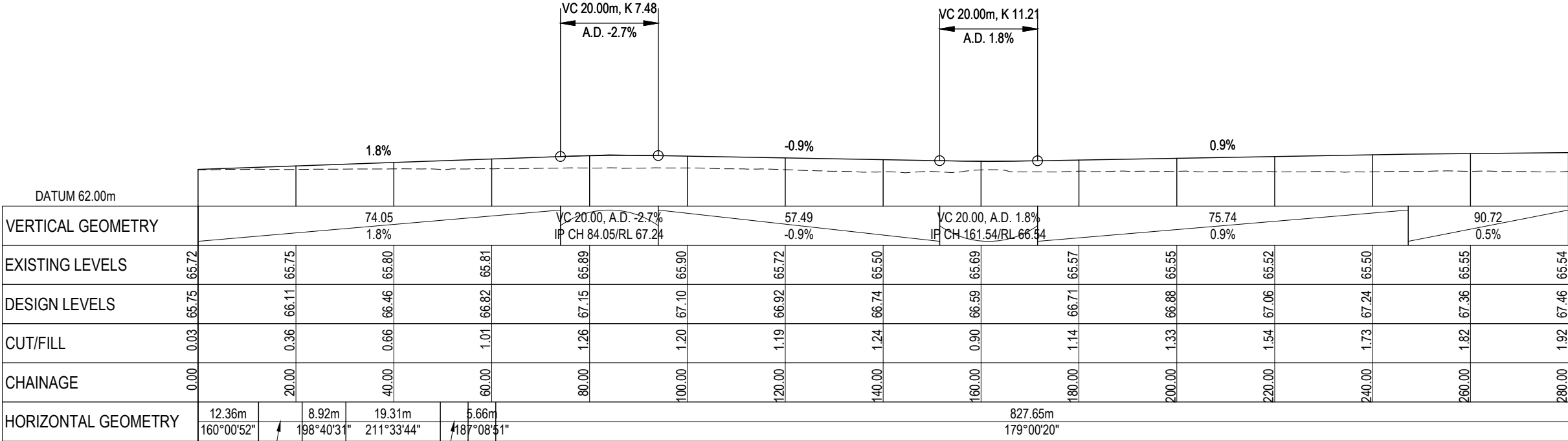
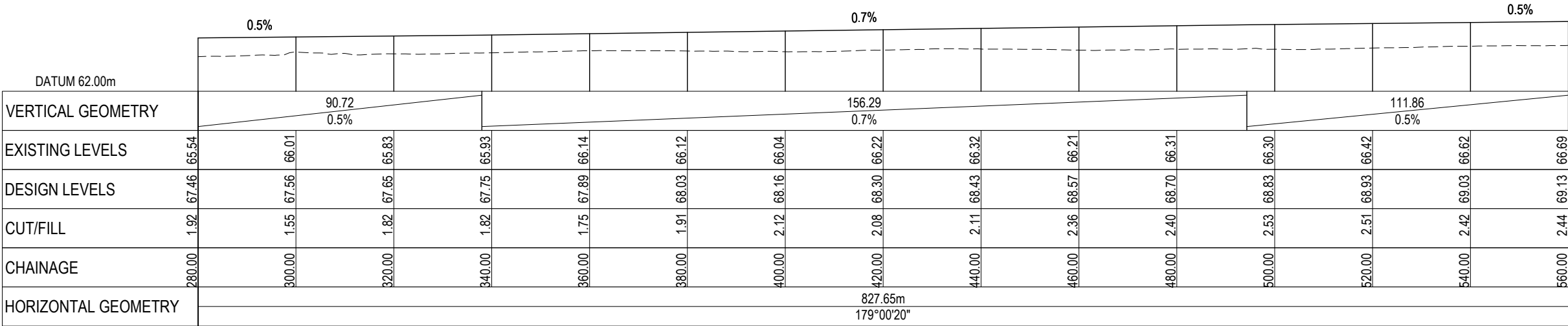


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ROAD 1  
SCALE: HORI 1:1000 VERT 1:500



ROAD 1  
SCALE: HORI 1:1000 VERT 1:500

RESOURCE CONSENT

- NOTES
1. All works to be in accordance with Matamata-Piako District Council standards.
  2. Co-ordinates in terms of NZ Geodetic Datum MT Eden 2000.
  3. Levels in terms of the New Zealand Vertical Datum 2016.
  4. Benchmark: IT I DPS 29877 RL: 65.51.
  5. Boundaries are subject to final survey.

Legend

----- EXSISTING GROUND LEVEL

----- PROPOSED GROUND LEVEL

D	FAST TRACK APP	RJM	11/2025
C	FAST TRACK APP	RJM	11/2025
B	FAST TRACK APP	RJM	04/2025
A	FAST TRACK APP	RJM	04/2025
Rev	Description	By	Date
	By	Date	
Survey	MAVEN	05/2024	
Design	MKS	11/2024	
Drawn	AP	11/2024	
Checked	DJM	11/2024	



Project

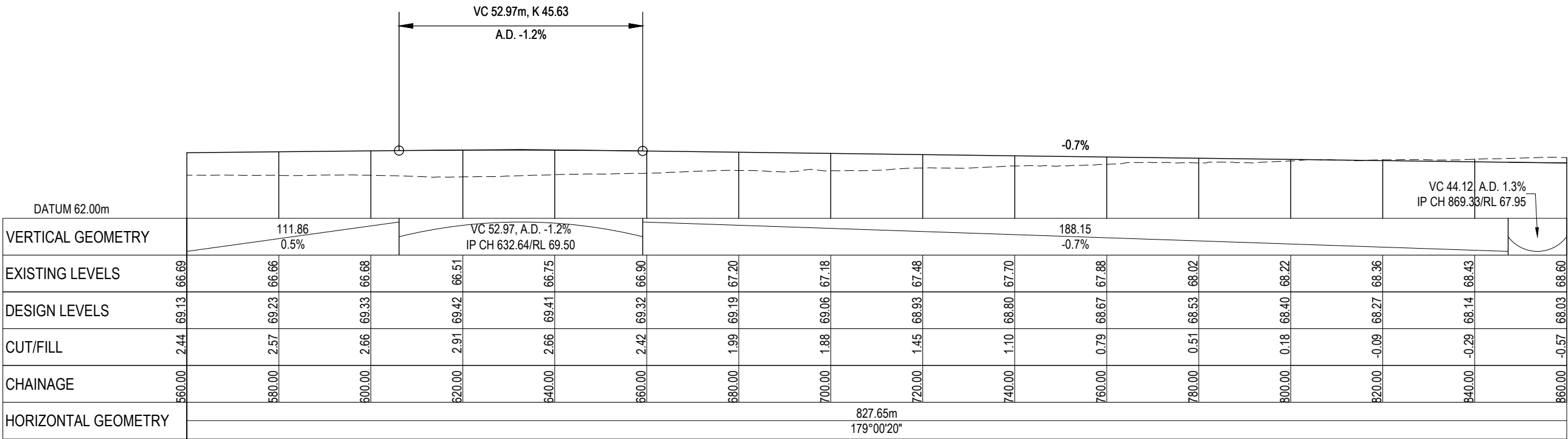
**ASHBOURNE  
RESIDENTIAL  
FOR  
MATAMATA  
DEVELOPMENTS LTD**

Title

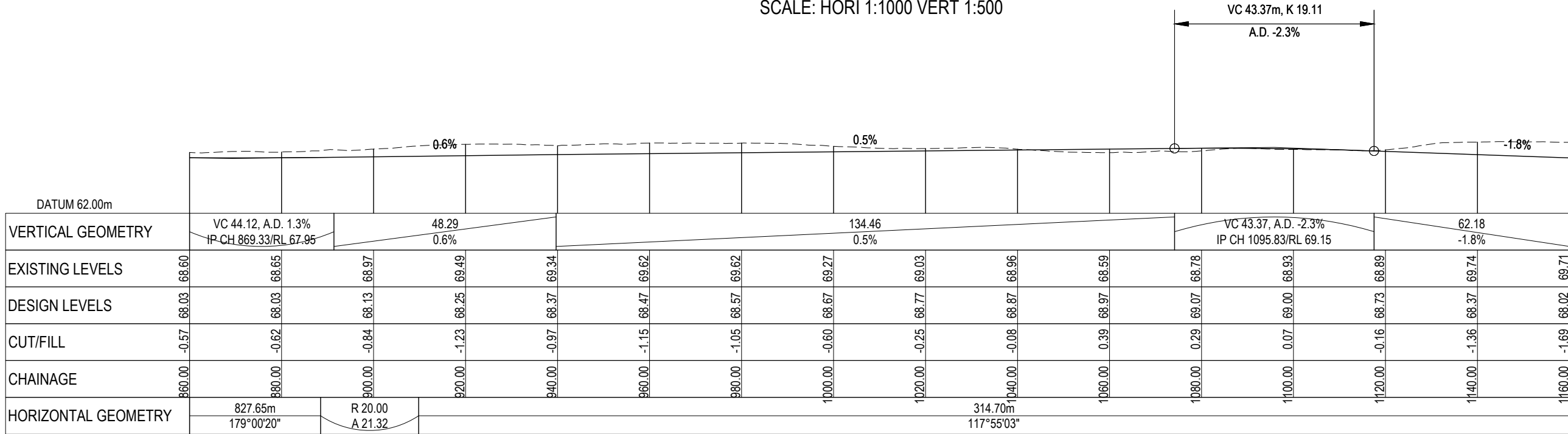
**PROPOSED  
ROADING  
LONGSECTION**

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Cad file	C320-LONG SECTIONS.DWG		
Drawing no.	C320-1	Rev	D

DATE: 11/18/25 FILE PATH: F:\Maven\Hamilton\6. PROJECTS\289001 - STATION ROAD\7. DRAWING\11. ASHBOURNE RESIDENTIAL\C320-LONG SECTIONS.DWG



ROAD 1  
SCALE: HORI 1:1000 VERT 1:500



ROAD 1  
SCALE: HORI 1:1000 VERT 1:500

RESOURCE CONSENT

- NOTES
1. All works to be in accordance with Matamata-Piako District Council standards.
  2. Co-ordinates in terms of NZ Geodetic Datum MT Eden 2000.
  3. Levels in terms of the New Zealand Vertical Datum 2016.
  4. Benchmark: IT I DPS 29877 RL: 65.51.
  5. Boundaries are subject to final survey.

Legend

----- EXISTING GROUND LEVEL

----- PROPOSED GROUND LEVEL

D	FAST TRACK APP	RJM	11/2025
C	FAST TRACK APP	RJM	11/2025
B	FAST TRACK APP	RJM	04/2025
A	FAST TRACK APP	RJM	04/2025
Rev	Description	By	Date
	By	Date	
Survey	MAVEN	05/2024	
Design	MKS	11/2024	
Drawn	AP	11/2024	
Checked	DJM	11/2024	



