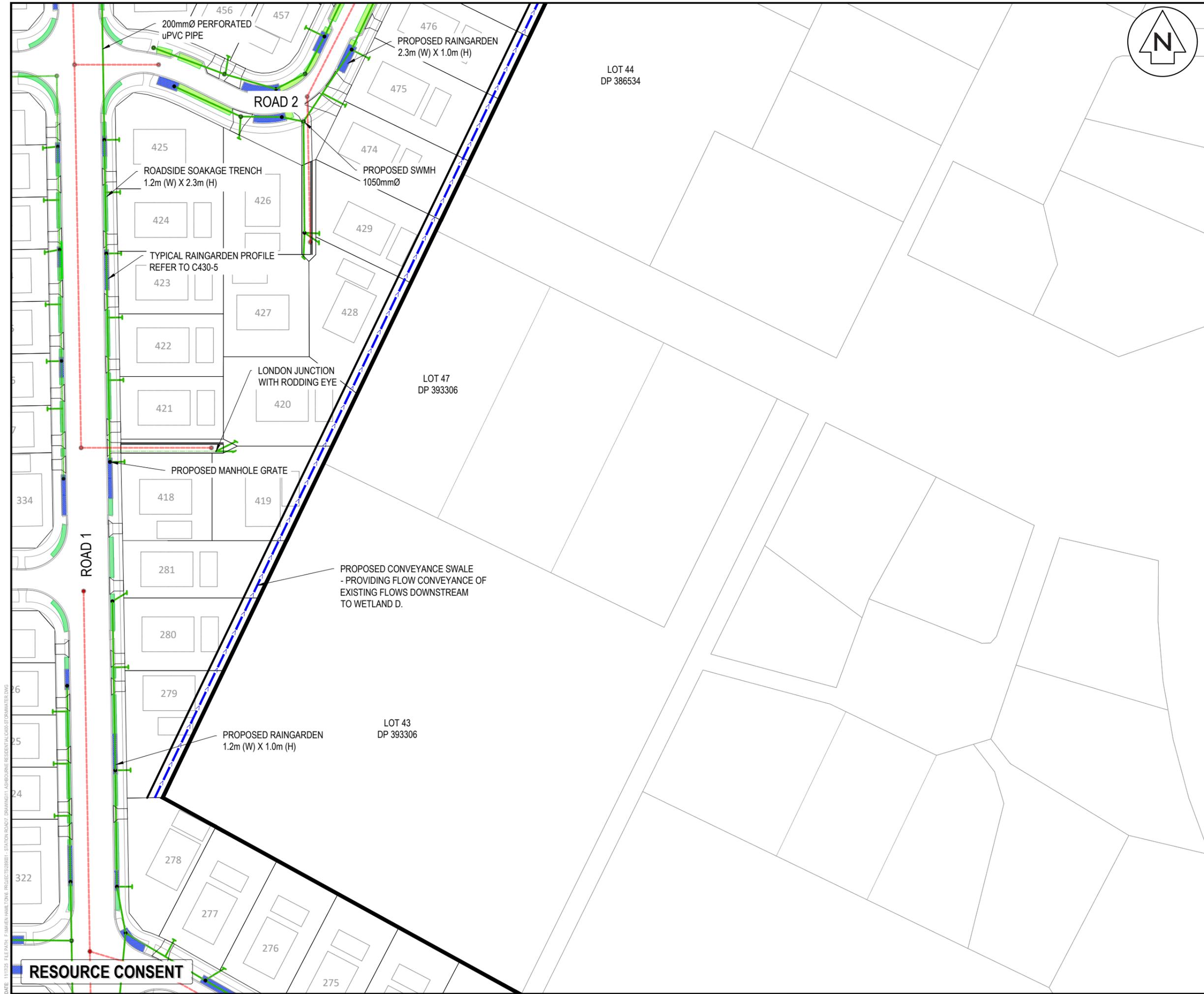
Title  
**PROPOSED  
 STORMWATER  
 PLAN**

Project no.	289001
Scale	1:1000 @ A3
Cad file	C400-STORMWATER.DWG
Drawing no.	C400-4
Rev	<b>D</b>



**RESOURCE CONSENT**

DATE: 11/1/25 FILEPATH: F:\MAVEN\HAMITON6 - PROJECTS\289001 - STATION ROAD\DRAWING\1 - ASHBOURNE RESIDENTIAL\C400-STORMWATER.DWG



- Notes
1. All works to be in accordance with Waikato Regional Infrastructure Technical Specifications.
  2. Co-ordinates in terms of NZ Geodetic Datum Mount Eden 2000.
  3. Levels in terms of the New Zealand Vertical Datum 2016.
  4. It is the contractors responsibility to locate all services that may be affected by his operations.
  5. Approved hardfill is to be used in backfilling of all stormwater lines within the road reserve.
  6. All catchpit leads shall be laid at 1% unless otherwise specified.
  7. All lines to be abandoned shall be sealed at each end. Timing of all sealing to be coordinated with council staff.

Legend

	EX BOUNDARY
	PROP LOT BOUNDARY
	PROP SWMH 1050mmØ
	PROP MANHOLE GRATE
	SOAKAGE TRENCH - 1.2m WIDE
	SOAKAGE TRENCH - 2m WIDE
	RAINGARDEN - 1.2m / 2.3m WIDE

D	FAST TRACK APP	MKS	11/2025
C	FAST TRACK APP	NDL	05/2025
B	FAST TRACK APP	NDL	04/2025
A	FAST TRACK APP	NDL	04/2025
Rev	Description	By	Date
	Survey	MAVEN	05/2024
	Design	MKS	04/2025
	Drawn	NDL	04/2025
	Checked	DJM	05/2025

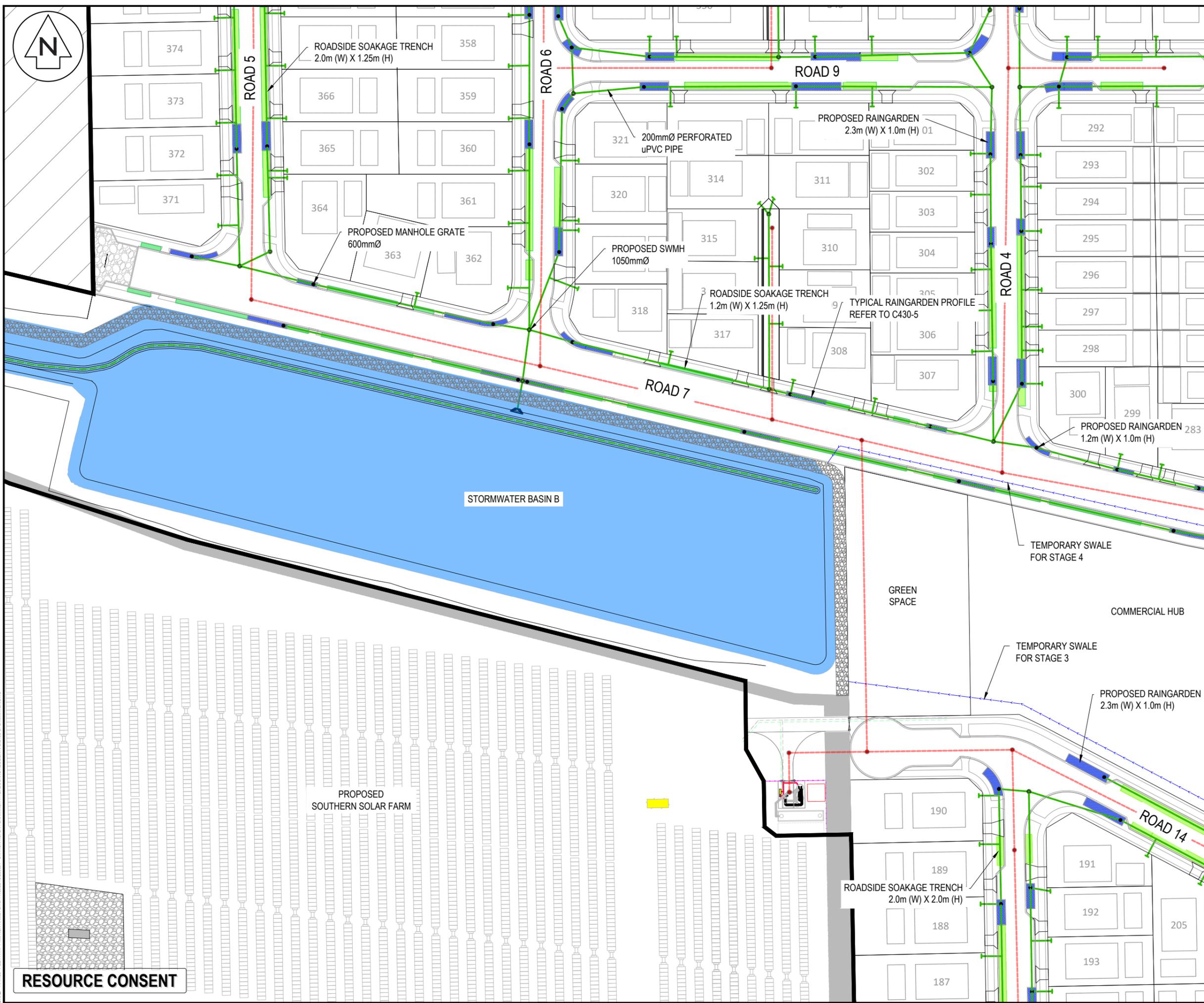
**Maven Associates**  
 09 571 0050  
 info@maven.co.nz  
 www.maven.co.nz  
 5 Owens Road, Epsom  
 Auckland 1023

Project  
**ASHBOURNE  
 RESIDENTIAL  
 FOR  
 MATAMATA  
 DEVELOPMENTS LTD**

Title  
**PROPOSED  
 STORMWATER  
 PLAN**

Project no.	289001
Scale	1:1000 @ A3
Cad file	C400-STORMWATER.DWG
Drawing no.	C400-5
Rev	<b>D</b>

DATE: 11/17/25 FILEPATH: F:\MVEN\HAMITON6 PROJECTS\289001 - STATION ROAD\ DRAWING\1 - ASHBOURNE RESIDENTIAL\C400-STORMWATER.DWG



- Notes
1. All works to be in accordance with Waikato Regional Infrastructure Technical Specifications.
  2. Co-ordinates in terms of NZ Geodetic Datum Mount Eden 2000.
  3. Levels in terms of the New Zealand Vertical Datum 2016.
  4. It is the contractors responsibility to locate all services that may be affected by his operations.
  5. Approved hardfill is to be used in backfilling of all stormwater lines within the road reserve.
  6. All catchpit leads shall be laid at 1% unless otherwise specified.
  7. All lines to be abandoned shall be sealed at each end. Timing of all sealing to be coordinated with council staff.

Legend

	EX BOUNDARY
	PROP LOT BOUNDARY
	PROP SWMH 1050mmØ
	PROP MANHOLE GRATE
	SOAKAGE TRENCH - 1.2m WIDE
	SOAKAGE TRENCH - 2m WIDE
	RAINGARDEN - 1.2m / 2.3m WIDE

D	FAST TRACK APP	MKS	11/2025
C	FAST TRACK APP	NDL	05/2025
B	FAST TRACK APP	NDL	04/2025
A	FAST TRACK APP	NDL	04/2025
Rev	Description	By	Date
	Survey	MAVEN	05/2024
	Design	MKS	04/2025
	Drawn	NDL	04/2025
	Checked	DJM	05/2025

Project  
**ASHBOURNE  
 RESIDENTIAL  
 FOR  
 MATAMATA  
 DEVELOPMENTS LTD**

Title  
**PROPOSED  
 STORMWATER  
 PLAN**

Project no.	289001
Scale	1:1000 @ A3
Cad file	C400-STORMWATER.DWG
Drawing no.	C400-6
Rev	<b>D</b>

**RESOURCE CONSENT**

DATE: 11/1/25 FILE PATH: F:\MVEN\HAMITON6 PROJECTS\289001 - STATION ROAD\25 DRAWING\11 - ASHBOURNE RESIDENTIAL\C400-STORMWATER.DWG



- Notes
1. All works to be in accordance with Waikato Regional Infrastructure Technical Specifications.
  2. Co-ordinates in terms of NZ Geodetic Datum Mount Eden 2000.
  3. Levels in terms of the New Zealand Vertical Datum 2016.
  4. It is the contractors responsibility to locate all services that may be affected by his operations.
  5. Approved hardfill is to be used in backfilling of all stormwater lines within the road reserve.
  6. All catchpit leads shall be laid at 1% unless otherwise specified.
  7. All lines to be abandoned shall be sealed at each end. Timing of all sealing to be coordinated with council staff.

Legend

	EX BOUNDARY
	PROP LOT BOUNDARY
	PROP SWMH 1050mmØ
	PROP MANHOLE GRATE
	SOAKAGE TRENCH - 1.2m WIDE
	SOAKAGE TRENCH - 2m WIDE
	RAINGARDEN - 1.2m / 2.3m WIDE

D	FAST TRACK APP	MKS	11/2025
C	FAST TRACK APP	MKS	05/2025
B	FAST TRACK APP	NDL	04/2025
A	FAST TRACK APP	NDL	04/2025
Rev	Description	By	Date
	Survey	MAVEN	05/2024
	Design	MKS	04/2025
	Drawn	NDL	04/2025
	Checked	DJM	05/2025

**Maven Associates**  
 09 571 0050  
 info@maven.co.nz  
 www.maven.co.nz  
 5 Owens Road, Epsom  
 Auckland 1023

Project  
**ASHBOURNE  
 RESIDENTIAL  
 FOR  
 MATAMATA  
 DEVELOPMENTS LTD**

Title  
**PROPOSED  
 STORMWATER  
 PLAN**

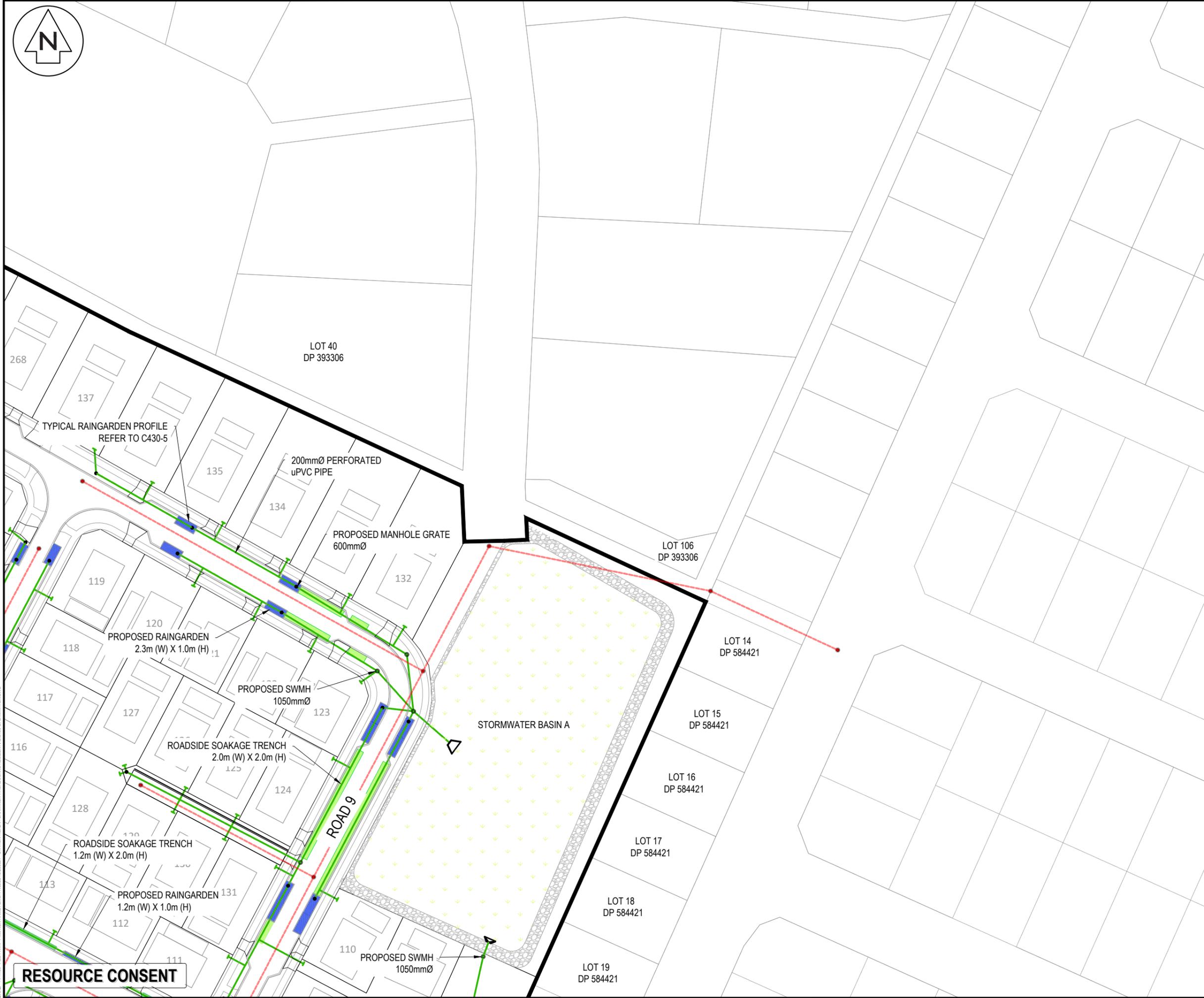
Project no.	289001
Scale	1:1000 @ A3
Cad file	C400-STORMWATER.DWG
Drawing no.	C400-7
Rev	<b>D</b>

DATE: 11/1/25 FILEPATH: E:\MVEN\HAMITON6 - PROJECTS\289001 - STATION ROAD\ DRAWING\1 - ASHBORNE RESIDENTIAL\C400-STORMWATER.DWG

**RESOURCE CONSENT**



- Notes
1. All works to be in accordance with Waikato Regional Infrastructure Technical Specifications.
  2. Co-ordinates in terms of NZ Geodetic Datum Mount Eden 2000.
  3. Levels in terms of the New Zealand Vertical Datum 2016.
  4. It is the contractors responsibility to locate all services that may be affected by his operations.
  5. Approved hardfill is to be used in backfilling of all stormwater lines within the road reserve.
  6. All catchpit leads shall be laid at 1% unless otherwise specified.
  7. All lines to be abandoned shall be sealed at each end. Timing of all sealing to be coordinated with council staff.



Legend

	EX BOUNDARY
	PROP LOT BOUNDARY
	PROP SWMH 1050mmØ
	PROP MANHOLE GRATE
	SOAKAGE TRENCH - 1.2m WIDE
	SOAKAGE TRENCH - 2m WIDE
	RAINGARDEN - 1.2m / 2.3m WIDE

D	FAST TRACK APP	MKS	11/2025
C	FAST TRACK APP	NDL	05/2025
B	FAST TRACK APP	NDL	04/2025
A	FAST TRACK APP	NDL	04/2025
Rev	Description	By	Date
		MAVEN	05/2024
		MKS	04/2025
		NDL	04/2025
		DJM	05/2025

Project  
**ASHBOURNE  
 RESIDENTIAL  
 FOR  
 MATAMATA  
 DEVELOPMENTS LTD**

Title  
**PROPOSED  
 STORMWATER  
 PLAN**

Project no.	289001
Scale	1:1000 @ A3
Cad file	C400-STORMWATER.DWG
Drawing no.	C400-8
Rev	<b>D</b>

DATE: 11/17/25 FILEPATH: F:\MVEN\HAMITON\6 PROJECTS\289001 - STATION ROAD\ DRAWING\1 - ASHBOURNE RESIDENTIAL\0400-STORMWATER.DWG



- Notes
1. All works to be in accordance with Waikato Regional Infrastructure Technical Specifications.
  2. Co-ordinates in terms of NZ Geodetic Datum Mount Eden 2000.
  3. Levels in terms of the New Zealand Vertical Datum 2016.
  4. It is the contractors responsibility to locate all services that may be affected by his operations.
  5. Approved hardfill is to be used in backfilling of all stormwater lines within the road reserve.
  6. All catchpit leads shall be laid at 1% unless otherwise specified.
  7. All lines to be abandoned shall be sealed at each end. Timing of all sealing to be coordinated with council staff.

Legend

	EX BOUNDARY
	PROP LOT BOUNDARY
	PROP SWMH 1050mmØ
	PROP MANHOLE GRATE
	SOAKAGE TRENCH - 1.2m WIDE
	SOAKAGE TRENCH - 2m WIDE
	RAINGARDEN - 1.2m / 2.3m WIDE

D	FAST TRACK APP	MKS	11/2025
C	FAST TRACK APP	NDL	05/2025
B	FAST TRACK APP	NDL	04/2025
A	FAST TRACK APP	NDL	04/2025
Rev	Description	By	Date
Survey	MAVEN		05/2024
Design	MKS		04/2025
Drawn	NDL		04/2025
Checked	DJM		05/2025

**Maven Associates**  
 09 571 0050  
 info@maven.co.nz  
 www.maven.co.nz  
 5 Owens Road, Epsom  
 Auckland 1023

Project  
**ASHBOURNE  
 RESIDENTIAL  
 FOR  
 MATAMATA  
 DEVELOPMENTS LTD**

Title  
**PROPOSED  
 STORMWATER  
 PLAN**

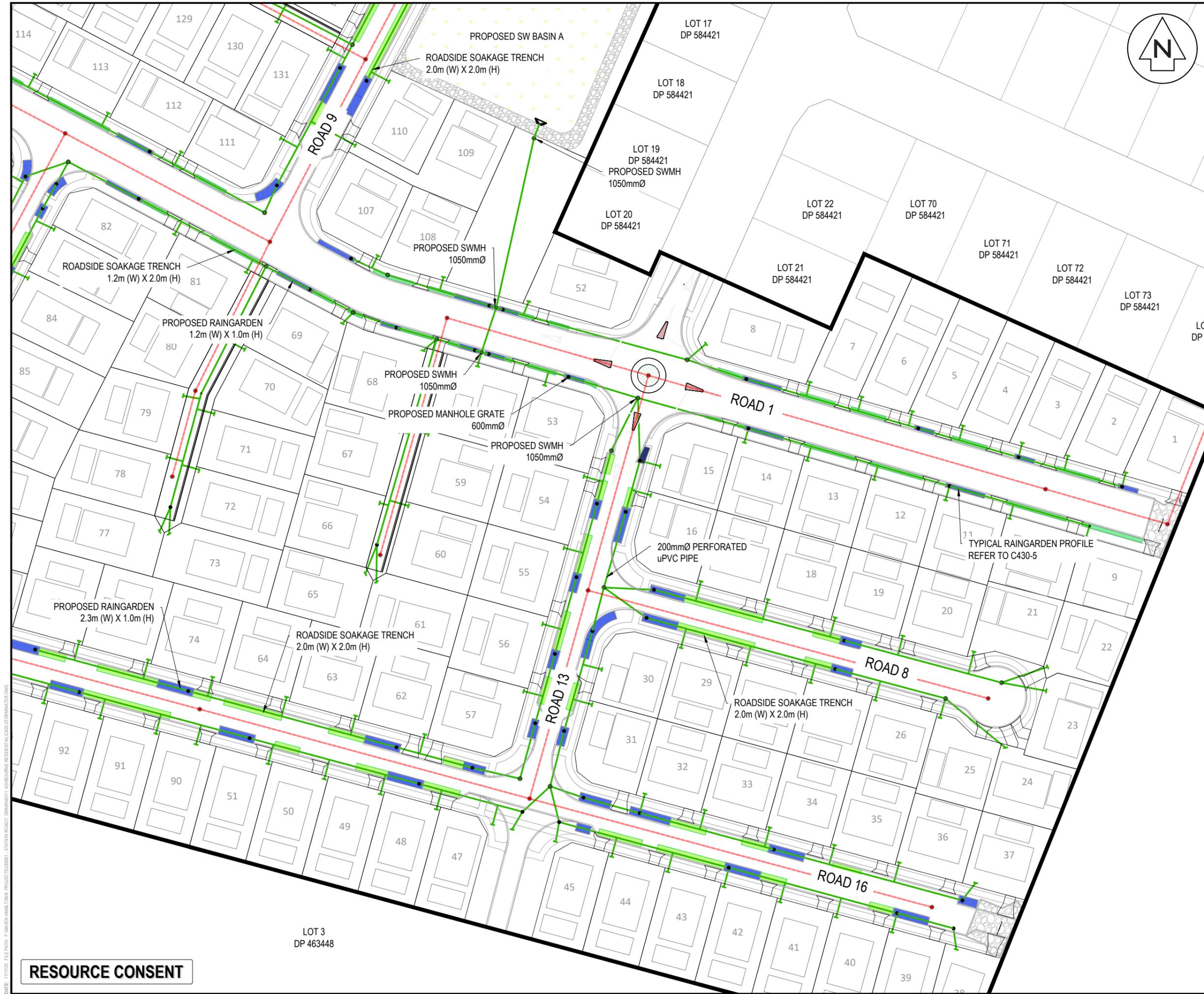
Project no.	289001		
Scale	1:1000 @ A3		
Cad file	C400-STORMWATER.DWG		
Drawing no.	C400-9	Rev	<b>D</b>



LOT 3  
 DP 463448

**RESOURCE CONSENT**

DATE: 11/1/25 FILEPATH: F:\MAVEN\HAMPTON6 - PROJECTS\289001 - STATION ROAD\DRAWING\01 - ASHBOURNE RESIDENTIAL\C400-STORMWATER.DWG



- Notes
1. All works to be in accordance with Waikato Regional Infrastructure Technical Specifications.
  2. Co-ordinates in terms of NZ Geodetic Datum Mount Eden 2000.
  3. Levels in terms of the New Zealand Vertical Datum 2016.
  4. It is the contractors responsibility to locate all services that may be affected by his operations.
  5. Approved hardfill is to be used in backfilling of all stormwater lines within the road reserve.
  6. All catchpit leads shall be laid at 1% unless otherwise specified.
  7. All lines to be abandoned shall be sealed at each end. Timing of all sealing to be coordinated with council staff.

Legend

	EX BOUNDARY
	PROP LOT BOUNDARY
	PROP SWMH 1050mmØ
	PROP MANHOLE GRATE
	SOAKAGE TRENCH - 1.2m WIDE
	SOAKAGE TRENCH - 2m WIDE
	RAINGARDEN - 1.2m / 2.3m WIDE

D	FAST TRACK APP	MKS	11/2025
C	FAST TRACK APP	NDL	05/2025
B	FAST TRACK APP	NDL	04/2025
A	FAST TRACK APP	NDL	04/2025
Rev	Description	By	Date
	Survey	MAVEN	05/2024
	Design	MKS	04/2025
	Drawn	NDL	04/2025
	Checked	DJM	05/2025

**Maven Associates**  
 09 571 0050  
 info@maven.co.nz  
 www.maven.co.nz  
 5 Owens Road, Epsom  
 Auckland 1023

Project  
**ASHBOURNE  
 RESIDENTIAL  
 FOR  
 MATAMATA  
 DEVELOPMENTS LTD**

Title  
**PROPOSED  
 STORMWATER  
 PLAN**

Project no.	289001
Scale	1:1000 @ A3
Cad file	C400-STORMWATER.DWG
Drawing no.	C400-10
Rev	<b>D</b>

**RESOURCE CONSENT**

DATE: 11/1/25 FILEPATH: F:\MVEN\HAMITON6 - PROJECTS\289001 - STATION ROAD\ DRAWING\1 - ASHBOURNE RESIDENTIAL\C400-STORMWATER.DWG



- Notes
1. All works to be in accordance with Waikato Regional Infrastructure Technical Specifications.
  2. Co-ordinates in terms of NZ Geodetic Datum Mount Eden 2000.
  3. Levels in terms of the New Zealand Vertical Datum 2016.
  4. It is the contractors responsibility to locate all services that may be affected by his operations.
  5. Approved hardfill is to be used in backfilling of all stormwater lines within the road reserve.
  6. All catchpit leads shall be laid at 1% unless otherwise specified.
  7. All lines to be abandoned shall be sealed at each end. Timing of all sealing to be coordinated with council staff.

Legend

	PR BOUNDARY
	EX BDY
	PR SITE BOUNDARY
	PR STAGE BOUNDARY
	PROP SWMH 1050mmØ
	PROP MANHOLE GRATE
	SOAKAGE TRENCH - 1.2m WIDE
	SOAKAGE TRENCH - 2m WIDE
	RAINGARDEN - 1.2m / 2.3m WIDE

B	FAST TRACK APP	MKS	11/2025
A	FAST TRACK APP	GNT	05/2025
Rev	Description	By	Date
		MAVEN	05/2024
		MKS	05/2025
		GNT	05/2025
		DJM	05/2025

**Maven Associates**  
 09 571 0050  
 info@maven.co.nz  
 www.maven.co.nz  
 5 Owens Road, Epsom  
 Auckland 1023

Project  
**ASHBOURNE  
 RESIDENTIAL  
 FOR  
 MATAMATA  
 DEVELOPMENTS LTD**

Title  
**PROPOSED  
 STORMWATER  
 PLAN STAGE 1**

Project no.	289001
Scale	1:1500 @ A3
Cad file	C400-STORMWATER.DWG
Drawing no.	C400-11
Rev	<b>B</b>

**RESOURCE CONSENT**

DATE: 11/17/25 FILEPATH: F:\MVEN\HAMITON6 - PROJECTS\289001 - STATION ROAD\1 - ASHBOURNE RESIDENTIAL\C400-STORMWATER.DWG



- Notes
1. All works to be in accordance with Waikato Regional Infrastructure Technical Specifications.
  2. Co-ordinates in terms of NZ Geodetic Datum Mount Eden 2000.
  3. Levels in terms of the New Zealand Vertical Datum 2016.
  4. It is the contractors responsibility to locate all services that may be affected by his operations.
  5. Approved hardfill is to be used in backfilling of all stormwater lines within the road reserve.
  6. All catchpit leads shall be laid at 1% unless otherwise specified.
  7. All lines to be abandoned shall be sealed at each end. Timing of all sealing to be coordinated with council staff.

Legend

	PR BOUNDARY
	EX BDY
	PR SITE BOUNDARY
	PR STAGE BOUNDARY
	PROP SWMH 1050mmØ
	PROP MANHOLE GRATE
	SOAKAGE TRENCH - 1.2m WIDE
	SOAKAGE TRENCH - 2m WIDE
	RAINGARDEN - 1.2m / 2.3m WIDE

B	FAST TRACK APP	MKS	11/2025
A	FAST TRACK APP	GNT	05/2025
Rev	Description	By	Date
Survey	MAVEN		05/2024
Design	MKS		05/2025
Drawn	GNT		05/2025
Checked	DJM		05/2025

**Maven Associates**  
 09 571 0050  
 info@maven.co.nz  
 www.maven.co.nz  
 5 Owens Road, Epsom  
 Auckland 1023

Project  
**ASHBOURNE  
 RESIDENTIAL  
 FOR  
 MATAMATA  
 DEVELOPMENTS LTD**

Title  
**PROPOSED  
 STORMWATER  
 PLAN STAGE 2**

Project no.	289001
Scale	1:1500 @ A3
Cad file	C400-STORMWATER.DWG
Drawing no.	C400-12
Rev	<b>B</b>

LOT 3  
 DP 463448

**RESOURCE CONSENT**

DATE: 11/1/25 FILEPATH: F:\MVEN\HAMITON6 - PROJECTS\289001 - STATION ROAD\DRAWING\1 - ASHBORNE RESIDENTIAL\C400-STORMWATER.DWG



STORMWATER  
BASIN B

SERVICE IS TO EXTEND 1.0m PASSED  
STAGE BOUNDARY AND CAPPED FOR  
FUTURE STAGE CONNECTION.

CONTRACTOR TO EXPOSE END  
CAP FROM PREVIOUS STAGE TO  
CONNECT SERVICE

CONTRACTOR TO EXPOSE END  
CAP FROM PREVIOUS STAGE TO  
CONNECT SERVICE

LOT 3  
DP 463448

- Notes
1. All works to be in accordance with Waikato Regional Infrastructure Technical Specifications.
  2. Co-ordinates in terms of NZ Geodetic Datum Mount Eden 2000.
  3. Levels in terms of the New Zealand Vertical Datum 2016.
  4. It is the contractors responsibility to locate all services that may be affected by his operations.
  5. Approved hardfill is to be used in backfilling of all stormwater lines within the road reserve.
  6. All catchpit leads shall be laid at 1% unless otherwise specified.
  7. All lines to be abandoned shall be sealed at each end. Timing of all sealing to be coordinated with council staff.

- Legend
- PR BOUNDARY
  - EX BDY
  - PR SITE BOUNDARY
  - PR STAGE BOUNDARY
  - PROP SWMH 1050mmØ
  - PROP MANHOLE GRATE
  - SOAKAGE TRENCH - 1.2m WIDE
  - SOAKAGE TRENCH - 2m WIDE
  - RAINGARDEN - 1.2m / 2.3m WIDE

B	FAST TRACK APP	MKS	11/2025
A	FAST TRACK APP	GNT	05/2025
Rev	Description	By	Date
	Survey	MAVEN	05/2024
	Design	MKS	05/2025
	Drawn	GNT	05/2025
	Checked	DJM	05/2025

**Maven Associates**  
09 571 0050  
info@maven.co.nz  
www.maven.co.nz  
5 Owens Road, Epsom  
Auckland 1023

Project  
**ASHBOURNE  
RESIDENTIAL  
FOR  
MATAMATA  
DEVELOPMENTS LTD**

Title  
**PROPOSED  
STORMWATER  
PLAN STAGE 3**

Project no.	289001
Scale	1:1500 @ A3
Cad file	C400-STORMWATER.DWG
Drawing no.	C400-13
Rev	<b>B</b>

**RESOURCE CONSENT**

DATE: 11/17/25 FILEPATH: F:\MVEN\HAMITON6 - PROJECTS\289001 - STATION ROAD\ DRAWING\1 - ASHBOURNE RESIDENTIAL\C400-STORMWATER.DWG



- Notes
1. All works to be in accordance with Waikato Regional Infrastructure Technical Specifications.
  2. Co-ordinates in terms of NZ Geodetic Datum Mount Eden 2000.
  3. Levels in terms of the New Zealand Vertical Datum 2016.
  4. It is the contractors responsibility to locate all services that may be affected by his operations.
  5. Approved hardfill is to be used in backfilling of all stormwater lines within the road reserve.
  6. All catchpit leads shall be laid at 1% unless otherwise specified.
  7. All lines to be abandoned shall be sealed at each end. Timing of all sealing to be coordinated with council staff.

Legend

	PR BOUNDARY
	EX BDY
	PR SITE BOUNDARY
	PR STAGE BOUNDARY
	PROP SWMH 1050mmØ
	PROP MANHOLE GRATE
	SOAKAGE TRENCH - 1.2m WIDE
	SOAKAGE TRENCH - 2m WIDE
	RAINGARDEN - 1.2m / 2.3m WIDE

B	FAST TRACK APP	MKS	11/2025
A	FAST TRACK APP	GNT	05/2025
Rev	Description	By	Date
	Survey	MAVEN	05/2024
	Design	MKS	05/2025
	Drawn	GNT	05/2025
	Checked	DJM	05/2025

**Maven Associates**  
 09 571 0050  
 info@maven.co.nz  
 www.maven.co.nz  
 5 Owens Road, Epsom  
 Auckland 1023

Project  
**ASHBOURNE  
 RESIDENTIAL  
 FOR  
 MATAMATA  
 DEVELOPMENTS LTD**

Title  
**PROPOSED  
 STORMWATER  
 PLAN STAGE 4**

Project no.	289001
Scale	1:1500 @ A3
Cad file	C400-STORMWATER.DWG
Drawing no.	C400-14
Rev	<b>B</b>

SERVICE IS TO EXTEND 1.0m PASSED STAGE BOUNDARY AND CAPPED FOR FUTURE STAGE CONNECTION.

SERVICE IS TO EXTEND 1.0m PASSED STAGE BOUNDARY AND CAPPED FOR FUTURE STAGE CONNECTION.

CONTRACTOR TO EXPOSE END CAP FROM PREVIOUS STAGE TO CONNECT SERVICE

**RESOURCE CONSENT**

DATE: 11/1/25 FILEPATH: F:\MVEN\HAMLET\06 - PROJECTS\289001 - STATION ROAD\1 DRAWING\01 - ASHBORNE RESIDENTIAL\C400-STORMWATER.DWG



LOT 16  
DP 562902

LOT 17  
DP 562902

LOT 18  
DP 562902

LOT 47  
DP 393306

LOT 43  
DP 393306

SERVICE IS TO EXTEND 1.0m PASSED  
STAGE BOUNDARY AND CAPPED FOR  
FUTURE STAGE CONNECTION.

CONTRACTOR TO EXPOSE END  
CAP FROM PREVIOUS STAGE TO  
CONNECT SERVICE

CONTRACTOR TO EXPOSE END  
CAP FROM PREVIOUS STAGE TO  
CONNECT SERVICE

SERVICE IS TO EXTEND 1.0m PASSED  
STAGE BOUNDARY AND CAPPED FOR  
FUTURE STAGE CONNECTION.

Notes

1. All works to be in accordance with Waikato Regional Infrastructure Technical Specifications.
2. Co-ordinates in terms of NZ Geodetic Datum Mount Eden 2000.
3. Levels in terms of the New Zealand Vertical Datum 2016.
4. It is the contractors responsibility to locate all services that may be affected by his operations.
5. Approved hardfill is to be used in backfilling of all stormwater lines within the road reserve.
6. All catchpit leads shall be laid at 1% unless otherwise specified.
7. All lines to be abandoned shall be sealed at each end. Timing of all sealing to be coordinated with council staff.

Legend

- PR BOUNDARY
- EX BDY
- PR SITE BOUNDARY
- PR STAGE BOUNDARY
- PROP SWMH 1050mmØ
- PROP MANHOLE GRATE
- SOAKAGE TRENCH - 1.2m WIDE
- SOAKAGE TRENCH - 2m WIDE
- RAINGARDEN - 1.2m / 2.3m WIDE

B	FAST TRACK APP	MKS	11/2025
A	FAST TRACK APP	GNT	05/2025
Rev	Description	By	Date
	Survey	MAVEN	05/2024
	Design	MKS	05/2025
	Drawn	GNT	05/2025
	Checked	DJM	05/2025



Project  
**ASHBOURNE  
RESIDENTIAL  
FOR  
MATAMATA  
DEVELOPMENTS LTD**

Title  
**PROPOSED  
STORMWATER  
PLAN STAGE 5**

Project no.	289001
Scale	1:1500 @ A3
Cad file	C400-STORMWATER.DWG
Drawing no.	C400-15
Rev	<b>B</b>

**RESOURCE CONSENT**

T 2  
1055

DATE: 11/17/25 FILE PATH: F:\MAVEN\HAMLTON6 - PROJECTS\289001 - STATION ROAD\1 - ASHBOURNE RESIDENTIAL\C400-STORMWATER.DWG



LOT 16  
DP 562902

LOT 17  
DP 562902

LOT 18  
DP 562902

LOT 2  
DP 21055

Notes

1. All works to be in accordance with Waikato Regional Infrastructure Technical Specifications.
2. Co-ordinates in terms of NZ Geodetic Datum Mount Eden 2000.
3. Levels in terms of the New Zealand Vertical Datum 2016.
4. It is the contractors responsibility to locate all services that may be affected by his operations.
5. Approved hardfill is to be used in backfilling of all stormwater lines within the road reserve.
6. All catchpit leads shall be laid at 1% unless otherwise specified.
7. All lines to be abandoned shall be sealed at each end. Timing of all sealing to be coordinated with council staff.

Legend

- PR BOUNDARY
- EX BDY
- PR SITE BOUNDARY
- PR STAGE BOUNDARY
- PROP SWMH 1050mmØ
- PROP SCRUFFY DOME
- SOAKAGE TRENCH - 1.2m WIDE
- SOAKAGE TRENCH - 2m WIDE
- RAINGARDEN - 1.2m / 2.3m WIDE

B	FAST TRACK APP	MKS	11/2025
A	FAST TRACK APP	GNT	05/2025
Rev	Description	By	Date
Survey	MAVEN		05/2024
Design	MKS		05/2025
Drawn	GNT		05/2025
Checked	DJM		05/2025

Project  
**ASHBOURNE  
 RESIDENTIAL  
 FOR  
 MATAMATA  
 DEVELOPMENTS LTD**

Title  
**PROPOSED  
 STORMWATER  
 PLAN STAGE 6**

Project no.	289001
Scale	1:1500 @ A3
Cad file	C400-STORMWATER.DWG
Drawing no.	C400-16
Rev	<b>B</b>

CONTRACTOR TO EXPOSE END  
 CAP FROM PREVIOUS STAGE TO  
 CONNECT SERVICE

**RESOURCE CONSENT**



LOT 3  
DP 404835

LOT 9  
DP 562902

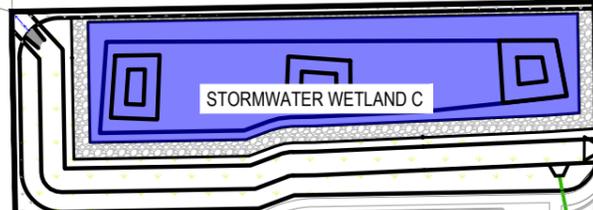
LOT 13  
DP 562902

LOT 14  
DP 562902

LOT 16  
DP 562902

LOT 17  
DP 562902

LOT 18  
DP 562902



SERVICE IS TO EXTEND 1.0m PAST STAGE BOUNDARY AND CAPPED FOR FUTURE STAGE CONNECTION.

- Notes
1. All works to be in accordance with Waikato Regional Infrastructure Technical Specifications.
  2. Co-ordinates in terms of NZ Geodetic Datum Mount Eden 2000.
  3. Levels in terms of the New Zealand Vertical Datum 2016.
  4. It is the contractors responsibility to locate all services that may be affected by his operations.
  5. Approved hardfill is to be used in backfilling of all stormwater lines within the road reserve.
  6. All catchpit leads shall be laid at 1% unless otherwise specified.
  7. All lines to be abandoned shall be sealed at each end. Timing of all sealing to be coordinated with council staff.

Legend

	PR BOUNDARY
	EX BDY
	PR SITE BOUNDARY
	PR STAGE BOUNDARY
	PROP SWMH 1050mmØ
	PROP MANHOLE GRATE
	SOAKAGE TRENCH - 1.2m WIDE
	SOAKAGE TRENCH - 2m WIDE
	RAINGARDEN - 1.2m / 2.3m WIDE

B	FAST TRACK APP	MKS	11/2025
A	FAST TRACK APP	GNT	05/2025
Rev	Description	By	Date
Survey	MAVEN		05/2024
Design	MKS		05/2025
Drawn	GNT		05/2025
Checked	DJM		05/2025

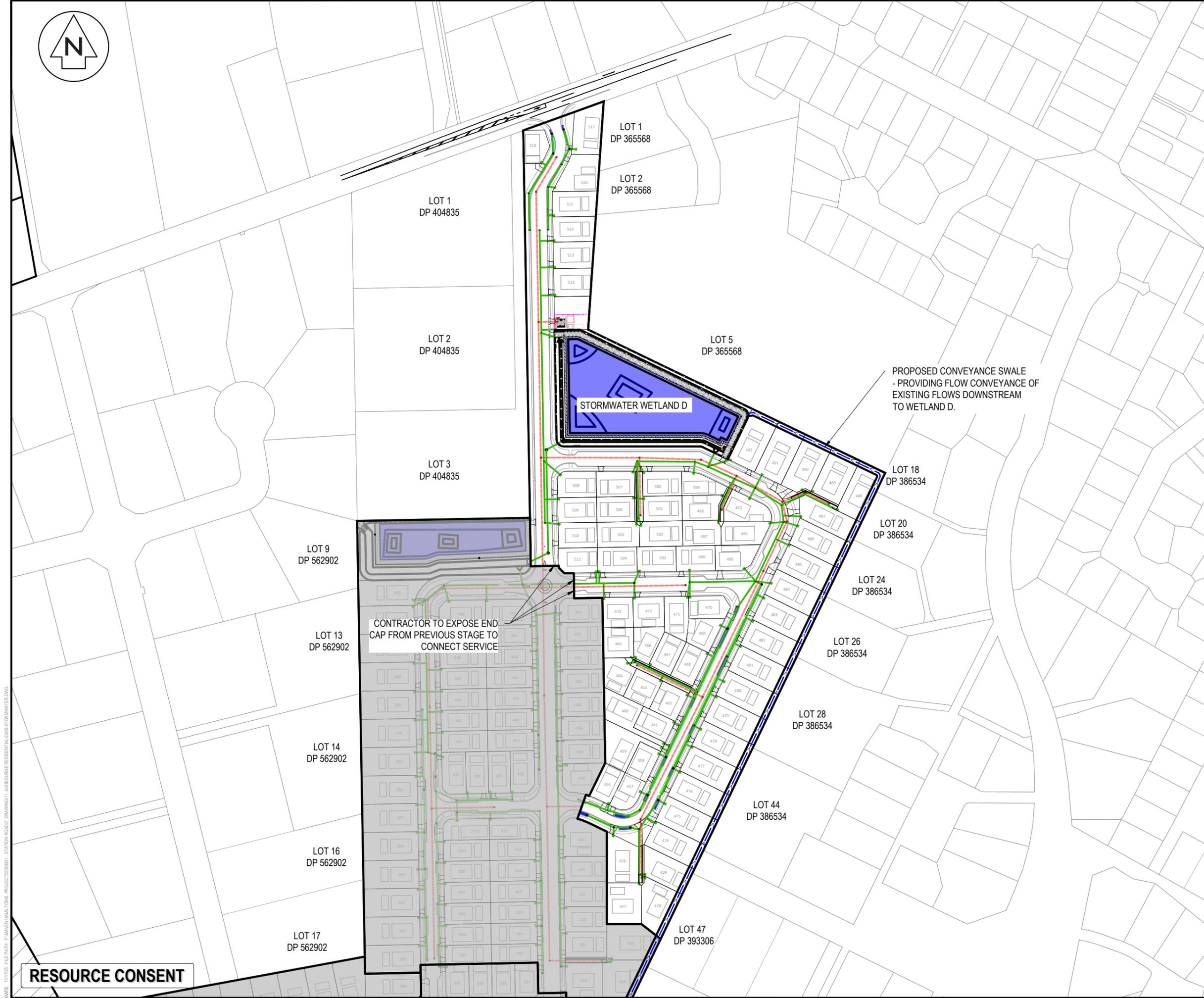
Project  
**ASHBOURNE  
RESIDENTIAL  
FOR  
MATAMATA  
DEVELOPMENTS LTD**

Title  
**PROPOSED  
STORMWATER  
PLAN STAGE 7**

Project no.	289001
Scale	1:1500 @ A3
Cad file	C400-STORMWATER.DWG
Drawing no.	C400-17
Rev	<b>B</b>

**RESOURCE CONSENT**

DATE: 11/17/25 FILEPATH: F:\Maven\HAM1016 - PROJECTS\289001 - STATION ROAD\DRAWING\1 - ASHBORNE RESIDENTIAL\C400-STORMWATER.DWG



- Notes
1. All works to be in accordance with Waikato Regional Infrastructure Technical Specifications.
  2. Co-ordinates in terms of NZ Geodetic Datum Mount Eden 2000.
  3. Levels in terms of the New Zealand Vertical Datum 2016.
  4. It is the contractors responsibility to locate all services that may be affected by his operations.
  5. Approved hardfill is to be used in backfilling of all stormwater lines within the road reserve.
  6. All catchpit leads shall be laid at 1% unless otherwise specified.
  7. All lines to be abandoned shall be sealed at each end. Timing of all sealing to be coordinated with council staff.

Legend

	PR BOUNDARY
	EX BDY
	PR SITE BOUNDARY
	PR STAGE BOUNDARY
	PROP SWMH 1050mmØ
	PROP MANHOLE GRATE
	SOAKAGE TRENCH - 1.2m WIDE
	SOAKAGE TRENCH - 2m WIDE
	RAINGARDEN - 1.2m / 2.3m WIDE

B	FAST TRACK APP	MKS	11/2025
A	FAST TRACK APP	GNT	05/2025
Rev	Description	By	Date
	Survey	MAVEN	05/2024
	Design	MKS	05/2025
	Drawn	GNT	05/2025
	Checked	DJM	05/2025

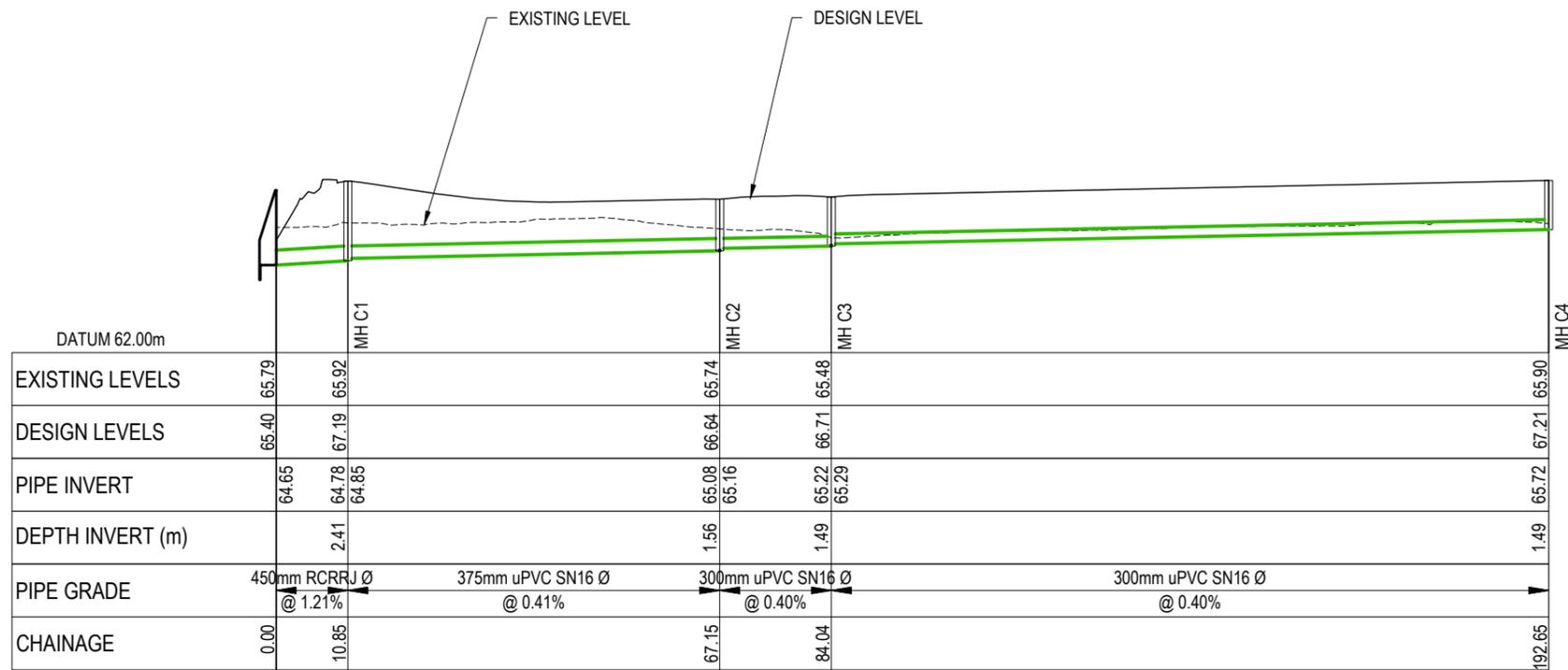
Project  
**ASHBOURNE  
 RESIDENTIAL  
 FOR  
 MATAMATA  
 DEVELOPMENTS LTD**

Title  
**PROPOSED  
 STORMWATER  
 PLAN STAGE 8**

Project no.	289001
Scale	1:2500 @ A3
Cad file	C400-STORMWATER.DWG
Drawing no.	C400-18
Rev	<b>B</b>

DATE: 11/17/25 FILEPATH: F:\MAVEN\HAMITON6 PROJECTS\289001 - STATION ROAD\DRAWING\1 - ASHBOURNE RESIDENTIAL\C400-STORMWATER.DWG

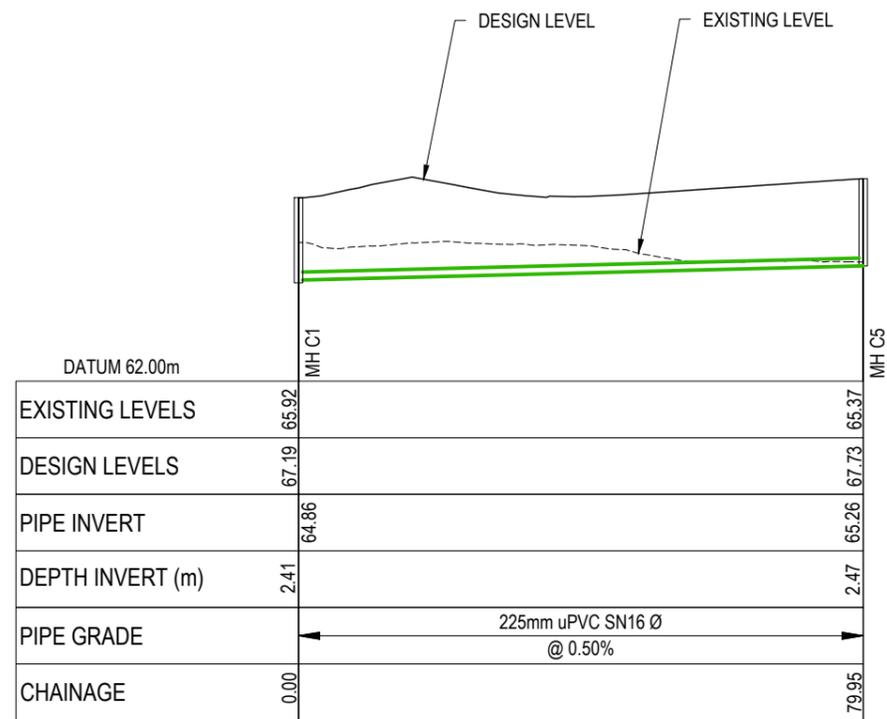
**RESOURCE CONSENT**



LONGSECTION - CATCHMENT C - LINE 1  
SCALE 1:1000 HORI & 1:200 VERTICAL @ A3

- Notes
- All works to be in accordance with Waikato Regional Infrastructure Technical Specifications.
  - Co-ordinates in terms of NZ Geodetic Datum Mt Eden 2000. Levels in terms of the New Zealand Vertical Datum 2016.
  - It is the contractors responsibility to locate all services that may be affected by his operations.
  - All concrete SW pipe to be installed in accordance with AS/NZS 3725:2007 for buried concrete pipes and AS/NZ 4058:2007 for precast concrete pipes (pressure and non-pressure) as stipulated in the RITS 2018
  - Approved hardfill is to be used in backfilling of all stormwater lines within the road reserve.
  - Heavy duty manhole lids and frames to be used in trafficked areas.
  - All catchpit leads shall be laid at 1% unless otherwise specified.
  - All pipes ≤ 375Ø to be PVC-U SN16 instead of RRJ (concrete).
  - All concrete lines are to be Class 4 RCRRJ unless otherwise specified.
  - All lines to be abandoned shall be sealed at each end. Timing of all sealing to be coordinated with council staff.
  - Pipe lengths shown on plan are from upstream pipe invert to downstream pipe invert.

Legend  
 - - - - - EX GROUND LEVEL  
 ———— PROP GROUND LEVEL



LONGSECTION - CATCHMENT C - LINE 2  
SCALE 1:1000 HORI & 1:200 VERTICAL @ A3

Rev	Description	By	Date
A	FAST TRACK APP	MKS	11/2025
Survey	MAVEN		05/2024
Design	MKS		11/2025
Drawn	MKS		11/2025
Checked	DJM		11/2025

**M** Maven Associates  
 09 571 0050  
 info@maven.co.nz  
 www.maven.co.nz  
 5 Owens Road, Epsom  
 Auckland 1023

Project  
**ASHBOURNE  
 RESIDENTIAL  
 FOR  
 MATAMATA  
 DEVELOPMENTS LTD**

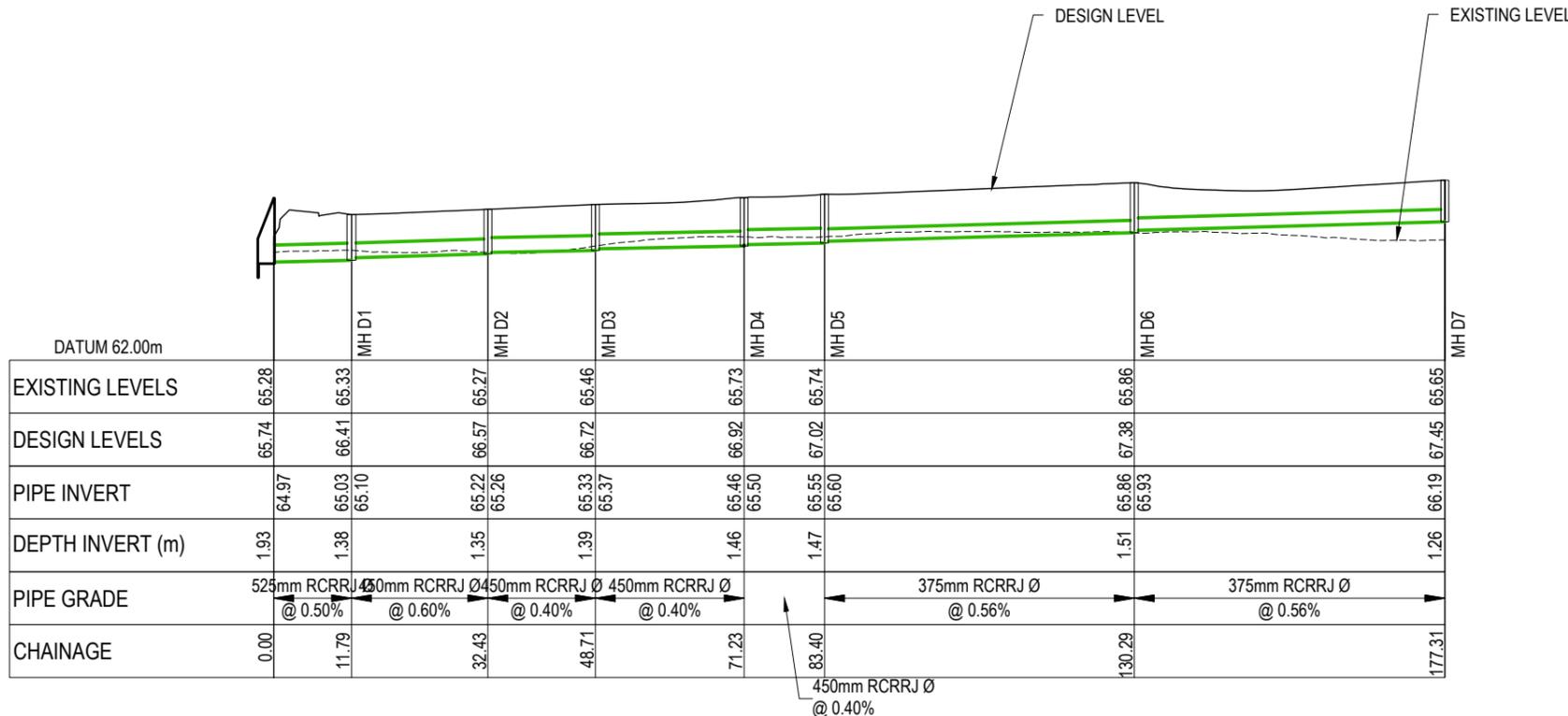
Title  
**PROPOSED  
 STORMWATER  
 LONGSECTIONS**

Project no.	289001
Scale	AS SHOWN
Cad file	C400-STORMWATER.DWG
Drawing no.	C400-20
Rev	<b>A</b>

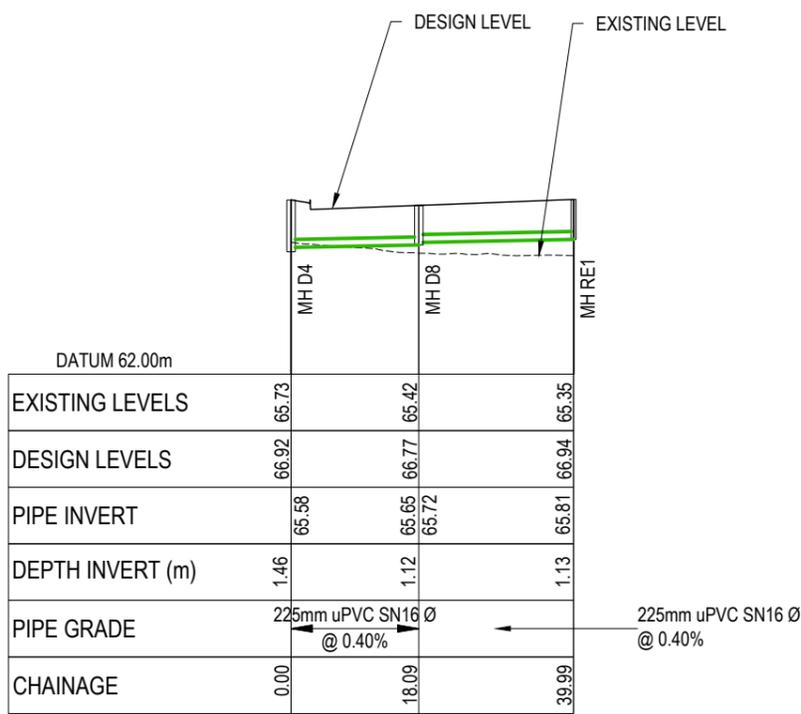
DATE: 11/11/25 FILEPATH: F:\MAVEN\HAMILTON\6 - PROJECTS\289001 - STATION ROAD\7 DRAWING\1 - ASHBOURNE RESIDENTIAL\C400-STORMWATER.DWG

**RESOURCE CONSENT**

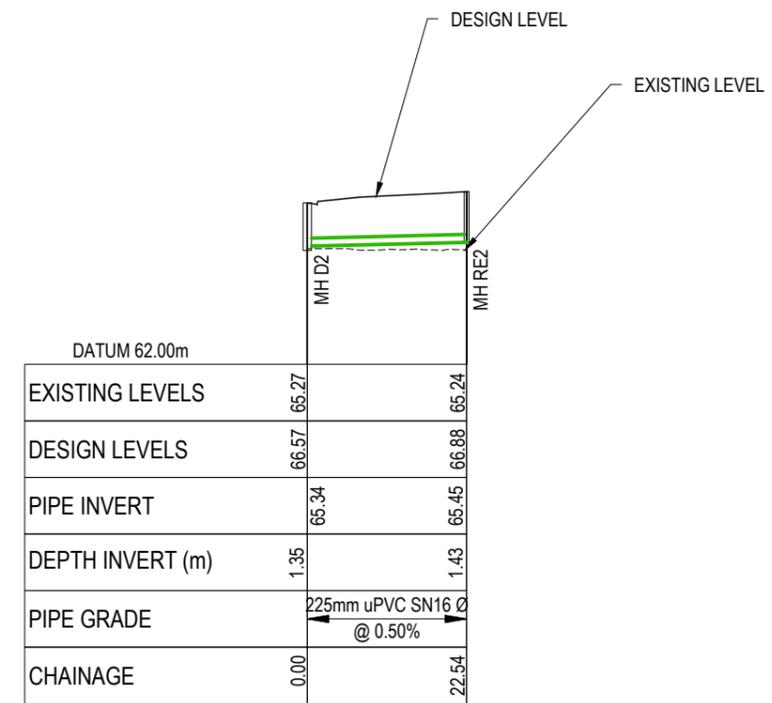
DATE: 11/1/25 FILEPATH: F:\MAVEN\HAMITON6 - PROJECTS\28901 - STATION ROAD\DRAWING\1 - ASHBORNE RESIDENTIAL\C400-STORMWATER.DWG



**LONGSECTION - CATCHMENT D1 - LINE 1**  
SCALE 1:1000 HORI & 1:200 VERTICAL @ A3



**LONGSECTION - CATCHMENT D1 - LINE 2**  
SCALE 1:1000 HORI & 1:200 VERTICAL @ A3



**LONGSECTION - CATCHMENT D1 - LINE 3**  
SCALE 1:1000 HORI & 1:200 VERTICAL @ A3

- Notes
- All works to be in accordance with Waikato Regional Infrastructure Technical Specifications.
  - Co-ordinates in terms of NZ Geodetic Datum Mt Eden 2000. Levels in terms of the New Zealand Vertical Datum 2016.
  - It is the contractors responsibility to locate all services that may be affected by his operations.
  - All concrete SW pipe to be installed in accordance with AS/NZS 3725:2007 for buried concrete pipes and AS/NZ 4058:2007 for precast concrete pipes (pressure and non-pressure) as stipulated in the RITS 2018
  - Approved hardfill is to be used in backfilling of all stormwater lines within the road reserve.
  - Heavy duty manhole lids and frames to be used in trafficked areas.
  - All catchpit leads shall be laid at 1% unless otherwise specified.
  - All pipes ≤ 375Ø to be PVC-U SN16 instead of RRRJ (concrete).
  - All concrete lines are to be Class 4 RCRRJ unless otherwise specified.
  - All lines to be abandoned shall be sealed at each end. Timing of all sealing to be coordinated with council staff.
  - Pipe lengths shown on plan are from upstream pipe invert to downstream pipe invert.

Legend  
 - - - - - EX GROUND LEVEL  
 ———— PROP GROUND LEVEL

A	FAST TRACK APP	MKS	11/2025
Rev	Description	By	Date
		MAVEN	05/2024
		MKS	11/2025
		MKS	11/2025
		DJM	11/2025

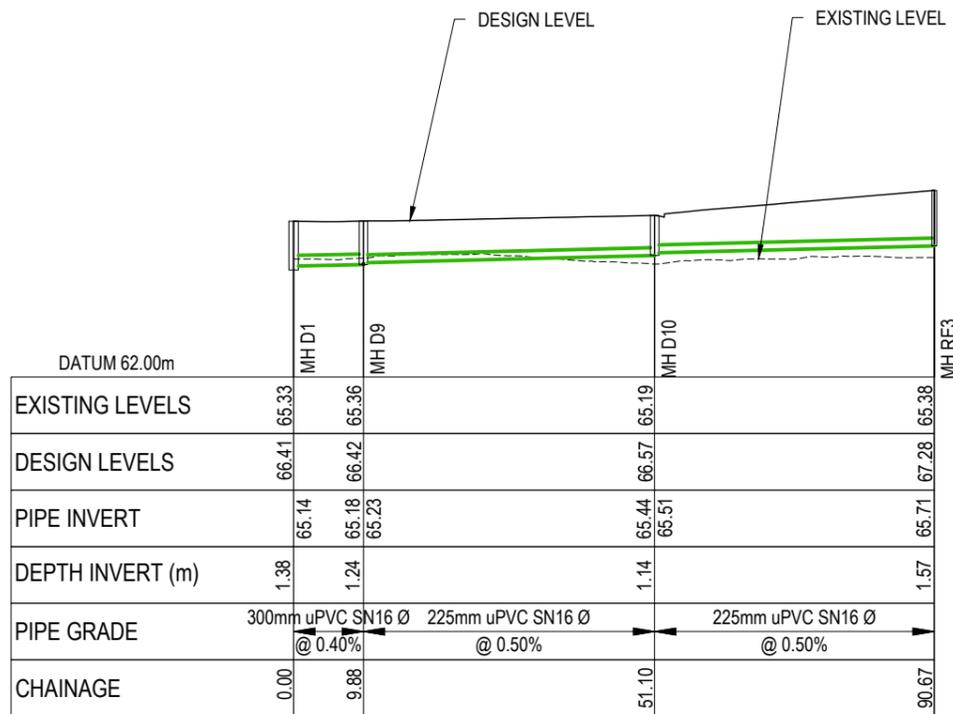
**Maven Associates**  
 09 571 0050  
 info@maven.co.nz  
 www.maven.co.nz  
 5 Owens Road, Epsom  
 Auckland 1023

Project  
**ASHBOURNE RESIDENTIAL FOR MATAMATA DEVELOPMENTS LTD**

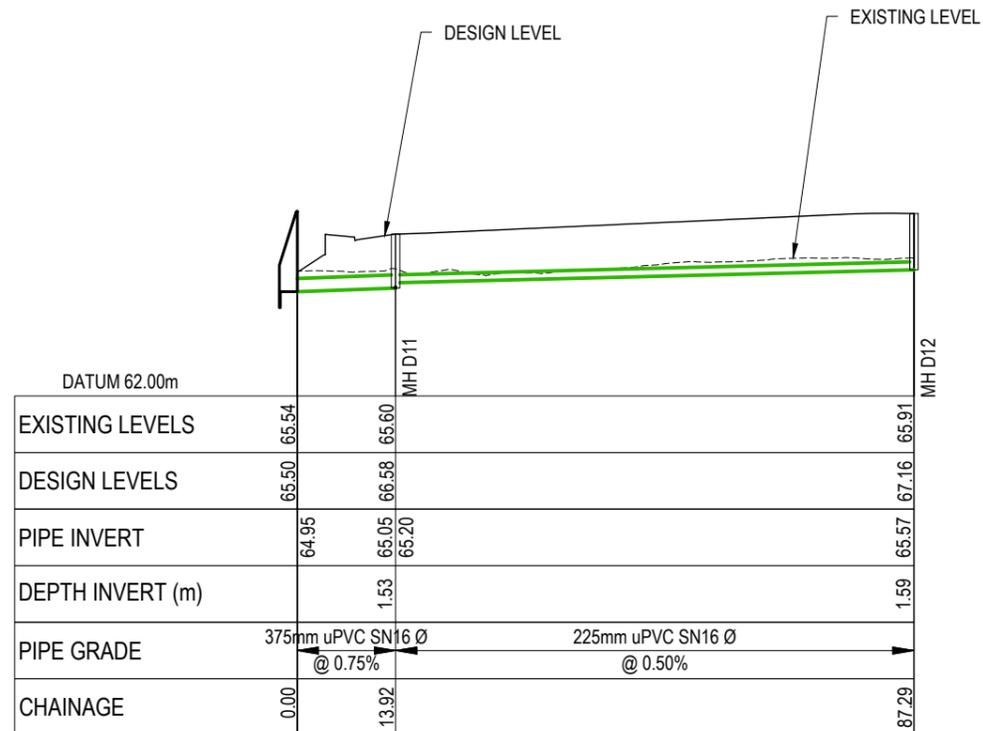
Title  
**PROPOSED STORMWATER LONGSECTIONS**

Project no.	289001
Scale	AS SHOWN
Cad file	C400-STORMWATER.DWG
Drawing no.	C400-21
Rev	<b>A</b>

**RESOURCE CONSENT**



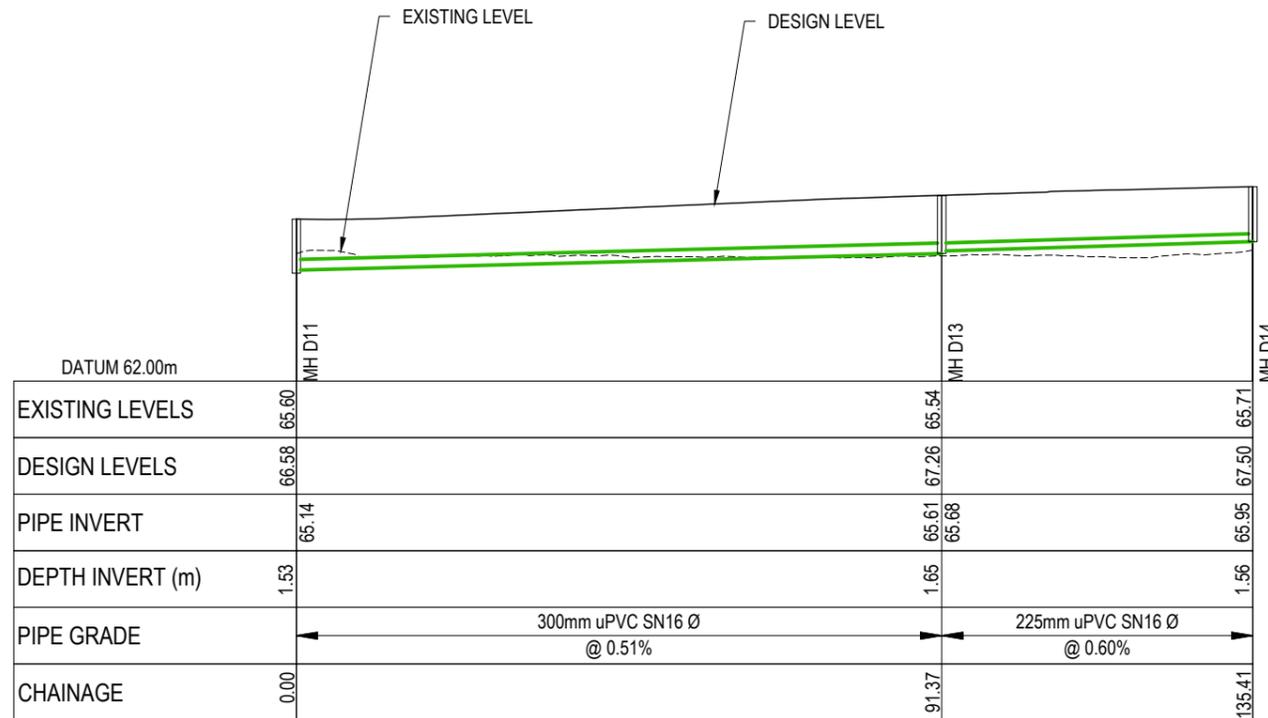
LONGSECTION - CATCHMENT D1 - LINE 4  
SCALE 1:1000 HORI & 1:200 VERTICAL @ A3



LONGSECTION - CATCHMENT D2 - LINE 1  
SCALE 1:1000 HORI & 1:200 VERTICAL @ A3

- Notes
- All works to be in accordance with Waikato Regional Infrastructure Technical Specifications.
  - Co-ordinates in terms of NZ Geodetic Datum Mt Eden 2000. Levels in terms of the New Zealand Vertical Datum 2016.
  - It is the contractors responsibility to locate all services that may be affected by his operations.
  - All concrete SW pipe to be installed in accordance with AS/NZS 3725:2007 for buried concrete pipes and AS/NZ 4058:2007 for precast concrete pipes (pressure and non-pressure) as stipulated in the RITS 2018
  - Approved hardfill is to be used in backfilling of all stormwater lines within the road reserve.
  - Heavy duty manhole lids and frames to be used in trafficked areas.
  - All catchpit leads shall be laid at 1% unless otherwise specified.
  - All pipes ≤ 375Ø to be PVC-U SN16 instead of RRRJ (concrete).
  - All concrete lines are to be Class 4 RCRRJ unless otherwise specified.
  - All lines to be abandoned shall be sealed at each end. Timing of all sealing to be coordinated with council staff.
  - Pipe lengths shown on plan are from upstream pipe invert to downstream pipe invert.

Legend  
 - - - - - EX GROUND LEVEL  
 ———— PROP GROUND LEVEL



LONGSECTION - CATCHMENT D2 - LINE 2  
SCALE 1:1000 HORI & 1:200 VERTICAL @ A3

Rev	Description	By	Date
A	FAST TRACK APP	MKS	11/2025
Survey	MAVEN		05/2024
Design	MKS		11/2025
Drawn	MKS		11/2025
Checked	DJM		11/2025

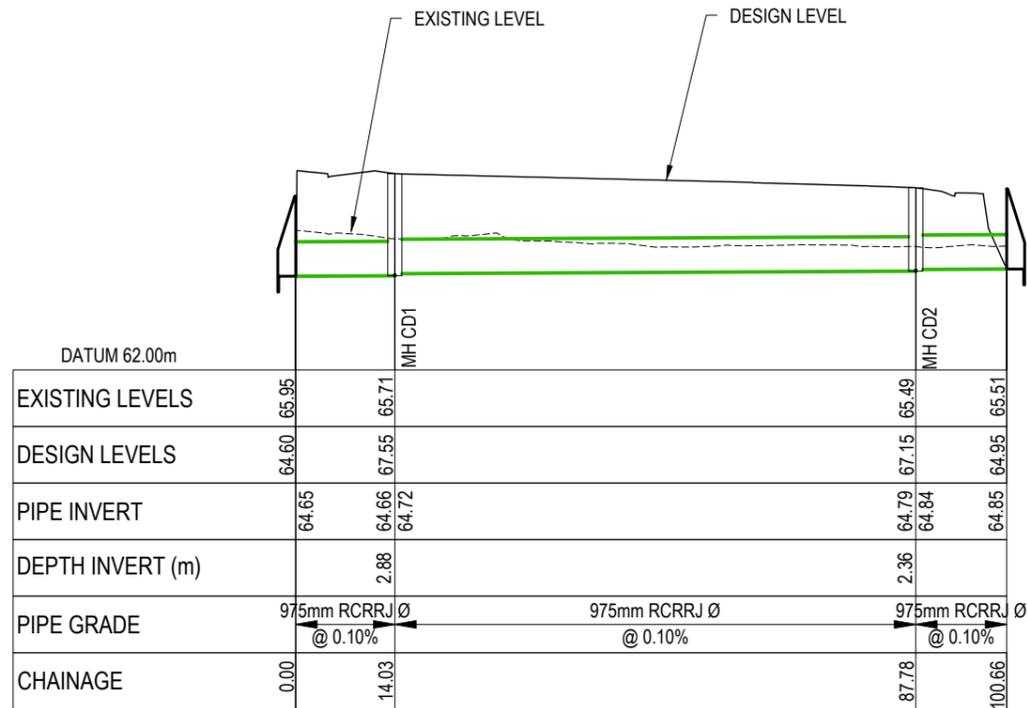
**M** Maven Associates  
 09 571 0050  
 info@maven.co.nz  
 www.maven.co.nz  
 5 Owens Road, Epsom  
 Auckland 1023

Project  
**ASHBOURNE  
 RESIDENTIAL  
 FOR  
 MATAMATA  
 DEVELOPMENTS LTD**

Title  
**PROPOSED  
 STORMWATER  
 LONGSECTIONS**

Project no.	289001
Scale	AS SHOWN
Cad file	C400-STORMWATER.DWG
Drawing no.	C400-22
Rev	<b>A</b>

RESOURCE CONSENT



LONGSECTION - CONNECTION C & D - LINE 1  
SCALE 1:1000 HORI & 1:200 VERTICAL @ A3

- Notes
- All works to be in accordance with Waikato Regional Infrastructure Technical Specifications.
  - Co-ordinates in terms of NZ Geodetic Datum Mt Eden 2000. Levels in terms of the New Zealand Vertical Datum 2016.
  - It is the contractors responsibility to locate all services that may be affected by his operations.
  - All concrete SW pipe to be installed in accordance with AS/NZS 3725:2007 for buried concrete pipes and AS/NZ 4058:2007 for precast concrete pipes (pressure and non-pressure) as stipulated in the RITS 2018
  - Approved hardfill is to be used in backfilling of all stormwater lines within the road reserve.
  - Heavy duty manhole lids and frames to be used in trafficked areas.
  - All catchpit leads shall be laid at 1% unless otherwise specified.
  - All pipes ≤ 375Ø to be PVC-U SN16 instead of RRJ (concrete).
  - All concrete lines are to be Class 4 RCRRJ unless otherwise specified.
  - All lines to be abandoned shall be sealed at each end. Timing of all sealing to be coordinated with council staff.
  - Pipe lengths shown on plan are from upstream pipe invert to downstream pipe invert.

Legend  
 - - - - - EX GROUND LEVEL  
 ———— PROP GROUND LEVEL

Rev	Description	By	Date
A	FAST TRACK APP RFI	MKS	11/2025
Survey	MAVEN		05/2024
Design	MKS		11/2025
Drawn	MKS		11/2025
Checked	DJM		11/2025

**Maven Associates**  
 09 571 0050  
 info@maven.co.nz  
 www.maven.co.nz  
 5 Owens Road, Epsom  
 Auckland 1023

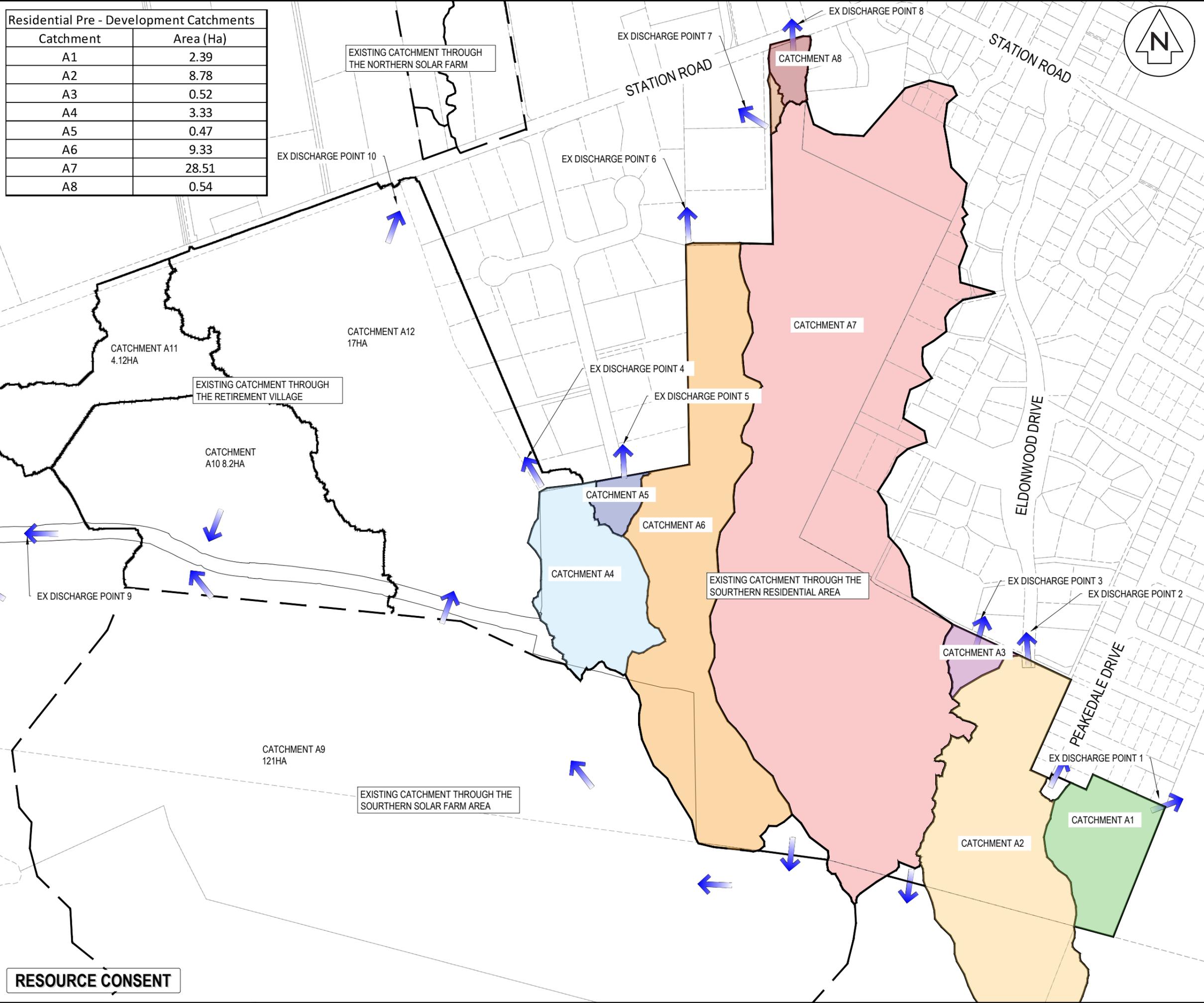
Project  
**ASHBOURNE  
 RESIDENTIAL  
 FOR  
 MATAMATA  
 DEVELOPMENTS LTD**

Title  
**PROPOSED  
 STORMWATER  
 LONGSECTIONS**

Project no.	289001
Scale	AS SHOWN
Cad file	C400-STORMWATER.DWG
Drawing no.	C400-23
Rev	<b>A</b>

**RESOURCE CONSENT**

Residential Pre - Development Catchments	
Catchment	Area (Ha)
A1	2.39
A2	8.78
A3	0.52
A4	3.33
A5	0.47
A6	9.33
A7	28.51
A8	0.54



Rev	Description	By	Date
B	FAST TRACK APP	RK	11/2025
A	FAST TRACK APP	RK	04/2025

**M** Maven Associates  
 09 571 0050  
 info@maven.co.nz  
 www.maven.co.nz  
 5 Owens Road, Epsom  
 Auckland 1023

Project  
**ASHBOURNE  
 RESIDENTIAL  
 FOR  
 MATAMATA  
 DEVELOPMENTS LTD**

Title  
**PRE DEVELOPMENT  
 CATCHMENT DISCHARGE  
 PLAN - RES/RV & S.SF**

Project no.	289001
Scale	1:5000 @ A3
Cad file	C410-SW CATCHMENTS.DWG
Drawing no.	C410-1
Rev	<b>B</b>

**RESOURCE CONSENT**

DATE: 11/19/25 FILEPATH: F:\MVEN\HAMITON6 PROJECTS\289001 - STATION ROAD\ DRAWING\1 - ASHBORNE RESIDENTIAL\C410-SW CATCHMENTS.DWG



PRE DEVELOPMENT 10 YEAR= 0.52 m<sup>3</sup>/s  
 PRE DEVELOPMENT 10 YEAR (80%)=0.416 m<sup>3</sup>/s  
 POST DEVELOPMENT 10 YEAR=0.356 m<sup>3</sup>/s  
 STORMWATER OUTFLOW INTO EXISTING DRAIN.