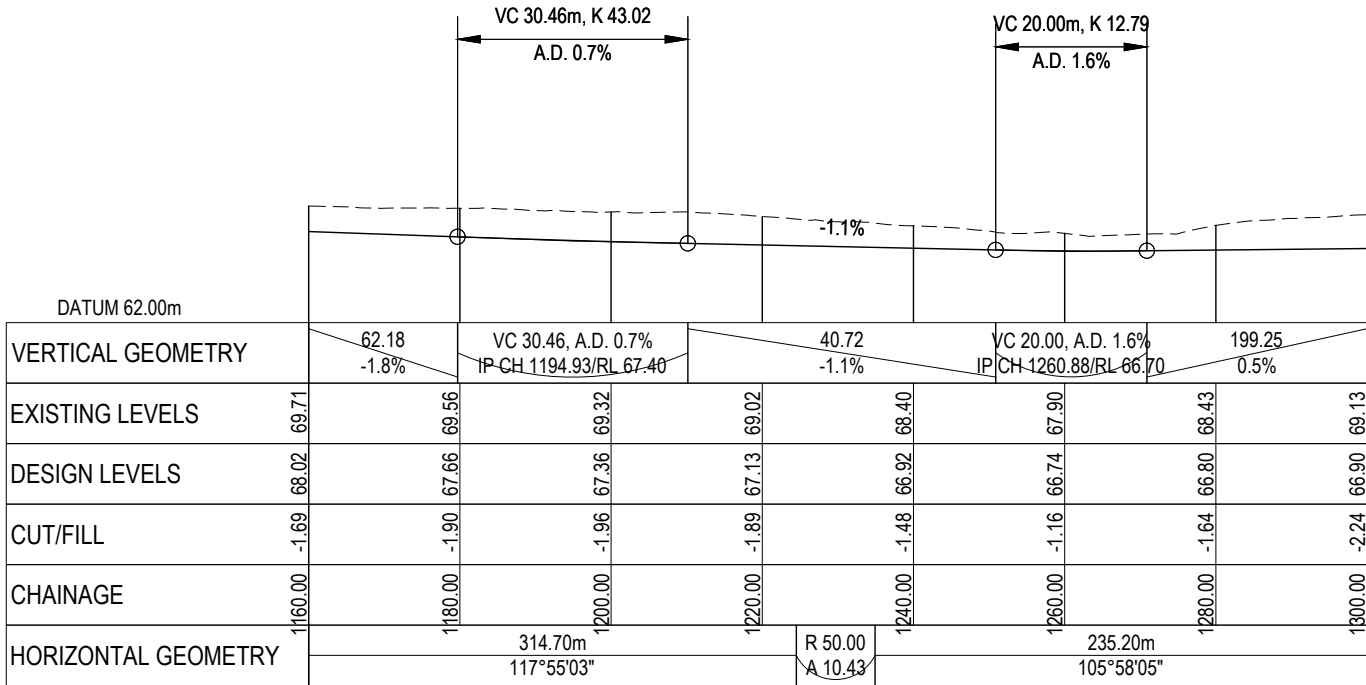
Project  
**ASHBOURNE  
RESIDENTIAL  
FOR  
MATAMATA  
DEVELOPMENTS LTD**

Title  
**PROPOSED  
ROADING  
LONGSECTION**

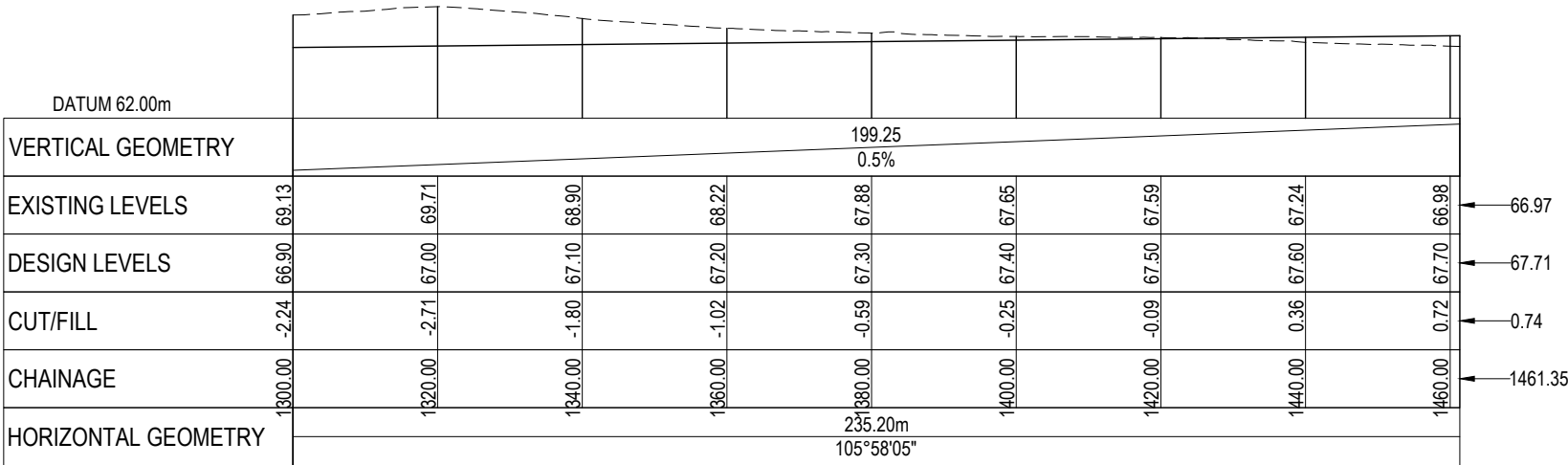
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DATE: 11/19/25 FILEPATH: F:\Maven\Hamilton\6. PROJECTS\289001 - STATION ROAD\7. DRAWING\11. ASHBOURNE RESIDENTIAL\C320-LONG SECTIONS.DWG

RESOURCE CONSENT



ROAD 1  
SCALE: HORI 1:1000 VERT 1:500



ROAD 1  
SCALE: HORI 1:1000 VERT 1:500

- NOTES
1. All works to be in accordance with Matamata-Piako District Council standards.
  2. Co-ordinates in terms of NZ Geodetic Datum MT Eden 2000.
  3. Levels in terms of the New Zealand Vertical Datum 2016.
  4. Benchmark: IT I DPS 29877 RL: 65.51.
  5. Boundaries are subject to final survey.

Legend

-----	EXSISTING GROUND LEVEL
—————	PROPOSED GROUND LEVEL

D	FAST TRACK APP	RJM	11/2025
C	FAST TRACK APP	RJM	11/2025
B	FAST TRACK APP	RJM	04/2025
A	FAST TRACK APP	RJM	04/2025
Rev	Description	By	Date
	By	Date	
Survey	MAVEN	05/2024	
Design	MKS	11/2024	
Drawn	AP	11/2024	
Checked	DJM	11/2024	

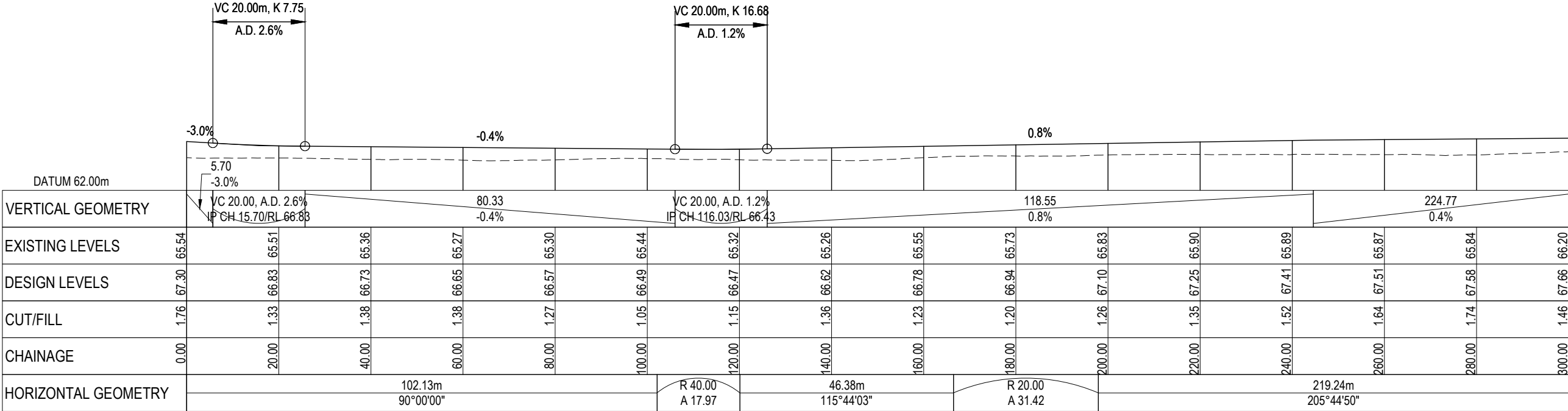


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MATAMATA  
DEVELOPMENTS LTD**

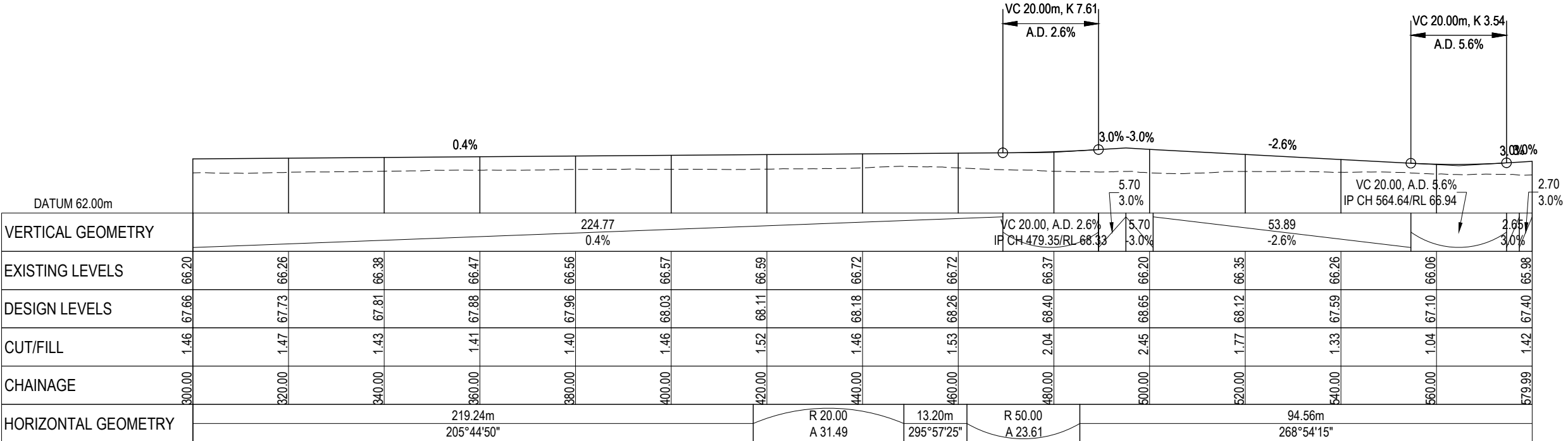
Title  
**PROPOSED  
ROADING  
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DATE: 11/19/25 FILEPATH: F:\MVEN\HAMTON6 PROJECTS\88001 - STATION ROAD\ DRAWING\11 ASHBORNE RESIDENTIAL\C320-LONG SECTIONS.DWG



ROAD 2  
SCALE: HORI 1:1000 VERT 1:500



ROAD 2  
SCALE: HORI 1:1000 VERT 1:500

RESOURCE CONSENT

NOTES

1. All works to be in accordance with Matamata-Piako District Council standards.

2. Co-ordinates in terms of NZ Geodetic Datum MT Eden 2000.

3. Levels in terms of the New Zealand Vertical Datum 2016.

4. Benchmark: IT I DPS 29877 RL: 65.51.

5. Boundaries are subject to final survey.

Legend

EXISTING GROUND LEVEL

PROPOSED GROUND LEVEL

D	FAST TRACK APP	RJM	11/2025
C	FAST TRACK APP	RJM	11/2025
B	FAST TRACK APP	RJM	04/2025
A	FAST TRACK APP	RJM	04/2025
Rev	Description	By	Date
	By	Date	
Survey	MAVEN	05/2024	
Design	MKS	11/2024	
Drawn	AP	11/2024	
Checked	DJM	11/2024	