PRE DEVELOPMENT 10 YEAR= 4.22 m<sup>3</sup>/s  
 PRE DEVELOPMENT 10 YEAR (80%)=3.3 m<sup>3</sup>/s  
 POST DEVELOPMENT 10 YEAR=0.85 m<sup>3</sup>/s  
 STORMWATER OUTFLOW INTO EXISTING DRAIN.

POST DEVELOPMENT DISCHARGE POINT WITH FLOW CONTROL INTO WAITOA RIVER

Residential Post - Deveopemnt Catchments	
Catchment	Area (Ha)
A	10.09
INFLOW TO A	3.28
B	19.50
C	6.00
D	6.36
INFLOW TO D	6.23

Legend  
 PR OVERLAND FLOWPATH  
 PR HIGH FLOW BYPASS DIRECTION

Rev	Description	By	Date
B	FAST TRACK APP	MKS	11/2025
A	FAST TRACK APP	RK	04/2025

Survey	By	Date
MAVEN	MAVEN	05/2024

Design	By	Date
MKS	MKS	02/2025

Drawn	By	Date
MKS	MKS	02/2025

Checked	By	Date
DJM	DJM	02/2025



Project  
**ASHBOURNE RESIDENTIAL FOR MATAMATA DEVELOPMENTS LTD**

Title  
**POST DEVELOPMENT 10 YR CATCHMENT DISCHARGE POINTS - RES**

Project no.	289001
Scale	1:5000 @ A3
Cad file	C410- SW CATCHMENTS.DWG
Drawing no.	C410-2
Rev	<b>B</b>

**RESOURCE CONSENT**

DATE: 11/19/25 FILEPATH: F:\MVEN\HAMITON6 - PROJECTS\289001 - STATION ROAD\DRAWING\1 - ASHBOURNE RESIDENTIAL\C410- SW CATCHMENTS.DWG



PRE DEVELOPMENT 100 YEAR= 1.06 m<sup>3</sup>/s  
 PRE DEVELOPMENT 100 YEAR (80%)=0.848 m<sup>3</sup>/s  
 POST DEVELOPMENT 100 YEAR=0.827 m<sup>3</sup>/s  
 STORMWATER OUTFLOW INTO EXISTING DRAIN.

PRE DEVELOPMENT 100 YEAR (80% CATCHMENT B)=9.19 m<sup>3</sup>/s  
 POST DEVELOPMENT 100 YEAR=7.6 m<sup>3</sup>/s  
 STORMWATER OUTFLOW INTO EXISTING DRAIN.

POST DEVELOPMENT DISCHARGE POINT WITH FLOW CONTROL INTO WAITOA RIVER

Residential Post - Deveopemnt Catchments	
Catchment	Area (Ha)
A	10.09
INFLOW TO A	3.28
B	19.50
C	6.00
D	6.36
INFLOW TO D	6.23

Legend  
 PR OVERLAND FLOWPATH  
 PR HIGH FLOW BYPASS DIRECTION

Rev	Description	By	Date
A	FAST TRACK APP	RK	11/2025
Survey	MAVEN		05/2024
Design	MKS		11/2025
Drawn	MKS		11/2025
Checked	DJM		11/2025

**M** Maven Associates  
 09 571 0050  
 info@maven.co.nz  
 www.maven.co.nz  
 5 Owens Road, Epsom  
 Auckland 1023

Project  
**ASHBOURNE RESIDENTIAL FOR MATAMATA DEVELOPMENTS LTD**

Title  
**POST DEVELOPMENT 100 YR CATCHMENT DISCHARGE POINTS - RES**

Project no.	289001
Scale	1:5000 @ A3
Cad file	C410-SW CATCHMENTS.DWG
Drawing no.	C410-3
Rev	<b>A</b>

**RESOURCE CONSENT**

DATE: 11/19/25 FILEPATH: F:\MVEN\HAMITON6 PROJECTS\289001 - STATION ROAD\ DRAWING\1 - ASHBOURNE RESIDENTIAL\C410-SW CATCHMENTS.DWG



PROPOSED NORTHERN SOLAR FARM

STATION ROAD

STATION ROAD

CATCHMENT D:  
6.36HA

CATCHMENT C:  
6.00HA

HIGHGROVE AVENUE

BALANCE LOT

PROPOSED RETIREMENT VILLAGE

PROPOSED GREENWAY

CATCHMENT B: 19.72HA

PROPOSED SOUTHERN SOLAR FARM

CATCHMENT A: 12.66HA

Notes

1. All works to be in accordance with Waikato Regional Infrastructure Technical Specifications.
2. Co-ordinates in terms of NZ Geodetic Datum Mount Eden 2000.
3. Levels in terms of the New Zealand Vertical Datum 2016.
4. It is the contractors responsibility to locate all services that may be affected by his operations.
5. Approved hardfill is to be used in backfilling of all stormwater lines within the road reserve.
6. All catchpit leads shall be laid at 1% unless otherwise specified.
7. All lines to be abandoned shall be sealed at each end. Timing of all sealing to be coordinated with council staff.

Legend

- EX BOUNDARY
- CATCHMENT BDY
- PROP LOT BOUNDARY
- CATCHMENT A
- CATCHMENT B
- CATCHMENT C
- CATCHMENT D

D	FAST TRACK APP	MKS	11/2025
C	FAST TRACK APP	MKS	05/2025
B	FAST TRACK APP	MKS	04/2025
A	FAST TRACK APP	MKS	04/2025
Rev	Description	By	Date
Survey	MAVEN		05/2024
Design	MKS		02/2025
Drawn	MKS		02/2025
Checked	DJM		05/2025



Project  
**ASHBOURNE  
 RESIDENTIAL  
 FOR  
 MARAMARA  
 DEVELOPMENTS LTD**

Title  
**PROPOSED STORMWATER  
 BASIN CATCHMENT  
 OVERVIEW PLAN**

Project no.	289001
Scale	1:6000 @ A3
Cad file	C420-SW BASIN CATCHMENTS.DWG
Drawing no.	C420
Rev	<b>D</b>

RESOURCE CONSENT



PROPOSED STORMWATER BASIN A  
REFER TO DETAIL C440-1

PEAKEDALE DRIVE

CATCHMENT A: 12.66HA

LOT 3 DP 463448  
72A HINUERA ROAD

LOT 76 DP 597679

LOT 1 DP 463448  
72B HINUERA ROAD

- Notes
1. All works to be in accordance with Waikato Regional Infrastructure Technical Specifications.
  2. Co-ordinates in terms of NZ Geodetic Datum Mount Eden 2000.
  3. Levels in terms of the New Zealand Vertical Datum 2016.
  4. It is the contractors responsibility to locate all services that may be affected by his operations.
  5. Approved hardfill is to be used in backfilling of all stormwater lines within the road reserve.
  6. All catchpit leads shall be laid at 1% unless otherwise specified.
  7. All lines to be abandoned shall be sealed at each end. Timing of all sealing to be coordinated with council staff.

Legend

	EX BOUNDARY
	CATCHMENT BDY
	PROP LOT BOUNDARY
	CATCHMENT A
	CATCHMENT B
	CATCHMENT C
	CATCHMENT D

C	FAST TRACK APP	MKS	05/2025
B	FAST TRACK APP	MKS	04/2025
A	FAST TRACK APP	MKS	04/2025
Rev	Description	By	Date
		By	Date
Survey	MAVEN		05/2024
Design	MKS		02/2025
Drawn	MKS		02/2025
Checked	DJM		04/2025

**Maven Associates**  
09 571 0050  
info@maven.co.nz  
www.maven.co.nz  
5 Owens Road, Epsom  
Auckland 1023

Project  
**ASHBOURNE  
RESIDENTIAL  
FOR  
MARAMARA  
DEVELOPMENTS LTD**

Title  
**PROPOSED STORMWATER  
BASIN CATCHMENT  
PLAN A**

Project no.	289001		
Scale	1:2000 @ A3		
Cad file	C420-SW BASIN CATCHMENTS.DWG		
Drawing no.	C420-1	Rev	<b>C</b>

**RESOURCE CONSENT**

DATE: 11/19/25 FILEPATH: F:\MVEN\HAMITON6 PROJECTS\289001 - STATION ROAD\DRAWING\1 - ASHBOURNE RESIDENTIAL\LOGO\SW BASIN CATCHMENTS.DWG



PROPOSED  
RETIREMENT VILLAGE

PROPOSED GREENWAY

PROPOSED STORMWATER BASIN B & GREENWAY  
REFER TO C490 DRAWING

PROPOSED SOUTHERN  
SOLAR FARM

CATCHMENT B: 19.72HA

ELDONWOOD DRIVE

- Notes
1. All works to be in accordance with Waikato Regional Infrastructure Technical Specifications.
  2. Co-ordinates in terms of NZ Geodetic Datum Mount Eden 2000.
  3. Levels in terms of the New Zealand Vertical Datum 2016.
  4. It is the contractors responsibility to locate all services that may be affected by his operations.
  5. Approved hardfill is to be used in backfilling of all stormwater lines within the road reserve.
  6. All catchpit leads shall be laid at 1% unless otherwise specified.
  7. All lines to be abandoned shall be sealed at each end. Timing of all sealing to be coordinated with council staff.

Legend

	EX BOUNDARY
	CATCHMENT BDY
	PROP LOT BOUNDARY
	CATCHMENT A
	CATCHMENT B
	CATCHMENT C
	CATCHMENT D

C	FAST TRACK APP	MKS	05/2025
B	FAST TRACK APP	MKS	04/2025
A	FAST TRACK APP	MKS	04/2025
Rev	Description	By	Date
Survey	MAVEN		05/2024
Design	MKS		02/2025
Drawn	MKS		02/2025
Checked	DJM		04/2025



Project  
**ASHBOURNE  
RESIDENTIAL  
FOR  
MARAMARA  
DEVELOPMENTS LTD**

Title  
**PROPOSED STORMWATER  
BASIN CATCHMENT  
PLAN B**

Project no.	289001		
Scale	1:2500 @ A3		
Cad file	C420-SW BASIN CATCHMENTS.DWG		
Drawing no.	C420-2	Rev	<b>C</b>

LOT 3 DP 463448  
72A HINUERA ROAD

**RESOURCE CONSENT**



LOT 5 DP 365568

PROPOSED STORMWATER BASIN C  
REFER TO DETAIL C440-3

CATCHMENT C: 6.00HA

HIGHGROVE AVENUE

Notes

1. All works to be in accordance with Waikato Regional Infrastructure Technical Specifications.
2. Co-ordinates in terms of NZ Geodetic Datum Mount Eden 2000.
3. Levels in terms of the New Zealand Vertical Datum 2016.
4. It is the contractors responsibility to locate all services that may be affected by his operations.
5. Approved hardfill is to be used in backfilling of all stormwater lines within the road reserve.
6. All catchpit leads shall be laid at 1% unless otherwise specified.
7. All lines to be abandoned shall be sealed at each end. Timing of all sealing to be coordinated with council staff.

Legend

- EX BOUNDARY
- CATCHMENT BDY
- PROP LOT BOUNDARY
- CATCHMENT A
- CATCHMENT B
- CATCHMENT C
- CATCHMENT D

D	FAST TRACK APP	MKS	11/2025
C	FAST TRACK APP	MKS	05/2025
B	FAST TRACK APP	MKS	04/2025
A	FAST TRACK APP	MKS	04/2025
Rev	Description	By	Date
		By	Date
Survey	MAVEN		05/2024
Design	MKS		02/2025
Drawn	MKS		02/2025
Checked	DJM		04/2025

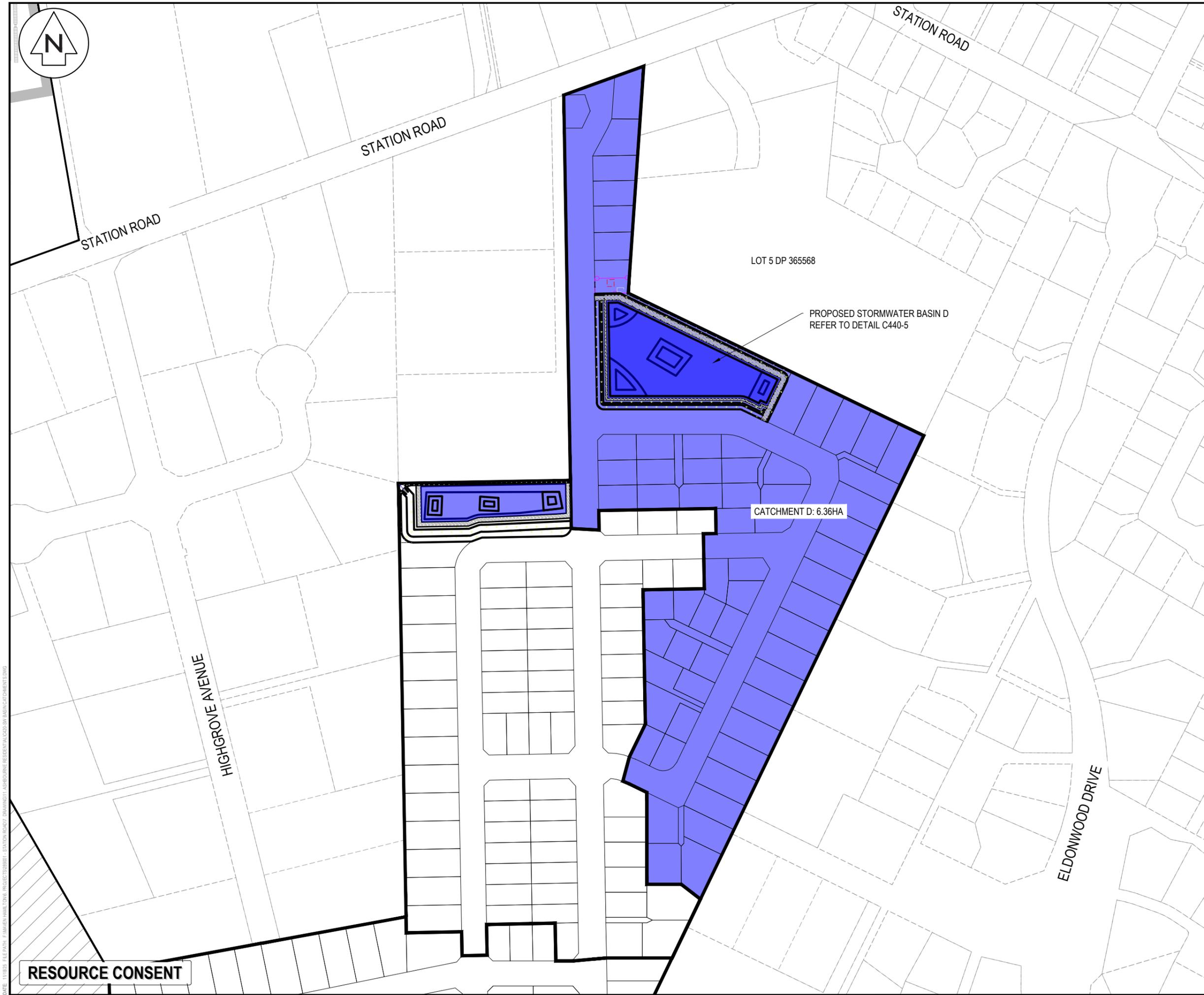
**Maven Associates**  
 09 571 0050  
 info@maven.co.nz  
 www.maven.co.nz  
 5 Owens Road, Epsom  
 Auckland 1023

Project  
**ASHBOURNE  
 RESIDENTIAL  
 FOR  
 MARAMARA  
 DEVELOPMENTS LTD**

Title  
**PROPOSED STORMWATER  
 BASIN CATCHMENT  
 PLAN C**

Project no.	289001
Scale	1:2000 @ A3
Cad file	C420-SW BASIN CATCHMENTS.DWG
Drawing no.	C420-3
Rev	<b>D</b>

RESOURCE CONSENT



- Notes
1. All works to be in accordance with Waikato Regional Infrastructure Technical Specifications.
  2. Co-ordinates in terms of NZ Geodetic Datum Mount Eden 2000.
  3. Levels in terms of the New Zealand Vertical Datum 2016.
  4. It is the contractors responsibility to locate all services that may be affected by his operations.
  5. Approved hardfill is to be used in backfilling of all stormwater lines within the road reserve.
  6. All catchpit leads shall be laid at 1% unless otherwise specified.
  7. All lines to be abandoned shall be sealed at each end. Timing of all sealing to be coordinated with council staff.

Legend

	EX BOUNDARY
	CATCHMENT BDY
	PROP LOT BOUNDARY
	CATCHMENT A
	CATCHMENT B
	CATCHMENT C
	CATCHMENT D

D	FAST TRACK APP	MKS	11/2025
C	FAST TRACK APP	MKS	05/2025
B	FAST TRACK APP	MKS	04/2025
A	FAST TRACK APP	MKS	04/2025
Rev	Description	By	Date

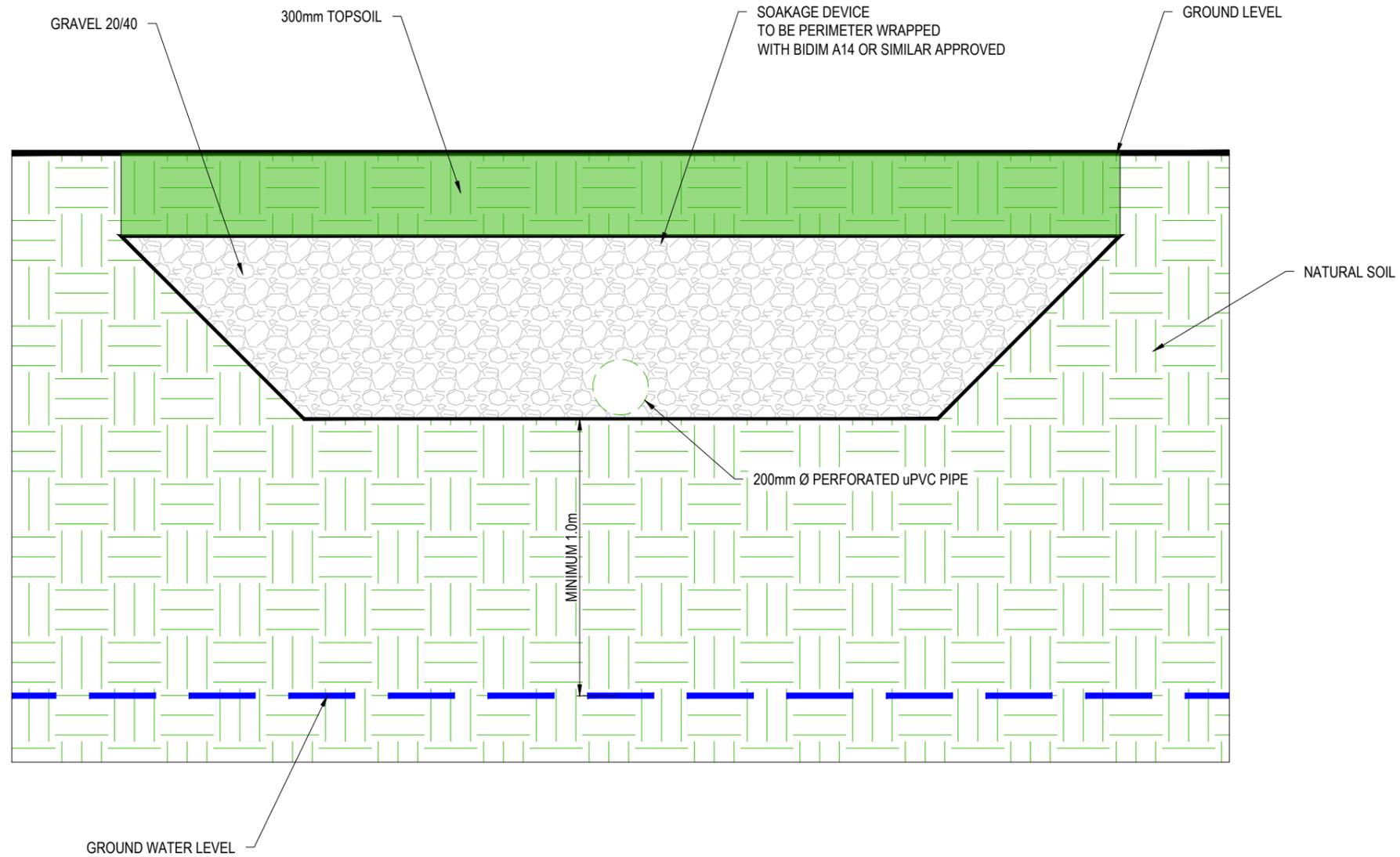
Project  
**ASHBOURNE  
 RESIDENTIAL  
 FOR  
 MARAMARA  
 DEVELOPMENTS LTD**

Title  
**PROPOSED STORMWATER  
 BASIN CATCHMENT  
 PLAND D**

Project no.	289001
Scale	1:2500 @ A3
Cad file	C420-SW BASIN CATCHMENTS.DWG
Drawing no.	C420-4
Rev	<b>D</b>

DATE: 11/19/25 FILEPATH: F:\MVEN\HAMTON6 PROJECTS\289001 - STATION ROAD\DRAWING\1 - ASHBOURNE RESIDENTIAL\0420-SW BASIN CATCHMENTS.DWG

**RESOURCE CONSENT**



SOAKAGE DEVICE - TYPICAL CROSS SECTION  
SCALE: 1:20 @ A3

Notes

1. All works to be in accordance with Waikato Regional Infrastructure Technical Specifications.
2. Co-ordinates in terms of NZ Geodetic Datum Mount Eden 2000.
3. Levels in terms of the New Zealand Vertical Datum 2016.
4. It is the contractors responsibility to locate all services that may be affected by his operations.
5. Approved hardfill is to be used in backfilling of all stormwater lines within the road reserve.
6. All catchpit leads shall be laid at 1% unless otherwise specified.
7. All lines to be abandoned shall be sealed at each end. Timing of all sealing to be coordinated with council staff.

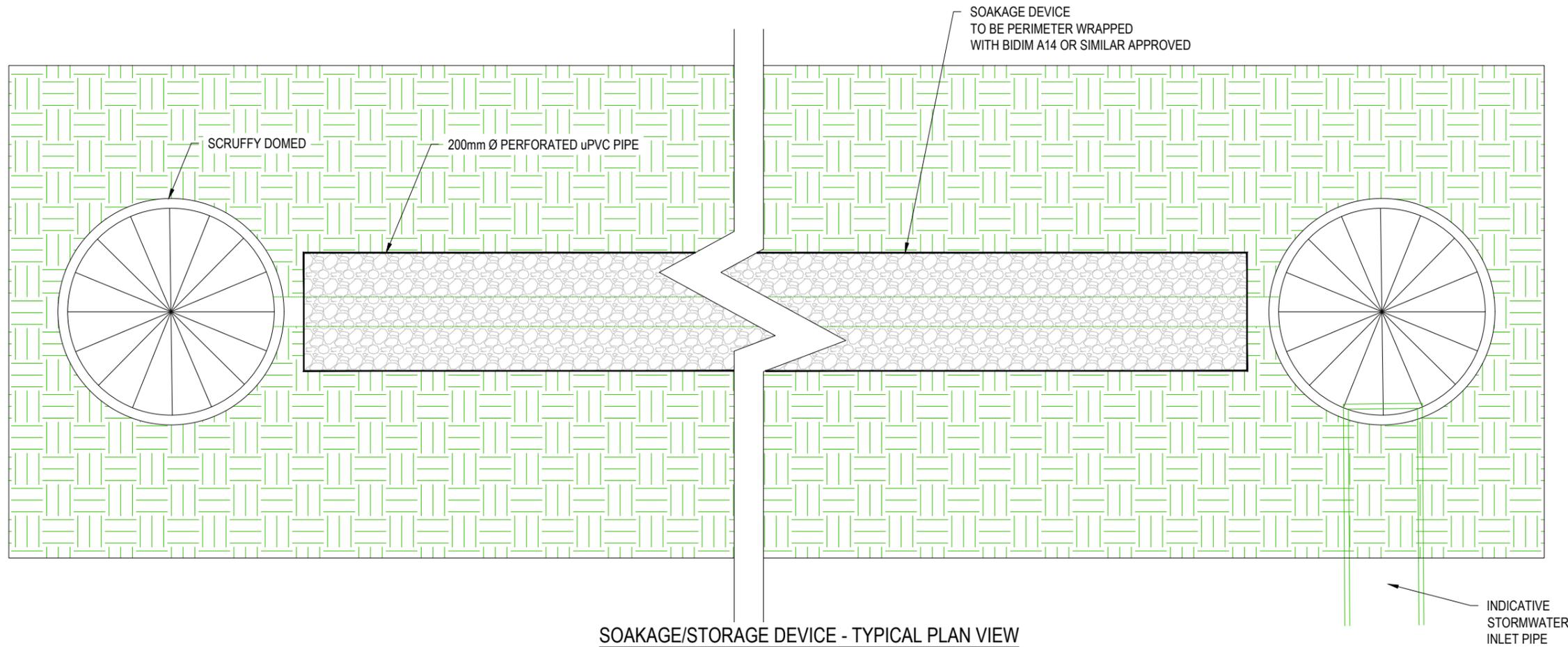
Rev	Description	By	Date
A	FAST TRACK APP	MKS	04/2025
Survey	MAVEN		05/2024
Design	MKS		02/2024
Drawn	MKS		02/2024
Checked	DJM		04/2025

**M** Maven Waikato  
07 242 0601  
info@maven.co.nz  
www.maven.co.nz  
Level 1 286 Victoria Street, Hamilton  
New Zealand

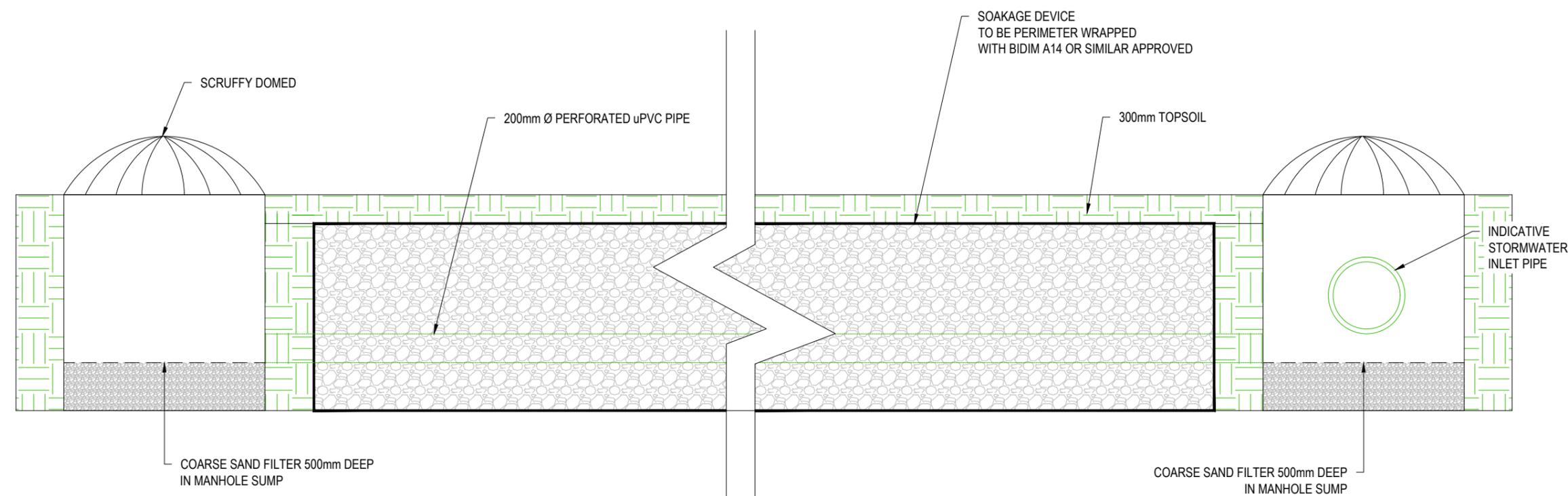
Project  
**ASHBOURNE  
RESIDENTIAL  
FOR  
MATAMATA  
DEVELOPMENTS**

Title  
**PROPOSED  
SOAKAGE DEVICE  
CROSS SECTION**

Project no.	289001
Scale	1:20 @ A3
Cad file	C430-SW DEVICE DETAILS.DWG
Drawing no.	C430-1
Rev	<b>A</b>



SOAKAGE/STORAGE DEVICE - TYPICAL PLAN VIEW  
SCALE: 1:50 @ A3



SOAKAGE DEVICE - TYPICAL LONGSECTION  
SCALE: 1:50 @ A3

- Notes
1. All works to be in accordance with Waikato Regional Infrastructure Technical Specifications.
  2. Co-ordinates in terms of NZ Geodetic Datum Mount Eden 2000.
  3. Levels in terms of the New Zealand Vertical Datum 2016.
  4. It is the contractors responsibility to locate all services that may be affected by his operations.
  5. Approved hardfill is to be used in backfilling of all stormwater lines within the road reserve.
  6. All catchpit leads shall be laid at 1% unless otherwise specified.
  7. All lines to be abandoned shall be sealed at each end. Timing of all sealing to be coordinated with council staff.

B	FAST TRACK APP	MKS	05/2025
A	FAST TRACK APP	MKS	04/2025
Rev	Description	By	Date
		By	Date
Survey	MAVEN		05/2024
Design	MKS		02/2024
Drawn	MKS		02/2024
Checked	DJM		05/2025

**M** Maven Waikato  
07 242 0601  
info@maven.co.nz  
www.maven.co.nz  
Level 1 286 Victoria Street, Hamilton  
New Zealand

Project  
**ASHBOURNE  
RESIDENTIAL  
FOR  
MATAMATA  
DEVELOPMENTS**

Title  
**PROPOSED  
SOAKAGE DEVICE  
CROSS SECTION**

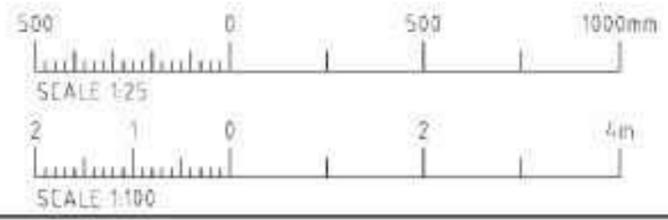
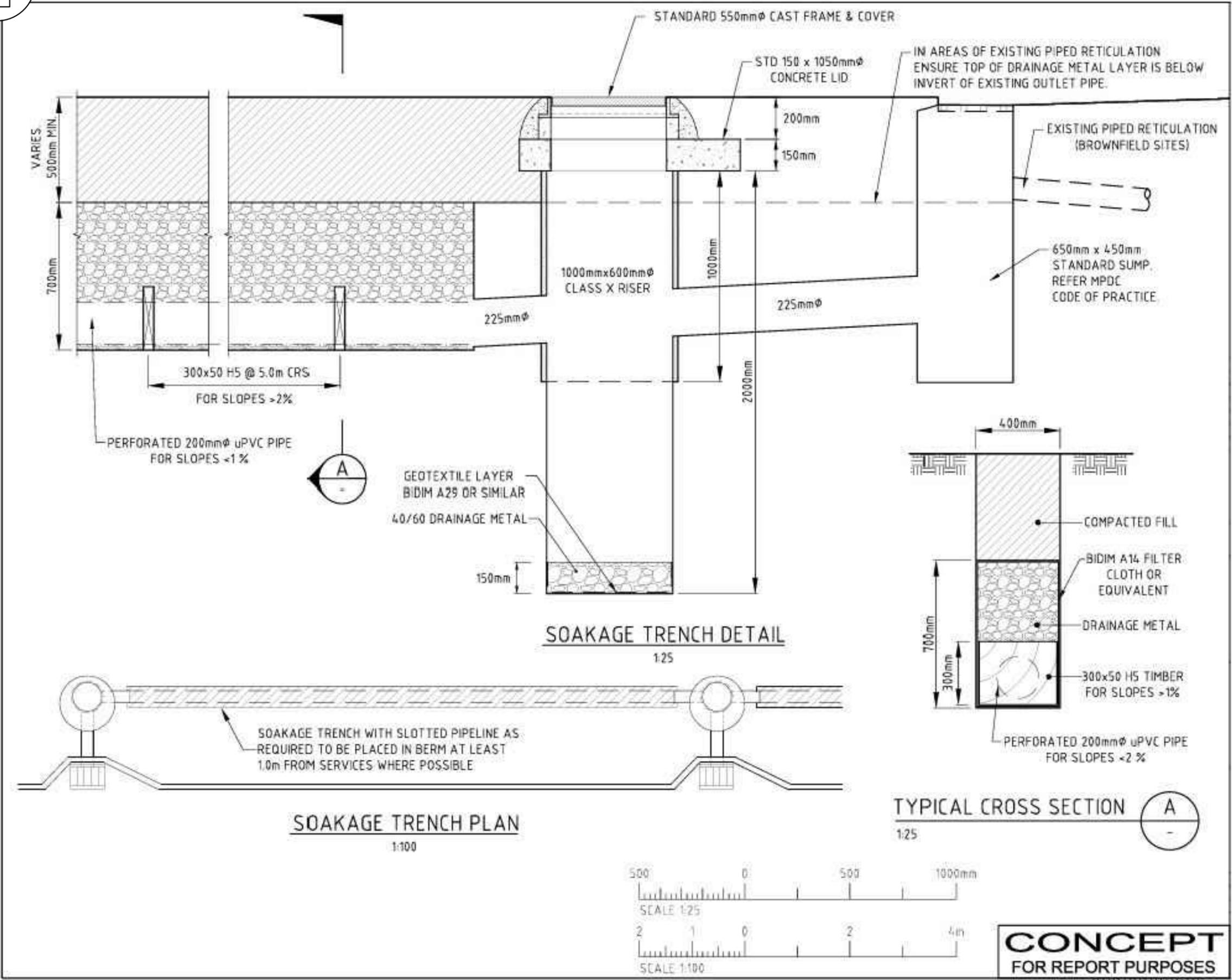
Project no.	289001
Scale	AS SHOWN
Cad file	C430-SW DEVICE DETAILS.DWG
Drawing no.	C430-2
Rev	<b>B</b>

DATE: 11/1/25 FILEPATH: F:\MVEN\HAM1016 PROJECTS\289001 - STATION ROAD\7 DRAWING\1 - ASHBOURNE RESIDENTIAL\SOAKAGE DEVICE DETAILS.DWG

**RESOURCE CONSENT**



SOAKAGE TRENCH DETAIL PLAN DERIVED FROM  
MPDC SOAKAGE DESIGN PROCEDURES AND GUIDELINES  
- APPENDIX C



Rev	Description	By	Date
A	FAST TRACK APP	MKS	04/2025
Survey	MAVEN		05/2024
Design	MKS		11/2024
Drawn	MKS		11/2024
Checked	DJM		04/2025

**M** Maven Waikato  
07 242 0601  
info@maven.co.nz  
www.maven.co.nz  
Level 1 286 Victoria Street, Hamilton  
New Zealand

Project  
**ASHBOURNE  
RESIDENTIAL  
FOR  
MATAMATA  
DEVELOPMENTS**

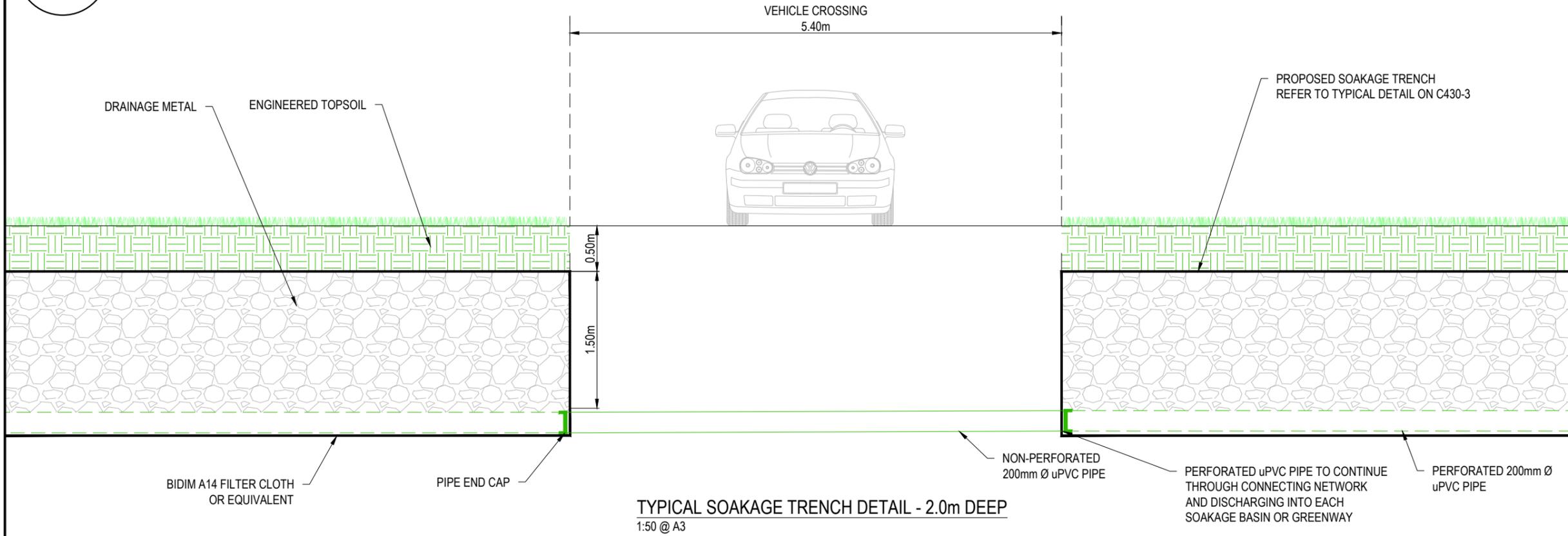
Title  
**MPDC  
SOAKAGE TRENCH  
DETAIL PLAN**

Project no.	289001
Scale	-
Cad file	C430-SW DEVICE DETAILS.DWG
Drawing no.	C430-3
Rev	<b>A</b>

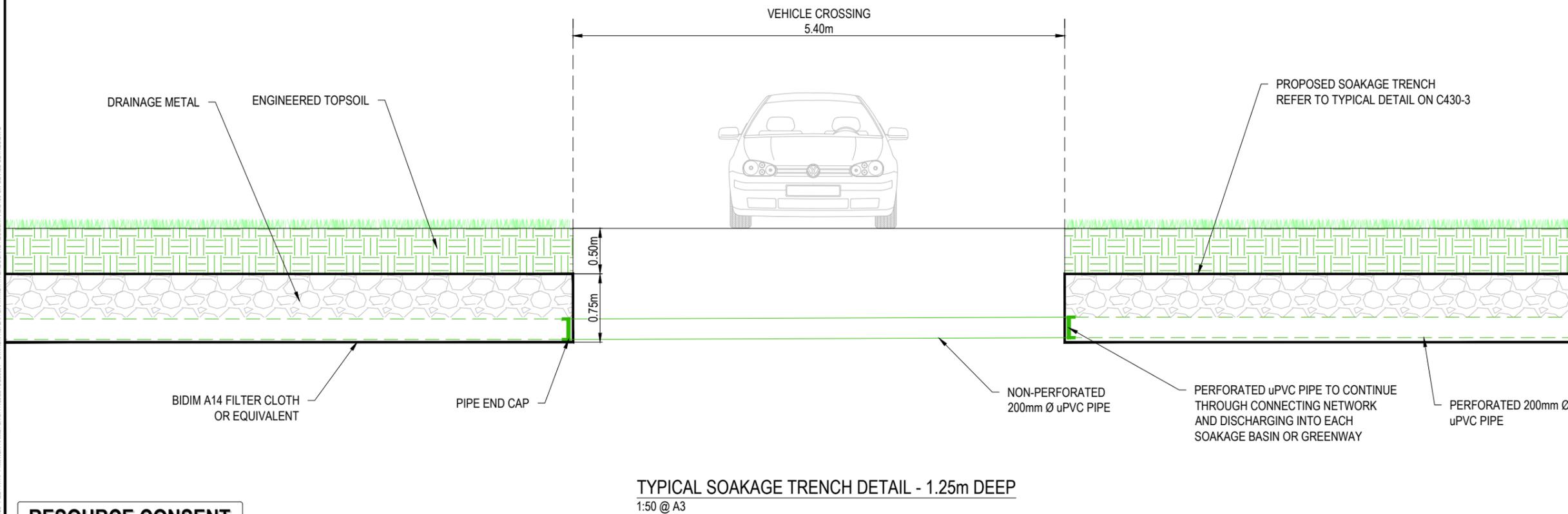
DATE: 11/1/25 FILE PATH: F:\MVEN\HAMILTON\6 PROJECTS\289001 - STATION ROAD\ DRAWING\1 - ASHBOURNE RESIDENTIAL\03\SW DEVICE DETAILS.DWG

**RESOURCE CONSENT**

TYPICAL SOAKAGE TRENCH - DETAIL PLAN  
SCALE: N.T.S



**TYPICAL SOAKAGE TRENCH DETAIL - 2.0m DEEP**  
1:50 @ A3



**TYPICAL SOAKAGE TRENCH DETAIL - 1.25m DEEP**  
1:50 @ A3

- Notes
1. All works to be in accordance with Waikato Regional Infrastructure Technical Specifications.
  2. Co-ordinates in terms of NZ Geodetic Datum Mount Eden 2000.
  3. Levels in terms of the New Zealand Vertical Datum 2016.
  4. It is the contractors responsibility to locate all services that may be affected by his operations.
  5. Approved hardfill is to be used in backfilling of all stormwater lines within the road reserve.
  6. All catchpit leads shall be laid at 1% unless otherwise specified.
  7. All lines to be abandoned shall be sealed at each end. Timing of all sealing to be coordinated with council staff.

Rev	Description	By	Date
B	FAST TRACK APP	MKS	11/2025
A	FAST TRACK APP	MKS	04/2025
Survey	MAVEN		05/2024
Design	MKS		12/2024
Drawn	MKS		12/2024
Checked	DJM		04/2025



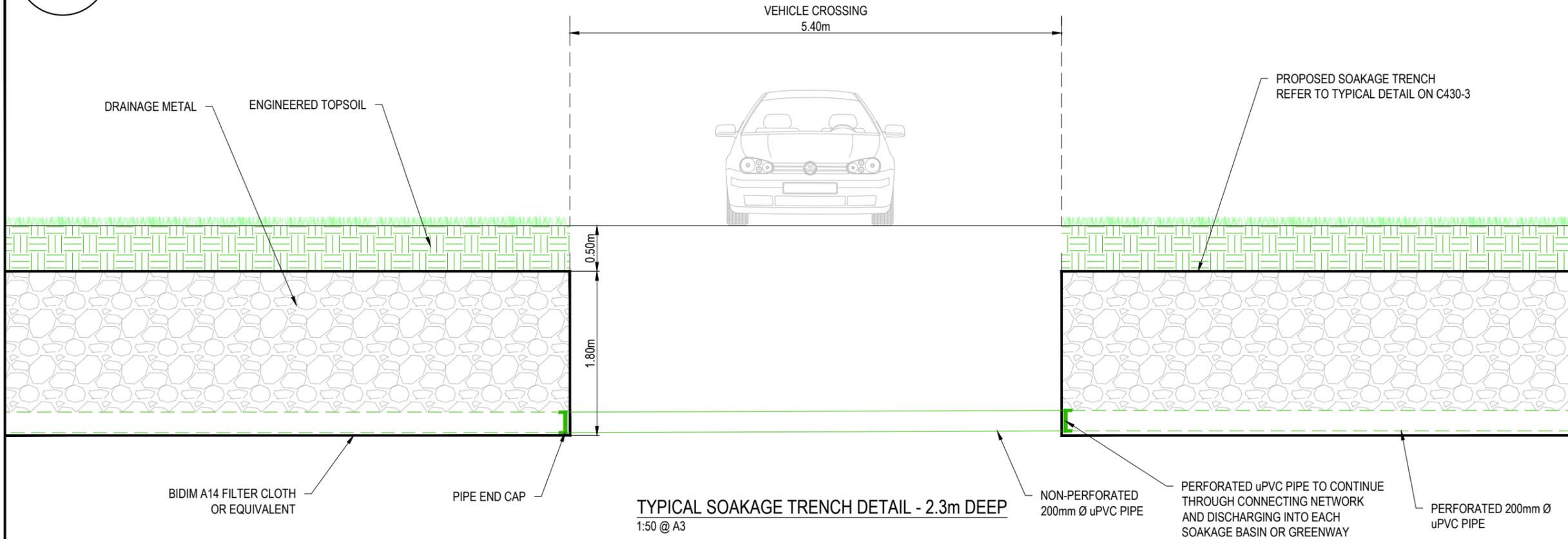
Project  
**ASHBOURNE  
RESIDENTIAL  
FOR  
MATAMATA  
DEVELOPMENTS**

Title  
**ROADSIDE TYPICAL  
SOAKAGE TRENCH  
DETAILS**

Project no.	289001
Scale	AS SHOWN
Cad file	C430-SW DEVICE DETAILS.DWG
Drawing no.	C430-4
Rev	<b>B</b>

DATE: 11/1/25 FILEPATH: F:\MVEN\HAMILTON6 - PROJECTS\89001 - STATION ROAD\7 DRAWING\1 - ASHBOURNE RESIDENTIAL\0430-SW DEVICE DETAILS.DWG

**RESOURCE CONSENT**



- Notes
1. All works to be in accordance with Waikato Regional Infrastructure Technical Specifications.
  2. Co-ordinates in terms of NZ Geodetic Datum Mount Eden 2000.
  3. Levels in terms of the New Zealand Vertical Datum 2016.
  4. It is the contractors responsibility to locate all services that may be affected by his operations.
  5. Approved hardfill is to be used in backfilling of all stormwater lines within the road reserve.
  6. All catchpit leads shall be laid at 1% unless otherwise specified.
  7. All lines to be abandoned shall be sealed at each end. Timing of all sealing to be coordinated with council staff.

Rev	Description	By	Date
A	FAST TRACK APP	MKS	11/2025
Survey	MAVEN		05/2024
Design	MKS		11/2025
Drawn	MKS		11/2025
Checked	DJM		11/2025

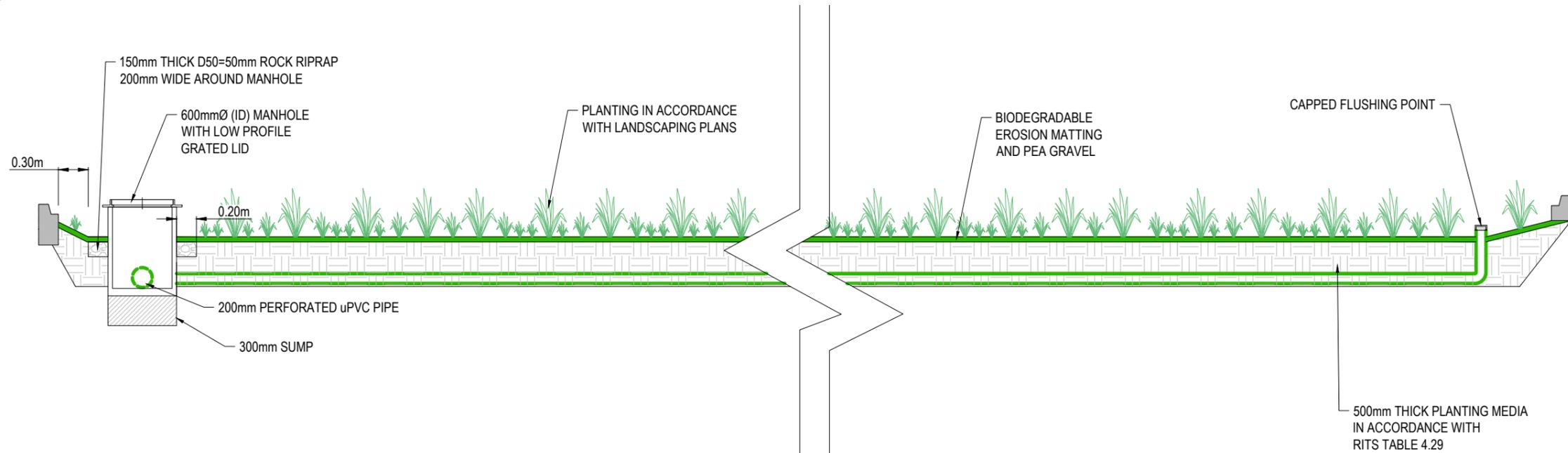
**M** Maven Waikato  
 07 242 0601  
 info@maven.co.nz  
 www.maven.co.nz  
 Level 1 286 Victoria Street, Hamilton  
 New Zealand

Project  
**ASHBOURNE  
 RESIDENTIAL  
 FOR  
 MATAMATA  
 DEVELOPMENTS**

Title  
**ROADSIDE TYPICAL  
 SOAKAGE TRENCH  
 DETAILS**

Project no.	289001
Scale	AS SHOWN
Cad file	C430-SW DEVICE DETAILS.DWG
Drawing no.	C430-4A
Rev	<b>A</b>

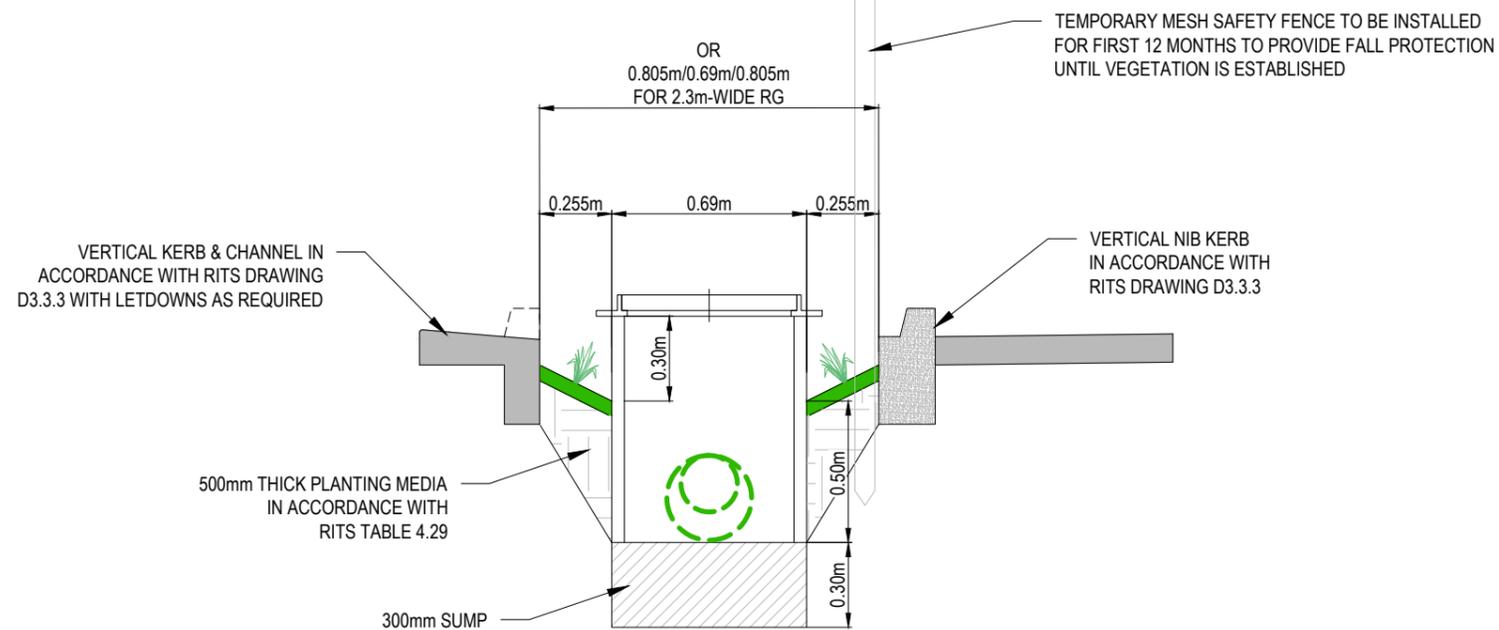
**RESOURCE CONSENT**



**TYPICAL RAINGARDEN PROFILE**  
1:50 @ A3

**Notes**

1. All works to be in accordance with Waikato Regional Infrastructure Technical Specifications.
2. Co-ordinates in terms of NZ Geodetic Datum Mount Eden 2000.
3. Levels in terms of the New Zealand Vertical Datum 2016.
4. It is the contractors responsibility to locate all services that may be affected by his operations.
5. Approved hardfill is to be used in backfilling of all stormwater lines within the road reserve.
6. All catchpit leads shall be laid at 1% unless otherwise specified.
7. All lines to be abandoned shall be sealed at each end. Timing of all sealing to be coordinated with council staff.



**TYPICAL RAINGARDEN PROFILE**  
1:50 @ A3

D	FAST TRACK APP	MKS	11/2025
C	FAST TRACK APP	MKS	05/2025
B	FAST TRACK APP	MKS	05/2025
A	FAST TRACK APP	MKS	04/2025
Rev	Description	By	Date

**Maven Waikato**  
07 242 0601  
info@maven.co.nz  
www.maven.co.nz  
Level 1 286 Victoria Street, Hamilton  
New Zealand

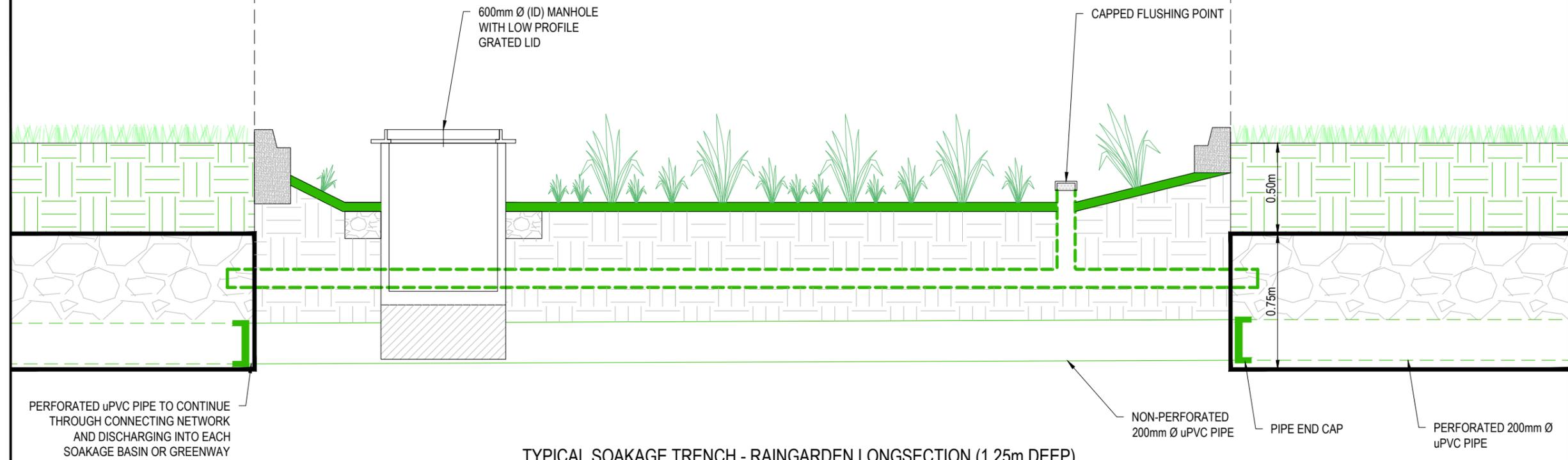
Project  
**ASHBOURNE  
RESIDENTIAL  
FOR  
MATAMATA  
DEVELOPMENTS**

Title  
**TYPICAL  
RAINGARDEN  
DETAILS**

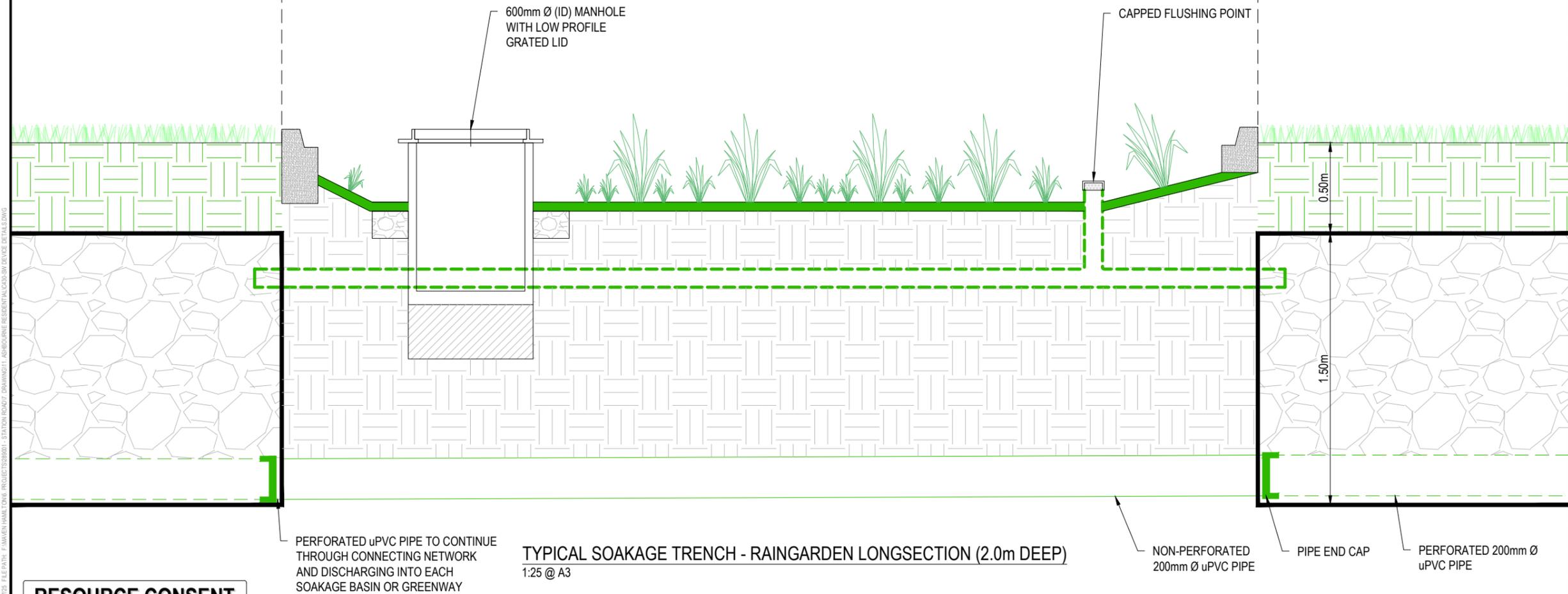
Project no.	289001
Scale	AS SHOWN
Cad file	C430-SW DEVICE DETAILS.DWG
Drawing no.	C430-5
Rev	<b>D</b>

DATE: 11/1/25 FILEPATH: F:\Maven\Hamilton\6 - PROJECTS\88901 - STATION ROAD\7 DRAWING\1 - ASHBOURNE RESIDENTIAL\0430-SW DEVICE DETAILS.DWG

**RESOURCE CONSENT**



TYPICAL SOAKAGE TRENCH - RAINGARDEN LONGSECTION (1.25m DEEP)  
1:25 @ A3



TYPICAL SOAKAGE TRENCH - RAINGARDEN LONGSECTION (2.0m DEEP)  
1:25 @ A3

- Notes
1. All works to be in accordance with Waikato Regional Infrastructure Technical Specifications.
  2. Co-ordinates in terms of NZ Geodetic Datum Mount Eden 2000.
  3. Levels in terms of the New Zealand Vertical Datum 2016.
  4. It is the contractors responsibility to locate all services that may be affected by his operations.
  5. Approved hardfill is to be used in backfilling of all stormwater lines within the road reserve.
  6. All catchpit leads shall be laid at 1% unless otherwise specified.
  7. All lines to be abandoned shall be sealed at each end. Timing of all sealing to be coordinated with council staff.

A	FAST TRACK APP	MKS	11/2025
Rev	Description	By	Date
		By	Date
Survey	MAVEN		05/2024
Design	MKS		11/2025
Drawn	MKS		11/2025
Checked	DJM		11/2025

**M** Maven Waikato  
07 242 0601  
info@maven.co.nz  
www.maven.co.nz  
Level 1 286 Victoria Street, Hamilton  
New Zealand

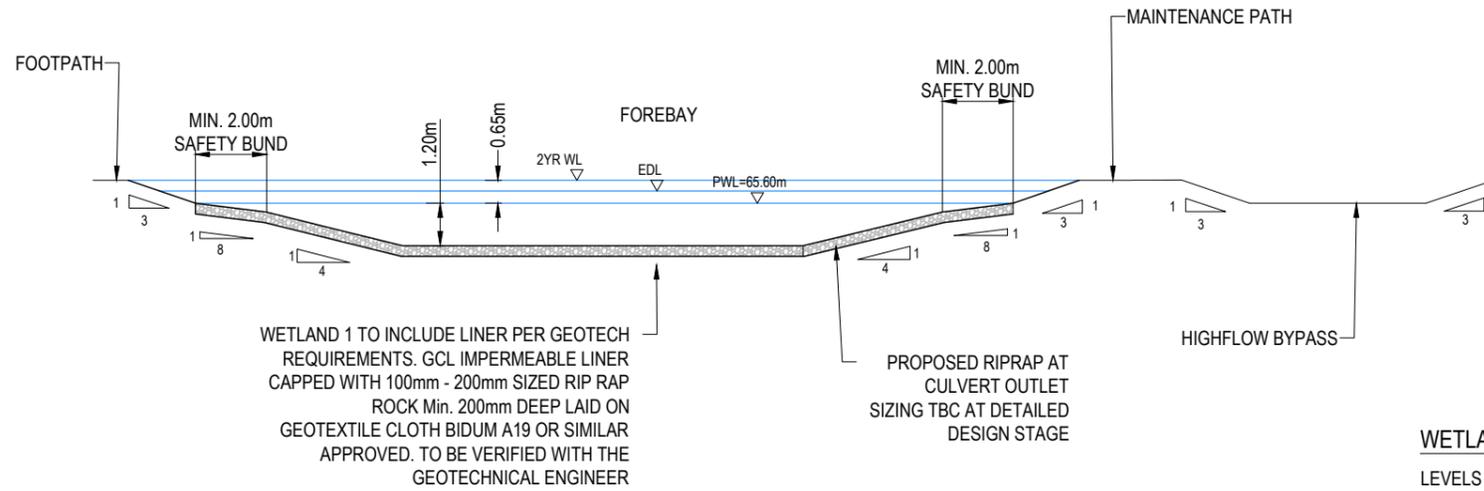
Project  
**ASHBOURNE  
RESIDENTIAL  
FOR  
MATAMATA  
DEVELOPMENTS**

Title  
**TYPICAL RAINGARDEN -  
SOAKAGE TRENCH  
LONGSECTION**

Project no.	289001
Scale	AS SHOWN
Cad file	C430-SW DEVICE DETAILS.DWG
Drawing no.	C430-6
Rev	<b>A</b>

DATE: 11/25 FILEPATH: F:\MVEN\HAMILTON6 - PROJECTS\289001 - STATION ROAD\DRAWING\1 - ASHBORNE RESIDENTIAL\03\SW DEVICE DETAILS.DWG

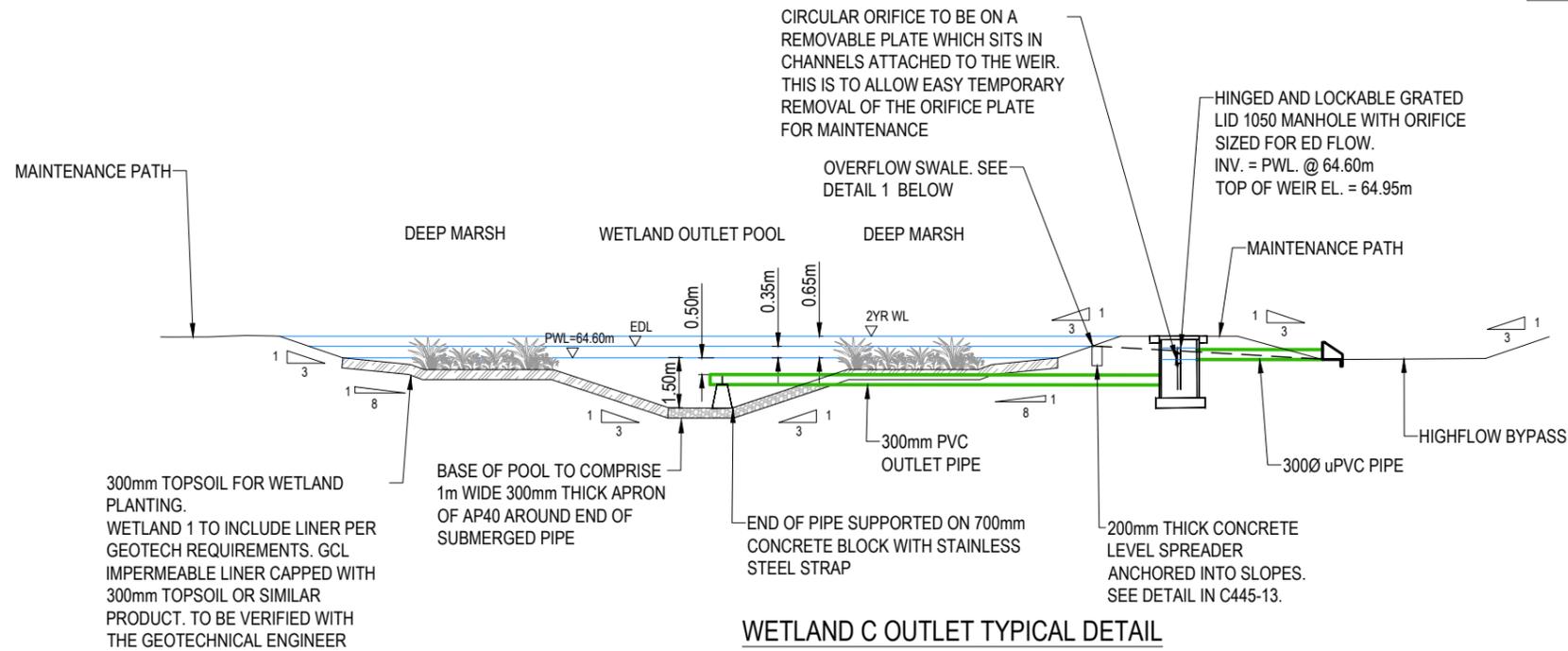
**RESOURCE CONSENT**



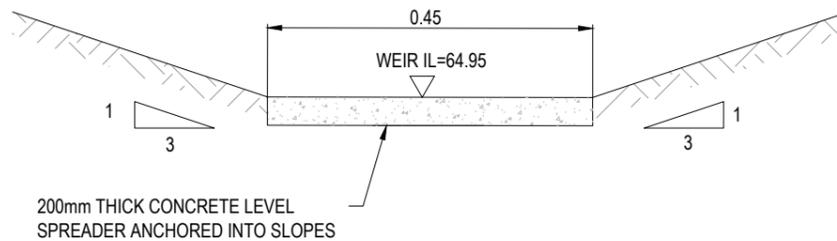
**WETLAND C FOREBAY TYPICAL DETAIL**  
SCALE 1:200

**WETLAND OUTLET DETAILS SUMMARY TABLE**  
LEVELS IN TERMS OF NZVD16 VERTICAL DATUM

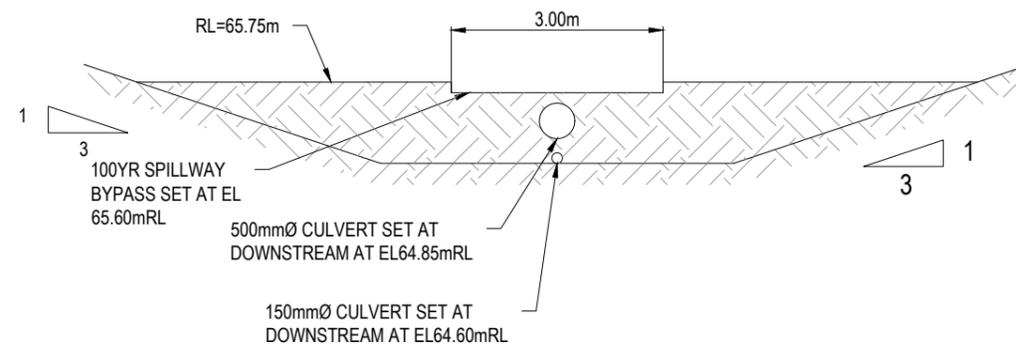
Wetland	ED Orifice (mm)	Orifice Invert (m)	Wetland Weir to Overflow Swale - Min Width (m)	Top of Weir (m)
C	80	64.60	0.45	64.95



**WETLAND C OUTLET TYPICAL DETAIL**  
SCALE 1:200



**DETAIL 1: WETLAND C OVERFLOW SWALE TYPICAL DETAIL**  
SCALE 1:100



**DETAIL 2: WETLAND C HIGHFLOW BYPASS OUTLET DETAIL**  
SCALE 1:100

**RESOURCE CONSENT**

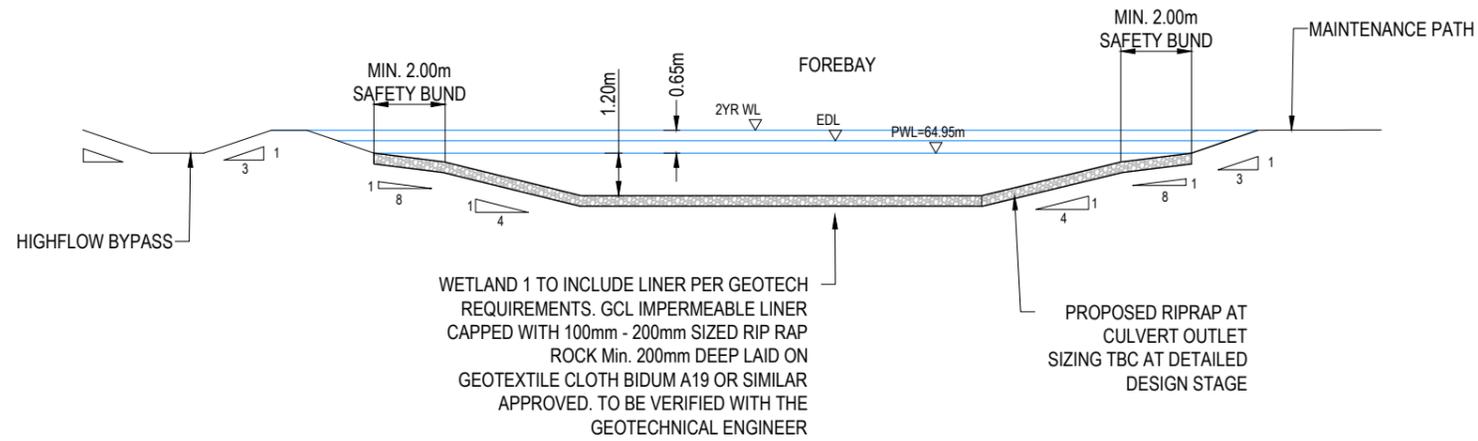
A	FAST TRACK APP	LP	11/2025
Rev	Description	By	Date
		By	Date
Survey	MAVEN		05/2024
Design	MKS		11/2025
Drawn	LP		11/2025
Checked	DJM		11/2025

**M** Maven Waikato  
07 242 0601  
info@maven.co.nz  
www.maven.co.nz  
Level 1 286 Victoria Street, Hamilton  
New Zealand

Project  
**ASHBOURNE RESIDENTIAL FOR MATAMATA DEVELOPMENTS**

Title  
**PROPOSED TYPICAL WETLAND C DETAILS**

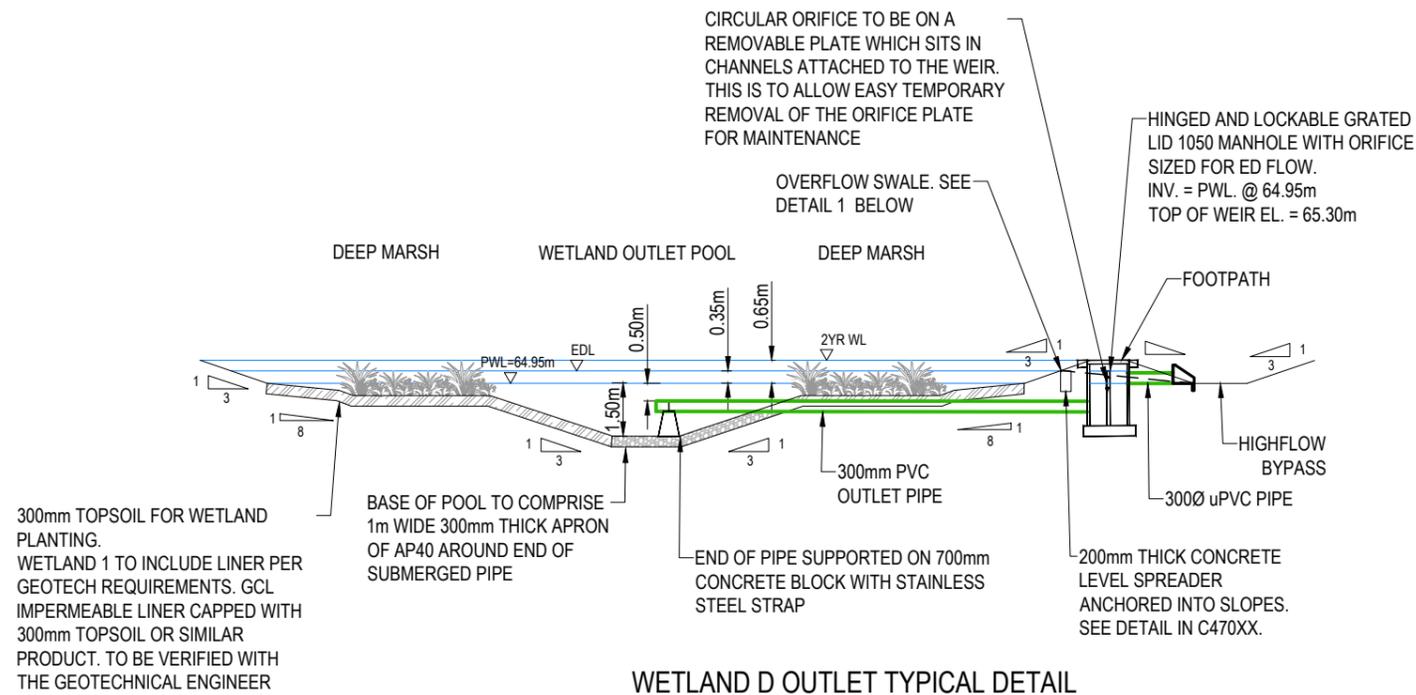
Project no.	289001
Scale	AS SHOWN
Cad file	C430-SW DEVICE DETAILS.DWG
Drawing no.	C430-7
Rev	<b>A</b>



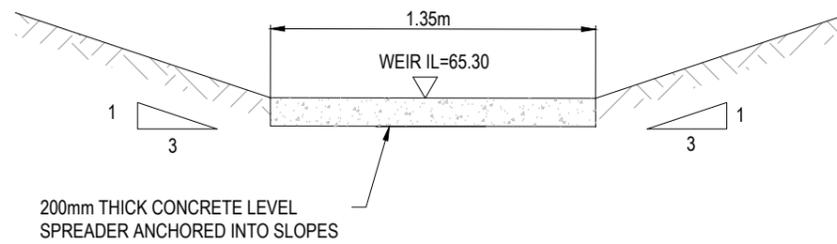
**WETLAND D FOREBAY TYPICAL DETAIL**  
SCALE 1:200

**WETLAND OUTLET DETAILS SUMMARY TABLE**  
LEVELS IN TERMS OF NZVD16 VERTICAL DATUM

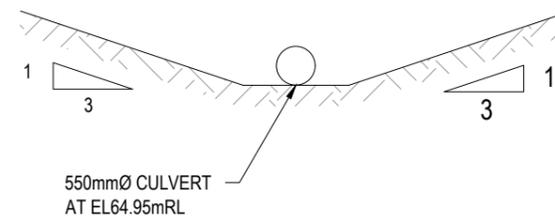
Wetland	ED Orifice (mm)	Orifice Invert (m)	Wetland Weir to Overflow Swale - Min Width (m)	Top of Weir (m)
D	100	64.95	1.35	65.30



**WETLAND D OUTLET TYPICAL DETAIL**  
SCALE 1:200



**DETAIL 1: WETLAND D OVERFLOW SWALE TYPICAL DETAIL**  
SCALE 1:200



**DETAIL 2: WETLAND D HIGHFLOW BYPASS OUTLET DETAIL**  
SCALE 1:100

A	FAST TRACK APP	LP	11/2025
Rev	Description	By	Date
Survey	MAVEN		05/2024
Design	MKS		11/2025
Drawn	LP		11/2025
Checked	DJM		11/2025

**M** Maven Waikato  
07 242 0601  
info@maven.co.nz  
www.maven.co.nz  
Level 1 286 Victoria Street, Hamilton  
New Zealand

Project  
**ASHBOURNE  
RESIDENTIAL  
FOR  
MATAMATA  
DEVELOPMENTS**

Title  
**PROPOSED TYPICAL  
WETLAND D  
DETAILS**

Project no.	289001
Scale	AS SHOWN
Cad file	C430-SW DEVICE DETAILS.DWG
Drawing no.	C430-8
Rev	<b>A</b>



PROPOSED  
NORTHERN SOLAR FARM

STATION ROAD

STATION ROAD

WETLAND D

WETLAND C

RL64

RL60

PROPOSED  
RETIREMENT VILLAGE

CHESTNUT LANE

ELDONWOOD DRIVE

STORMWATER BASIN A

PROPOSED  
SOUTHERN SOLAR FARM

LOT 3 DP 463448

Notes

1. All works to be in accordance with Waikato Regional Infrastructure Technical Specifications.
2. Co-ordinates in terms of NZ Geodetic Datum Mount Eden 2000.
3. Levels in terms of the New Zealand Vertical Datum 2016.
4. It is the contractors responsibility to locate all services that may be affected by his operations.
5. Approved hardfill is to be used in backfilling of all stormwater lines within the road reserve.
6. All catchpit leads shall be laid at 1% unless otherwise specified.
7. All lines to be abandoned shall be sealed at each end. Timing of all sealing to be coordinated with council staff.