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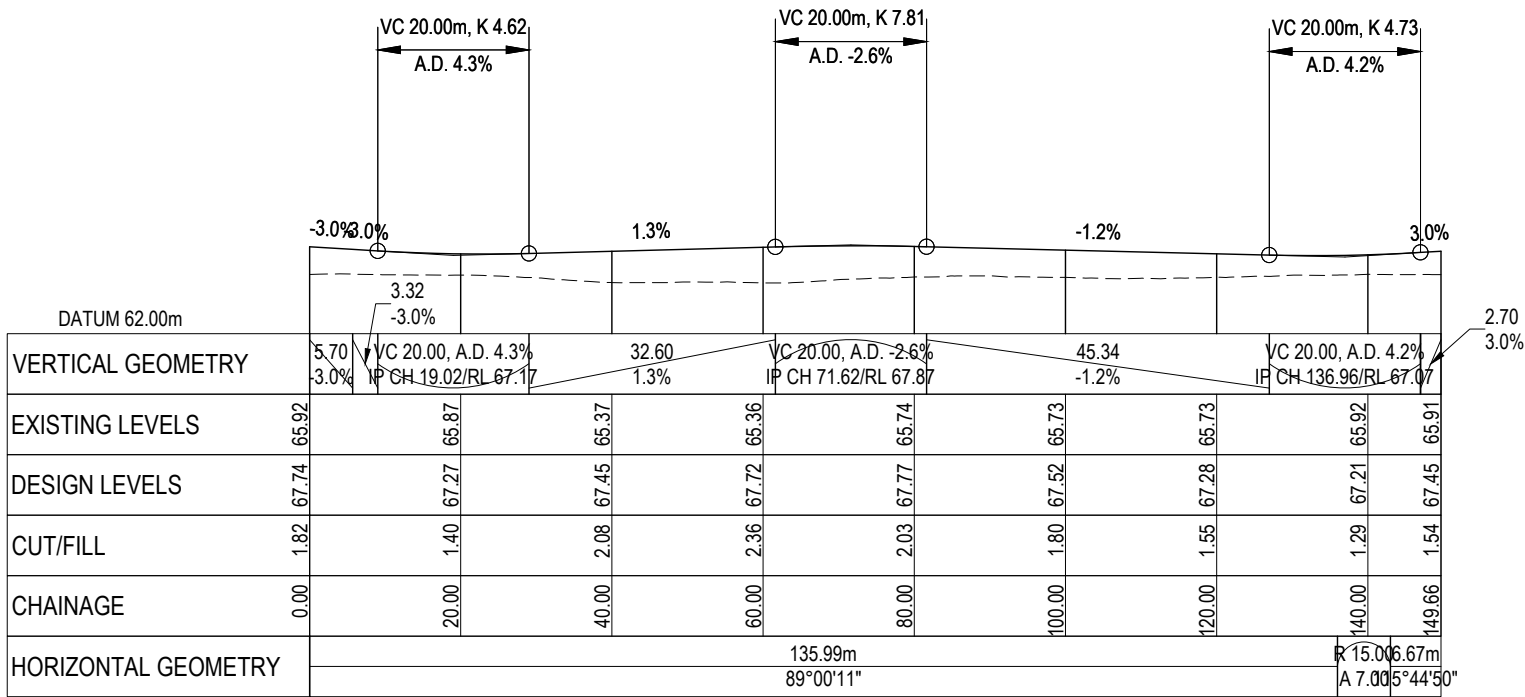
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Title

PROPOSED ROADING LONGSECTION

Project no.	289001		
Scale	AS SHOWN		
Cad file	C320-LONG SECTIONS.DWG		
Drawing no.	C320-4	Rev	D



ROAD 3  
SCALE: HORI 1:1000 VERT 1:500

NOTES

1. All works to be in accordance with Matamata-Piako District Council standards.

2. Co-ordinates in terms of NZ Geodetic Datum MT Eden 2000.

3. Levels in terms of the New Zealand Vertical Datum 2016.

4. Benchmark: IT I DPS 29877 RL: 65.51.

5. Boundaries are subject to final survey.

Legend

----- EXISTING GROUND LEVEL

----- PROPOSED GROUND LEVEL

D	FAST TRACK APP	RJM	11/2025
C	FAST TRACK APP	RJM	11/2025
B	FAST TRACK APP	RJM	04/2025
A	FAST TRACK APP	RJM	04/2025
Rev	Description	By	Date
	By	Date	
Survey	MAVEN	05/2024	
Design	MKS	11/2024	
Drawn	AP	11/2024	
Checked	DJM	11/2024	

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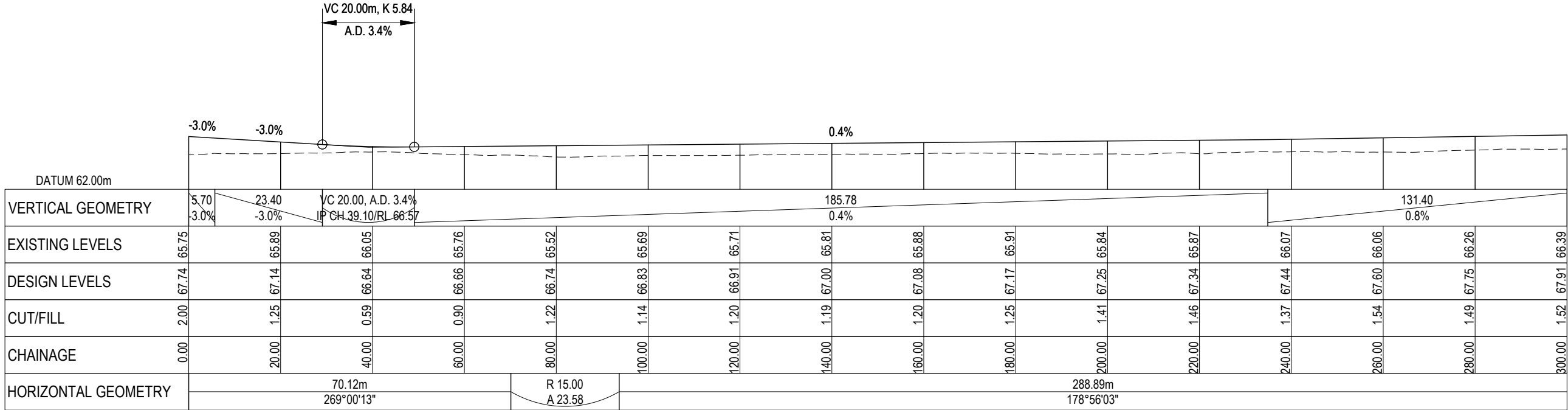
ASHBOURNE  
RESIDENTIAL  
FOR  
MATAMATA  
DEVELOPMENTS LTD

Title

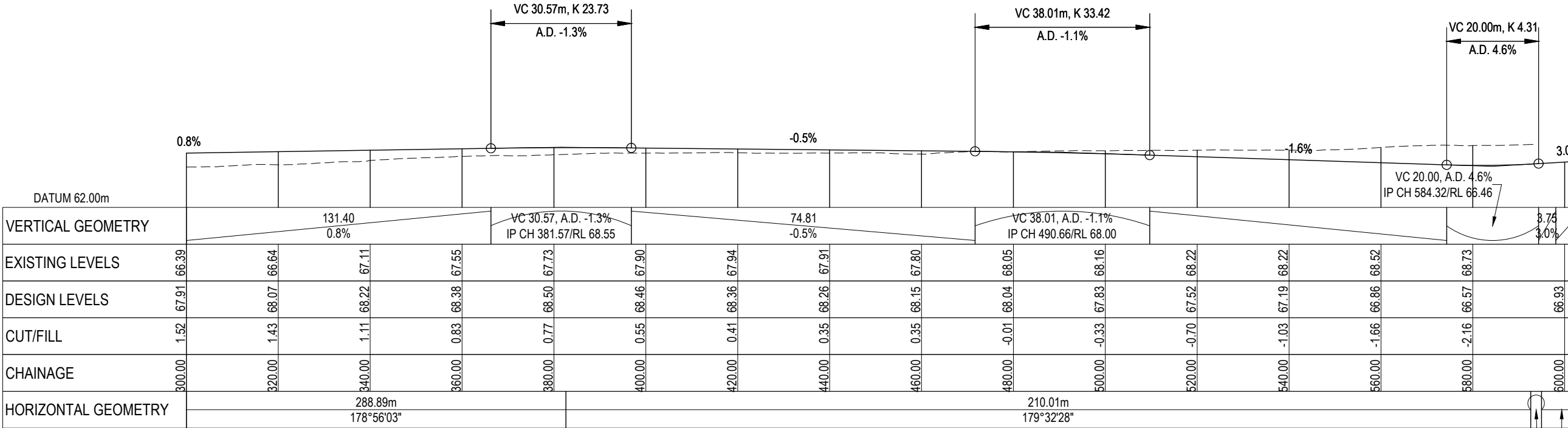
PROPOSED  
ROADING  
LONGSECTION

Project no.	289001		
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Drawing no.	C320-5	Rev	D

DATE: 11/18/25 FILEPATH: F:\Maven\Hamilton\6 PROJECTS\289001 - STATION ROAD\7 DRAWING\11 ASHBOURNE RESIDENTIAL\C320-LONG SECTIONS.DWG



ROAD 4  
SCALE: HORI 1:1000 VERT 1:500



ROAD 4  
SCALE: HORI 1:1000 VERT 1:500

- NOTES
1. All works to be in accordance with Matamata-Piako District Council standards.
  2. Co-ordinates in terms of NZ Geodetic Datum MT Eden 2000.
  3. Levels in terms of the New Zealand Vertical Datum 2016.
  4. Benchmark: IT I DPS 29877 RL: 65.51.
  5. Boundaries are subject to final survey.

Legend

---	EXISTING GROUND LEVEL
—	PROPOSED GROUND LEVEL

D	FAST TRACK APP	RJM	11/2025
C	FAST TRACK APP	RJM	11/2025
B	FAST TRACK APP	RJM	04/2025
A	FAST TRACK APP	RJM	04/2025
Rev	Description	By	Date
Survey	By	Date	
Design	MKS	11/2024	
Drawn	AP	11/2024	
Checked	DJM	11/2024	

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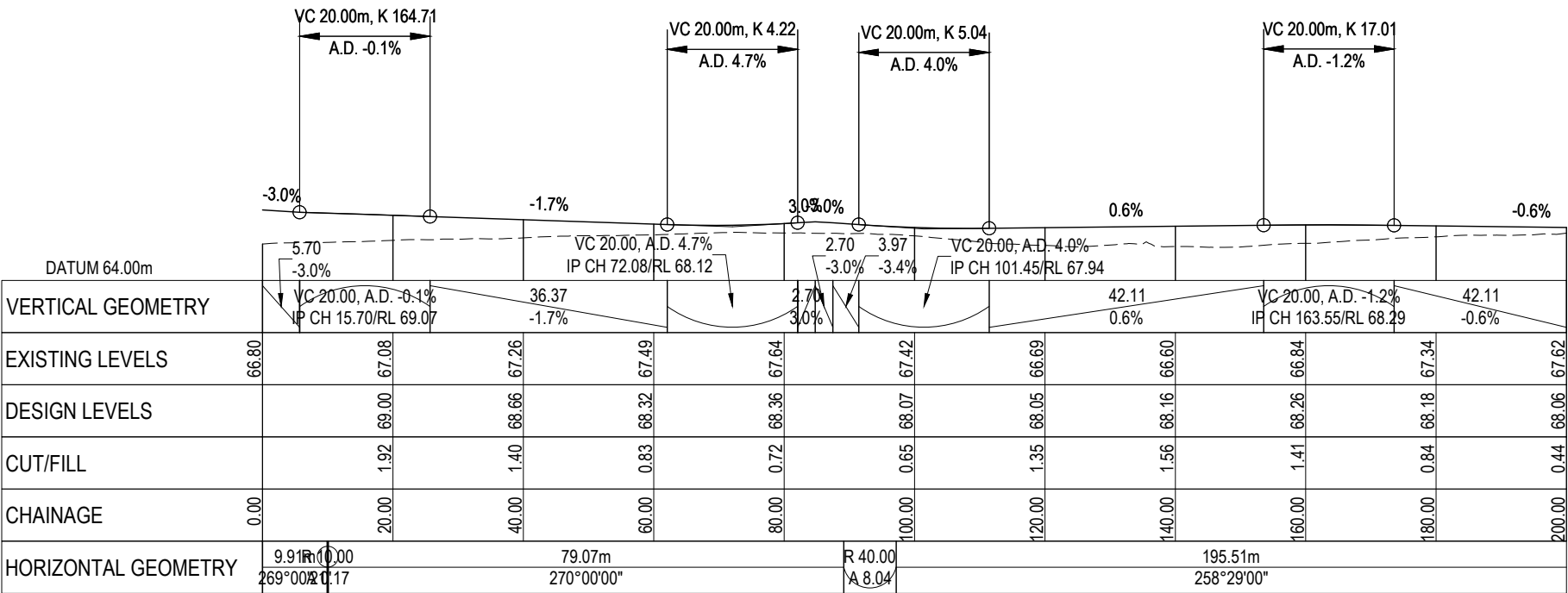
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**ASHBOURNE  
RESIDENTIAL  
FOR  
MATAMATA  
DEVELOPMENTS LTD**