Legend

- EX BOUNDARY
- PROP STORMWATER
- PROP LOT BOUNDARY
- PROP WETLAND
- PROP SHARED PATH / MAINTENANCE TRACK

D	FAST TRACK APP	LP	11/2025
C	FAST TRACK APP	MKS	05/2025
B	FAST TRACK APP	MKS	04/2025
A	FAST TRACK APP	MKS	04/2025
Rev	Description	By	Date
	Survey	MAVEN	05/2024
	Design	MKS	12/2024
	Drawn	MKS	12/2024
	Checked	DJM	05/2025



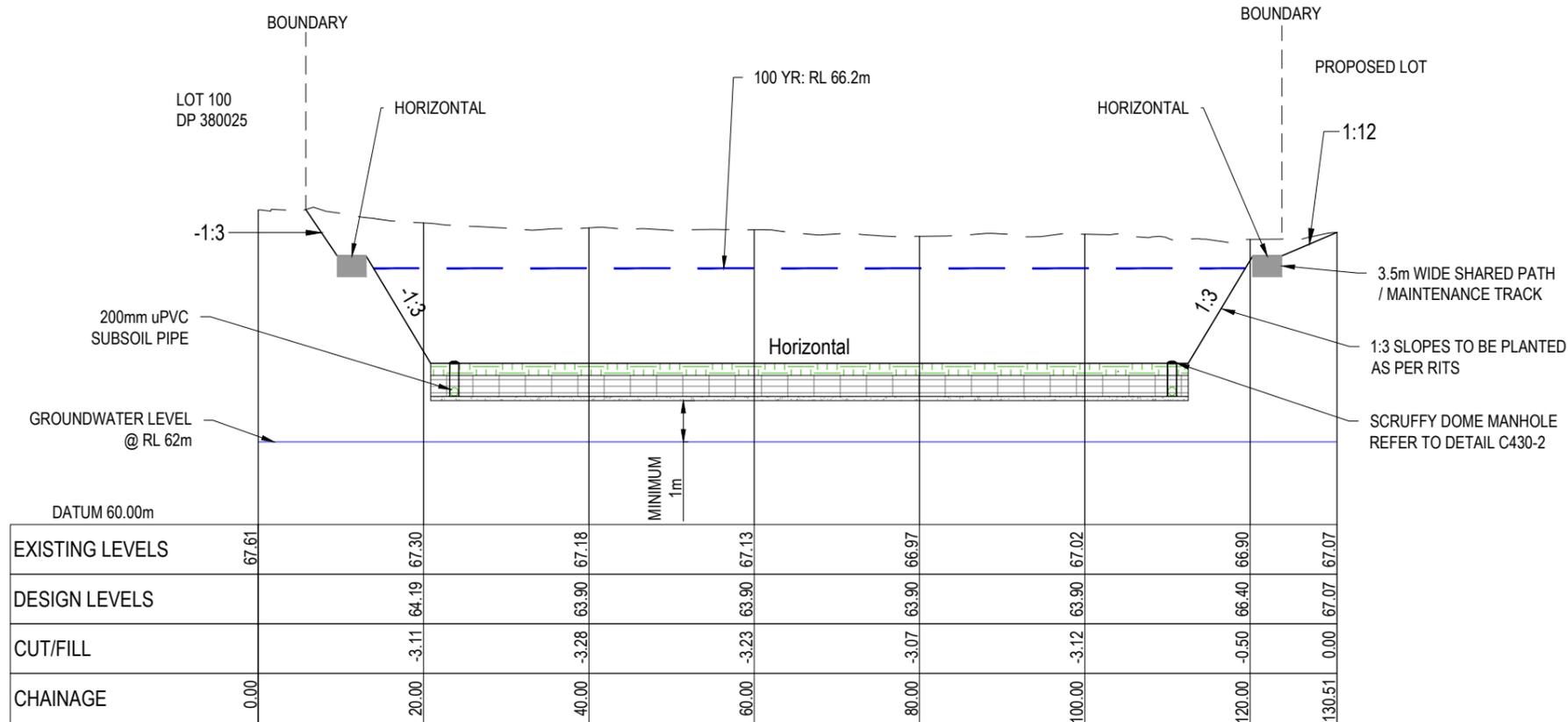
Project  
**ASHBOURNE  
 RESIDENTIAL  
 FOR  
 MATAMATA  
 DEVELOPMENTS LTD**

Title  
**PROPOSED  
 STORMWATER BASIN  
 OVERVIEW PLAN**

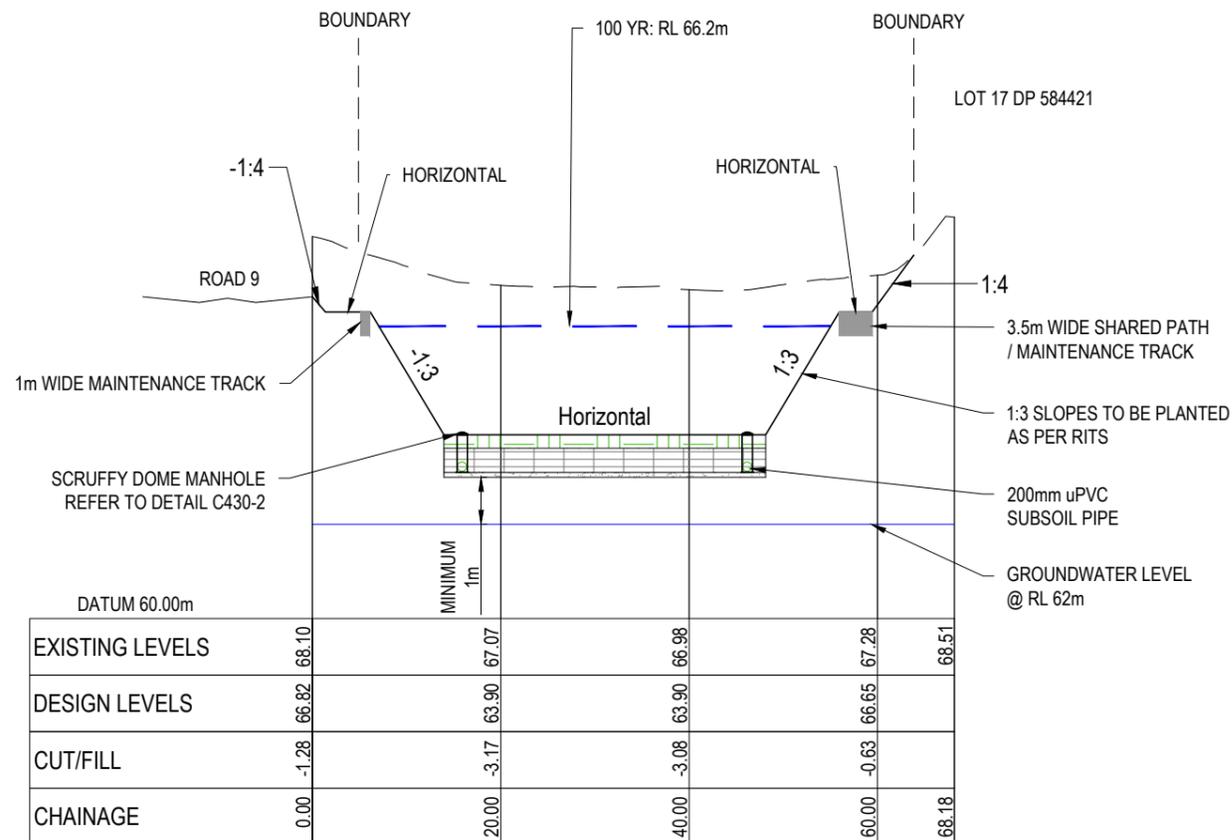
Project no.	289001
Scale	1:5000 @ A3
Cad file	C440-SW WETLAND.DWG
Drawing no.	C440
Rev	<b>D</b>

**RESOURCE CONSENT**





A1  
SCALE: HORI 1:750 VERT 1:150



A2  
SCALE: HORI 1:750 VERT 1:150

- Notes
- All works to be in accordance with Waikato Regional Infrastructure Technical Specifications.
  - Co-ordinates in terms of NZ Geodetic Datum Mount Eden 2000.
  - Levels in terms of the New Zealand Vertical Datum 2016.
  - It is the contractors responsibility to locate all services that may be affected by his operations.
  - Approved hardfill is to be used in backfilling of all stormwater lines within the road reserve.
  - All catchpit leads shall be laid at 1% unless otherwise specified.
  - All lines to be abandoned shall be sealed at each end. Timing of all sealing to be coordinated with council staff.
  - Flood levels are per stormwater modelling dated 10/02/2025.
  - Groundwater levels provided by CMW per testpit logs dated 17/12/2024.
  - Batter slopes to be verified by Geotechnical Engineer.

Legend

—	EX GROUND LEVEL
—	PROP GROUND LEVEL
—	100YR - 10 YR LEVEL
—	GROUNDWATER LEVEL

C	FAST TRACK APP	MKS	05/2025
B	FAST TRACK APP	MKS	04/2025
A	FAST TRACK APP	MKS	04/2025
Rev	Description	By	Date
		MAVEN	05/2024
		MKS	12/2024
		MKS	12/2024
		DJM	05/2025

**M** Maven Associates  
 09 571 0050  
 info@maven.co.nz  
 www.maven.co.nz  
 5 Owens Road, Epsom  
 Auckland 1023

Project  
**ASHBOURNE  
 RESIDENTIAL  
 FOR  
 MATAMATA  
 DEVELOPMENTS LTD**

Title  
**PROPOSED  
 STORMWATER  
 BASIN A DETAILS**

Project no.	289001
Scale	AS SHOWN
Cad file	C440-SW WETLAND.DWG
Drawing no.	C440-2
Rev	<b>C</b>

**WETLAND C**

MIN AREA @4% CATCHMENT = 722m<sup>2</sup>  
 ACTUAL AREA = 1,579m<sup>2</sup> (DRIVEN BY EDV)  
 MIN WQ VOLUME = 263m<sup>3</sup>  
 MIN ED VOLUME = 315m<sup>3</sup>  
 ACTUAL ED VOLUME = 594m<sup>3</sup>

**WATER LEVELS**

- 2 YEAR WATER LEVEL - RL 65.25m
- ED LEVEL - RL 65.30m
- PERMANENT WATER LEVEL - RL 64.60m

**BATHYMETRY - WETLAND C**

- DEEP MARSH - 0.35m
  - SHALLOW MARSH - 0.20m
  - FOREBAY POOL - 1.5-2m
  - INTERMEDIATE POOL - 1.2m
  - OUTLET POOL - 1.5m
- REFER TO C430-7 FOR WETLAND DETAILS

- Notes
1. All works to be in accordance with Waikato Regional Infrastructure Technical Specifications.
  2. Co-ordinates in terms of NZ Geodetic Datum Mount Eden 2000.
  3. Levels in terms of the New Zealand Vertical Datum 2016.
  4. It is the contractors responsibility to locate all services that may be affected by his operations.
  5. Approved hardfill is to be used in backfilling of all stormwater lines within the road reserve.
  6. All catchpit leads shall be laid at 1% unless otherwise specified.
  7. All lines to be abandoned shall be sealed at each end. Timing of all sealing to be coordinated with council staff.

Legend

	EX BOUNDARY
	EX STORMWATER
	PROP LOT BOUNDARY
	EX CHANNEL
	PROP WETLAND
	PROP SHARED PATH / MAINTENANCE TRACK

D	FAST TRACK APP	LP	11/2025
C	FAST TRACK APP	MKS	05/2025
B	FAST TRACK APP	MKS	04/2025
A	FAST TRACK APP	MKS	04/2025
Rev	Description	By	Date
Survey	MAVEN		05/2024
Design	MKS		12/2024
Drawn	MKS		12/2024
Checked	DJM		05/2025

**Maven Associates**  
 09 571 0050  
 info@maven.co.nz  
 www.maven.co.nz  
 5 Owens Road, Epsom  
 Auckland 1023

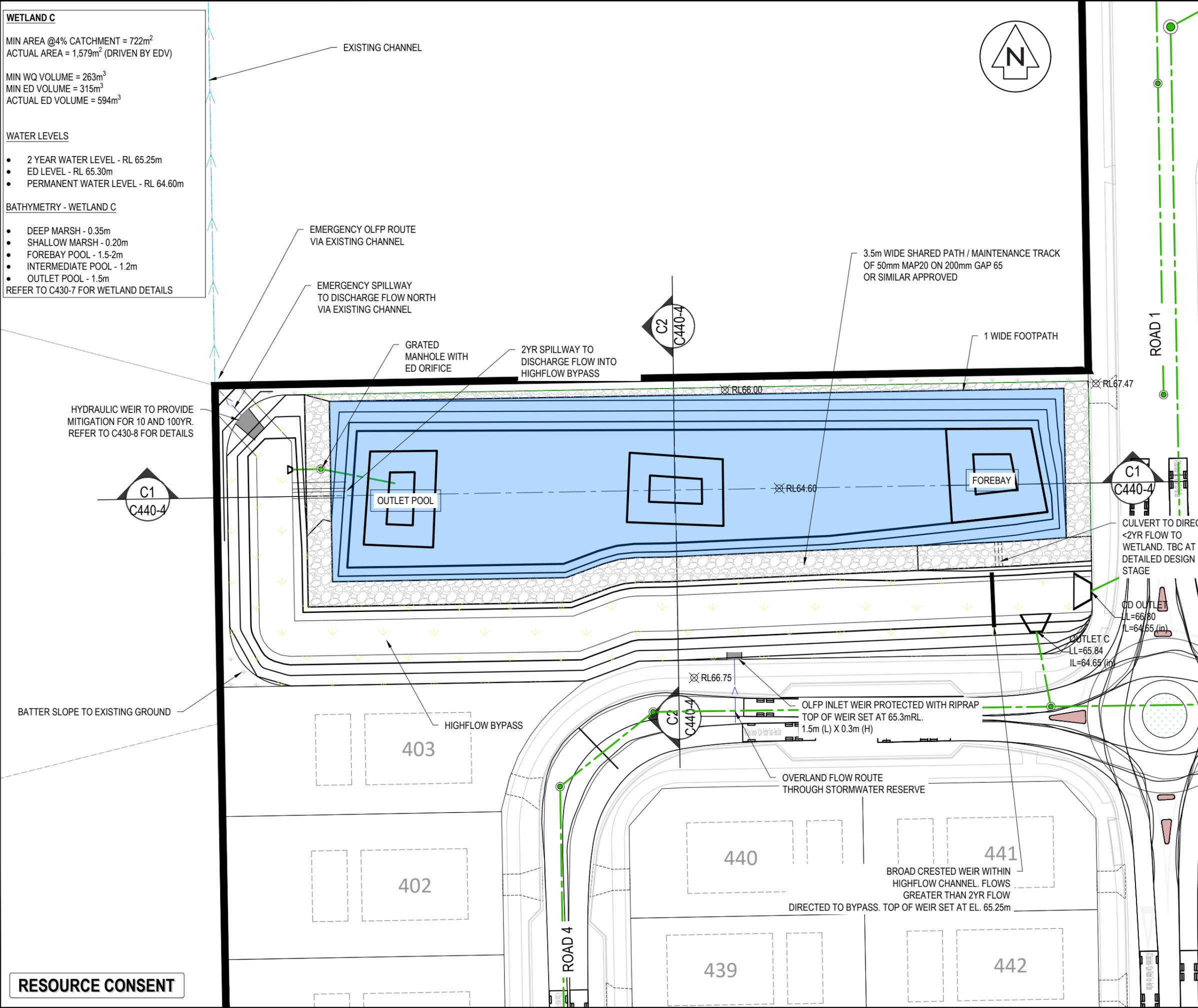
Project  
**ASHBOURNE RESIDENTIAL FOR MATAMATA DEVELOPMENTS LTD**

Title  
**PROPOSED STORMWATER WETLAND PLAN**

Project no.	289001
Scale	1:500 @ A3
Cad file	C440-SW WETLAND.DWG
Drawing no.	C440-3
Rev	D

**RESOURCE CONSENT**

DATE: 15/12/25 FILE PATH: \\MAVEN\ENR\CONSULTING\RESIDENTIAL\ASHBOURNE\PROJECTS\289001 - STATION ROAD DRAWING\1 - ASHBOURNE RESIDENTIAL\CAS - SW WETLAND.DWG



BATTER SLOPE TO EXISTING GROUND

EMERGENCY OLFP ROUTE VIA EXISTING CHANNEL

EMERGENCY SPILLWAY TO DISCHARGE FLOW NORTH VIA EXISTING CHANNEL

GRATED MANHOLE WITH ED ORIFICE

2YR SPILLWAY TO DISCHARGE FLOW INTO HIGHFLOW BYPASS

3.5m WIDE SHARED PATH / MAINTENANCE TRACK OF 50mm MAP20 ON 200mm GAP 65 OR SIMILAR APPROVED

1 WIDE FOOTPATH

HYDRAULIC WEIR TO PROVIDE MITIGATION FOR 10 AND 100YR. REFER TO C430-8 FOR DETAILS

CULVERT TO DIRECT <2YR FLOW TO WETLAND. TBC AT DETAILED DESIGN STAGE

OD OUTLET  
 LL=66.80  
 L=64.65 (in)

OUTLET C  
 LL=65.84  
 IL=64.65 (in)

OLFP INLET WEIR PROTECTED WITH RIPRAP  
 TOP OF WEIR SET AT 65.3mRL.  
 1.5m (L) X 0.3m (H)

OVERLAND FLOW ROUTE THROUGH STORMWATER RESERVE

BROAD CRESTED WEIR WITHIN HIGHFLOW CHANNEL. FLOWS GREATER THAN 2YR FLOW DIRECTED TO BYPASS. TOP OF WEIR SET AT EL. 65.25m

403 HIGHFLOW BYPASS

402

440

441

439

442

C2  
 C440-4

C1  
 C440-4

C2  
 C440-4

C1  
 C440-4

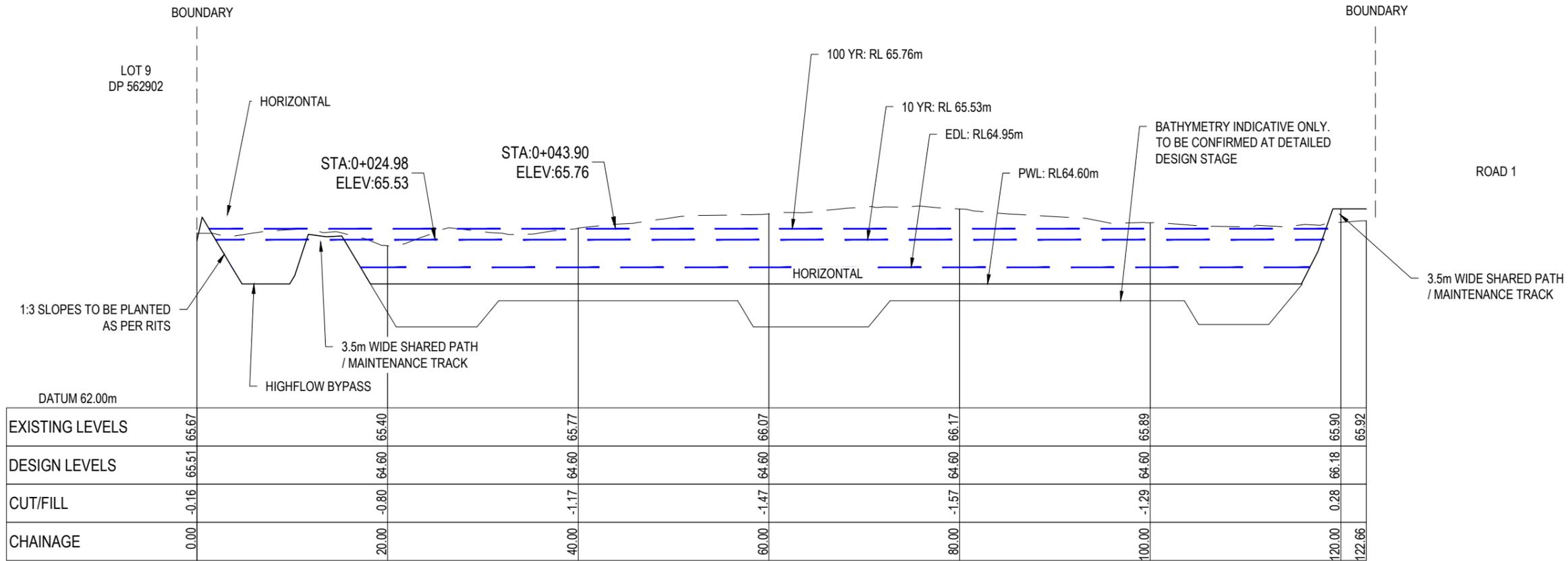
C2  
 C440-4

C1  
 C440-4

C2  
 C440-4

C1  
 C440-4



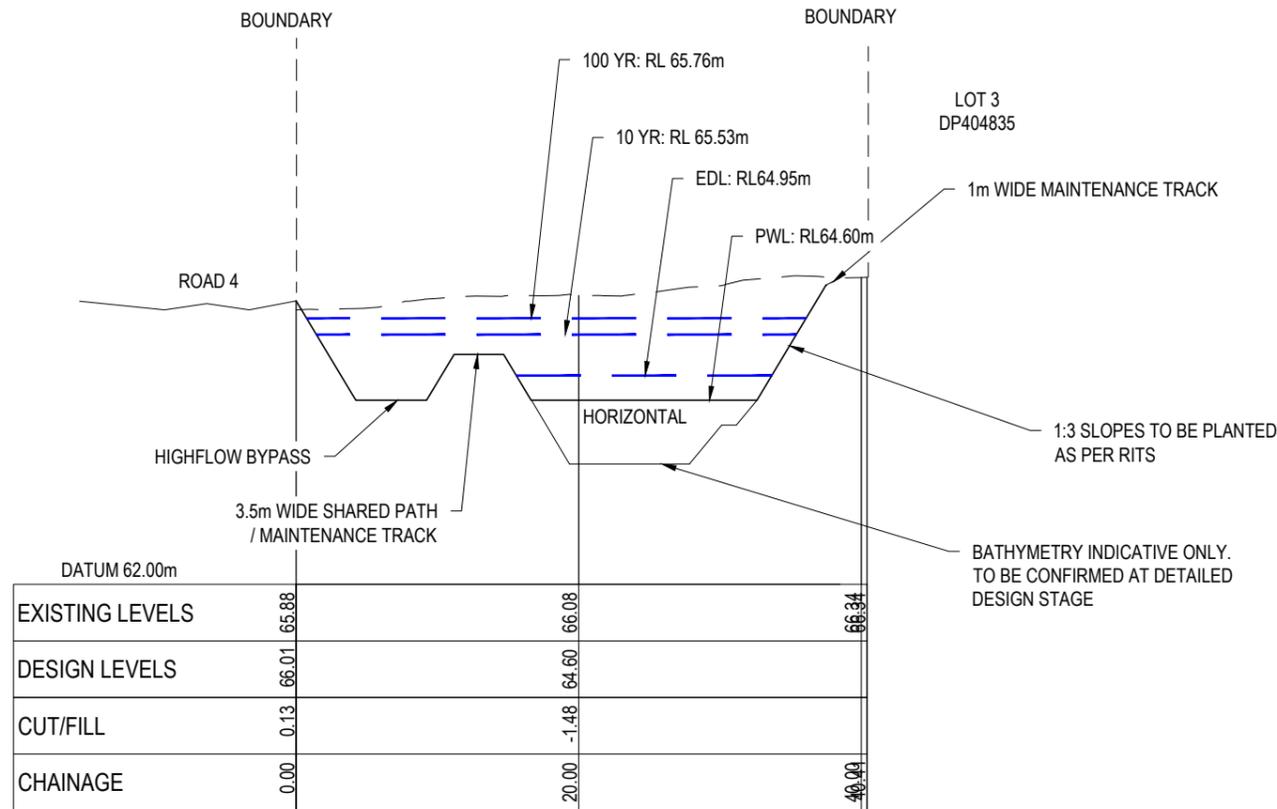


C1  
S SCALE: HORI 1:500 VERT 1:100

- Notes
- All works to be in accordance with Waikato Regional Infrastructure Technical Specifications.
  - Co-ordinates in terms of NZ Geodetic Datum Mount Eden 2000.
  - Levels in terms of the New Zealand Vertical Datum 2016.
  - It is the contractors responsibility to locate all services that may be affected by his operations.
  - Approved hardfill is to be used in backfilling of all stormwater lines within the road reserve.
  - All catchpit leads shall be laid at 1% unless otherwise specified.
  - All lines to be abandoned shall be sealed at each end. Timing of all sealing to be coordinated with council staff.
  - Flood levels are per stormwater modelling dated 10/02/2025.
  - Groundwater levels provided by CMW per testpit logs dated 17/12/2024.
  - Batter slopes to be verified by Geotechnical Engineer.

Legend

---	EX GROUND LEVEL
---	PROP GROUND LEVEL
---	100YR - 10 YR LEVEL
---	GROUNDWATER LEVEL



C2  
SCALE: HORI 1:500 VERT 1:100

D	FAST TRACK APP	LP	11/2025
C	FAST TRACK APP	MKS	05/2025
B	FAST TRACK APP	MKS	04/2025
A	FAST TRACK APP	MKS	04/2025
Rev	Description	By	Date
		MAVEN	05/2024
	Design	MKS	12/2024
	Drawn	MKS	12/2024
	Checked	DJM	05/2025

**M** Maven Associates  
 09 571 0050  
 info@maven.co.nz  
 www.maven.co.nz  
 5 Owens Road, Epsom  
 Auckland 1023

Project  
**ASHBOURNE  
 RESIDENTIAL  
 FOR  
 MATAMATA  
 DEVELOPMENTS LTD**

Title  
**PROPOSED  
 STORMWATER  
 BASIN C DETAILS**

Project no.	289001
Scale	AS SHOWN
Cad file	C440-SW WETLAND.DWG
Drawing no.	C440-4
Rev	<b>D</b>



EMERGENCY OLFP ROUTE VIA EXISTING OLFP ROUTE

OLFP OUTLET WEIR PROTECTED WITH RIPRAP

CULVERT TO DIRECT <2YR FLOW TO WETLAND. TBC AT DETAILED DESIGN STAGE

3.5m WIDE MAINTENANCE TRACK OF 50mm MAP20 ON 200mm GAP 65 OR SIMILAR APPROVED

RL65.27

FOREBAY

BROAD CRESTED WEIR WITHIN HIGHFLOW CHANNEL. FLOWS GREATER THAN 2YR FLOW DIRECTED TO BYPASS. TOP OF WEIR SET AT EL. 65.60m

OVERLAND FLOW ROUTE THROUGH STORMWATER RESERVE

2YR SPILLWAY TO DISCHARGE FLOW INTO HIGHFLOW BYPASS

TO DISCHARGE FLOW INTO WETLAND C HIGHFLOW BYPASS VIA PIPE SIZED FOR 100YR

OUTLET POOL

BROAD CRESTED WEIR WITHIN HIGHFLOW CHANNEL. FLOWS GREATER THAN 2YR FLOW DIRECTED TO BYPASS. TOP OF WEIR SET AT EL. 65.60m

FOREBAY

RL66.00

OVERLAND FLOW ROUTE THROUGH STORMWATER RESERVE

OLFP INLET WEIR PROTECTED WITH RIPRAP

OUTLET D1  
LL=66.90  
IL=64.97 (in)

CULVERT TO DIRECT <2YR FLOW TO WETLAND. TBC AT DETAILED DESIGN STAGE

ROAD 2

### WETLAND D

MIN AREA @4% CATCHMENT = 1177m<sup>2</sup>  
ACTUAL AREA = 4,980 (DRIVEN BY EDV)

MIN WQ VOLUME = 428m<sup>3</sup>  
MIN ED VOLUME = 513m<sup>3</sup>  
ACTUAL ED VOLUME = 1813m<sup>3</sup>

### WATER LEVELS

- 2 YEAR WATER LEVEL - RL 65.6
- ED LEVEL - RL 65.30
- PERMANENT WATER LEVEL - RL 64.95m

### BATHYMETRY - WETLAND D

- DEEP MARSH - 0.35m
  - SHALLOW MARSH - 0.20m
  - FOREBAY POOL - 1.5-2m
  - INTERMEDIATE POOL - 1.2m
  - OUTLET POOL - 1.5m
- REFER TO C430-8 OR WETLAND DETAILS

### Notes

1. All works to be in accordance with Waikato Regional Infrastructure Technical Specifications.
2. Co-ordinates in terms of NZ Geodetic Datum Mount Eden 2000.
3. Levels in terms of the New Zealand Vertical Datum 2016.
4. It is the contractors responsibility to locate all services that may be affected by his operations.
5. Approved hardfill is to be used in backfilling of all stormwater lines within the road reserve.
6. All catchpit leads shall be laid at 1% unless otherwise specified.
7. All lines to be abandoned shall be sealed at each end. Timing of all sealing to be coordinated with council staff.

### Legend

- EX BOUNDARY
- EX STORMWATER
- PROP LOT BOUNDARY
- PROP WETLAND
- PROP SHARED PATH / MAINTENANCE TRACK

Rev	Description	By	Date
D	FAST TRACK APP	LP	11/2025
C	FAST TRACK APP	MKS	05/2025
B	FAST TRACK APP	MKS	04/2025
A	FAST TRACK APP	MKS	04/2025

Rev	Description	By	Date
Survey	MAVEN		05/2024
Design	MKS		12/2024
Drawn	MKS		12/2024
Checked	DJM		05/2025



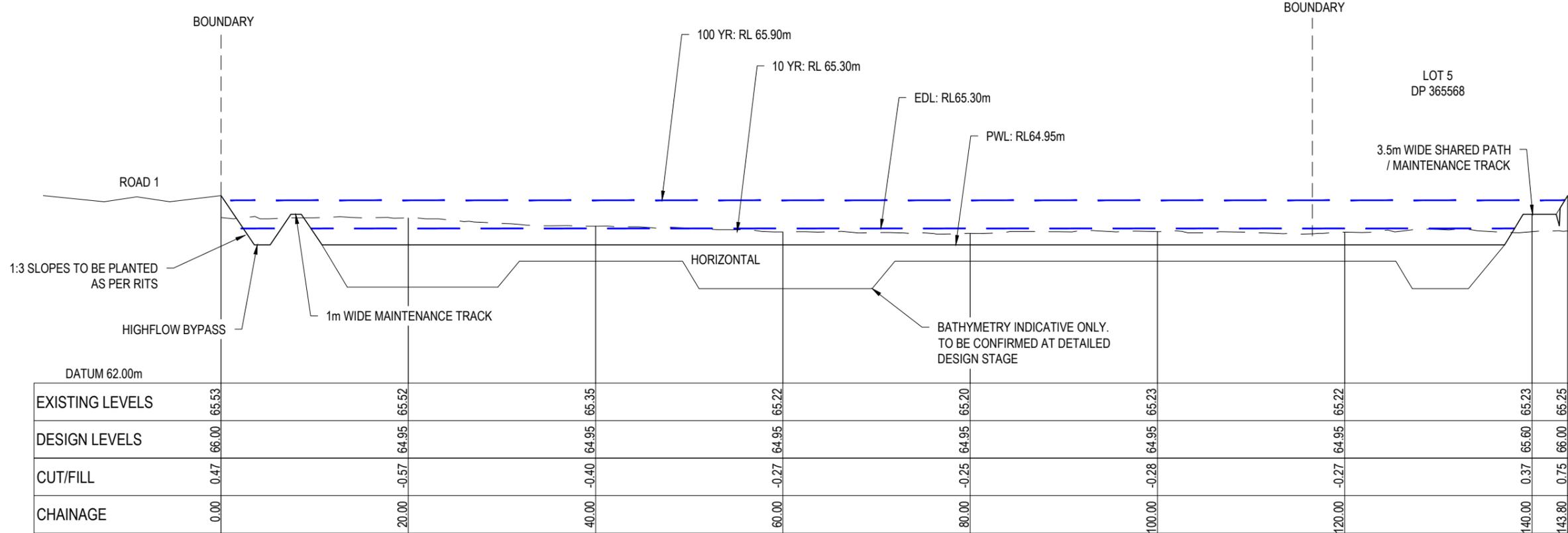
Project  
**ASHBOURNE RESIDENTIAL FOR MATAMATA DEVELOPMENTS LTD**

Title  
**PROPOSED STORMWATER WETLAND D PLAN**

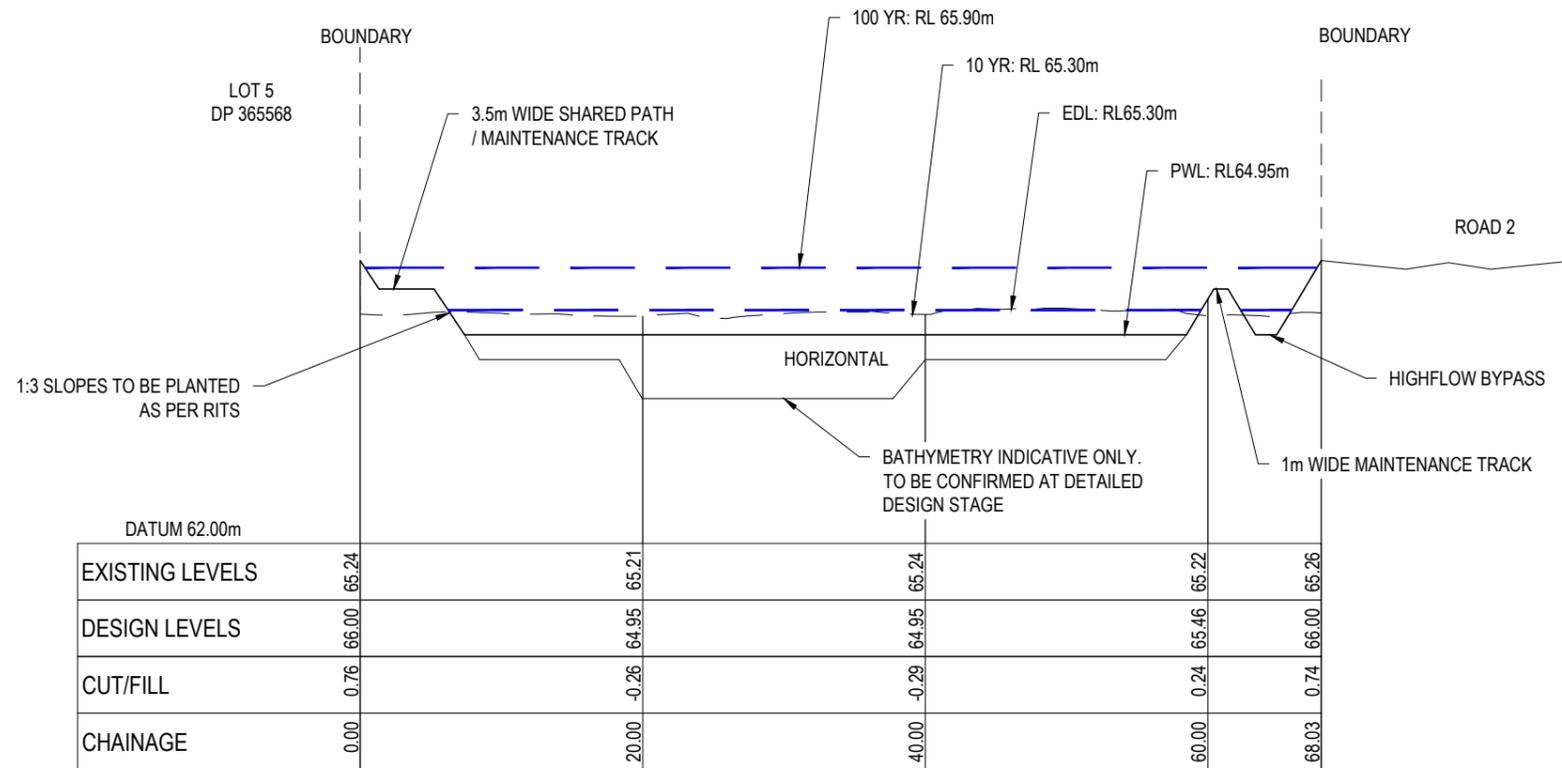
Project no.	289001
Scale	1:500 @ A3
Cad file	C440-SW WETLAND.DWG
Drawing no.	C440-5
Rev	D

RESOURCE CONSENT

DATE: 11/25 FILEPATH: \\MAVEN\WORK\CONSULTING\RESIDENTIAL\ASHBOURNE\PROJECTS\289001 - STATION ROAD - DRAWING\1 - ASHBOURNE RESIDENTIAL\CAS - SW WETLAND.DWG



D1  
SCALE: HORI 1:500 VERT 1:100



D2  
SCALE: HORI 1:500 VERT 1:100

Notes

- All works to be in accordance with Waikato Regional Infrastructure Technical Specifications.
- Co-ordinates in terms of NZ Geodetic Datum Mount Eden 2000.
- Levels in terms of the New Zealand Vertical Datum 2016.
- It is the contractors responsibility to locate all services that may be affected by his operations.
- Approved hardfill is to be used in backfilling of all stormwater lines within the road reserve.
- All catchpit leads shall be laid at 1% unless otherwise specified.
- All lines to be abandoned shall be sealed at each end. Timing of all sealing to be coordinated with council staff.
- Flood levels are per stormwater modelling dated 10/02/2025.
- Groundwater levels provided by CMW per testpit logs dated 17/12/2024.
- Batter slopes to be verified by Geotechnical Engineer.

Legend

- EX GROUND LEVEL
- PROP GROUND LEVEL
- 100YR - 10 YR LEVEL
- GROUNDWATER LEVEL

D	FAST TRACK APP	LP	11/2025
C	FAST TRACK APP	MKS	05/2025
B	FAST TRACK APP	MKS	04/2025
A	FAST TRACK APP	MKS	04/2025
Rev	Description	By	Date
		MAVEN	05/2024
	Design	MKS	12/2024
	Drawn	MKS	12/2024
	Checked	DJM	05/2025



Project  
**ASHBOURNE  
RESIDENTIAL  
FOR  
MATAMATA  
DEVELOPMENTS LTD**

Title  
**PROPOSED  
STORMWATER  
BASIN D DETAILS**

Project no.	289001
Scale	AS SHOWN
Cad file	C440-SW WETLAND.DWG
Drawing no.	C440-6
Rev	<b>D</b>

**RESOURCE CONSENT**



HIGHCROFT AVENUE

CHESTNUT LANE

ELDONWOOD DRIVE

PEAKEDALE DRIVE

SECTION	CATCHMENT AREA (HA)	FLOWRATE (m <sup>3</sup> /s)	MAX DEPTH (m)	VELOCITY (m/s)	DEPTH x VELOCITY
CATCHMENT A	1	3.1	0.6	0.137	0.77
	2	6.2	1.1	0.158	0.97
	3	2.9	0.6	0.131	0.82
CATCHMENT B	1	5.9	0.9	0.167	0.81
	2	2.3	0.3	0.116	0.59
	3	1.1	0.2	0.091	0.61
	4	12.5	1.5	0.216	0.79
	5	4.2	0.6	0.121	0.912
CATCHMENT C	1	2.3	0.5	0.125	0.81
	2	2.7	0.3	0.109	0.59

- Notes
- All works to be in accordance with Waikato Regional Infrastructure Technical Specifications.
  - Co-ordinates in terms of NZ Geodetic Datum Mount Eden 2000.
  - Levels in terms of the New Zealand Vertical Datum 2016.
  - It is the contractors responsibility to locate all services that may be affected by his operations.
  - Approved hardfill is to be used in backfilling of all stormwater lines within the road reserve.
  - All catchpit leads shall be laid at 1% unless otherwise specified.
  - All lines to be abandoned shall be sealed at each end. Timing of all sealing to be coordinated with council staff.

CATCHMENT B SECTION 5  
AREA 4.2 ha

CATCHMENT B SECTION 3  
AREA 1.1 ha

CATCHMENT B SECTION 2  
AREA 2.3 ha

CATCHMENT B SECTION 4  
AREA 12.5 ha

CATCHMENT B SECTION 1  
AREA 5.9 ha

CATCHMENT A SECTION 3  
AREA 2.9 ha

CATCHMENT A SECTION 2  
AREA 6.2 ha

CATCHMENT A SECTION 1  
AREA 3.1 ha

Legend

	EX BOUNDARY
	PROP LOT BOUNDARY
	PROP SWCP SINGLE SOAKAGE TRENCH - 1.2m WIDE
	SOAKAGE TRENCH - 2m WIDE

C	FAST TRACK APP	GNT	11/2025
B	FAST TRACK APP	RK	05/2025
A	FAST TRACK APP	RK	04/2025
Rev	Description	By	Date
		MAVEN	05/2024
		MKS	12/2024
		RJM	12/2024
		DJM	05/2025

Project  
**ASHBOURNE  
RESIDENTIAL  
FOR  
MATAMATA  
DEVELOPMENTS LTD**

Title  
**PROPOSED  
OVERLAND FLOWPATH  
CATCHMENT PLAN**

Project no.	289001
Scale	1:3000 @ A3
Cad file	C460-OLFP.DWG
Drawing no.	C460-1
Rev	<b>C</b>

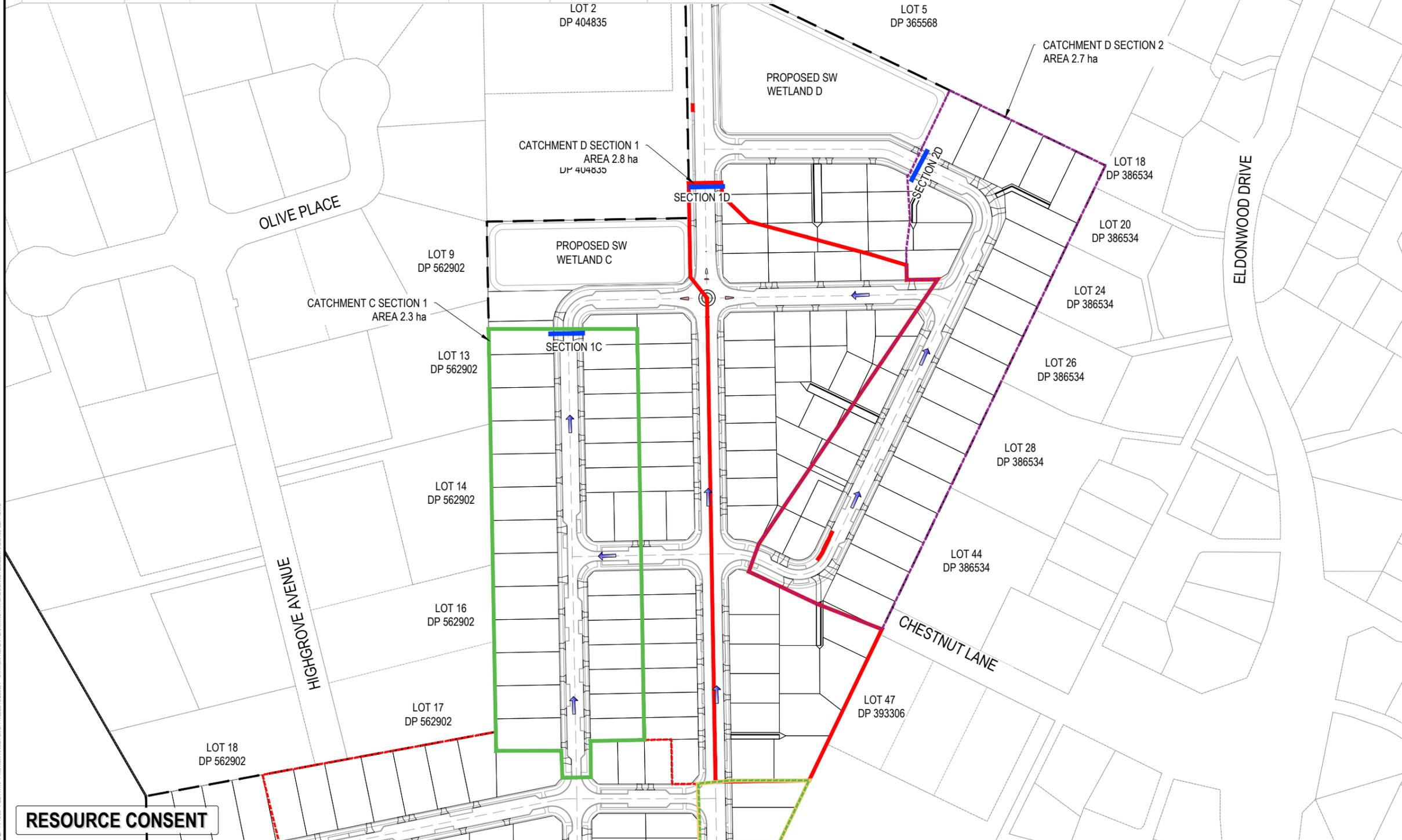
**RESOURCE CONSENT**

DATE: 11/19/25 FILEPATH: F:\MAVEN\HAMILT016 - PROJECTS\289001 - STATION ROAD\DRAWING\1 - ASHBOURNE RESIDENTIAL\C460-OLFP.DWG

	SECTIO N	CATCHMENT AREA HA	FLOWRATE m3/s	MAX DEPTH m	VELOCITY m/s	DEPTH x VELOCITY
CATCHMENT A	1	3.1	0.6	0.137	0.77	0.105
	2	6.2	1.1	0.158	0.97	0.153
	3	2.9	0.6	0.131	0.82	0.107
CATCHMENT B	1	5.9	0.9	0.167	0.81	0.135
	2	2.3	0.3	0.116	0.59	0.068
	3	1.1	0.2	0.091	0.61	0.056
	4	12.5	1.5	0.216	0.79	0.171
CATCHMENT C	1	2.3	0.5	0.125	0.81	0.101
	2	2.7	0.3	0.109	0.59	0.064



- Notes
- All works to be in accordance with Waikato Regional Infrastructure Technical Specifications.
  - Co-ordinates in terms of NZ Geodetic Datum Mount Eden 2000.
  - Levels in terms of the New Zealand Vertical Datum 2016.
  - It is the contractors responsibility to locate all services that may be affected by his operations.
  - Approved hardfill is to be used in backfilling of all stormwater lines within the road reserve.
  - All catchpit leads shall be laid at 1% unless otherwise specified.
  - All lines to be abandoned shall be sealed at each end. Timing of all sealing to be coordinated with council staff.



Legend  
 --- EX BOUNDARY  
 --- SITE BOUNDARY

Rev	Description	By	Date
C	FAST TRACK APP	GNT	11/2025
B	FAST TRACK APP	RK	05/2025
A	FAST TRACK APP	RK	04/2025

**M** Maven Associates  
 09 571 0050  
 info@maven.co.nz  
 www.maven.co.nz  
 5 Owens Road, Epsom  
 Auckland 1023

Project  
**ASHBOURNE  
 RESIDENTIAL  
 FOR  
 MATAMATA  
 DEVELOPMENTS LTD**

Title  
**PROPOSED  
 OVERLAND FLOWPATH  
 CATCHMENT PLAN**

Project no.	289001
Scale	1:2500 @ A3
Cad file	C460-OLFP.DWG
Drawing no.	C460-2
Rev	<b>C</b>

**RESOURCE CONSENT**

DATE: 11/19/25 FILEPATH: F:\MAVEN\HAMITON6 PROJECTS\289001 - STATION ROAD\DRAWING\1 - ASHBORNE RESIDENTIAL\C460-OLFP.DWG

### Channel Report

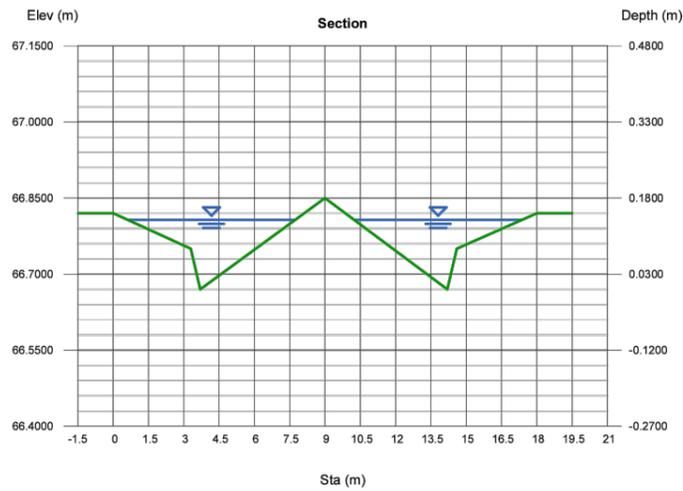
Hydraflow Express Extension for Autodesk® Civil 3D® by Autodesk, Inc.

Monday, Mar 17 2025

#### Catchemnt A Section 1

<b>User-defined</b>		<b>Highlighted</b>	
Invert Elev (m)	= 66.6700	Depth (m)	= 0.1372
Slope (%)	= 0.7000	Q (cms)	= 0.6000
N-Value	= 0.015	Area (sqm)	= 0.7825
		Velocity (m/s)	= 0.7668
<b>Calculations</b>		Wetted Perim (m)	= 14.2849
Compute by:	Known Q	Crit Depth, Yc (m)	= 0.1402
Known Q (cms)	= 0.6000	Top Width (m)	= 14.2631
		EGL (m)	= 0.1671

(Sta, El, n)-(Sta, El, n)...  
(0.0100, 66.8200)-(3.3000, 66.7500, 0.015)-(9.0000, 66.8500, 0.015)-(14.2000, 66.6700, 0.015)-(14.8000, 66.7500, 0.015)-(18.0000, 66.8



### Channel Report

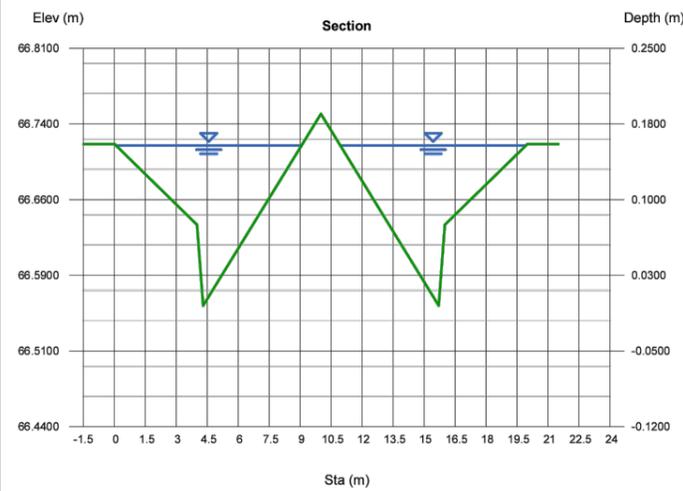
Hydraflow Express Extension for Autodesk® Civil 3D® by Autodesk, Inc.

Monday, Mar 17 2025

#### Catchemnt A Section 2

<b>User-defined</b>		<b>Highlighted</b>	
Invert Elev (m)	= 66.5600	Depth (m)	= 0.1585
Slope (%)	= 0.9000	Q (cms)	= 1.1000
N-Value	= 0.015	Area (sqm)	= 1.1324
		Velocity (m/s)	= 0.9714
<b>Calculations</b>		Wetted Perim (m)	= 17.9771
Compute by:	Known Q	Crit Depth, Yc (m)	= 0.1707
Known Q (cms)	= 1.1000	Top Width (m)	= 17.9492
		EGL (m)	= 0.2066

(Sta, El, n)-(Sta, El, n)...  
(0.0100, 66.7200)-(4.0000, 66.6400, 0.015)-(4.3000, 66.5600, 0.015)-(10.0000, 66.7500, 0.015)-(15.7000, 66.5600, 0.015)-(16.0000, 66.6400, 0.015)-(20.0000, 66



### Channel Report

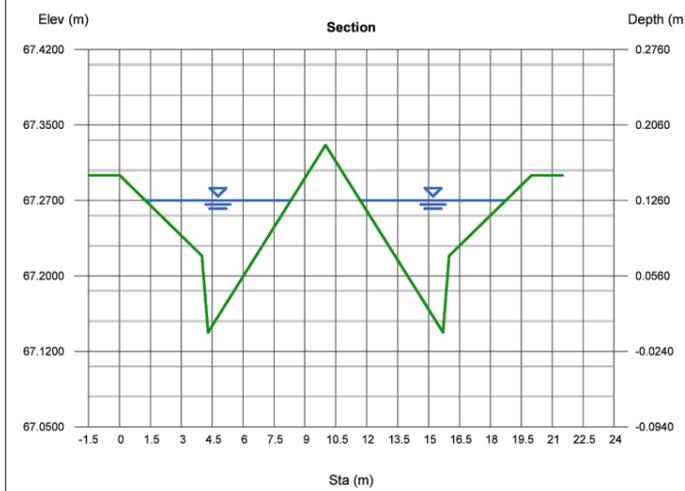
Hydraflow Express Extension for Autodesk® Civil 3D® by Autodesk, Inc.

Monday, Mar 17 2025

#### Catchemnt A Section 3

<b>User-defined</b>		<b>Highlighted</b>	
Invert Elev (m)	= 67.1440	Depth (m)	= 0.1311
Slope (%)	= 0.9000	Q (cms)	= 0.6000
N-Value	= 0.015	Area (sqm)	= 0.7336
		Velocity (m/s)	= 0.8179
<b>Calculations</b>		Wetted Perim (m)	= 14.1554
Compute by:	Known Q	Crit Depth, Yc (m)	= 0.1372
Known Q (cms)	= 0.6000	Top Width (m)	= 14.1310
		EGL (m)	= 0.1652

(Sta, El, n)-(Sta, El, n)...  
(0.0100, 67.3000)-(4.0000, 67.2200, 0.015)-(4.3000, 67.1440, 0.015)-(10.0000, 67.3300, 0.015)-(15.7000, 67.1440, 0.015)-(16.0000, 67.2200, 0.015)-(20.0000, 67



Rev	Description	By	Date
B	FAST TRACK APP	RK	05/2025
A	FAST TRACK APP	RK	04/2025

Survey	MAVEN	05/2024
Design	RJM	12/2024
Drawn	NAK	12/2024
Checked	DJM	05/2025

**Maven Associates**  
09 571 0050  
info@maven.co.nz  
www.maven.co.nz  
5 Owens Road, Epsom  
Auckland 1023

Project  
**ASHBOURNE  
RESIDENTIAL  
FOR  
MATAMATA  
DEVELOPMENTS LTD**

Project no.	289001
Scale	1:2500 @ A3
Cad file	C460-OLFP.DWG
Drawing no.	C460-3
Rev	<b>B</b>

**RESOURCE CONSENT**

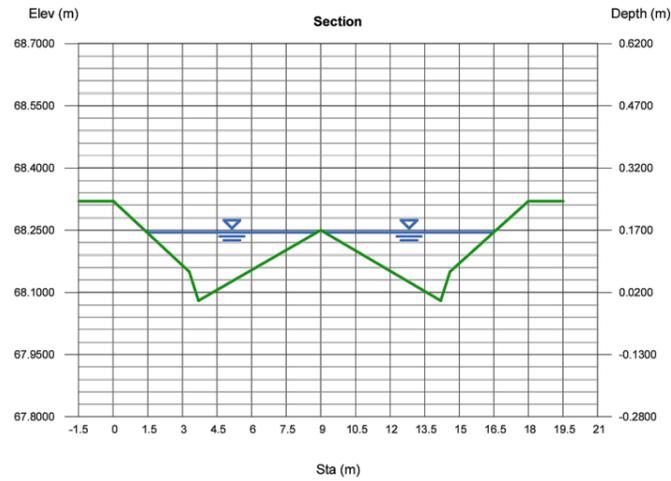
### Channel Report

Hydraflow Express Extension for Autodesk® Civil 3D® by Autodesk, Inc. Monday, Mar 17 2025

#### Catchemnt B Section 1

<b>User-defined</b>		<b>Highlighted</b>	
Invert Elev (m)	= 68.0800	Depth (m)	= 0.1646
Slope (%)	= 0.5000	Q (cms)	= 0.9000
N-Value	= 0.015	Area (sqm)	= 1.1164
		Velocity (m/s)	= 0.8062
<b>Calculations</b>		Wetted Perim (m)	= 14.7110
Compute by:	Known Q	Crit Depth, Yc (m)	= 0.1615
Known Q (cms)	= 0.9000	Top Width (m)	= 14.6887
		EGL (m)	= 0.1977

(Sta, El, n)-(Sta, El, n)...  
(0.0100, 68.3200)-(3.3000, 68.1500, 0.015)-(3.7000, 68.0800, 0.015)-(9.0000, 68.2500, 0.015)-(14.2000, 68.0800, 0.015)-(14.6000, 68.1500, 0.015)-(18.0000, 68.3200)



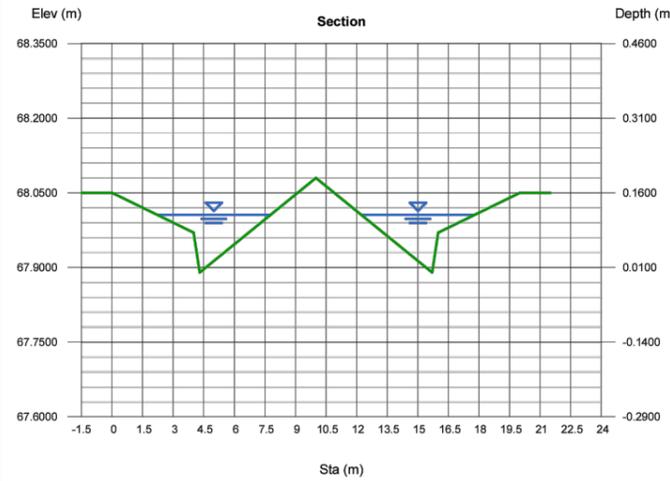
### Channel Report

Hydraflow Express Extension for Autodesk® Civil 3D® by Autodesk, Inc. Monday, Mar 17 2025

#### Catchemnt B Section 2

<b>User-defined</b>		<b>Highlighted</b>	
Invert Elev (m)	= 67.8900	Depth (m)	= 0.1158
Slope (%)	= 0.5000	Q (cms)	= 0.3000
N-Value	= 0.015	Area (sqm)	= 0.5120
		Velocity (m/s)	= 0.5859
<b>Calculations</b>		Wetted Perim (m)	= 11.1529
Compute by:	Known Q	Crit Depth, Yc (m)	= 0.1128
Known Q (cms)	= 0.3000	Top Width (m)	= 11.1273
		EGL (m)	= 0.1333

(Sta, El, n)-(Sta, El, n)...  
(0.0100, 68.0500)-(4.0000, 67.9700, 0.015)-(4.3000, 67.8900, 0.015)-(10.0000, 68.0800, 0.015)-(15.7000, 67.8900, 0.015)-(16.0000, 67.9700, 0.015)-(20.0000, 68.0500)



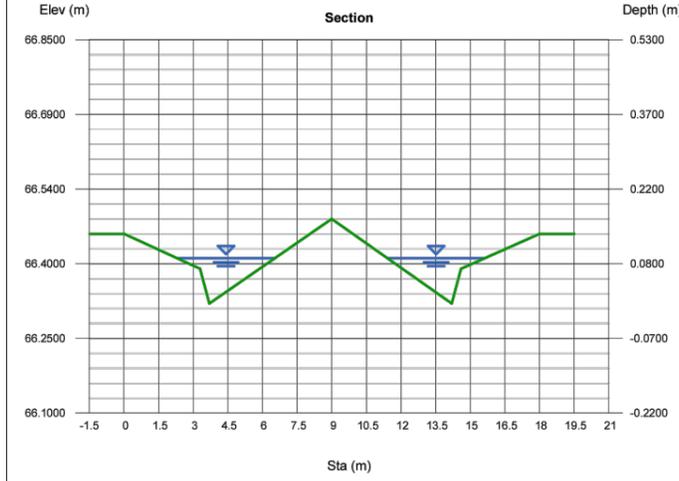
### Channel Report

Hydraflow Express Extension for Autodesk® Civil 3D® by Autodesk, Inc. Monday, Mar 17 2025

#### Catchemnt B Section 3

<b>User-defined</b>		<b>Highlighted</b>	
Invert Elev (m)	= 66.3200	Depth (m)	= 0.0914
Slope (%)	= 0.7000	Q (cms)	= 0.200
N-Value	= 0.015	Area (sqm)	= 0.3253
		Velocity (m/s)	= 0.6147
<b>Calculations</b>		Wetted Perim (m)	= 8.5125
Compute by:	Known Q	Crit Depth, Yc (m)	= 0.0945
Known Q (cms)	= 0.2000	Top Width (m)	= 8.4970
		EGL (m)	= 0.1107

(Sta, El, n)-(Sta, El, n)...  
(0.0100, 66.4600)-(3.3000, 66.3900, 0.015)-(3.7000, 66.3200, 0.015)-(9.0000, 66.4900, 0.015)-(14.2000, 66.3200, 0.015)-(14.6000, 66.3900, 0.015)-(18.0000, 66.4600)



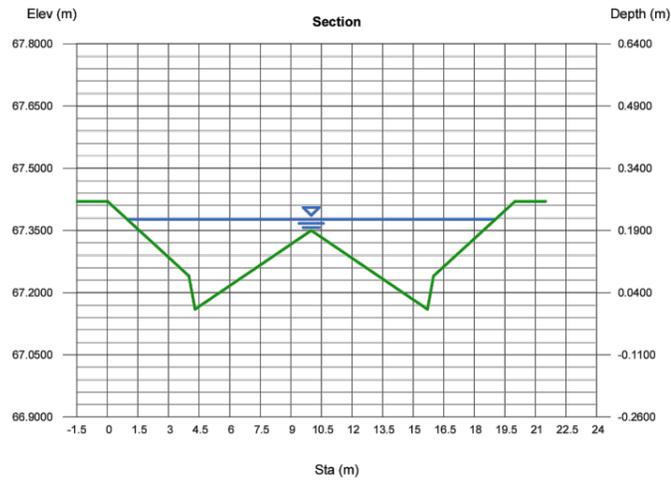
### Channel Report

Hydraflow Express Extension for Autodesk® Civil 3D® by Autodesk, Inc. Monday, Mar 17 2025

#### Catchemnt D Section 4

<b>User-defined</b>		<b>Highlighted</b>	
Invert Elev (m)	= 67.1600	Depth (m)	= 0.2164
Slope (%)	= 0.3000	Q (cms)	= 1.5000
N-Value	= 0.015	Area (sqm)	= 1.9030
		Velocity (m/s)	= 0.7882
<b>Calculations</b>		Wetted Perim (m)	= 18.0888
Compute by:	Known Q	Crit Depth, Yc (m)	= 0.2012
Known Q (cms)	= 1.5000	Top Width (m)	= 18.0554
		EGL (m)	= 0.2481

(Sta, El, n)-(Sta, El, n)...  
(0.0100, 67.4200)-(4.0000, 67.2400, 0.015)-(4.3000, 67.1600, 0.015)-(10.0000, 67.3500, 0.015)-(15.7000, 67.1600, 0.015)-(16.0000, 67.2400, 0.015)-(20.0000, 67.4200)



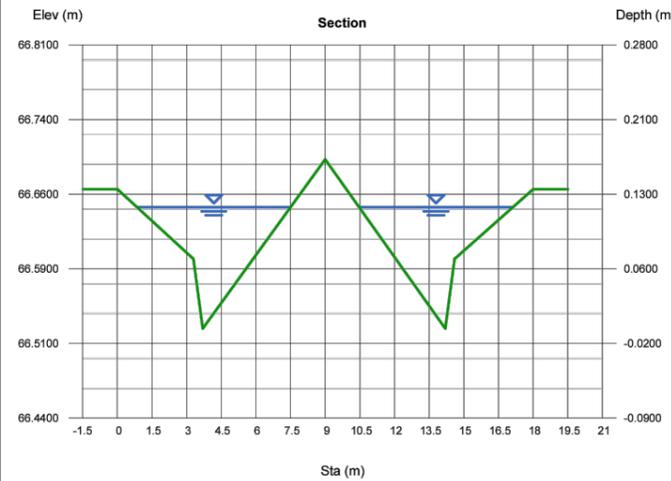
### Channel Report

Hydraflow Express Extension for Autodesk® Civil 3D® by Autodesk, Inc. Monday, Mar 17 2025

#### Catchemnt B Section 5

<b>User-defined</b>		<b>Highlighted</b>	
Invert Elev (m)	= 66.5300	Depth (m)	= 0.1219
Slope (%)	= 1.1000	Q (cms)	= 0.8000
N-Value	= 0.015	Area (sqm)	= 0.8574
		Velocity (m/s)	= 0.9127
<b>Calculations</b>		Wetted Perim (m)	= 13.3098
Compute by:	Known Q	Crit Depth, Yc (m)	= 0.1341
Known Q (cms)	= 0.8000	Top Width (m)	= 13.2927
		EGL (m)	= 0.1644

(Sta, El, n)-(Sta, El, n)...  
(0.0100, 66.6700)-(3.3000, 66.6000, 0.015)-(3.7000, 66.5300, 0.015)-(9.0000, 66.7000, 0.015)-(14.2000, 66.5300, 0.015)-(14.6000, 66.6000, 0.015)-(18.0000, 66.6700)



**RESOURCE CONSENT**

B	FAST TRACK APP	RK	05/2025
A	FAST TRACK APP	RK	04/2025
Rev	Description	By	Date
		By	Date
Survey	MAVEN		05/2024
Design	RJM		12/2024
Drawn	NAK		12/2024
Checked	DJM		05/2025



Project  
**ASHBOURNE  
RESIDENTIAL  
FOR  
MATAMATA  
DEVELOPMENTS LTD**

Title  
**PROPOSED  
OVERLAND FLOWPATH  
SECTIONS 2 OF 3**

Project no.	289001
Scale	1:2500 @ A3
Cad file	C460-OLFP.DWG
Drawing no.	C460-4
Rev	<b>B</b>

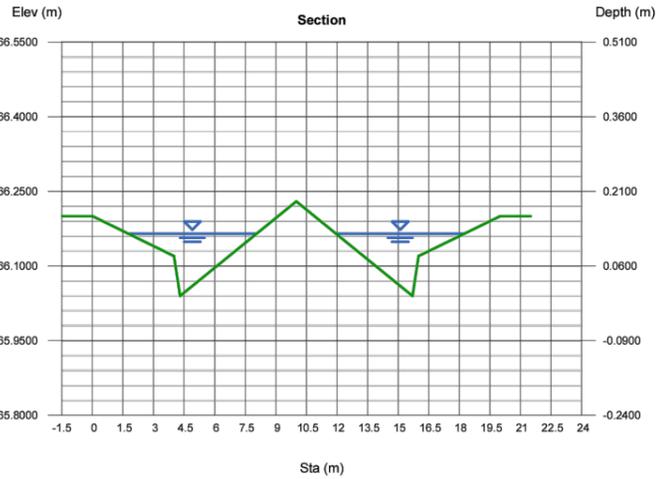
### Channel Report

Hydraflow Express Extension for Autodesk® Civil 3D® by Autodesk, Inc. Monday, Mar 17 2025

#### Catchemnt C Section 1

<b>User-defined</b>		<b>Highlighted</b>	
Invert Elev (m)	= 66.0400	Depth (m)	= 0.1250
Slope (%)	= 0.9000	Q (cms)	= 0.5000
N-Value	= 0.015	Area (sqm)	= 0.6205
		Velocity (m/s)	= 0.8058
<b>Calculations</b>		Wetted Perim (m)	= 12.6157
Compute by:	Known Q	Crit Depth, Yc (m)	= 0.1341
Known Q (cms)	= 0.5000	Top Width (m)	= 12.5896
		EGL (m)	= 0.1581

(Sta, El, n)-(Sta, El, n)...  
(0.0100, 66.2000)-(4.0000, 66.1200, 0.015)-(4.3000, 66.0400, 0.015)-(10.0000, 66.2300, 0.015)-(15.7000, 66.0400, 0.015)-(16.0000, 66.1200, 0.015)-(20.0000, 66.2000, 0.015)



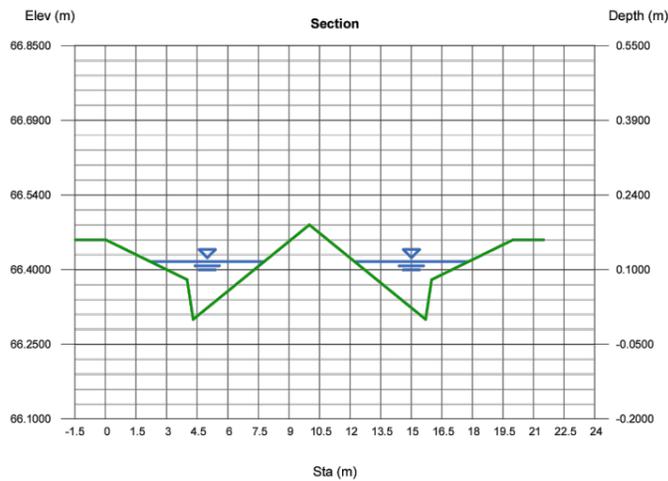
### Channel Report

Hydraflow Express Extension for Autodesk® Civil 3D® by Autodesk, Inc. Monday, Mar 17 2025

#### Catchemnt D Section 1

<b>User-defined</b>		<b>Highlighted</b>	
Invert Elev (m)	= 66.3000	Depth (m)	= 0.1158
Slope (%)	= 0.5000	Q (cms)	= 0.3000
N-Value	= 0.015	Area (sqm)	= 0.5121
		Velocity (m/s)	= 0.5858
<b>Calculations</b>		Wetted Perim (m)	= 11.1542
Compute by:	Known Q	Crit Depth, Yc (m)	= 0.1128
Known Q (cms)	= 0.3000	Top Width (m)	= 11.1286
		EGL (m)	= 0.1333

(Sta, El, n)-(Sta, El, n)...  
(0.0100, 66.4600)-(4.0000, 66.3800, 0.015)-(4.3000, 66.3000, 0.015)-(10.0000, 66.4900, 0.015)-(15.7000, 66.3000, 0.015)-(16.0000, 66.3800, 0.015)-(20.0000, 66.4600, 0.015)



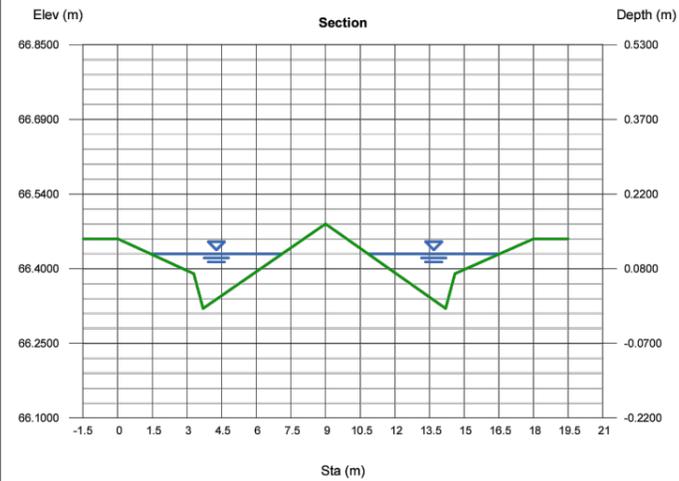
### Channel Report

Hydraflow Express Extension for Autodesk® Civil 3D® by Autodesk, Inc. Monday, Mar 17 2025

#### Catchemnt D Section 2

<b>User-defined</b>		<b>Highlighted</b>	
Invert Elev (m)	= 66.3200	Depth (m)	= 0.1097
Slope (%)	= 0.5000	Q (cms)	= 0.3000
N-Value	= 0.015	Area (sqm)	= 0.5070
		Velocity (m/s)	= 0.5917
<b>Calculations</b>		Wetted Perim (m)	= 11.3907
Compute by:	Known Q	Crit Depth, Yc (m)	= 0.1067
Known Q (cms)	= 0.3000	Top Width (m)	= 11.3742
		EGL (m)	= 0.1276

(Sta, El, n)-(Sta, El, n)...  
(0.0100, 66.4600)-(3.3000, 66.3900, 0.015)-(3.7000, 66.3200, 0.015)-(9.0000, 66.4900, 0.015)-(14.2000, 66.3200, 0.015)-(14.6000, 66.3900, 0.015)-(18.0000, 66.4600, 0.015)



Rev	Description	By	Date
B	FAST TRACK APP	RK	05/2025
A	FAST TRACK APP	RK	04/2025
Survey	MAVEN		05/2024
Design	RJM		12/2024
Drawn	NAK		12/2024
Checked	DJM		05/2025



Project  
**ASHBOURNE  
RESIDENTIAL  
FOR  
MATAMATA  
DEVELOPMENTS LTD**

Title  
**PROPOSED  
OVERLAND FLOWPATH  
SECTIONS 3 OF 3**

Project no.	289001
Scale	1:2500 @ A3
Cad file	C460-OLFP.DWG
Drawing no.	C460-5
Rev	<b>B</b>

**RESOURCE CONSENT**



PROPOSED SOAKAGE TRENCH

PROPOSED DRIVEWAY

BUILDING FOOTPRINT

IMPERVIOUS AREA LESS THAN 150m<sup>2</sup>  
SCALE 1:200 HORI & 1:40 VERTICAL @ A3

TYPICAL SOAKAGE TRENCH FOR 0.5 l/min/m<sup>2</sup>  
REQUIRED VOLUME: 6.23m<sup>3</sup>  
DESIGN VOLUME: 6.49m<sup>3</sup>

TYPICAL SOAKAGE TRENCH FOR 1.5 l/min/m<sup>2</sup>  
REQUIRED VOLUME: 5.35m<sup>3</sup>  
DESIGN VOLUME: 5.56m<sup>3</sup>

TYPICAL SOAKAGE TRENCH FOR 3.0 l/min/m<sup>2</sup>  
REQUIRED VOLUME: 4.50m<sup>3</sup>  
DESIGN VOLUME: 4.64m<sup>3</sup>

BUILDING FOOTPRINT

IMPERVIOUS AREA LESS THAN 150m<sup>2</sup> DETAILS  
SCALE 1:75 HORI & 1:15 VERTICAL @ A3

- Notes
1. Site specific testing is required at Building Consent to determine the soakage rate and optimal soakage trench location.
  2. On-lot soakage trench size is to be determined using the attached table by selecting the appropriate impervious area and corresponding soakage rate.
  3. Invert of soakage device must be above the winter groundwater table.
  4. Sizing is based on assumed depth of 1m. If 2m depth is chosen, the area of the soakage device can be halved.
  5. Soakage trench device is sized to cater for the 10-year ARI event including climate change.
  6. Soakage trench must maintain minimum 3m clearance from building footprint in accordance with RITS.
  7. Soakage device to be either a soakage trench, soak hole or an approved alternative.
  8. Soakage device must be constructed in accordance with the MPDC and Building Consent requirements.

Legend

	SOAKAGE TRENCH - 0.5l/min/m <sup>2</sup>
	SOAKAGE TRENCH - 1.5l/min/m <sup>2</sup>
	SOAKAGE TRENCH - 3.0l/min/m <sup>2</sup>

B	FAST TRACK APP	MKS	06/2025
A	FAST TRACK APP	MKS	04/2025
Rev	Description	By	Date
Survey	MAVEN		05/2024
Design	MKS		03/2025
Drawn	MKS		03/2025
Checked	DJM		06/2025

Project  
**ASHBOURNE RESIDENTIAL FOR MATAMATA DEVELOPMENTS LTD**

Title  
**PROPOSED STORMWATER ON-LOT TYPICAL PLAN**

Project no.	289001
Scale	AS SHOWN
Cad file	C470-SW ON-LOT TYP PLAN.DWG
Drawing no.	C470-1
Rev	<b>B</b>

BUILDING FOOTPRINT

PROPOSED SOAKAGE TRENCH

PROPOSED DRIVEWAY

IMPERVIOUS AREA BETWEEN 150m<sup>2</sup> AND 200m<sup>2</sup>  
SCALE 1:200 HORI & 1:40 VERTICAL @ A3

BUILDING FOOTPRINT

TYPICAL SOAKAGE TRENCH FOR 0.5 l/min/m<sup>2</sup>  
REQUIRED VOLUME: 8.31m<sup>3</sup>  
DESIGN VOLUME: 8.46m<sup>3</sup>

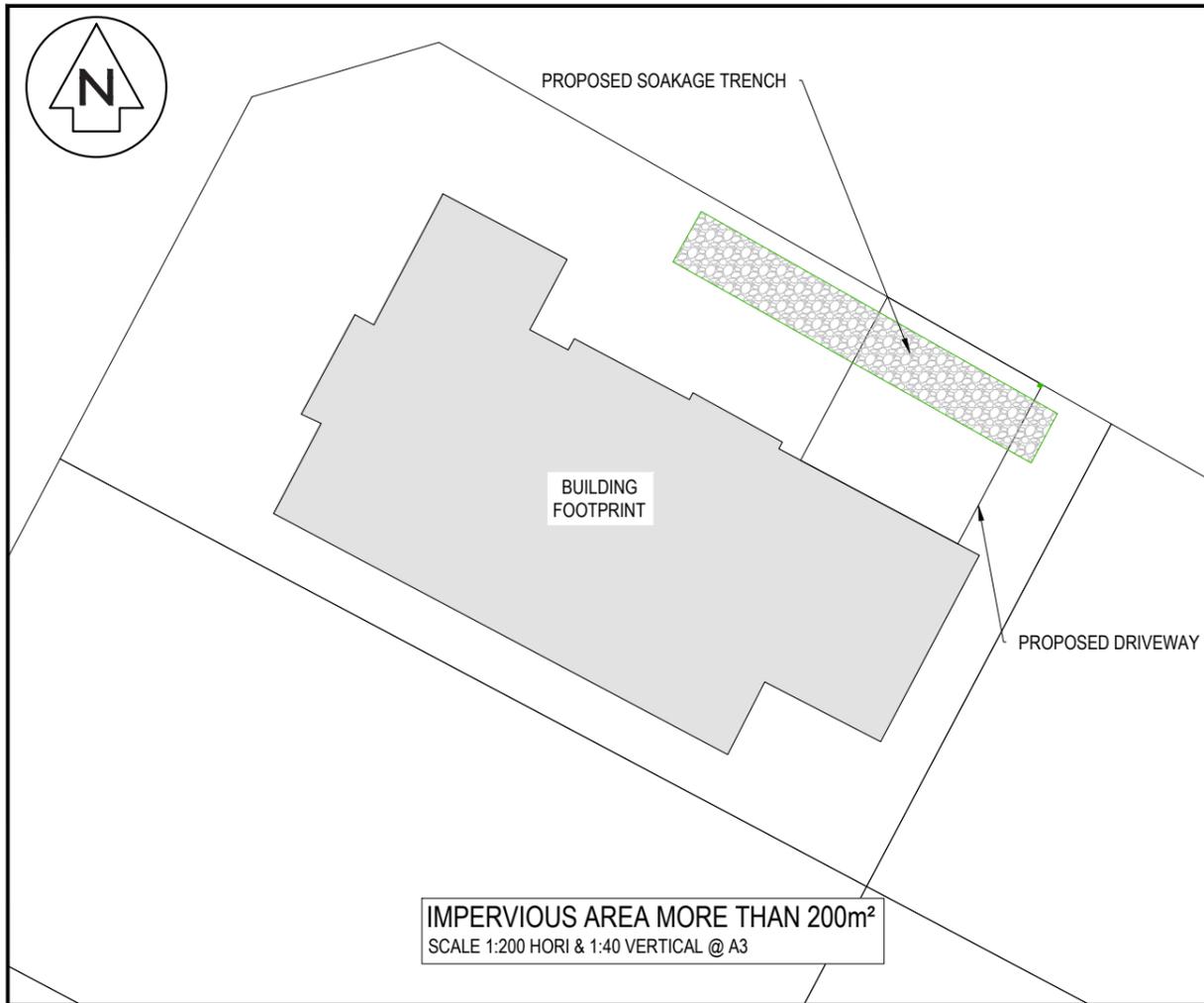
TYPICAL SOAKAGE TRENCH FOR 1.5 l/min/m<sup>2</sup>  
REQUIRED VOLUME: 7.17m<sup>3</sup>  
DESIGN VOLUME: 7.21m<sup>3</sup>

TYPICAL SOAKAGE TRENCH FOR 3.0 l/min/m<sup>2</sup>  
REQUIRED VOLUME: 5.96m<sup>3</sup>  
DESIGN VOLUME: 6.27m<sup>3</sup>

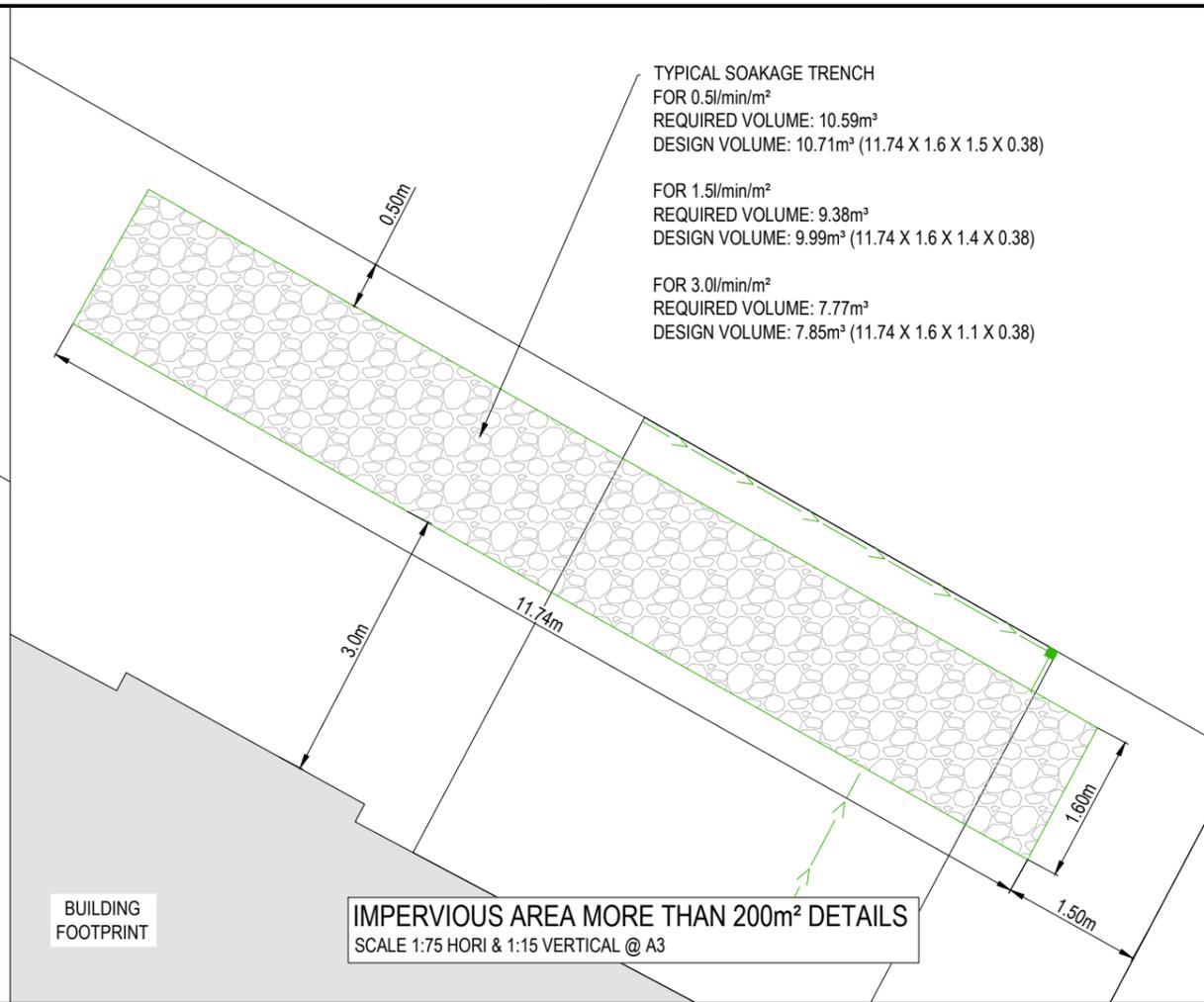
IMPERVIOUS AREA BETWEEN 150m<sup>2</sup> AND 200m<sup>2</sup> DETAILS  
SCALE 1:100 HORI & 1:20 VERTICAL @ A3

**RESOURCE CONSENT**

DATE: 6/2/25 FILE PATH: F:\MVEN\HAMILTON\PROJECTS\289001 - STATION ROAD\DRAWING\1 - ASHBOURNE RESIDENTIAL\ON-LOT TYP PLAN.DWG



IMPERVIOUS AREA MORE THAN 200m<sup>2</sup>  
SCALE 1:200 HORI & 1:40 VERTICAL @ A3



BUILDING FOOTPRINT

IMPERVIOUS AREA MORE THAN 200m<sup>2</sup> DETAILS  
SCALE 1:75 HORI & 1:15 VERTICAL @ A3

TYPICAL SOAKAGE TRENCH  
FOR 0.5l/min/m<sup>2</sup>  
REQUIRED VOLUME: 10.59m<sup>3</sup>  
DESIGN VOLUME: 10.71m<sup>3</sup> (11.74 X 1.6 X 1.5 X 0.38)

FOR 1.5l/min/m<sup>2</sup>  
REQUIRED VOLUME: 9.38m<sup>3</sup>  
DESIGN VOLUME: 9.99m<sup>3</sup> (11.74 X 1.6 X 1.4 X 0.38)

FOR 3.0l/min/m<sup>2</sup>  
REQUIRED VOLUME: 7.77m<sup>3</sup>  
DESIGN VOLUME: 7.85m<sup>3</sup> (11.74 X 1.6 X 1.1 X 0.38)

- Notes
1. Site specific testing is required at Building Consent to determine the soakage rate and optimal soakage trench location.
  2. On-lot soakage trench size is to be determined using the attached table by selecting the appropriate impervious area and corresponding soakage rate.
  3. Invert of soakage device must be above the winter groundwater table.
  4. Soakage trench device is sized to cater for the 10-year ARI event including climate change.
  5. Soakage trench must maintain minimum 3m clearance from building footprint in accordance with RITS.
  6. Soakage device to be either a soakage trench, soak hole or an approved alternative.
  7. Soakage device must be constructed in accordance with the MPDC and Building Consent requirements.