Title  
**PROPOSED  
ROADING  
LONGSECTION**

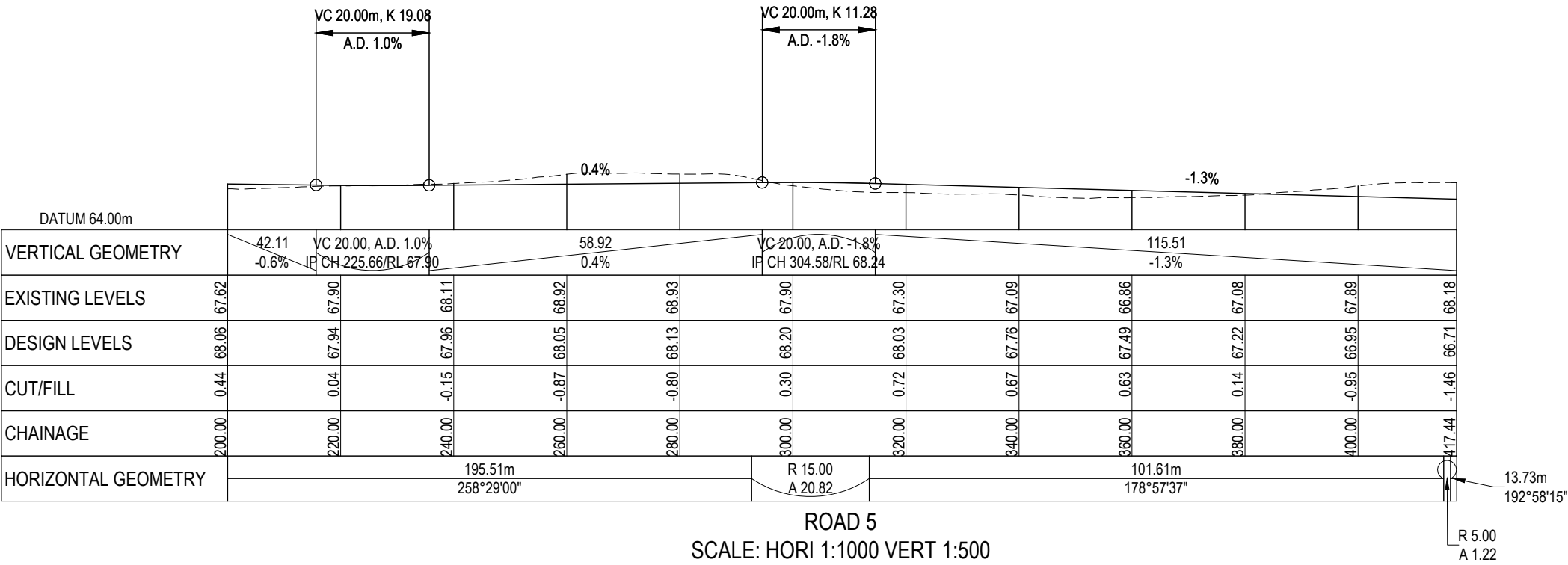
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Drawing no.	C320-6	Rev	D

RESOURCE CONSENT

DATE: 11/19/25 FILEPATH: F:\Maven\Hamilton\6. PROJECTS\289001 - STATION ROAD\7. DRAWING\11. ASHBOURNE RESIDENTIAL\C320-LONG SECTIONS.DWG



ROAD 5  
SCALE: HORI 1:1000 VERT 1:500



ROAD 5  
SCALE: HORI 1:1000 VERT 1:500

NOTES

- All works to be in accordance with Matamata-Piako District Council standards.
- Co-ordinates in terms of NZ Geodetic Datum MT Eden 2000.
- Levels in terms of the New Zealand Vertical Datum 2016.
- Benchmark: IT I DPS 29877 RL: 65.51.
- Boundaries are subject to final survey.

Legend

----- EXSISTING GROUND LEVEL

----- PROPOSED GROUND LEVEL

D	FAST TRACK APP	RJM	11/2025
C	FAST TRACK APP	RJM	11/2025
B	FAST TRACK APP	RJM	04/2025
A	FAST TRACK APP	RJM	04/2025
Rev	Description	By	Date
		By	Date
Survey	MAVEN		05/2024
Design	MKS		11/2024
Drawn	AP		11/2024
Checked	DJM		11/2024

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Title

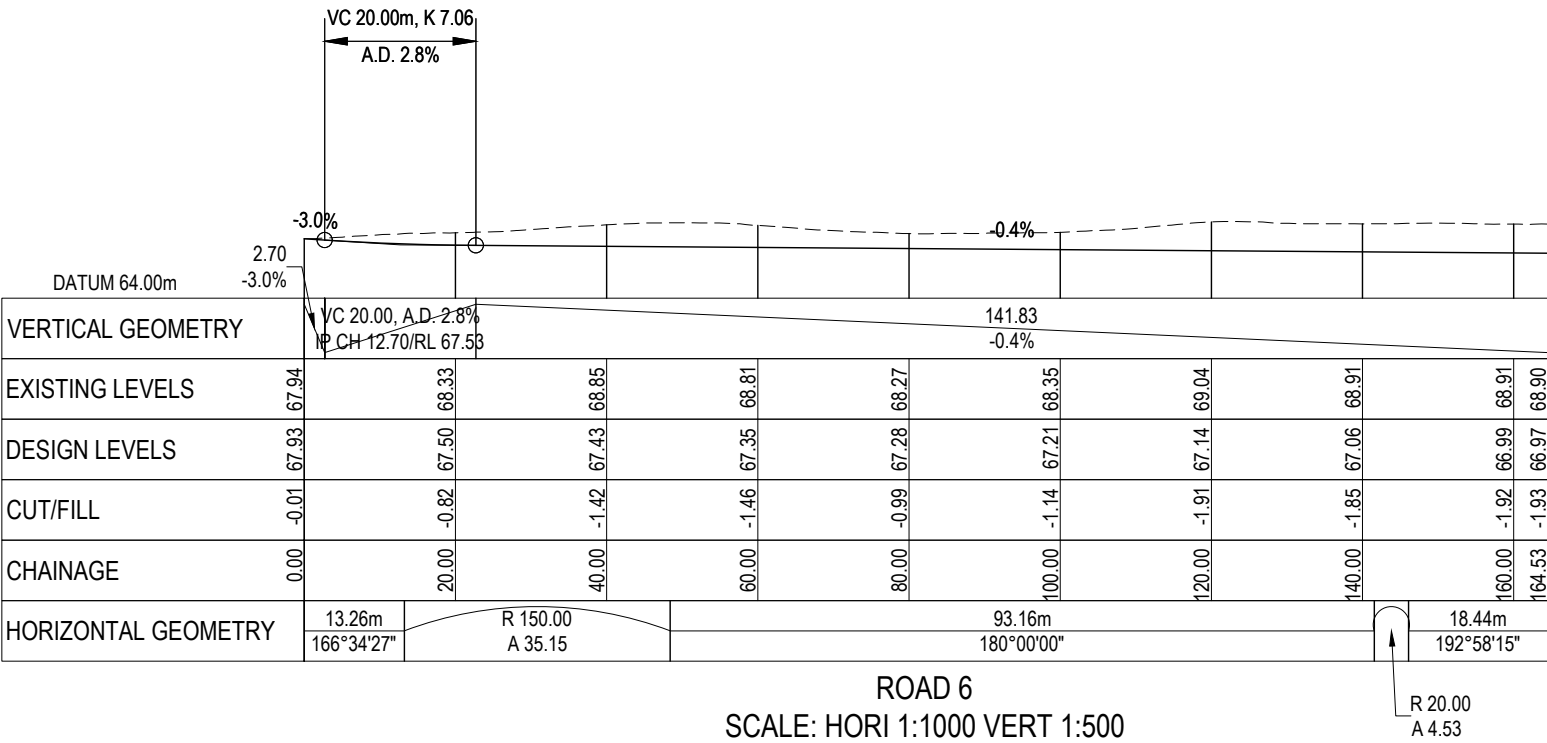
**PROPOSED  
ROADING  
LONGSECTION**

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Scale	AS SHOWN		
Cad file	C320-LONG SECTIONS.DWG		
Drawing no.	C320-7	Rev	D

RESOURCE CONSENT

DATE: 11/19/25 FILE PATH: F:\Maven\Hamilton\6. PROJECTS\289001 - STATION ROAD\7. DRAWING\11. ASHBOURNE RESIDENTIAL\C320-LONG SECTIONS.DWG

RESOURCE CONSENT



NOTES

1. All works to be in accordance with Matamata-Piako District Council standards.

2. Co-ordinates in terms of NZ Geodetic Datum MT Eden 2000.

3. Levels in terms of the New Zealand Vertical Datum 2016.

4. Benchmark: IT I DPS 29877 RL: 65.51.

5. Boundaries are subject to final survey.

Legend

-----

EXISTING GROUND LEVEL

-----

PROPOSED GROUND LEVEL

D	FAST TRACK APP	RJM	11/2025
C	FAST TRACK APP	RJM	11/2025
B	FAST TRACK APP	RJM	04/2025
A	FAST TRACK APP	RJM	04/2025
Rev	Description	By	Date
	By	Date	
Survey	MAVEN	05/2024	
Design	MKS	11/2024	
Drawn	AP	11/2024	
Checked	DJM	11/2024	