Legend

- SOAKAGE TRENCH - 0.5l/min/m<sup>2</sup>
- SOAKAGE TRENCH - 1.5l/min/m<sup>2</sup>
- SOAKAGE TRENCH - 3.0l/min/m<sup>2</sup>

B	FAST TRACK APP	MKS	06/2025
A	FAST TRACK APP	MKS	04/2025
Rev	Description	By	Date
		By	Date
Survey	MAVEN		05/2024
Design	MKS		03/2025
Drawn	MKS		03/2025
Checked	DJM		06/2025

ON-LOT SOAKAGE TRENCH TABLE

ON-LOT SOAKAGE TRENCH SIZE REQUIREMENT	SOAKAGE RATE (l / min / m <sup>2</sup> )		
IMPERVIOUS AREA (m <sup>2</sup> )	0.5 < 1.5	1.5 - 3.0	> 3.0
< 150	6.49m <sup>3</sup>	5.56m <sup>3</sup>	4.64m <sup>3</sup>
150 - 200	8.46m <sup>3</sup>	7.21m <sup>3</sup>	6.27m <sup>3</sup>
200 - 250	10.71m <sup>3</sup>	9.99m <sup>3</sup>	7.85m <sup>3</sup>

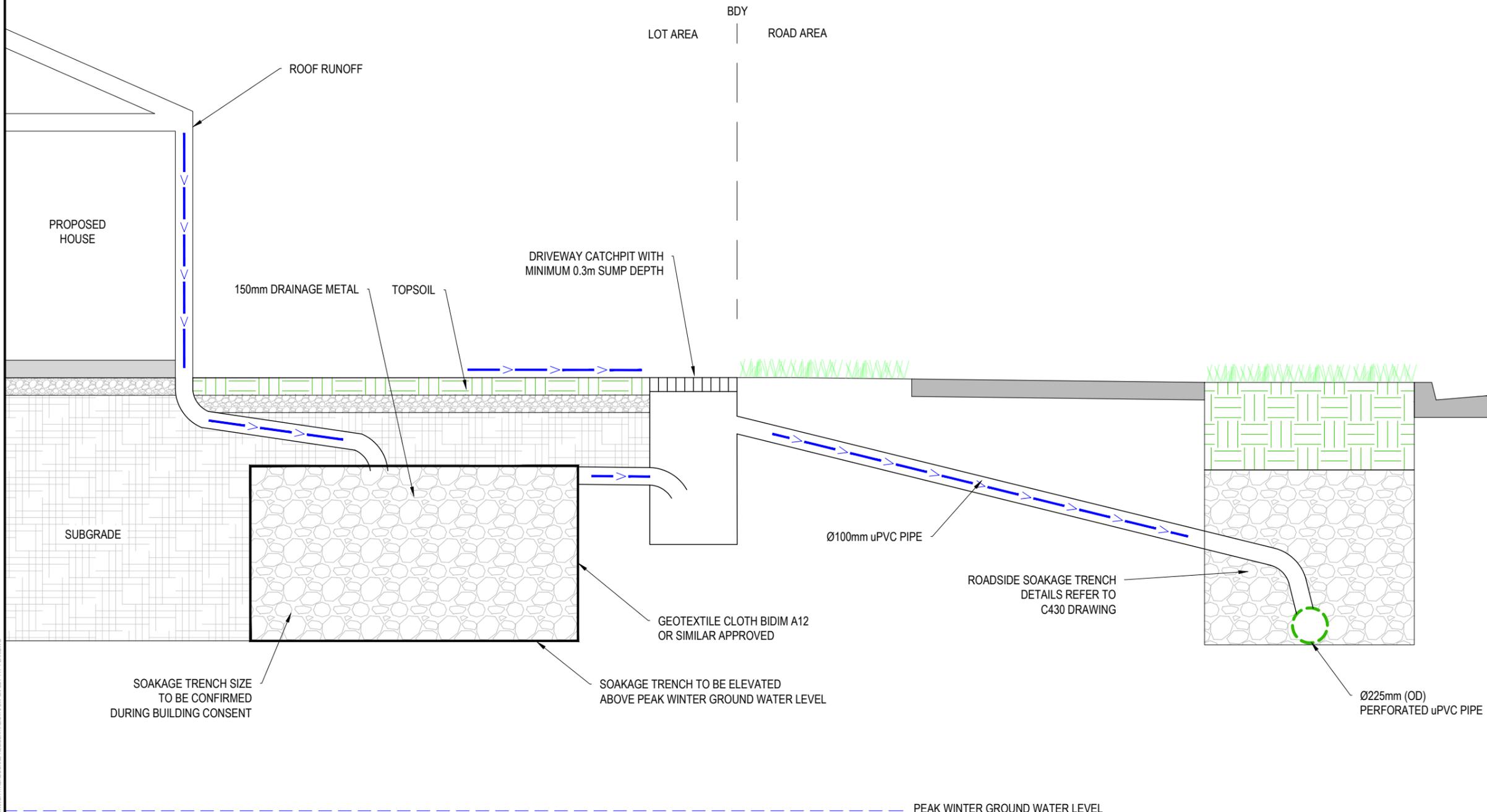
ON-LOT SOAKAGE TRENCH TABLE  
SCALE: NTS

RESOURCE CONSENT

Project  
**ASHBOURNE  
RESIDENTIAL  
FOR  
MATAMATA  
DEVELOPMENTS LTD**

Title  
**PROPOSED  
STORMWATER ON-LOT  
TYPICAL PLAN**

Project no.	289001
Scale	AS SHOWN
Cad file	C470-SW ON-LOT TYP PLAN.DWG
Drawing no.	C470-2
Rev	<b>B</b>



ON-LOT TYPICAL CROSS SECTION  
SCALE 1:25 HORI & 1:5 VERTICAL @ A3

- Notes
1. Site specific testing is required at Building Consent to determine the soakage rate and optimal soakage trench location.
  2. On-lot soakage trench size is to be determined using the attached table by selecting the appropriate impervious area and corresponding soakage rate.
  3. Invert of soakage device must be above the winter groundwater table.
  4. Soakage trench device is sized to cater for the 10-year ARI event including climate change.
  5. Soakage trench must maintain minimum 3m clearance from building footprint in accordance with RITS.
  6. Soakage device to be either a soakage trench, soak hole or an approved alternative.
  7. Soakage device must be constructed in accordance with the MPDC and Building Consent requirements.
  8. If soakage is not viable due to low soakage rate, detention tank to be proposed.

Rev	Description	By	Date
B	FAST TRACK APP	MKS	05/2025
A	FAST TRACK APP	MKS	04/2025

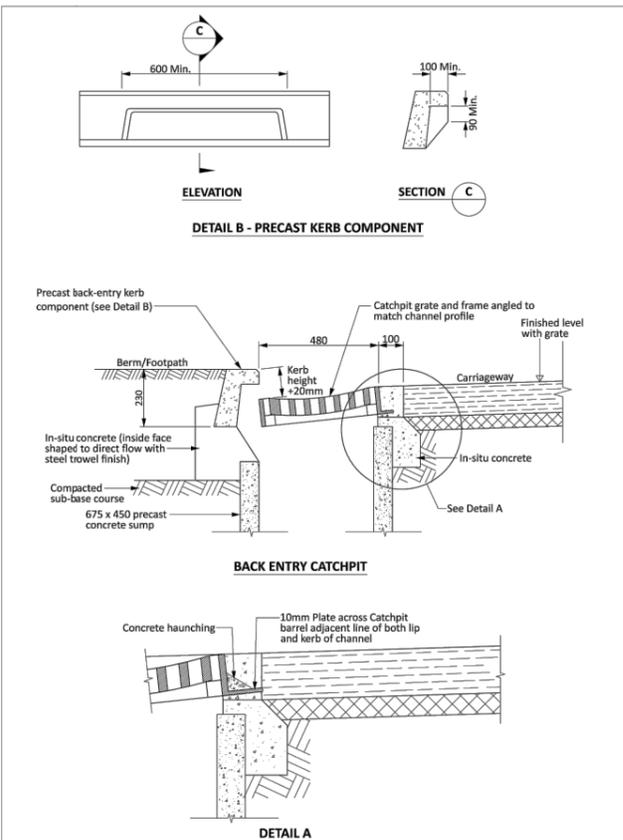
Project  
**ASHBOURNE  
RESIDENTIAL  
FOR  
MATAMATA  
DEVELOPMENTS LTD**

Title  
**PROPOSED  
STORMWATER ON-LOT  
TYPICAL CROSS-SECTION**

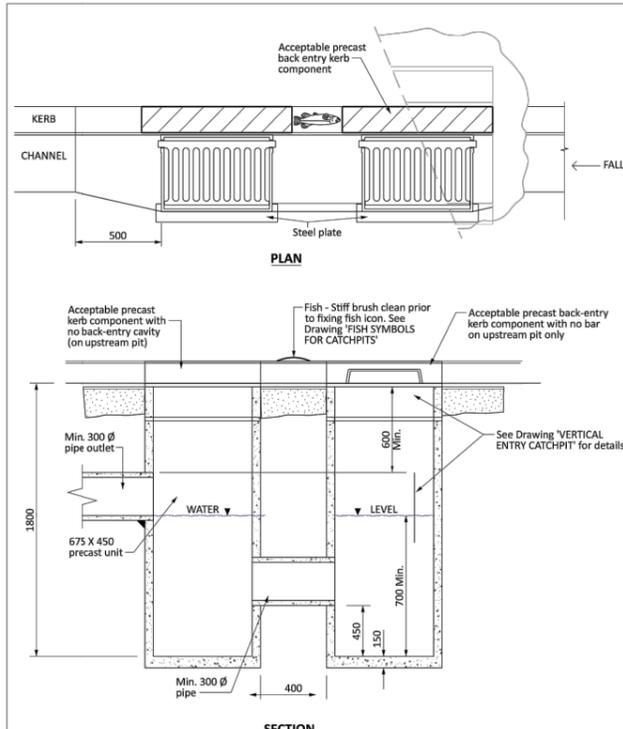
Project no.	289001
Scale	1:25 @ A3
Cad file	C470-SW ON-LOT TYP PLANDWG
Drawing no.	C470-3
Rev	<b>B</b>

**RESOURCE CONSENT**

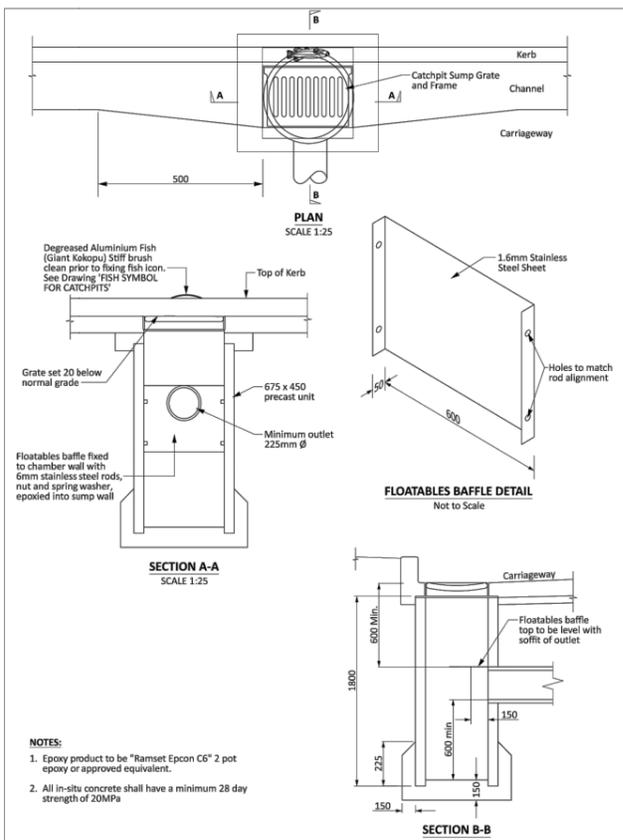
DATE: 6/2/25 FILEPATH: F:\MVEN\HAMILTON\6 PROJECTS\289001 - STATION ROAD\ DRAWING\11 - ASHBOURNE RESIDENTIAL\03\SW ON-LOT TYP PLANDWG



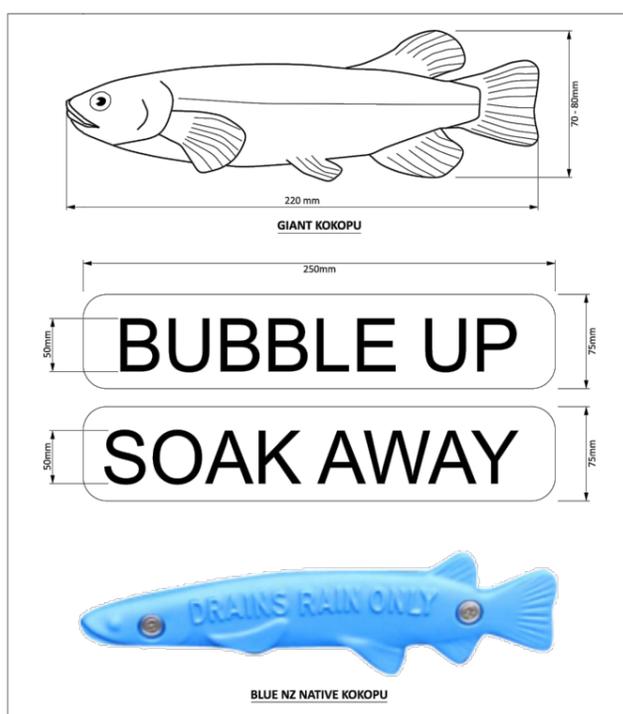
**CATCHPIT BACK ENTRY DETAILS** D4.7  
Version: April 2021



**DOUBLE SUMP CATCHPIT DESIGN** D4.8  
Version: April 2021



**VERTICAL ENTRY CATCHPIT** D4.9  
Version: April 2021



**FISH SYMBOLS FOR CATCHPITS** D4.10  
Version: April 2021

- Notes
- All works to be in accordance with Waikato Regional Infrastructure Technical Specifications.
  - Co-ordinates in terms of NZ Geodetic Datum Mount Eden 2000.
  - Levels in terms of the New Zealand Vertical Datum 2016.
  - It is the contractors responsibility to locate all services that may be affected by his operations.
  - Approved hardfill is to be used in backfilling of all stormwater lines within the road reserve.
  - All catchpit leads shall be laid at 1% unless otherwise specified.
  - All lines to be abandoned shall be sealed at each end. Timing of all sealing to be coordinated with council staff.

A	FAST TRACK APP	MKS	04/2025
Rev	Description	By	Date
		By	Date
Survey	MAVEN		05/2024
Design	MKS		04/2025
Drawn	MKS		04/2025
Checked	DJM		04/2025

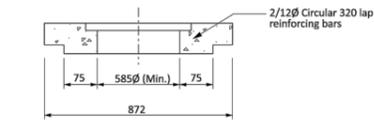
**M** Maven Associates  
09 571 0050  
info@maven.co.nz  
www.maven.co.nz  
5 Owens Road, Epsom  
Auckland 1023

Project  
**ASHBOURNE  
RESIDENTIAL  
FOR  
MATAMATA  
DEVELOPMENTS LTD**

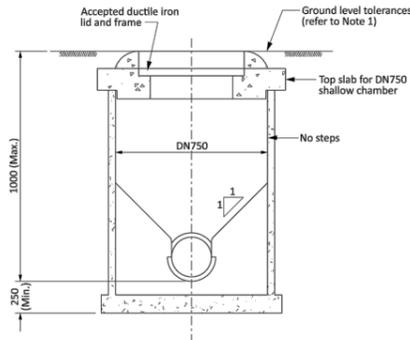
Title  
**PROPOSED  
STORMWATER  
STANDARD DETAILS**

Project no.	289001
Scale	NTS
Cad file	C480-SW STANDARD DETAILS.DWG
Drawing no.	C480-1
Rev	<b>A</b>





TOP SLAB FOR DN750 SHALLOW CHAMBER



DN750 INTERNAL SHALLOW CHAMBER  
To be used only on pipes of DN100 to DN300 and where depth of invert is less than 1000mm

- NOTES:
- Ground level tolerances: Pavement +0mm, -5mm  
Berm +5mm, -5mm  
Footpath +10mm, -0mm

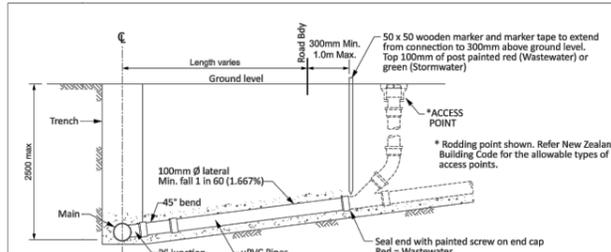


SHALLOW MANHOLE/CHAMBER

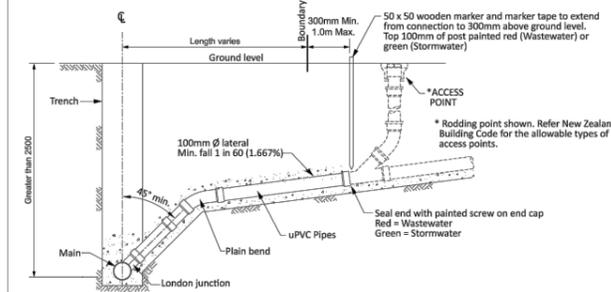
D4.23

REGIONAL INFRASTRUCTURE TECHNICAL SPECIFICATION

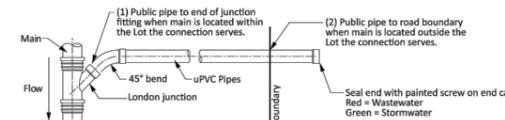
Version: April 2021



STANDARD CONNECTION WITH A DEPTH TO INVERT LESS THAN 2500mm - SECTION



RAMP RISER CONNECTION WITH A DEPTH TO INVERT GREATER THAN 2500mm - SECTION



POINT OF DISCHARGE: PUBLIC AND PRIVATE INFRASTRUCTURE

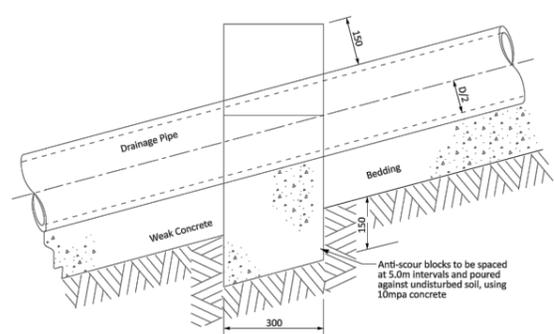


LATERAL CONNECTION

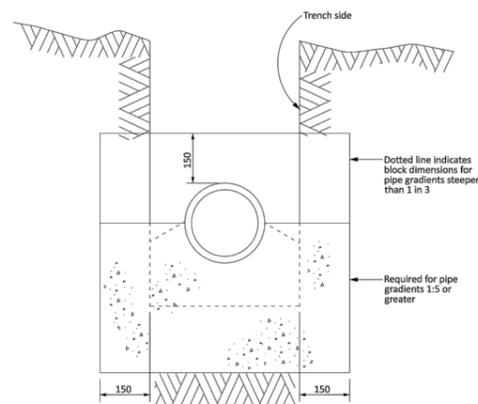
D4.24

REGIONAL INFRASTRUCTURE TECHNICAL SPECIFICATION

Version: April 2021



LONG SECTION



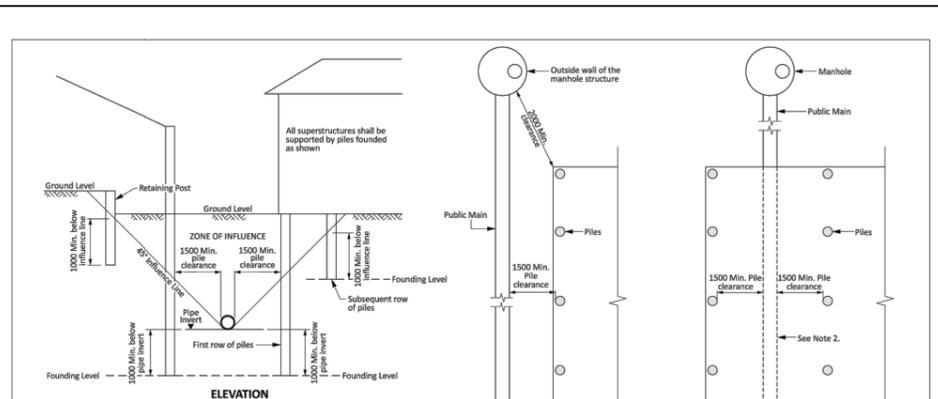
CROSS SECTION



ANTI-SCOUR BLOCKS FOR STEEP DRAINAGE PIPES

D4.25

Version: April 2021



- NOTES:
- Building or other works over public sewer or stormwater pipelines is not a practice supported by Council so shall be avoided. Where this is not possible, the building and development shall be so designed that they act independently of the public sewer or stormwater network.
  - Where required by Council, the affected public pipelines or structures shall either be relocated or renewed in place with approved pipe materials at a cost to the development. See section ABC & XYZ for more information.
  - Building is not permitted over manholes or connections under any circumstances.
  - Closed Circuit Television (CCTV) inspections shall be required of Council's assets before and after as a result of any work close to or over Council's assets.
  - No structural loads shall be placed on, or be transferred to the public pipelines, or other public wastewater/stormwater assets. All structural loads shall be absorbed (by means of piles where appropriate) outside of the 45° influence envelope and below the invert level of the sewer pipe for the first row of piles.
  - All piles located within the 45° influence envelope shall be drilled.



BUILDING OVER AND ADJACENT TO PUBLIC WASTEWATER OR STORMWATER PIPELINES

D4.26

REGIONAL INFRASTRUCTURE TECHNICAL SPECIFICATION

Version: April 2021

Notes

- All works to be in accordance with Waikato Regional Infrastructure Technical Specifications.
- Co-ordinates in terms of NZ Geodetic Datum Mount Eden 2000.
- Levels in terms of the New Zealand Vertical Datum 2016.
- It is the contractor's responsibility to locate all services that may be affected by his operations.
- Approved hardfill is to be used in backfilling of all stormwater lines within the road reserve.
- All catchpit leads shall be laid at 1% unless otherwise specified.
- All lines to be abandoned shall be sealed at each end. Timing of all sealing to be coordinated with council staff.

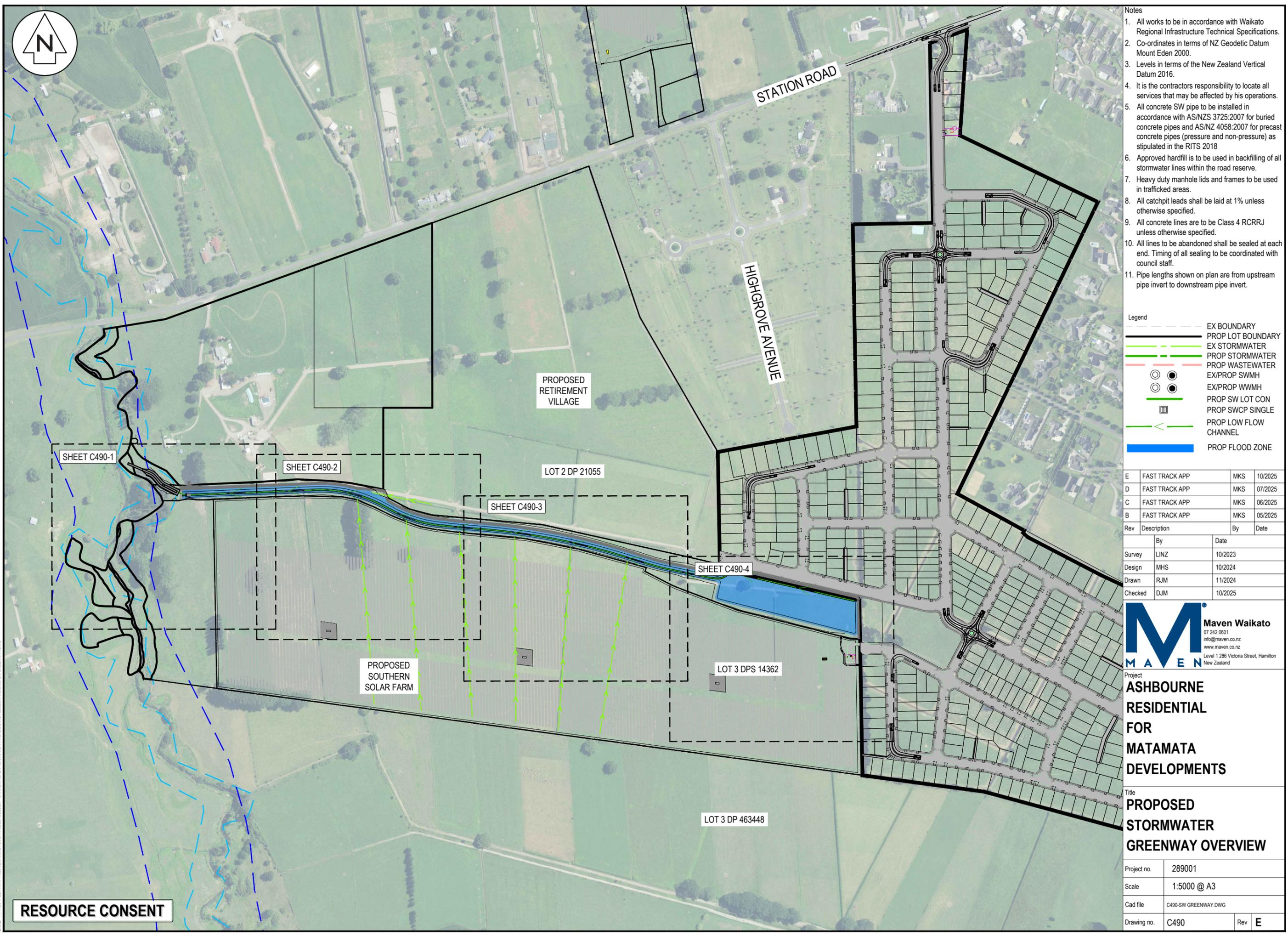
A	FAST TRACK APP	MKS	04/2025
Rev	Description	By	Date
Survey	MAVEN		05/2024
Design	MKS		04/2025
Drawn	MKS		04/2025
Checked	DJM		04/2025

**M** Maven Associates  
09 571 0050  
info@maven.co.nz  
www.maven.co.nz  
5 Owens Road, Epsom  
Auckland 1023

Project  
**ASHBOURNE  
RESIDENTIAL  
FOR  
MATAMATA  
DEVELOPMENTS LTD**

Title  
**PROPOSED  
STORMWATER  
STANDARD DETAILS**

Project no.	289001
Scale	NTS
Cad file	C480-SW STANDARD DETAILS.DWG
Drawing no.	C480-3
Rev	<b>A</b>



- Notes
- All works to be in accordance with Waikato Regional Infrastructure Technical Specifications.
  - Co-ordinates in terms of NZ Geodetic Datum Mount Eden 2000.
  - Levels in terms of the New Zealand Vertical Datum 2016.
  - It is the contractors responsibility to locate all services that may be affected by his operations.
  - All concrete SW pipe to be installed in accordance with AS/NZS 3725:2007 for buried concrete pipes and AS/NZ 4058:2007 for precast concrete pipes (pressure and non-pressure) as stipulated in the RITS 2018
  - Approved hardfill is to be used in backfilling of all stormwater lines within the road reserve.
  - Heavy duty manhole lids and frames to be used in trafficked areas.
  - All catchpit leads shall be laid at 1% unless otherwise specified.
  - All concrete lines are to be Class 4 RCRRJ unless otherwise specified.
  - All lines to be abandoned shall be sealed at each end. Timing of all sealing to be coordinated with council staff.
  - Pipe lengths shown on plan are from upstream pipe invert to downstream pipe invert.

Legend

	EX BOUNDARY
	PROP LOT BOUNDARY
	EX STORMWATER
	PROP STORMWATER
	PROP WASTEWATER
	EX/PROP SWMH
	EX/PROP WWMH
	PROP SW LOT CON
	PROP SWCP SINGLE
	PROP LOW FLOW CHANNEL
	PROP FLOOD ZONE

E	FAST TRACK APP	MKS	10/2025
D	FAST TRACK APP	MKS	07/2025
C	FAST TRACK APP	MKS	06/2025
B	FAST TRACK APP	MKS	05/2025
Rev	Description	By	Date
	Survey	LINZ	10/2023
	Design	MHS	10/2024
	Drawn	RJM	11/2024
	Checked	DJM	10/2025

Project  
**ASHBOURNE  
RESIDENTIAL  
FOR  
MATAMATA  
DEVELOPMENTS**

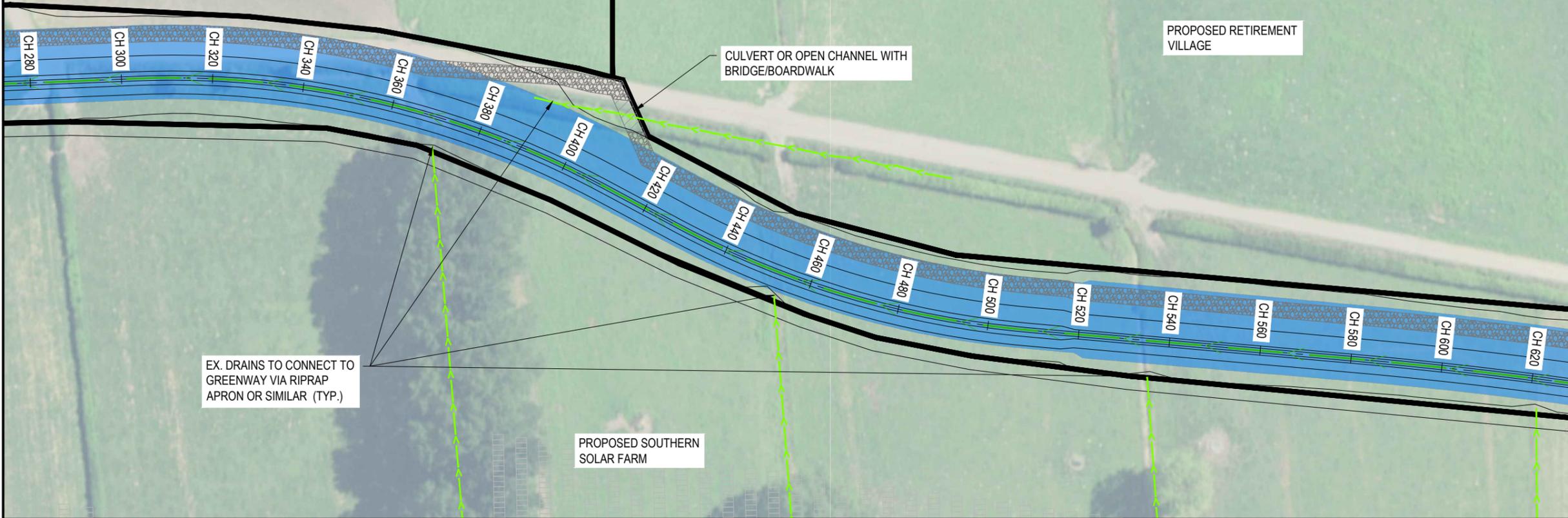
Title  
**PROPOSED  
STORMWATER  
GREENWAY OVERVIEW**

Project no.	289001		
Scale	1:5000 @ A3		
Cad file	C490-SW GREENWAY.DWG		
Drawing no.	C490	Rev	E

**RESOURCE CONSENT**

DATE: 11/11/25 FILE PATH: F:\Maven\HAM1206 PROJECTS\289001 - STATION ROAD\DRAWING\1 - ASHBORNE RESIDENTIAL\0409\SW GREENWAY.DWG





- Notes
- All works to be in accordance with Waikato Regional Infrastructure Technical Specifications.
  - Co-ordinates in terms of NZ Geodetic Datum Mount Eden 2000.
  - Levels in terms of the New Zealand Vertical Datum 2016.
  - It is the contractors responsibility to locate all services that may be affected by his operations.
  - All concrete SW pipe to be installed in accordance with AS/NZS 3725:2007 for buried concrete pipes and AS/NZ 4058:2007 for precast concrete pipes (pressure and non-pressure) as stipulated in the RITS 2018
  - Approved hardfill is to be used in backfilling of all stormwater lines within the road reserve.
  - Heavy duty manhole lids and frames to be used in trafficked areas.
  - All catchpit leads shall be laid at 1% unless otherwise specified.
  - All concrete lines are to be Class 4 RCRRJ unless otherwise specified.
  - All lines to be abandoned shall be sealed at each end. Timing of all sealing to be coordinated with council staff.
  - Pipe lengths shown on plan are from upstream pipe invert to downstream pipe invert.

Legend

	EX BOUNDARY
	PROP LOT BOUNDARY
	EX STORMWATER
	PROP STORMWATER
	EX/PROP SWMH
	EX/PROP WWMH
	PROP SW LOT CON
	PROP SWCP SINGLE
	PROP LOW FLOW CHANNEL
	PROP FLOOD ZONE

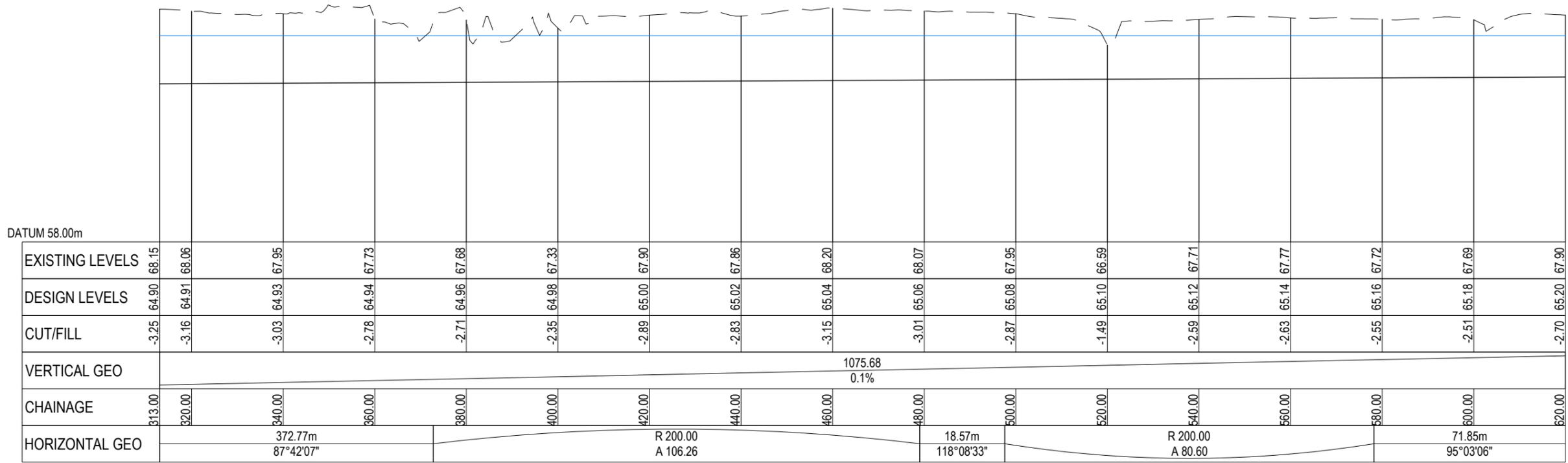
C	FAST TRACK APP	MKS	06/2025
B	FAST TRACK APP	MKS	05/2025
A	FAST TRACK APP	MS	04/2025
Rev	Description	By	Date
Survey	LINZ		10/2023
Design	MHS		10/2024
Drawn	RJM		11/2024
Checked	DJM		06/2025



Project  
**ASHBOURNE  
 RESIDENTIAL  
 FOR  
 MATAMATA  
 DEVELOPMENTS**

Title  
**PROPOSED  
 STORMWATER  
 GREENWAY PLAN**

Project no.	289001
Scale	1:1000 @ A3
Cad file	C490-SW GREENWAY.DWG
Drawing no.	C490-2
Rev	<b>C</b>



**RESOURCE CONSENT**

GREENWAY LONGSECTION CH 313-620  
 SCALE: HORI 1:500 VERT 1:100

DATE: 11/12/25 FILEPATH: F:\MVEN\HAM1016 PROJECTS\289001 - STATION ROAD\ DRAWING\1 - ASHBOURNE RESIDENTIAL\C490-SW GREENWAY.DWG



- Notes
- All works to be in accordance with Waikato Regional Infrastructure Technical Specifications.
  - Co-ordinates in terms of NZ Geodetic Datum Mount Eden 2000.
  - Levels in terms of the New Zealand Vertical Datum 2016.
  - It is the contractors responsibility to locate all services that may be affected by his operations.
  - All concrete SW pipe to be installed in accordance with AS/NZS 3725:2007 for buried concrete pipes and AS/NZ 4058:2007 for precast concrete pipes (pressure and non-pressure) as stipulated in the RITS 2018
  - Approved hardfill is to be used in backfilling of all stormwater lines within the road reserve.
  - Heavy duty manhole lids and frames to be used in trafficked areas.
  - All catchpit leads shall be laid at 1% unless otherwise specified.
  - All concrete lines are to be Class 4 RCRRJ unless otherwise specified.
  - All lines to be abandoned shall be sealed at each end. Timing of all sealing to be coordinated with council staff.
  - Pipe lengths shown on plan are from upstream pipe invert to downstream pipe invert.

Legend

	EX BOUNDARY
	PROP LOT BOUNDARY
	EX STORMWATER
	PROP STORMWATER
	PROP WASTEWATER
	EX/PROP SWMH
	EX/PROP WWMH
	PROP SW LOT CON
	PROP SWCP SINGLE
	PROP LOW FLOW CHANNEL
	PROP FLOOD ZONE

C	FAST TRACK APP	MKS	06/2025
B	FAST TRACK APP	MKS	05/2025
A	FAST TRACK APP	MS	04/2025
Rev	Description	By	Date
Survey	LINZ		10/2023
Design	MHS		10/2024
Drawn	RJM		11/2024
Checked	DJM		06/2025



Project  
**ASHBOURNE RESIDENTIAL FOR MATAMATA DEVELOPMENTS**

Title  
**PROPOSED STORMWATER GREENWAY PLAN**

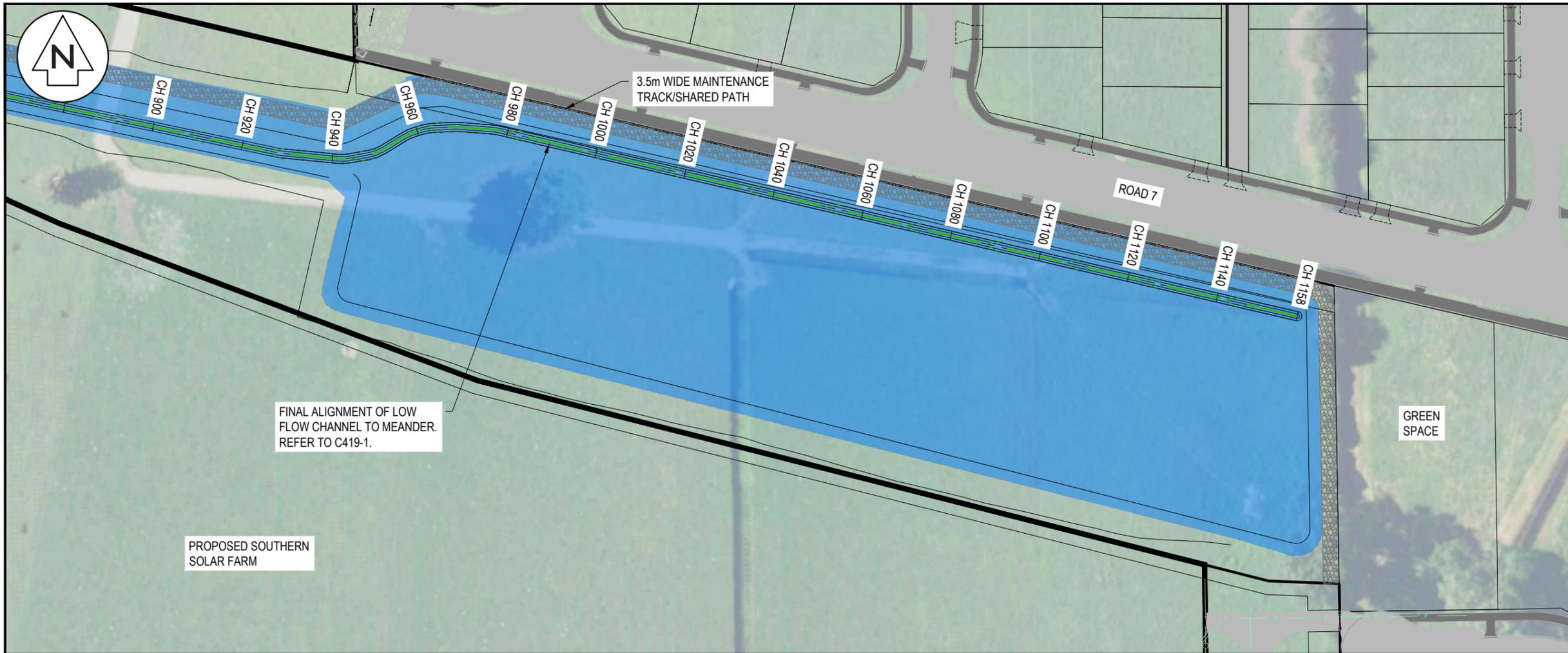
Project no.	289001
Scale	1:1000 @ A3
Cad file	C490-SW GREENWAY.DWG
Drawing no.	C490-3
Rev	<b>C</b>

	620.00	640.00	660.00	680.00	700.00	720.00	740.00	760.00	780.00	800.00	820.00	840.00	860.00	880.00	900.00	920.00	930.00
EXISTING LEVELS	67.90	67.76	67.69	67.69	67.63	67.69	67.65	67.74	67.30	67.69	67.65	67.65	67.53	67.58	67.63	67.53	67.60
DESIGN LEVELS	65.20	65.22	65.24	65.26	65.28	65.30	65.32	65.34	65.36	65.38	65.40	65.41	65.43	65.45	65.47	65.49	65.50
CUT/FILL	-2.70	-2.54	-2.46	-2.43	-2.36	-2.39	-2.33	-2.40	-1.94	-2.31	-2.25	-2.24	-2.10	-2.12	-2.16	-2.04	-2.10
VERTICAL GEO	1075.68 0.1%																
CHAINAGE	620.00	640.00	660.00	680.00	700.00	720.00	740.00	760.00	780.00	800.00	820.00	840.00	860.00	880.00	900.00	920.00	930.00
HORIZONTAL GEO	71.85m 95°03'06"		R 1000.00 A 212.05						42.89m 107°12'05"			R 250.00 A 23.31		78.87 101°51'			

**RESOURCE CONSENT**

GREENWAY LONGSECTION CH 620-930  
 SCALE: HORI 1:500 VERT 1:100

DATE: 11/12/25 FILEPATH: F:\MVEN\HAM1016 PROJECTS\289001 - STATION ROAD\ DRAWING\1 - ASHBORNE RESIDENTIAL\C490-SW GREENWAY.DWG



- Notes
- All works to be in accordance with Waikato Regional Infrastructure Technical Specifications.
  - Co-ordinates in terms of NZ Geodetic Datum Mount Eden 2000.
  - Levels in terms of the New Zealand Vertical Datum 2016.
  - It is the contractors responsibility to locate all services that may be affected by his operations.
  - All concrete SW pipe to be installed in accordance with AS/NZS 3725:2007 for buried concrete pipes and AS/NZ 4058:2007 for precast concrete pipes (pressure and non-pressure) as stipulated in the RITS 2018
  - Approved hardfill is to be used in backfilling of all stormwater lines within the road reserve.
  - Heavy duty manhole lids and frames to be used in trafficked areas.
  - All catchpit leads shall be laid at 1% unless otherwise specified.
  - All concrete lines are to be Class 4 RCRRJ unless otherwise specified.
  - All lines to be abandoned shall be sealed at each end. Timing of all sealing to be coordinated with council staff.
  - Pipe lengths shown on plan are from upstream pipe invert to downstream pipe invert.