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DEVELOPMENTS LTD

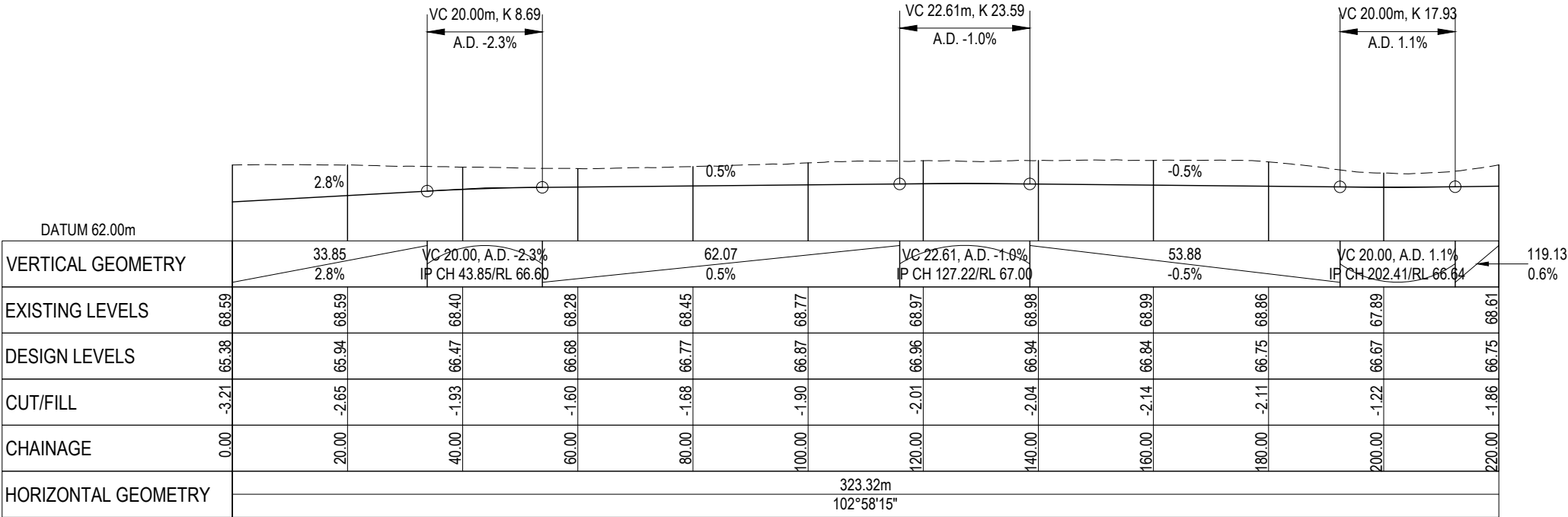
Title

PROPOSED  
ROADING  
LONGSECTION

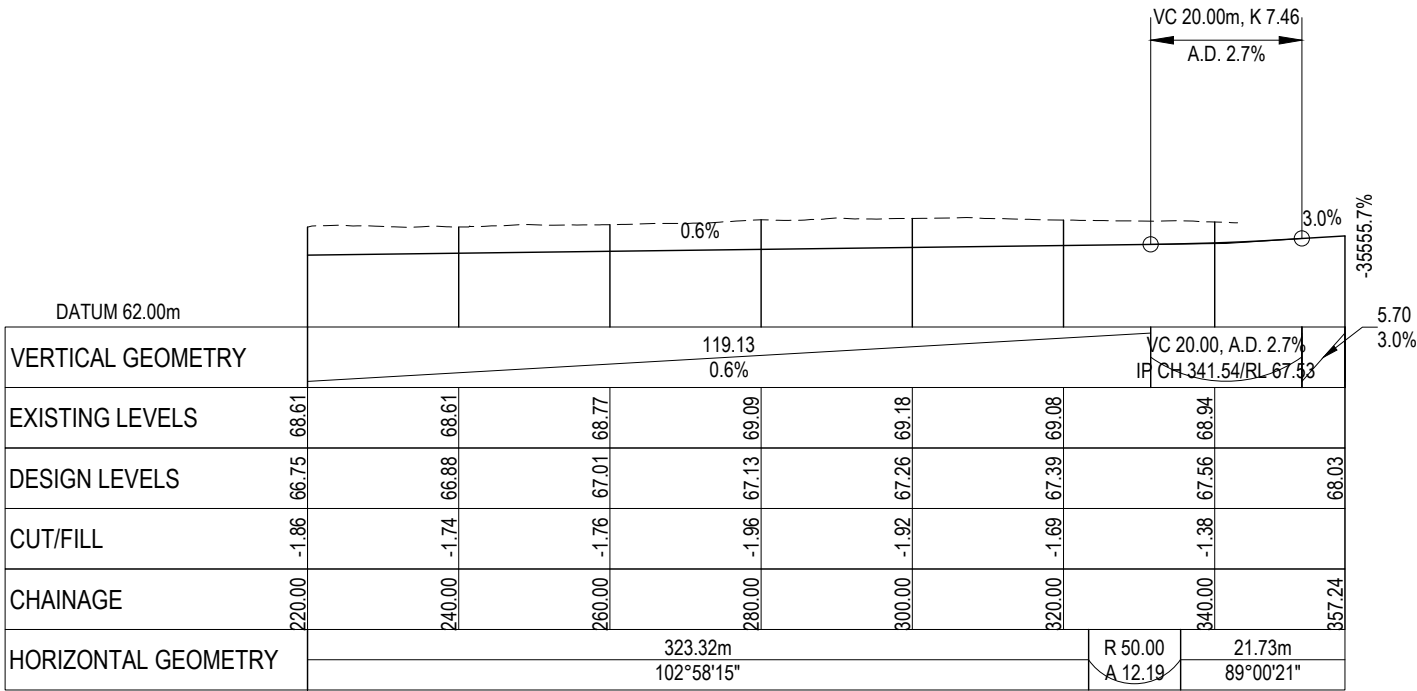
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DATE: 11/19/25 FILEPATH: F:\Maven\Hamilton\6. PROJECTS\289001 - STATION ROAD\7. DRAWING\11. ASHBOURNE RESIDENTIAL\C320-LONG SECTIONS.DWG

RESOURCE CONSENT



ROAD 7  
SCALE: HORI 1:1000 VERT 1:500



ROAD 7  
SCALE: HORI 1:1000 VERT 1:500

- NOTES
1. All works to be in accordance with Matamata-Piako District Council standards.
  2. Co-ordinates in terms of NZ Geodetic Datum MT Eden 2000.
  3. Levels in terms of the New Zealand Vertical Datum 2016.
  4. Benchmark: IT I DPS 29877 RL: 65.51.
  5. Boundaries are subject to final survey.

Legend

----- EXSISTING GROUND LEVEL

----- PROPOSED GROUND LEVEL

D	FAST TRACK APP	RJM	11/2025
C	FAST TRACK APP	RJM	11/2025
B	FAST TRACK APP	RJM	04/2025
A	FAST TRACK APP	RJM	04/2025
Rev	Description	By	Date
	By	Date	
Survey	MAVEN	05/2024	
Design	MKS	11/2024	
Drawn	AP	11/2024	
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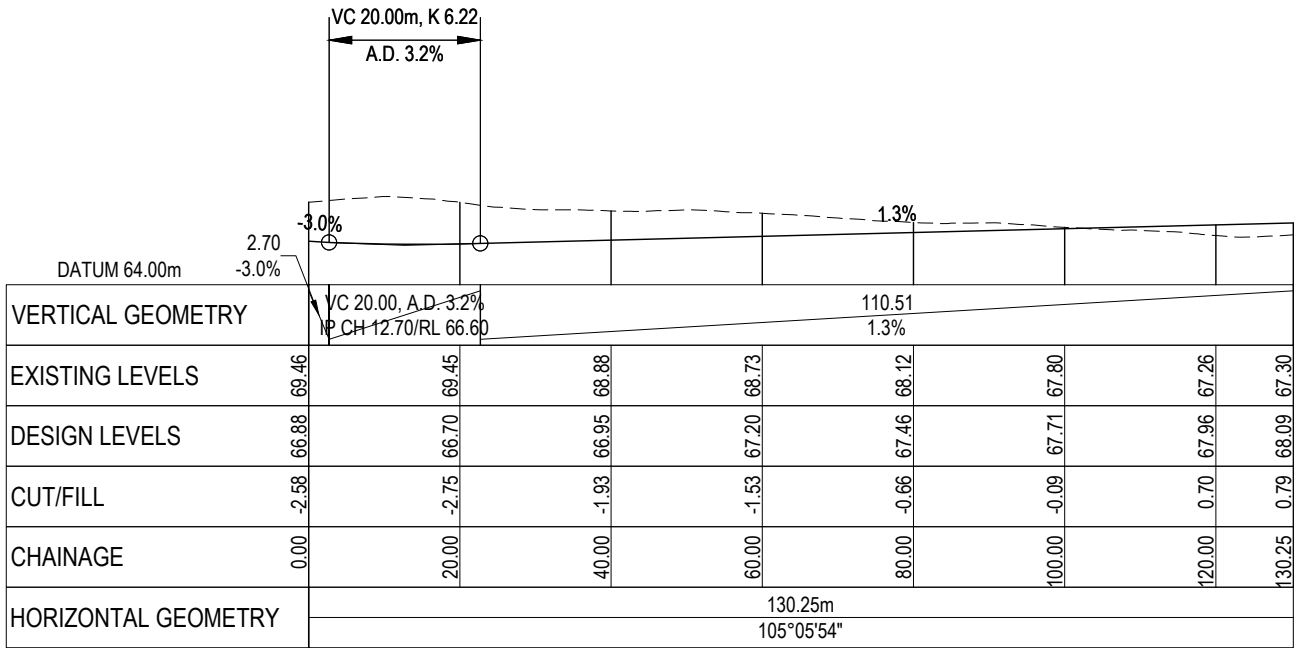
Project

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MATAMATA  
DEVELOPMENTS LTD**

Title

**PROPOSED  
ROADING  
LONGSECTION**

Project no.	289001		
Scale	AS SHOWN		
Cad file	C320-LONG SECTIONS.DWG		
Drawing no.	C320-9	Rev	D



ROAD 8  
SCALE: HORI 1:1000 VERT 1:500

- NOTES
1. All works to be in accordance with Matamata-Piako District Council standards.
  2. Co-ordinates in terms of NZ Geodetic Datum MT Eden 2000.
  3. Levels in terms of the New Zealand Vertical Datum 2016.
  4. Benchmark: IT I DPS 29877 RL: 65.51.
  5. Boundaries are subject to final survey.

Legend

----- EXISTING GROUND LEVEL

———— PROPOSED GROUND LEVEL

D	FAST TRACK APP	RJM	11/2025
C	FAST TRACK APP	RJM	11/2025
B	FAST TRACK APP	RJM	04/2025
A	FAST TRACK APP	RJM	04/2025
Rev	Description	By	Date
	By	Date	
Survey	MAVEN	05/2024	
Design	MKS	11/2024	
Drawn	AP	11/2024	
Checked	DJM	11/2024	

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DEVELOPMENTS LTD**

Title

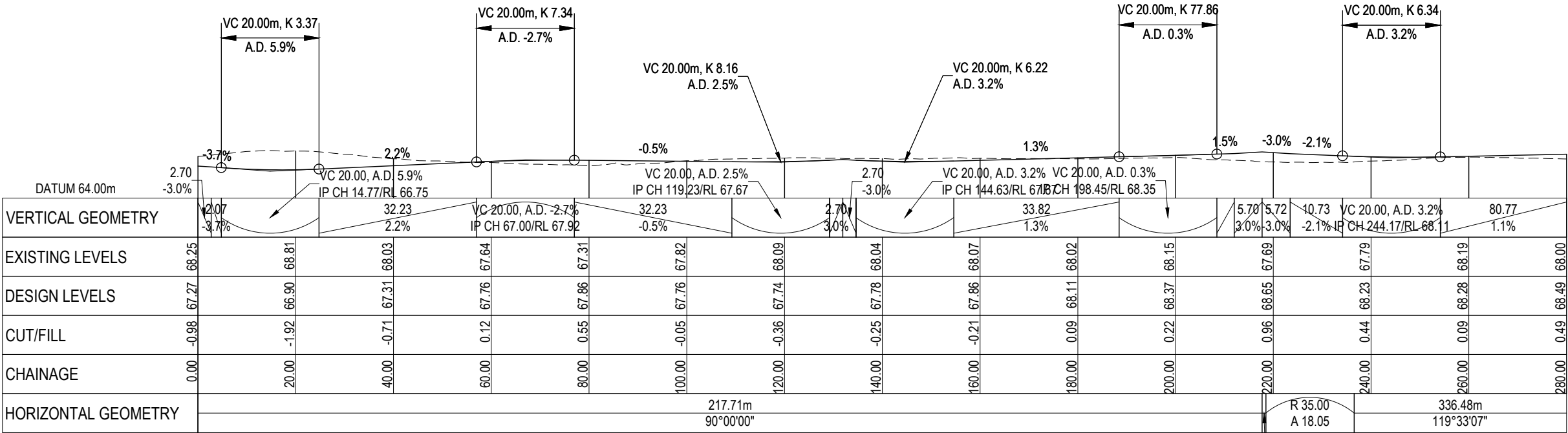
**PROPOSED  
ROADING  
LONGSECTION**

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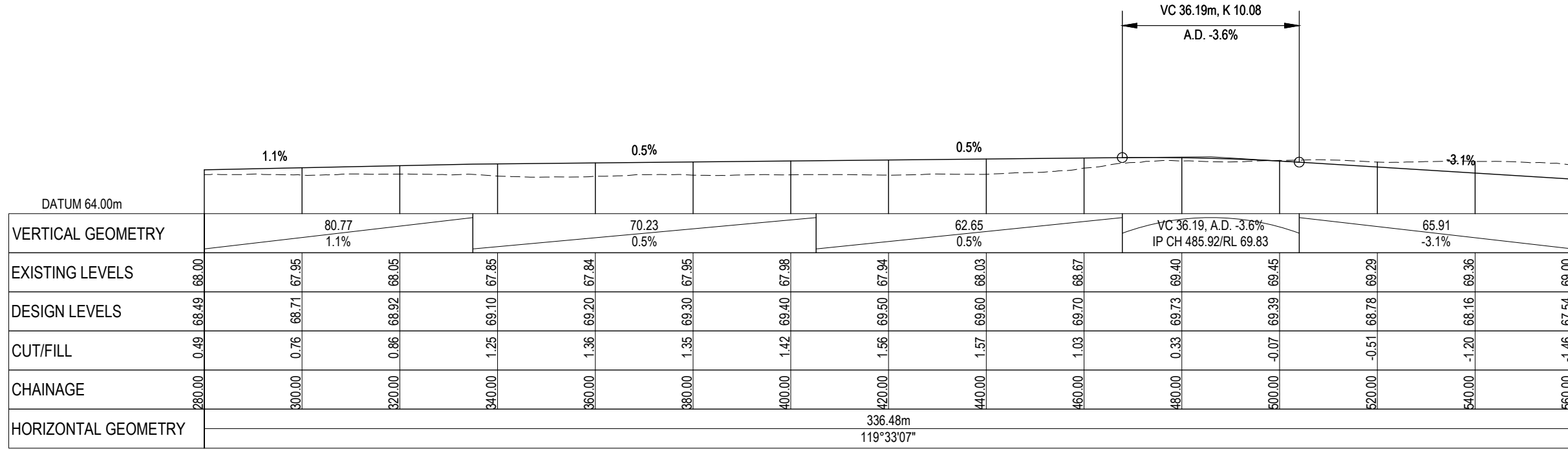
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RESOURCE CONSENT



ROAD 9  
SCALE: HORI 1:1000 VERT 1:500



ROAD 9  
SCALE: HORI 1:1000 VERT 1:500

- NOTES
1. All works to be in accordance with Matamata-Piako District Council standards.
  2. Co-ordinates in terms of NZ Geodetic Datum MT Eden 2000.
  3. Levels in terms of the New Zealand Vertical Datum 2016.
  4. Benchmark: IT I DPS 29877 RL: 65.51.
  5. Boundaries are subject to final survey.

Legend

----- EXSISTING GROUND LEVEL

----- PROPOSED GROUND LEVEL

D	FAST TRACK APP	RJM	11/2025
C	FAST TRACK APP	RJM	11/2025
B	FAST TRACK APP	RJM	04/2025
A	FAST TRACK APP	RJM	04/2025
Rev	Description	By	Date
	By	Date	
Survey	MAVEN	05/2024	
Design	MKS	11/2024	
Drawn	AP	11/2024	
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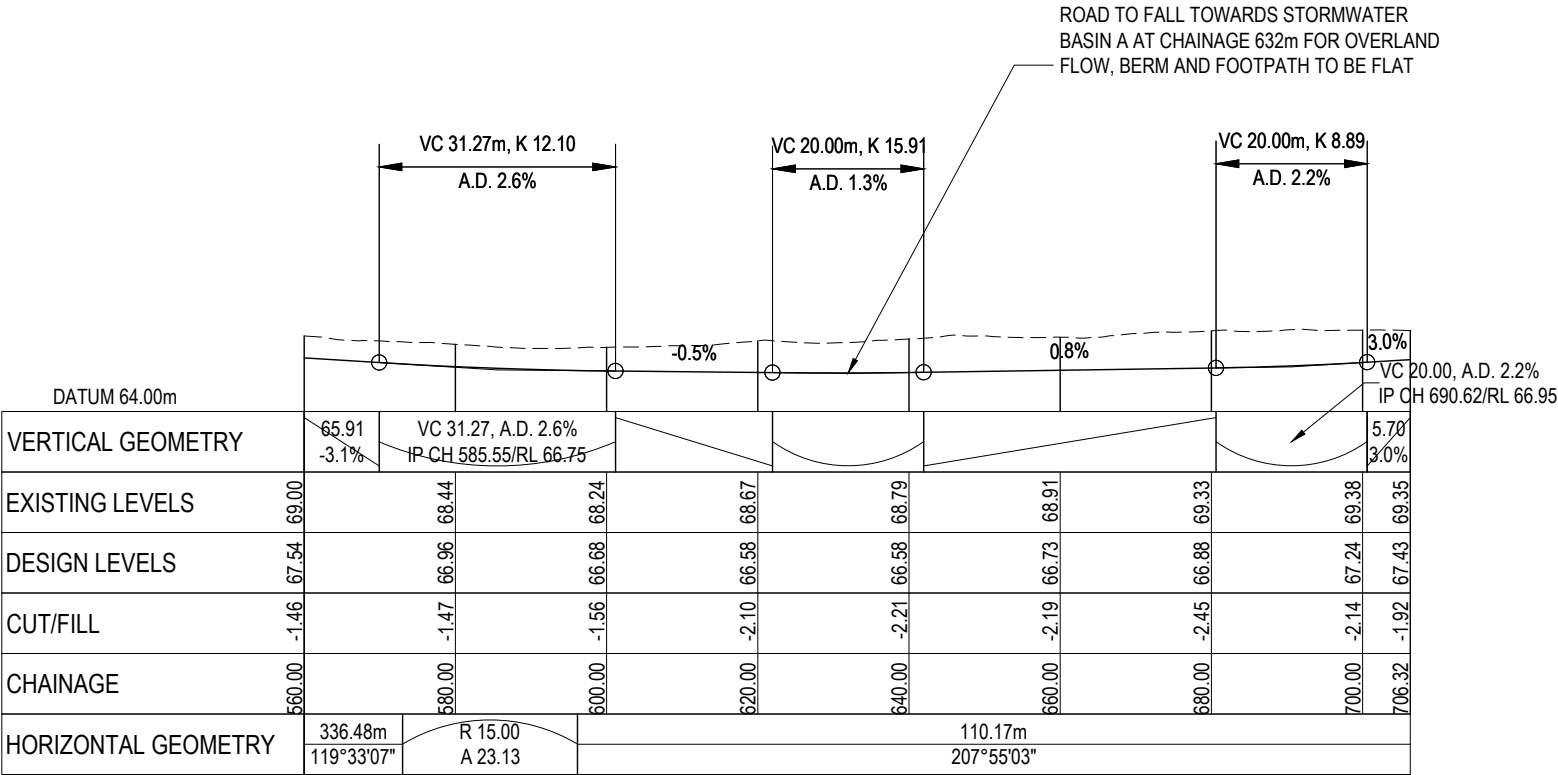
Project

**ASHBOURNE  
RESIDENTIAL  
FOR  
MATAMATA  
DEVELOPMENTS LTD**

Title

**PROPOSED  
ROADING  
LONGSECTION**

Project no.	289001		
Scale	AS SHOWN		
Cad file	C320-LONG SECTIONS.DWG		
Drawing no.	C320-11	Rev	D



ROAD 9  
SCALE: HORI 1:1000 VERT 1:500

- NOTES
1. All works to be in accordance with Matamata-Piako District Council standards.
  2. Co-ordinates in terms of NZ Geodetic Datum MT Eden 2000.
  3. Levels in terms of the New Zealand Vertical Datum 2016.
  4. Benchmark: IT I DPS 29877 RL: 65.51.
  5. Boundaries are subject to final survey.

Legend

----- EXISTING GROUND LEVEL

----- PROPOSED GROUND LEVEL

D	FAST TRACK APP	RJM	11/2025
C	FAST TRACK APP	RJM	11/2025
B	FAST TRACK APP	RJM	04/2025
A	FAST TRACK APP	RJM	04/2025
Rev	Description	By	Date
	By	Date	
Survey	MAVEN	05/2024	
Design	MKS	11/2024	
Drawn	AP	11/2024	
Checked	DJM	11/2024	



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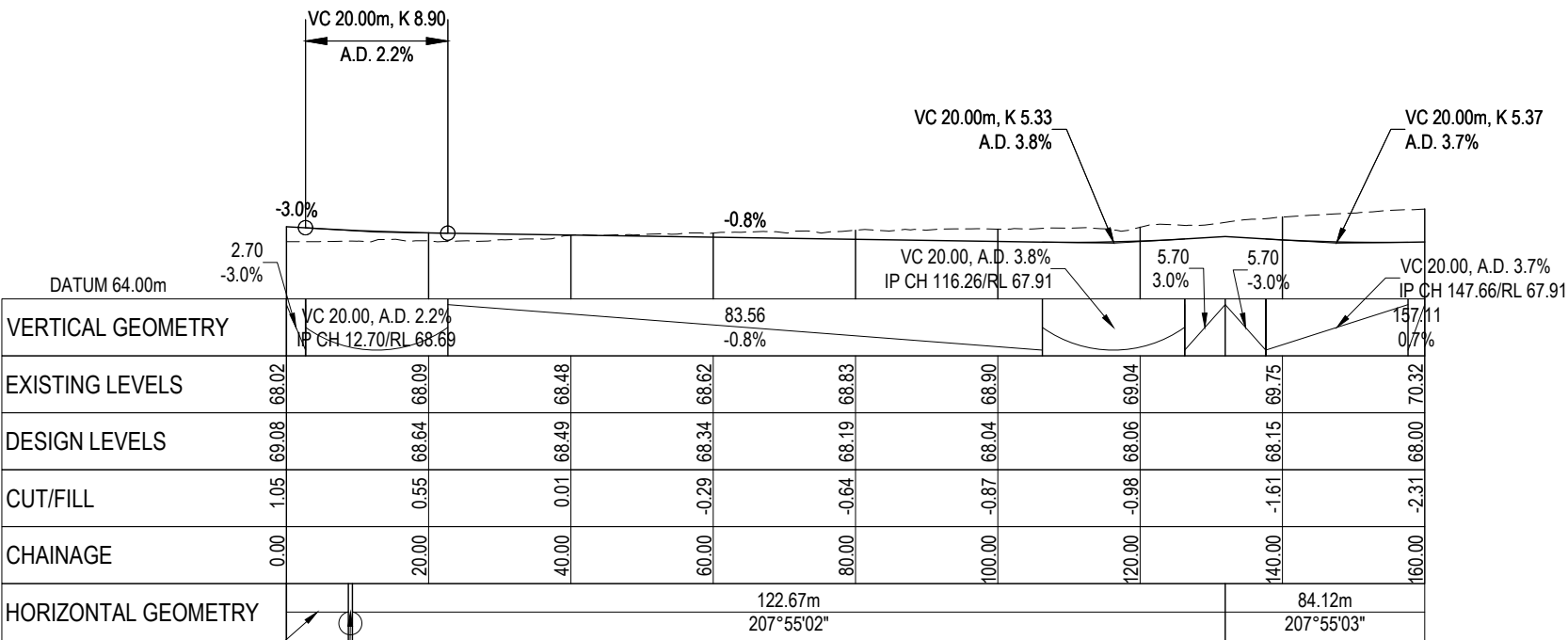
Title

**PROPOSED  
ROADING  
LONGSECTION**

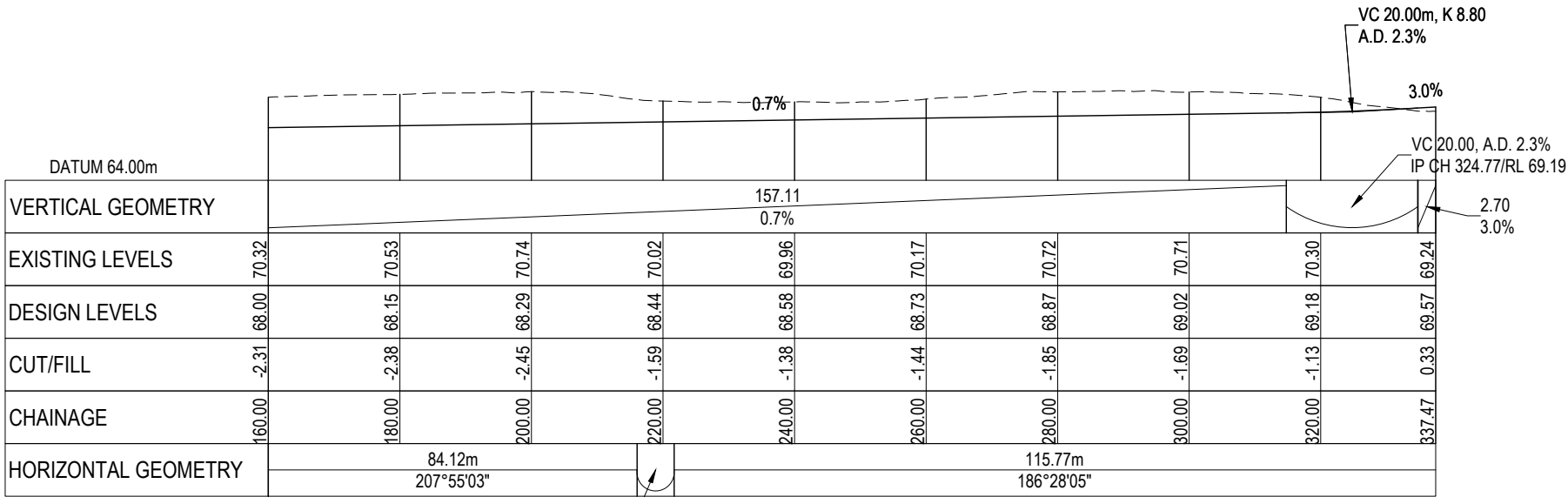
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Scale	AS SHOWN		
Cad file	C320-LONG SECTIONS.DWG		
Drawing no.	C320-12	Rev	D

RESOURCE CONSENT

DATE: 11/19/25 FILEPATH: F:\Maven\Hamilton\6. PROJECTS\289001 - STATION ROAD\7. DRAWING\11. ASHBORNE RESIDENTIAL\C320-LONG SECTIONS.DWG



ROAD 10  
SCALE: HORI 1:1000 VERT 1:500



ROAD 10  
SCALE: HORI 1:1000 VERT 1:500

- NOTES
1. All works to be in accordance with Matamata-Piako District Council standards.
  2. Co-ordinates in terms of NZ Geodetic Datum MT Eden 2000.
  3. Levels in terms of the New Zealand Vertical Datum 2016.
  4. Benchmark: IT I DPS 29877 RL: 65.51.
  5. Boundaries are subject to final survey.