Legend

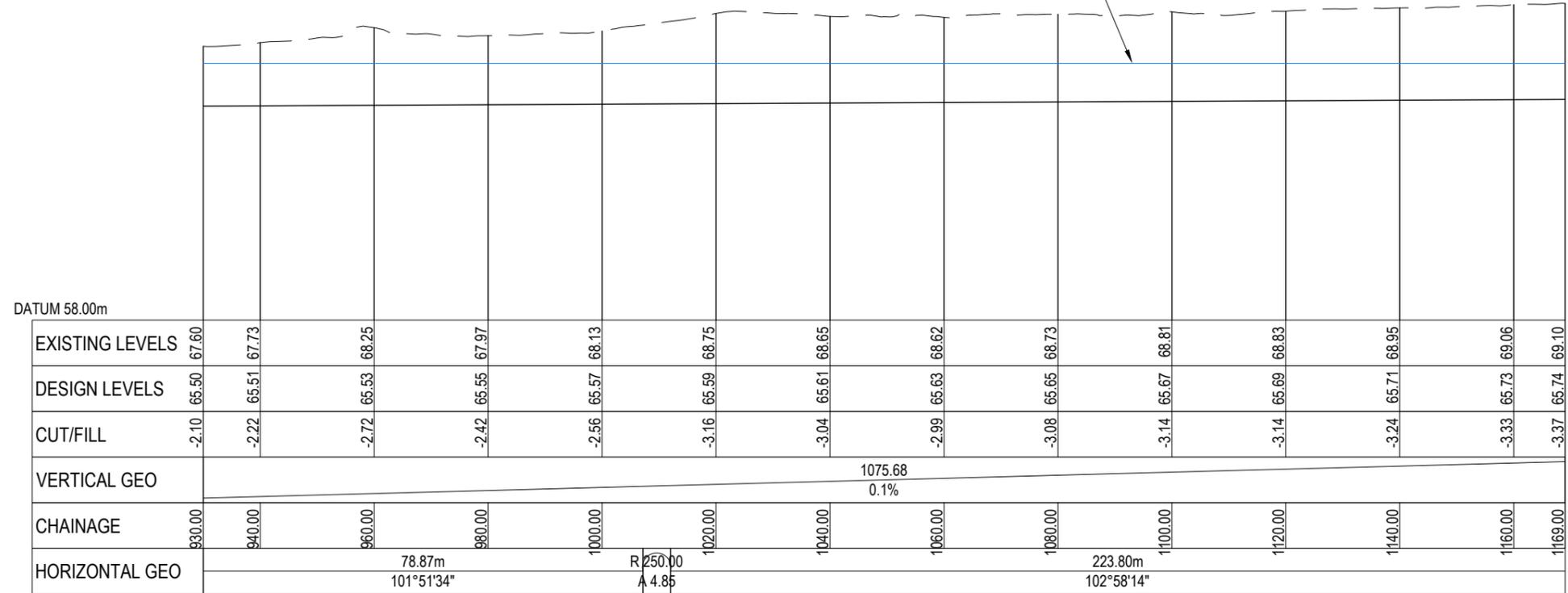
---	EX BOUNDARY
---	PROP LOT BOUNDARY
---	EX STORMWATER
---	PROP STORMWATER
---	PROP WASTEWATER
○	EX/PROP SWMH
○	EX/PROP WWMH
---	PROP SW LOT CON
---	PROP SWCP SINGLE
---	PROP LOW FLOW CHANNEL
---	PROP FLOOD ZONE

FINAL ALIGNMENT OF LOW FLOW CHANNEL TO MEANDER. REFER TO C419-1.

PROPOSED SOUTHERN SOLAR FARM

GREEN SPACE

ASSUME POST-DEVELOP 100YR FLOOD LEVEL SET AT LOWEST SUBDIVISION ROAD DESIGN EL. = 67m (TO BE VERIFIED VIA STORM WATER MODELLING)



D	FAST TRACK APP	MKS	10/2025
C	FAST TRACK APP	MKS	06/2025
B	FAST TRACK APP	MKS	05/2025
A	FAST TRACK APP	MS	04/2025
Rev	Description	By	Date
Survey	LINZ		10/2023
Design	MHS		10/2024
Drawn	RJM		11/2024
Checked	DJM		06/2025

Project  
**ASHBOURNE  
 RESIDENTIAL  
 FOR  
 MATAMATA  
 DEVELOPMENTS**

Title  
**PROPOSED  
 STORMWATER  
 GREENWAY PLAN**

Project no.	289001
Scale	1:1000 @ A3
Cad file	C490-SW GREENWAY.DWG
Drawing no.	C490-4
Rev	<b>D</b>

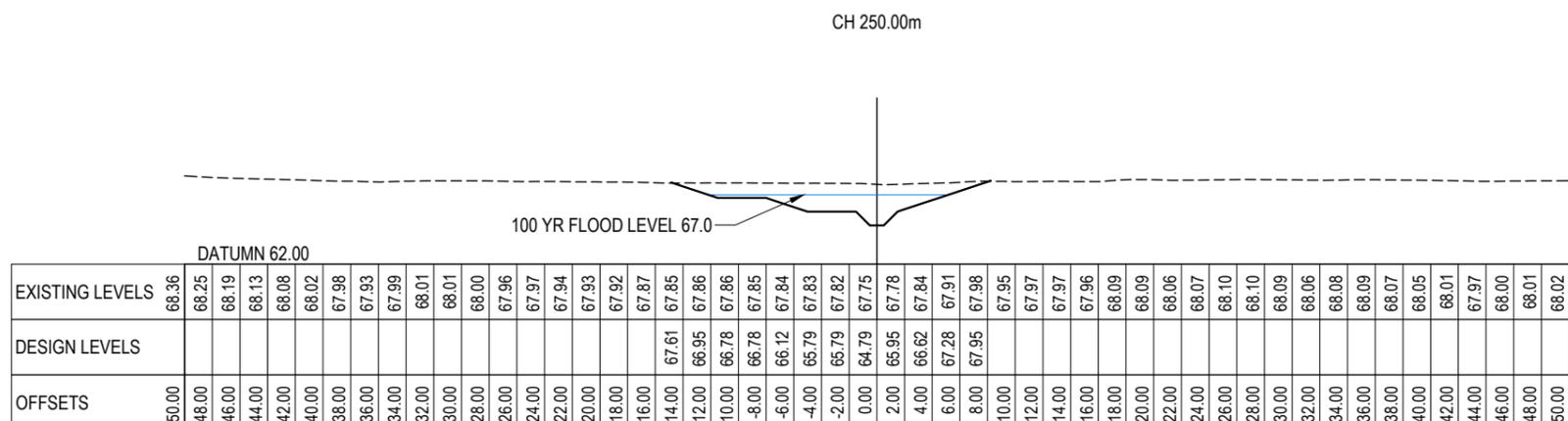
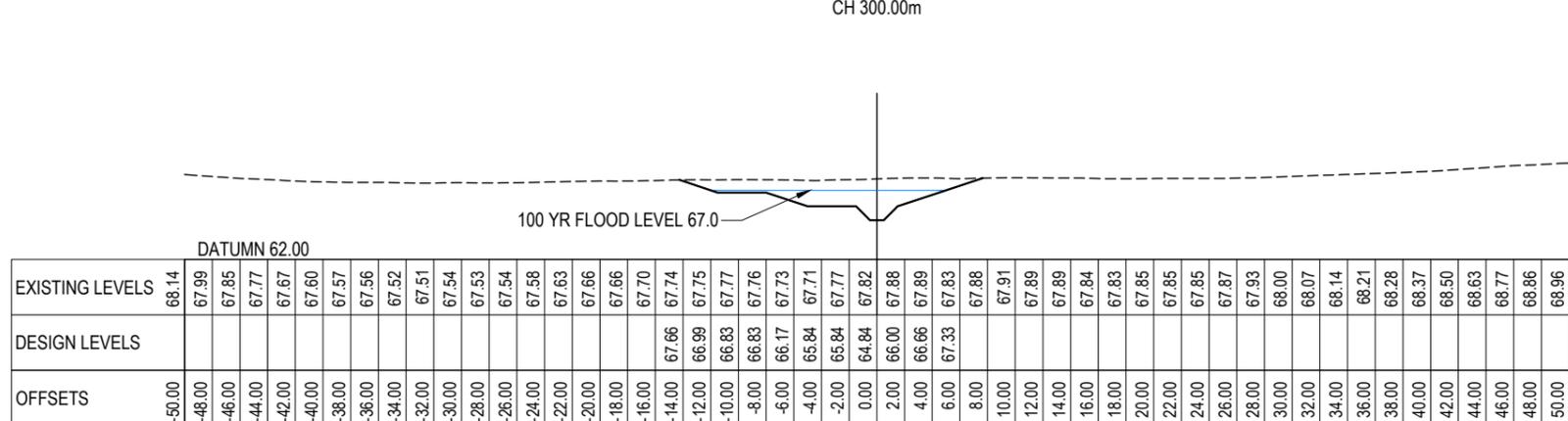
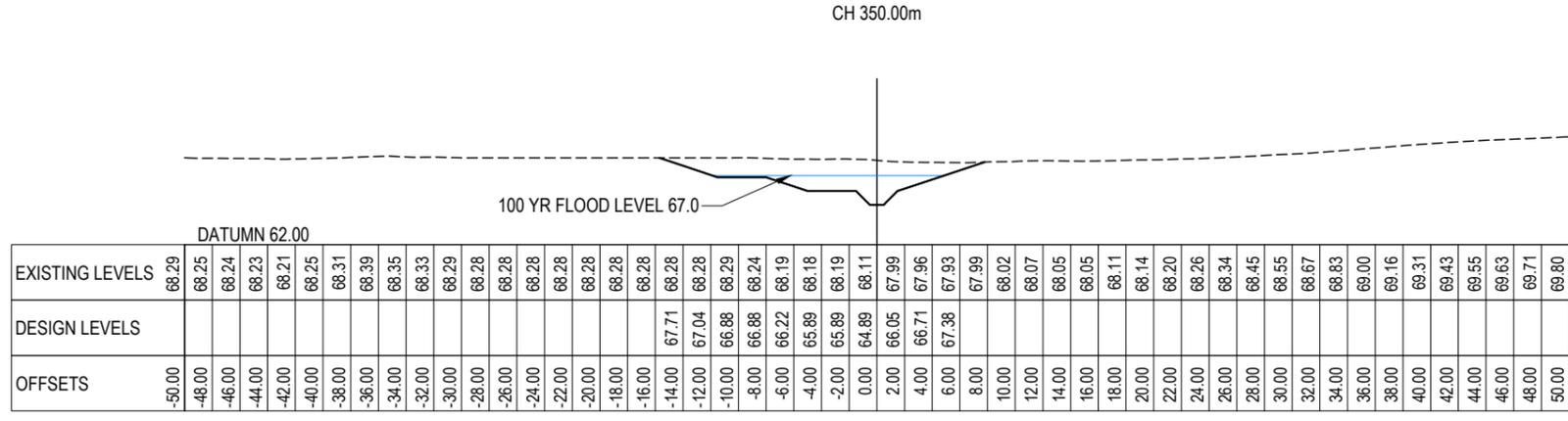
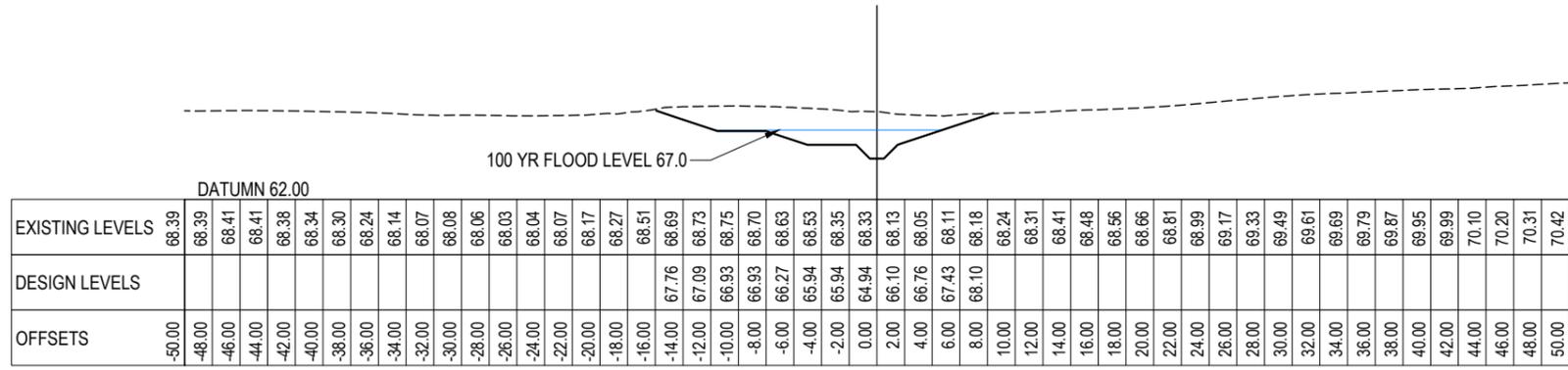
GREENWAY LONGSECTION CH 930-1169  
 SCALE: HORI 1:500 VERT 1:100

**RESOURCE CONSENT**

DATE: 11/12/25 FILEPATH: F:\MVEN\HAM1016 PROJECTS\289001 - STATION ROAD\DRAWING\1 - ASHBORNE RESIDENTIAL\CORR-SW GREENWAY.DWG



DATE: 11/17/25 FILEPATH: F:\MVEN\HAMITON6 PROJECTS\28901 - STATION ROAD\ DRAWING\1 - ASHBOURNE RESIDENTIAL\C490-SW GREENWAY.DWG



**RESOURCE CONSENT**

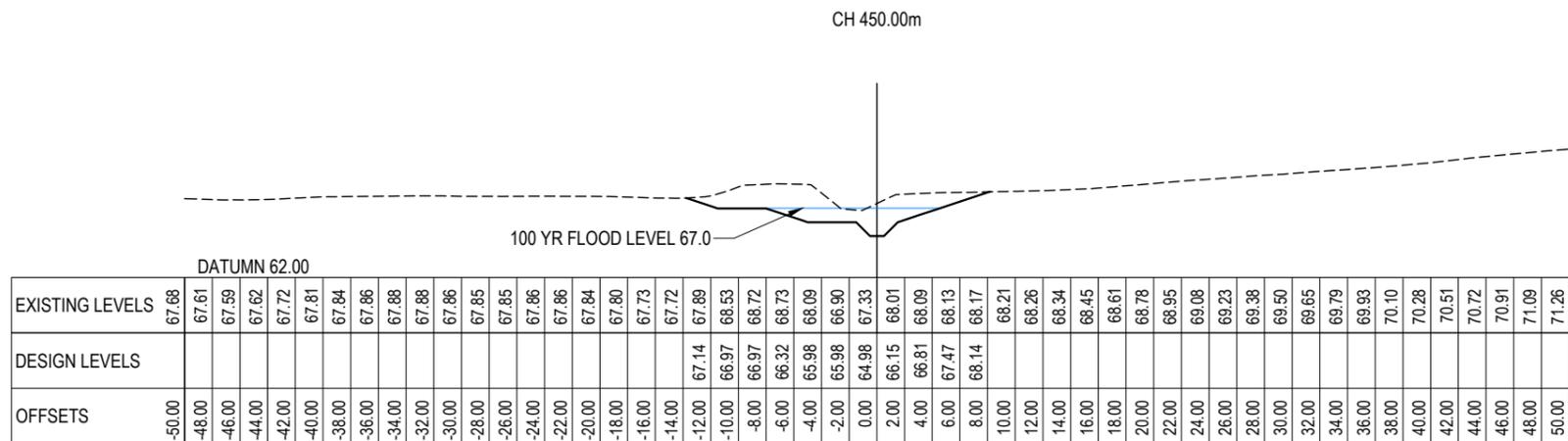
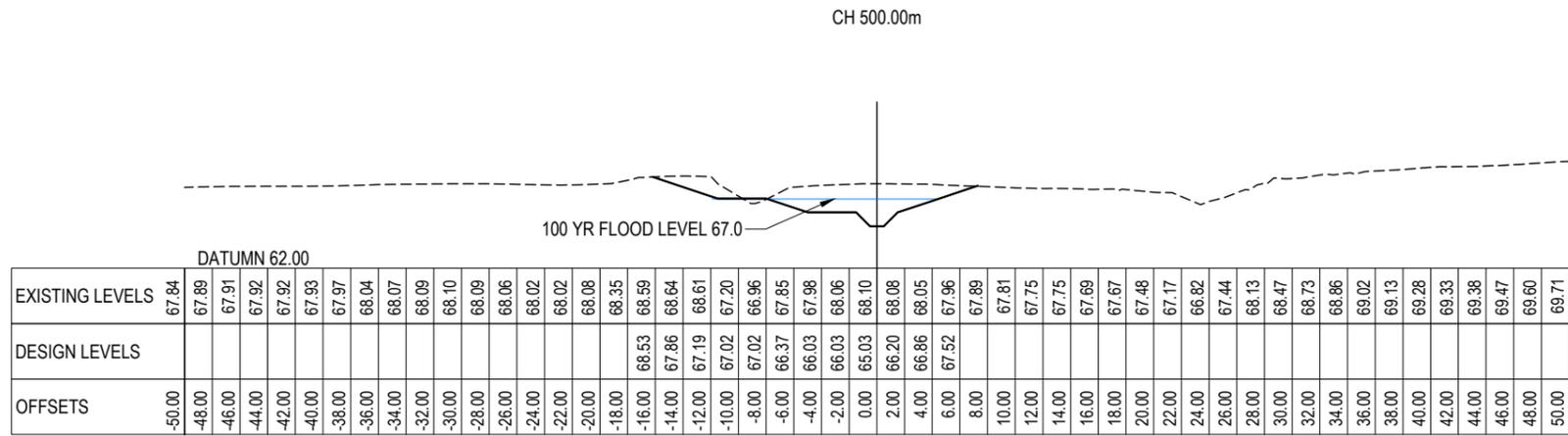
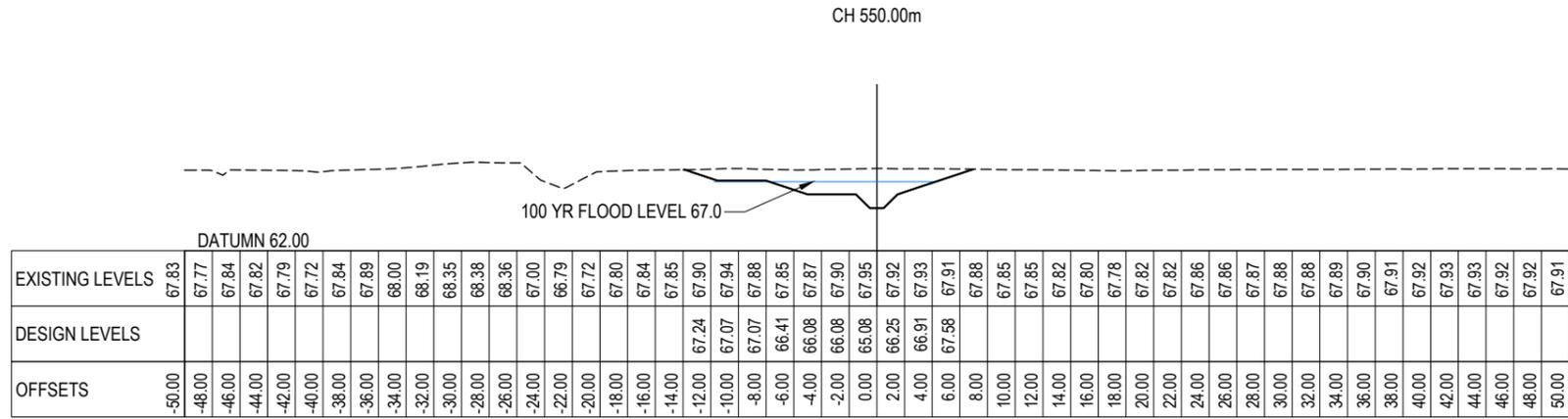
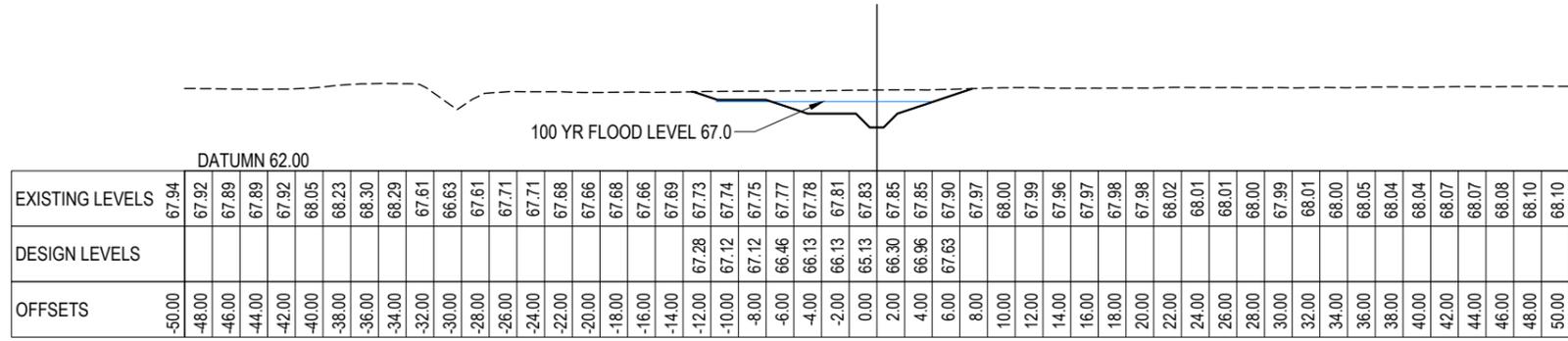
A	FAST TRACK APP	MS	04/2025
Rev	Description	By	Date
Survey	LINZ		10/2023
Design	MHS		10/2024
Drawn	RJM		11/2024
Checked	DJM		11/2024

Project  
**ASHBOURNE  
 RESIDENTIAL  
 FOR  
 MATAMATA  
 DEVELOPMENTS**

Title  
**PROPOSED  
 GREENWAY  
 CROSS SECTIONS**

Project no.	289001
Scale	1:500 @ A3
Cad file	C490-SW GREENWAY.DWG
Drawing no.	C490-11
Rev	<b>A</b>

DATE: 11/11/25 FILEPATH: F:\MWH\HAMITON6 - PROJECTS\28901 - STATION ROAD\ DRAWING\1 - ASHBOURNE RESIDENTIAL\C490-SW GREENWAY.DWG



A	FAST TRACK APP	MS	04/2025
Rev	Description	By	Date
Survey	LINZ		10/2023
Design	MHS		10/2024
Drawn	RJM		11/2024
Checked	DJM		11/2024



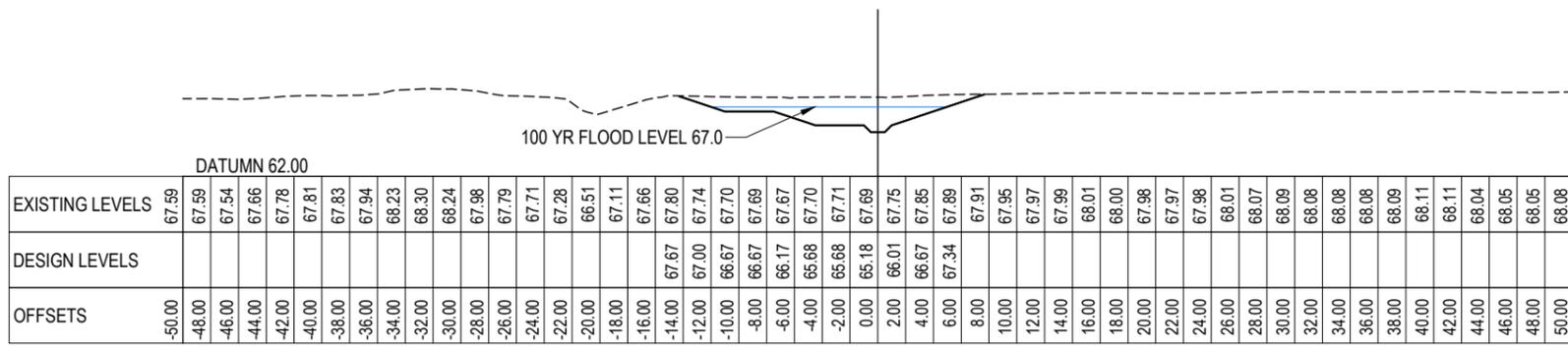
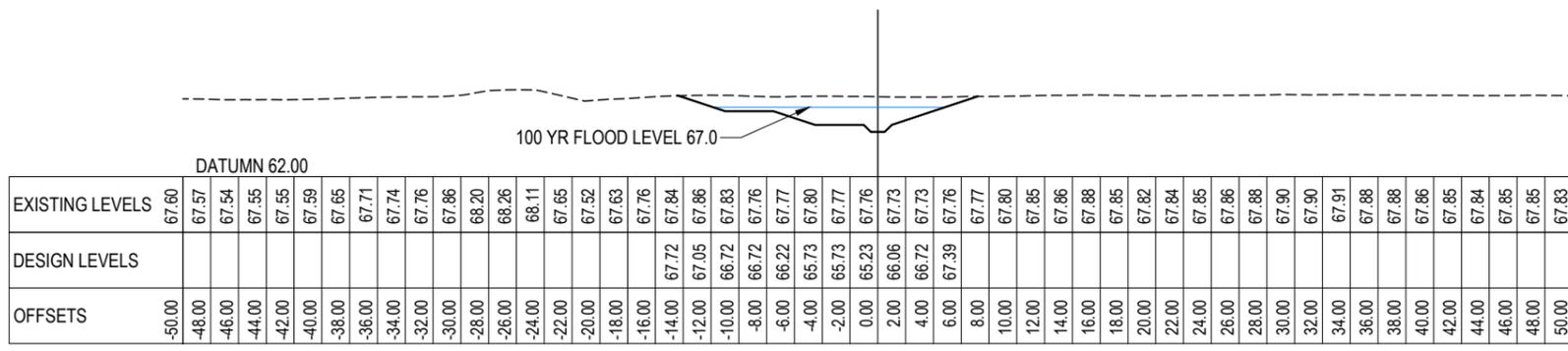
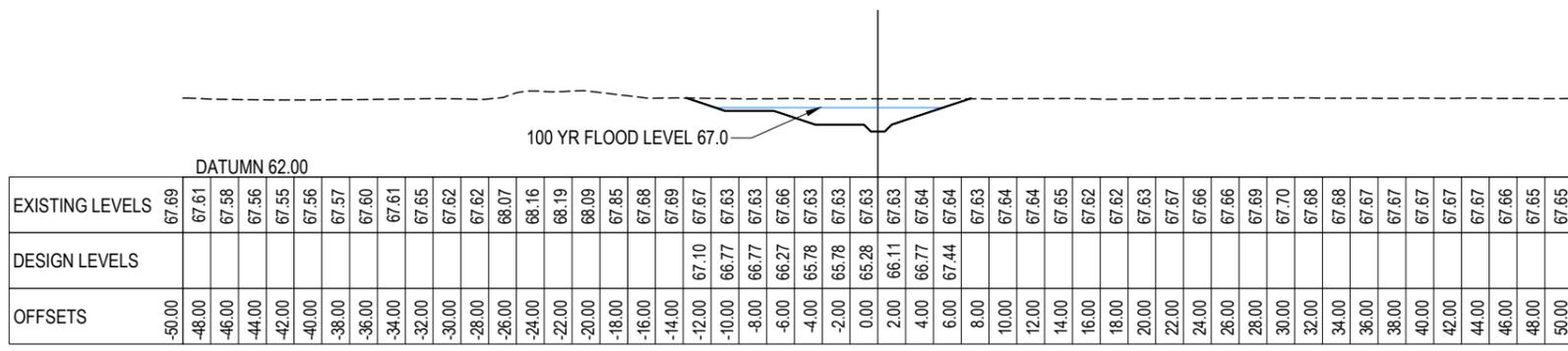
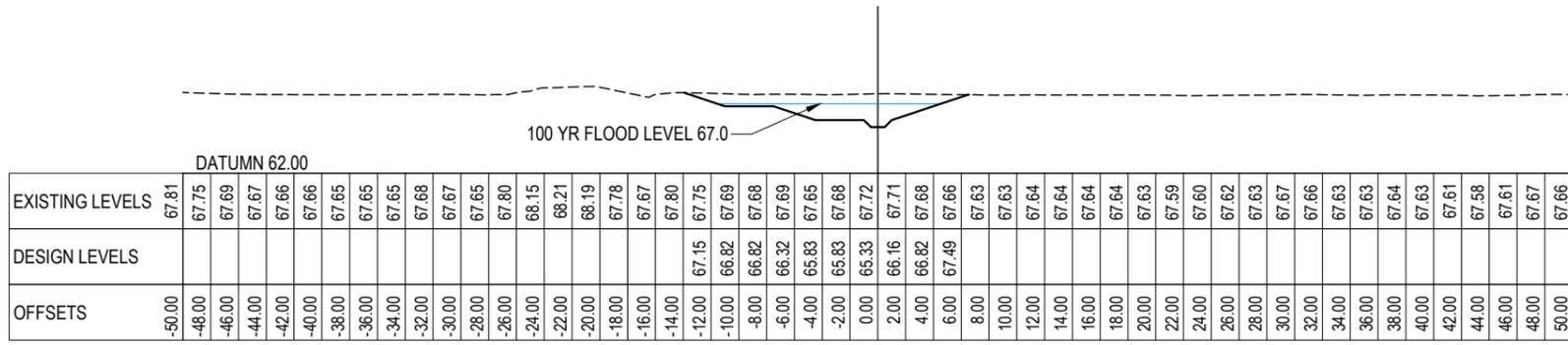
Project  
**ASHBOURNE  
 RESIDENTIAL  
 FOR  
 MATAMATA  
 DEVELOPMENTS**

Title  
**PROPOSED  
 GREENWAY  
 CROSS SECTIONS**

Project no.	289001
Scale	1:500 @ A3
Cad file	C490-SW GREENWAY.DWG
Drawing no.	C490-12
Rev	<b>A</b>

**RESOURCE CONSENT**

DATE: 11/17/25 FILEPATH: F:\MVEN\HAMKTON6 - PROJECTS\28901 - STATION ROAD\7 DRAWING\1 - ASHBORNE RESIDENTIAL\C490-SW GREENWAY.DWG



A	FAST TRACK APP	MS	04/2025
Rev	Description	By	Date
Survey	LINZ		10/2023
Design	MHS		10/2024
Drawn	RJM		11/2024
Checked	DJM		11/2024



Project  
**ASHBOURNE  
 RESIDENTIAL  
 FOR  
 MATAMATA  
 DEVELOPMENTS**

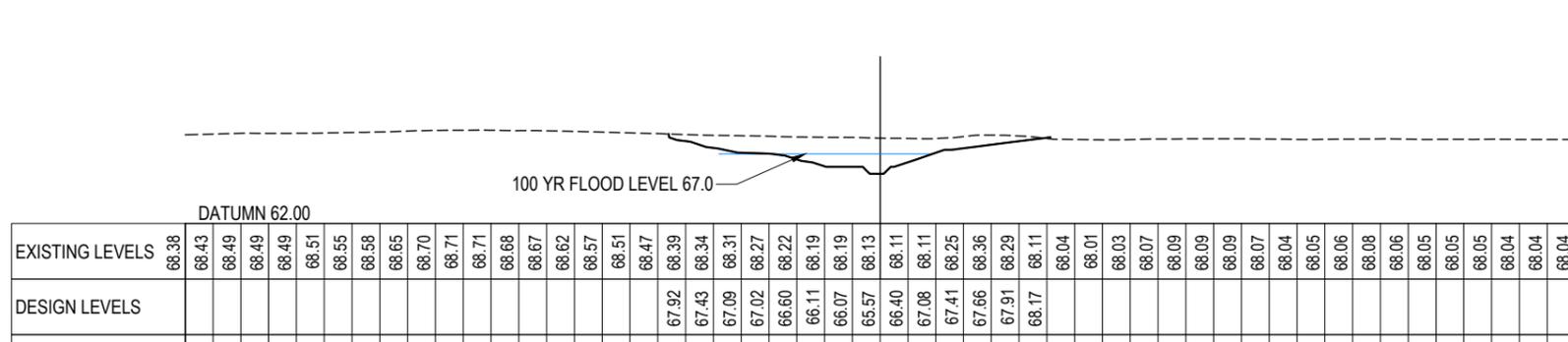
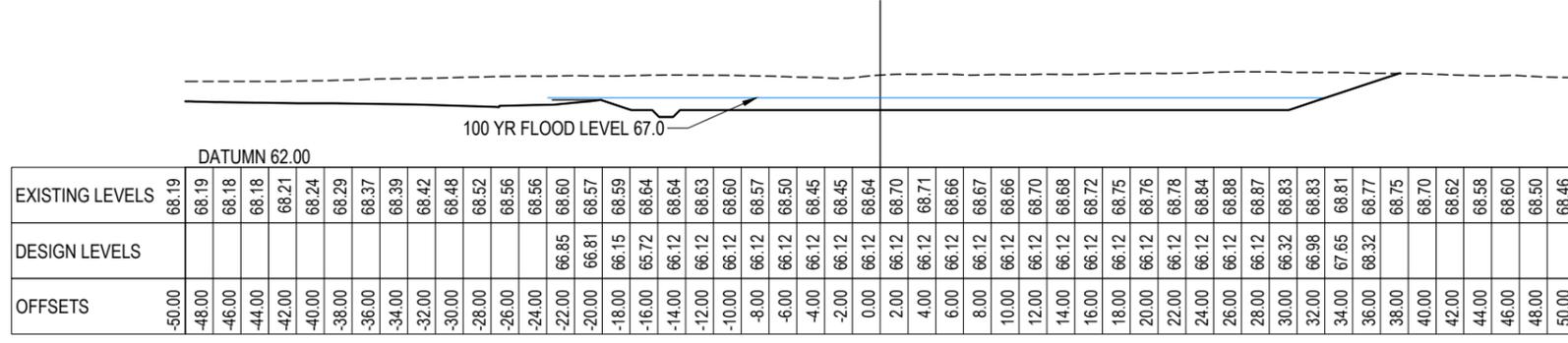
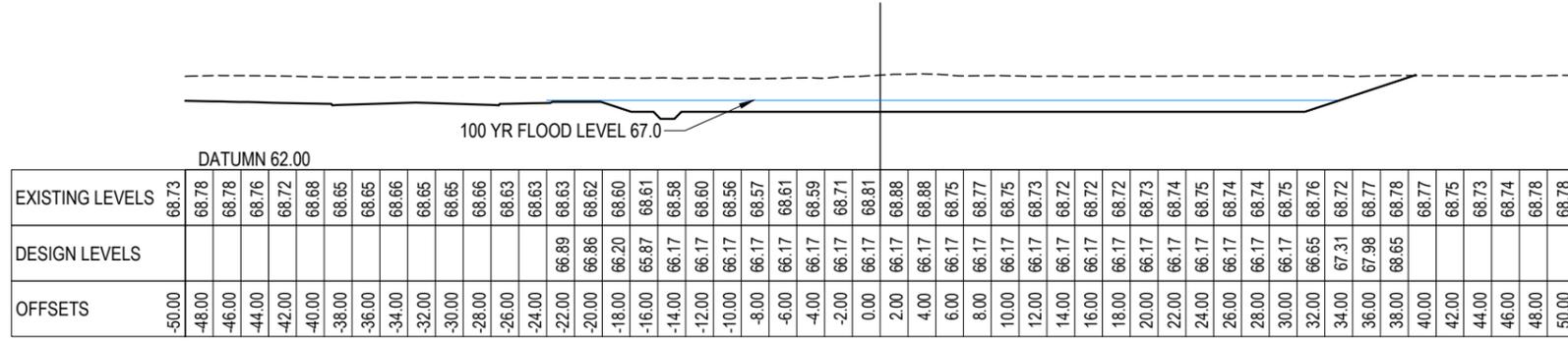
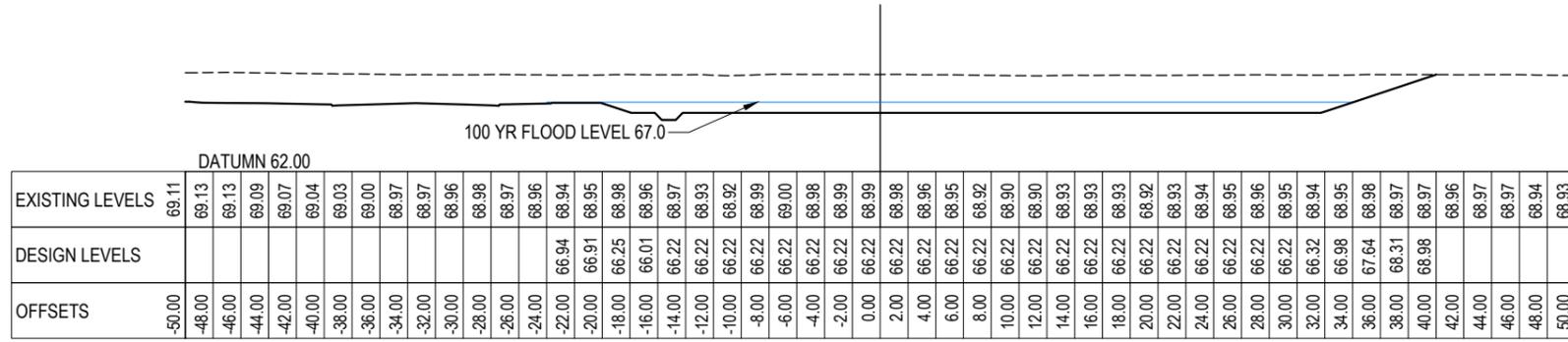
Title  
**PROPOSED  
 GREENWAY  
 CROSS SECTIONS**

Project no.	289001
Scale	1:500 @ A3
Cad file	C490-SW GREENWAY.DWG
Drawing no.	C490-13
Rev	<b>A</b>

**RESOURCE CONSENT**



DATE: 11/17/25 FILEPATH: F:\MAVEN\HAM106 - PROJECTS\28901 - STATION ROAD\ DRAWING\1 - ASHBOURNE RESIDENTIAL\C490-SW GREENWAY.DWG



**RESOURCE CONSENT**

Rev	Description	By	Date
A	FAST TRACK APP	MS	04/2025
Survey	LINZ		10/2023
Design	MHS		10/2024
Drawn	RJM		11/2024
Checked	DJM		11/2024

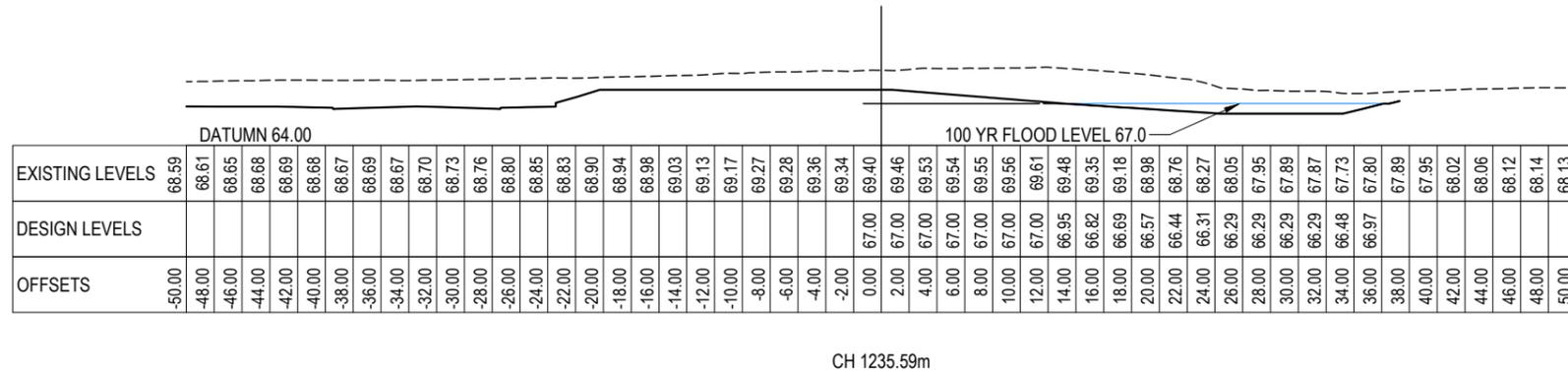


Project  
**ASHBOURNE  
 RESIDENTIAL  
 FOR  
 MATAMATA  
 DEVELOPMENTS**

Title  
**PROPOSED  
 GREENWAY  
 CROSS SECTIONS**

Project no.	289001
Scale	1:500 @ A3
Cad file	C490-SW GREENWAY.DWG
Drawing no.	C490-15
Rev	<b>A</b>

DATE: 11/17/25 FILEPATH: F:\MAVEN\HAMILTON6 - PROJECTS\289001 - STATION ROAD\7. DRAWING\01 - ASHBOURNE RESIDENTIAL\C490-SW GREENWAY.DWG



CH 1235.59m

**RESOURCE CONSENT**

Rev	Description	By	Date
A	FAST TRACK APP	MS	04/2025
Survey	LINZ		10/2023
Design	MHS		10/2024
Drawn	RJM		11/2024
Checked	DJM		11/2024



Project  
**ASHBOURNE  
 RESIDENTIAL  
 FOR  
 MATAMATA  
 DEVELOPMENTS**

Title  
**PROPOSED  
 GREENWAY  
 CROSS SECTIONS**

Project no.	289001		
Scale	1:500 @ A3		
Cad file	C490-SW GREENWAY.DWG		
Drawing no.	C490-16	Rev	<b>A</b>