Legend

-----	EXISTING GROUND LEVEL
-----	PROPOSED GROUND LEVEL

D	FAST TRACK APP	RJM	11/2025
C	FAST TRACK APP	RJM	11/2025
B	FAST TRACK APP	RJM	04/2025
A	FAST TRACK APP	RJM	04/2025
Rev	Description	By	Date
	Survey	MAVEN	05/2024
	Design	MKS	11/2024
	Drawn	AP	11/2024
	Checked	DJM	11/2024

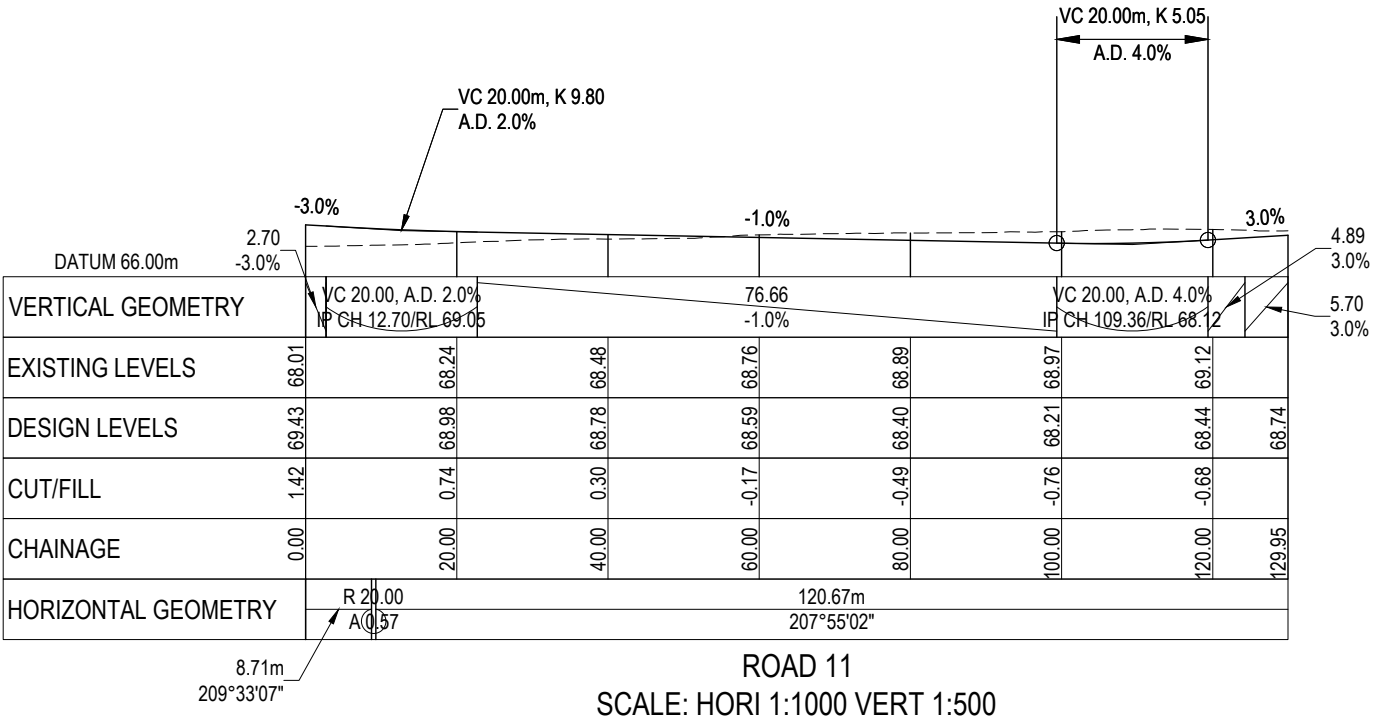


Project  
**ASHBOURNE  
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FOR  
MATAMATA  
DEVELOPMENTS LTD**

Title  
**PROPOSED  
ROADING  
LONGSECTION**

Project no.	289001		
Scale	AS SHOWN		
Cad file	C320-LONG SECTIONS.DWG		
Drawing no.	C320-13	Rev	D

RESOURCE CONSENT



NOTES

1. All works to be in accordance with Matamata-Piako District Council standards.

2. Co-ordinates in terms of NZ Geodetic Datum MT Eden 2000.

3. Levels in terms of the New Zealand Vertical Datum 2016.

4. Benchmark: IT I DPS 29877 RL: 65.51.

5. Boundaries are subject to final survey.

Legend

-----

EXISTING GROUND LEVEL

-----

PROPOSED GROUND LEVEL

D	FAST TRACK APP	RJM	11/2025
C	FAST TRACK APP	RJM	11/2025
B	FAST TRACK APP	RJM	04/2025
A	FAST TRACK APP	RJM	04/2025
Rev	Description	By	Date
	By	Date	
Survey	MAVEN	05/2024	
Design	MKS	11/2024	
Drawn	AP	11/2024	
Checked	DJM	11/2024	

M

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Level 1 286 Victoria Street, Hamilton

New Zealand

Project

ASHBOURNE  
RESIDENTIAL  
FOR  
MATAMATA  
DEVELOPMENTS LTD

Title

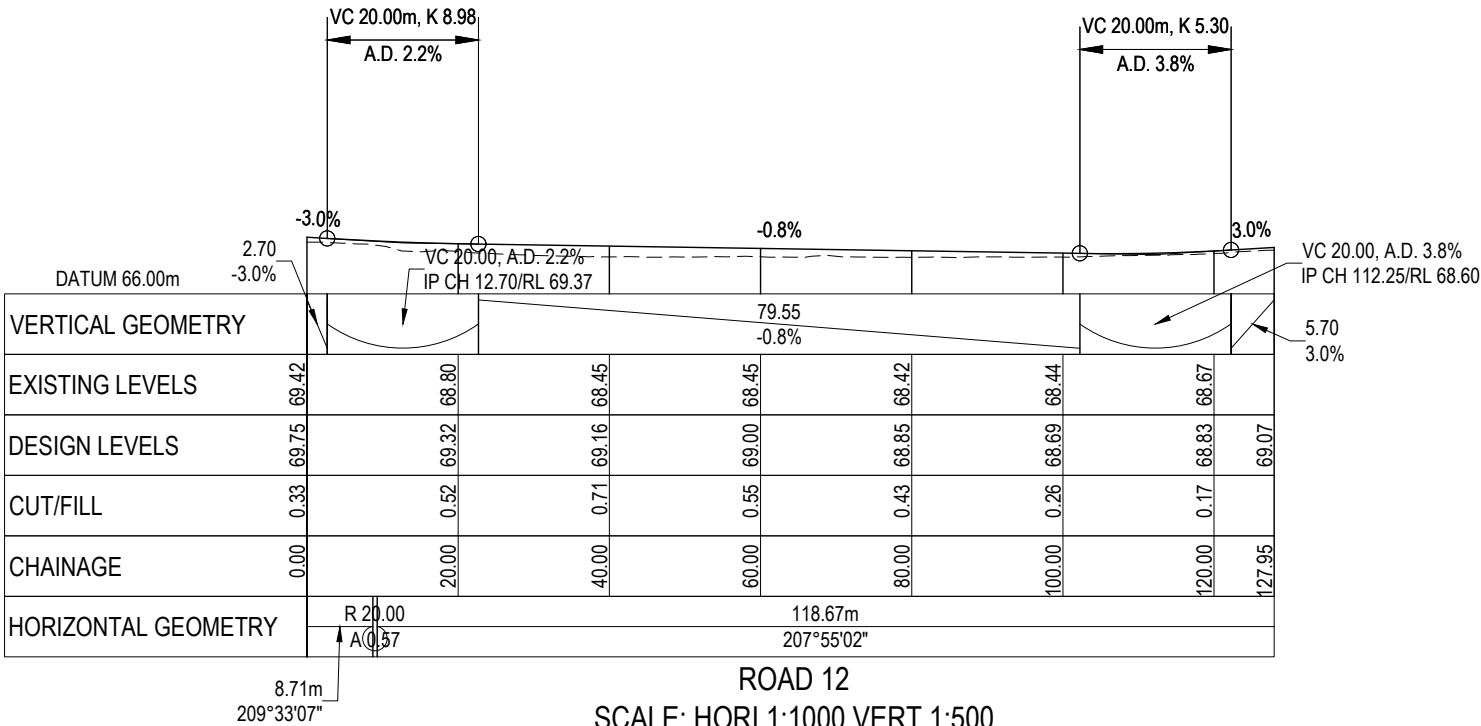
PROPOSED  
ROADING  
LONGSECTION

Project no.	289001		
Scale	AS SHOWN		
Cad file	C320-LONG SECTIONS.DWG		
Drawing no.	C320-14	Rev	D

RESOURCE CONSENT

DATE: 11/19/25 FILE PATH: F:\Maven\Hamilton\6. PROJECTS\289001 - STATION ROAD\7. DRAWING\11. ASHBOURNE RESIDENTIAL\C320-LONG SECTIONS.DWG

RESOURCE CONSENT



- NOTES
1. All works to be in accordance with Matamata-Piako District Council standards.
  2. Co-ordinates in terms of NZ Geodetic Datum MT Eden 2000.
  3. Levels in terms of the New Zealand Vertical Datum 2016.
  4. Benchmark: IT I DPS 29877 RL: 65.51.
  5. Boundaries are subject to final survey.

Legend

----- EXISTING GROUND LEVEL

----- PROPOSED GROUND LEVEL

D	FAST TRACK APP	RJM	11/2025
C	FAST TRACK APP	RJM	11/2025
B	FAST TRACK APP	RJM	04/2025
A	FAST TRACK APP	RJM	04/2025
Rev	Description	By	Date
	By	Date	
Survey	MAVEN	05/2024	
Design	MKS	11/2024	
Drawn	AP	11/2024	
Checked	DJM	11/2024	



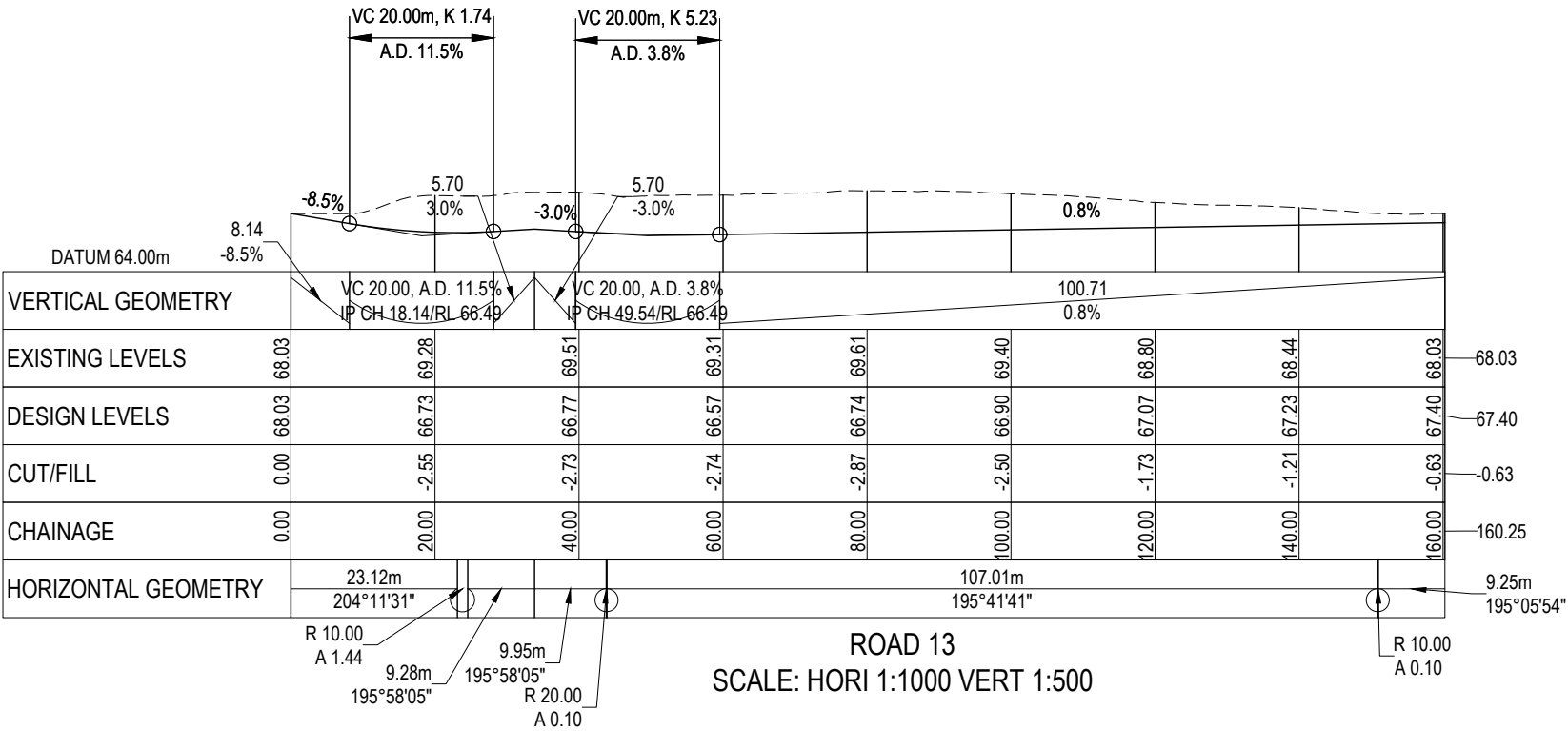
Project

**ASHBOURNE  
RESIDENTIAL  
FOR  
MATAMATA  
DEVELOPMENTS LTD**

Title

**PROPOSED  
ROADING  
LONGSECTION**

Project no.	289001		
Scale	AS SHOWN		
Cad file	C320-LONG SECTIONS.DWG		
Drawing no.	C320-15	Rev	<b>D</b>



NOTES

1. All works to be in accordance with Matamata-Piako District Council standards.

2. Co-ordinates in terms of NZ Geodetic Datum MT Eden 2000.

3. Levels in terms of the New Zealand Vertical Datum 2016.

4. Benchmark: IT I DPS 29877 RL: 65.51.

5. Boundaries are subject to final survey.

Legend

----- EXISTING GROUND LEVEL

----- PROPOSED GROUND LEVEL

D	FAST TRACK APP	RJM	11/2025
C	FAST TRACK APP	RJM	11/2025
B	FAST TRACK APP	RJM	04/2025
A	FAST TRACK APP	RJM	04/2025
Rev	Description	By	Date
	By	Date	
Survey	MAVEN	05/2024	
Design	MKS	11/2024	
Drawn	AP	11/2024	
Checked	DJM	11/2024	

M

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Project

ASHBOURNE  
RESIDENTIAL  
FOR  
MATAMATA  
DEVELOPMENTS LTD

Title

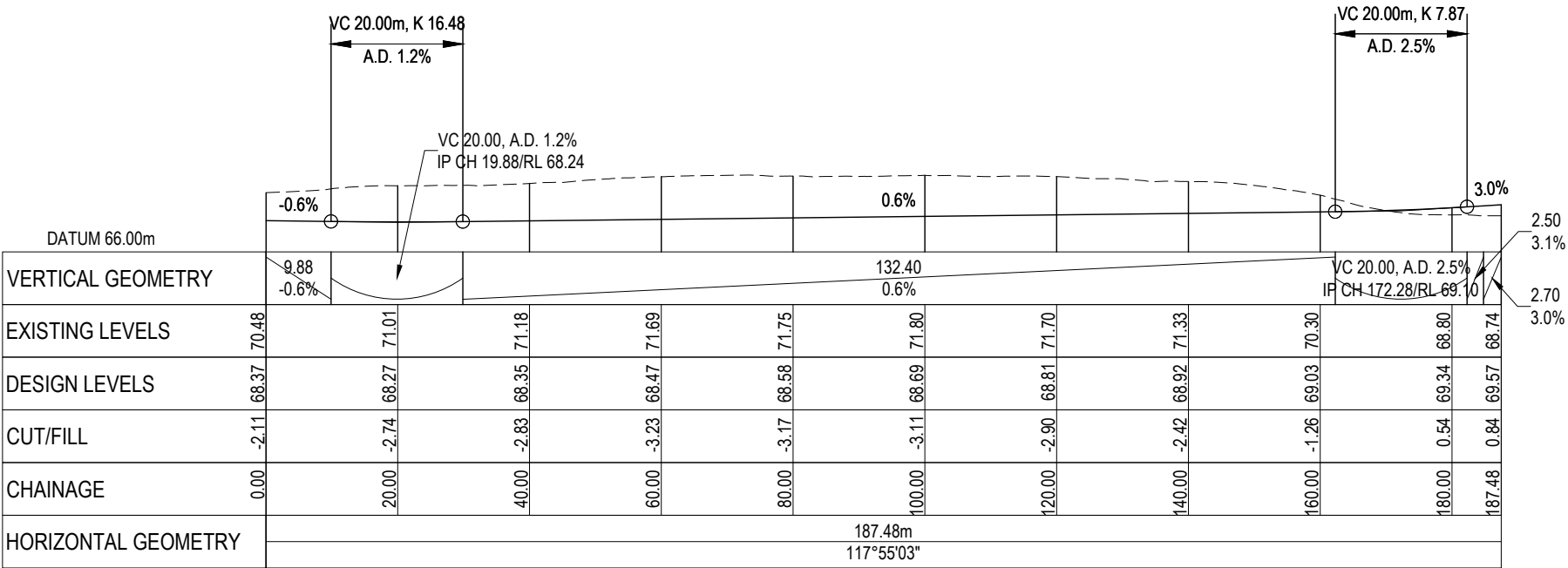
PROPOSED  
ROADING  
LONGSECTION

Project no.	289001		
Scale	AS SHOWN		
Cad file	C320-LONG SECTIONS.DWG		
Drawing no.	C320-16	Rev	D

RESOURCE CONSENT

DATE: 11/19/25 FILE PATH: F:\MAVEN\HAMILTON\6. PROJECTS\289001 - STATION ROAD\7. DRAWING\11. ASHBOURNE RESIDENTIAL\C320-LONG SECTIONS.DWG

RESOURCE CONSENT



ROAD 14  
SCALE: HORI 1:1000 VERT 1:500

- NOTES
1. All works to be in accordance with Matamata-Piako District Council standards.
  2. Co-ordinates in terms of NZ Geodetic Datum MT Eden 2000.
  3. Levels in terms of the New Zealand Vertical Datum 2016.
  4. Benchmark: IT I DPS 29877 RL: 65.51.
  5. Boundaries are subject to final survey.

Legend

----- EXSISTING GROUND LEVEL

----- PROPOSED GROUND LEVEL

D	FAST TRACK APP	RJM	11/2025
C	FAST TRACK APP	RJM	11/2025
B	FAST TRACK APP	RJM	04/2025
A	FAST TRACK APP	RJM	04/2025
Rev	Description	By	Date
	By	Date	
Survey	MAVEN	05/2024	
Design	MKS	11/2024	
Drawn	AP	11/2024	
Checked	DJM	11/2024	



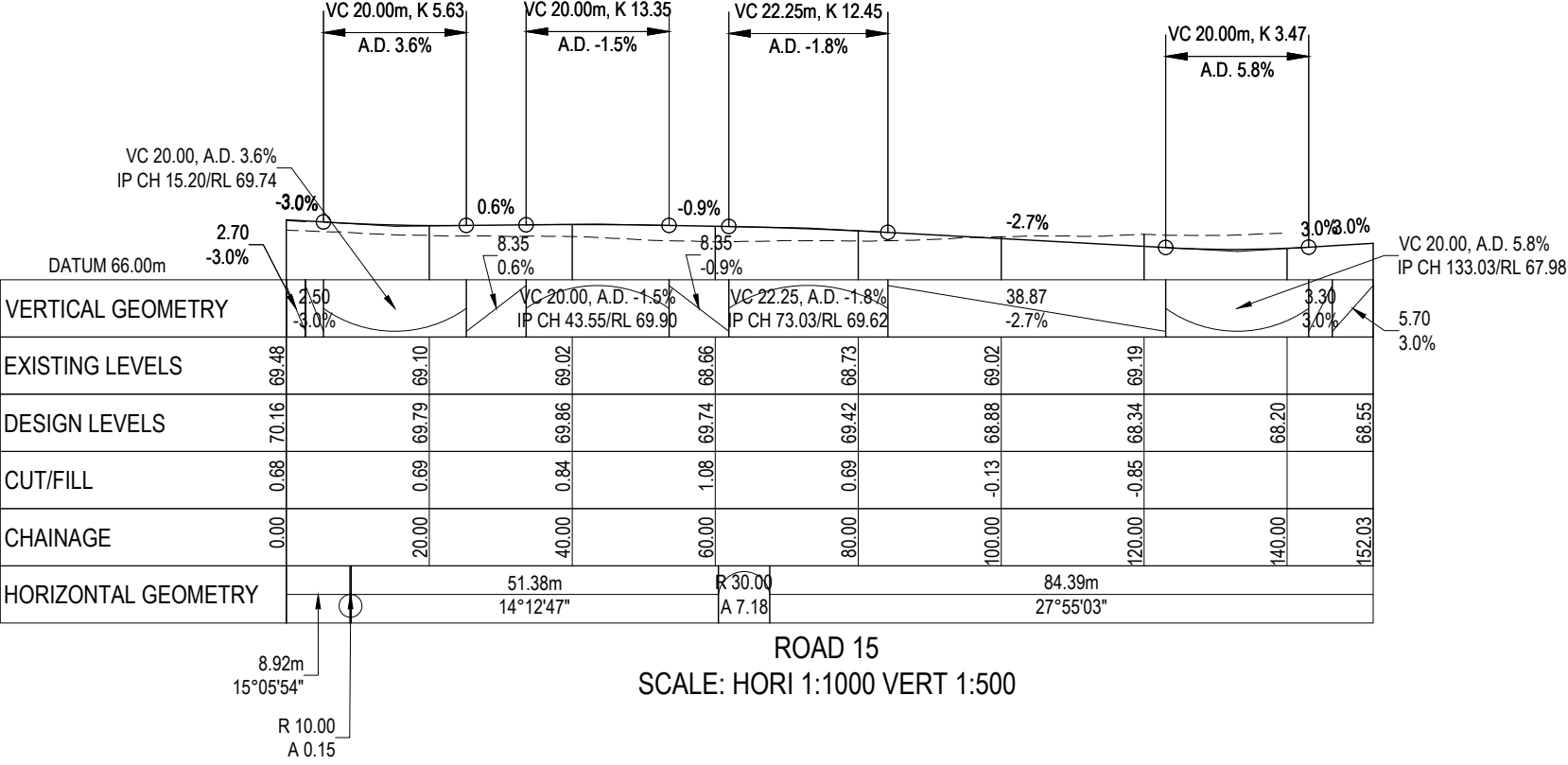
Project

**ASHBOURNE  
RESIDENTIAL  
FOR  
MATAMATA  
DEVELOPMENTS LTD**

Title

**PROPOSED  
ROADING  
LONGSECTION**

Project no.	289001		
Scale	AS SHOWN		
Cad file	C320-LONG SECTIONS.DWG		
Drawing no.	C320-17	Rev	D



NOTES

1. All works to be in accordance with Matamata-Piako District Council standards.

2. Co-ordinates in terms of NZ Geodetic Datum MT Eden 2000.

3. Levels in terms of the New Zealand Vertical Datum 2016.

4. Benchmark: IT I DPS 29877 RL: 65.51.

5. Boundaries are subject to final survey.

Legend

-----

EXISTING GROUND LEVEL

-----

PROPOSED GROUND LEVEL

D	FAST TRACK APP	RJM	11/2025
C	FAST TRACK APP	RJM	11/2025
B	FAST TRACK APP	RJM	04/2025
A	FAST TRACK APP	RJM	04/2025
Rev	Description	By	Date
	By	Date	
Survey	MAVEN	05/2024	
Design	MKS	11/2024	
Drawn	AP	11/2024	
Checked	DJM	11/2024	

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New Zealand

Project

ASHBOURNE  
RESIDENTIAL  
FOR  
MATAMATA  
DEVELOPMENTS LTD

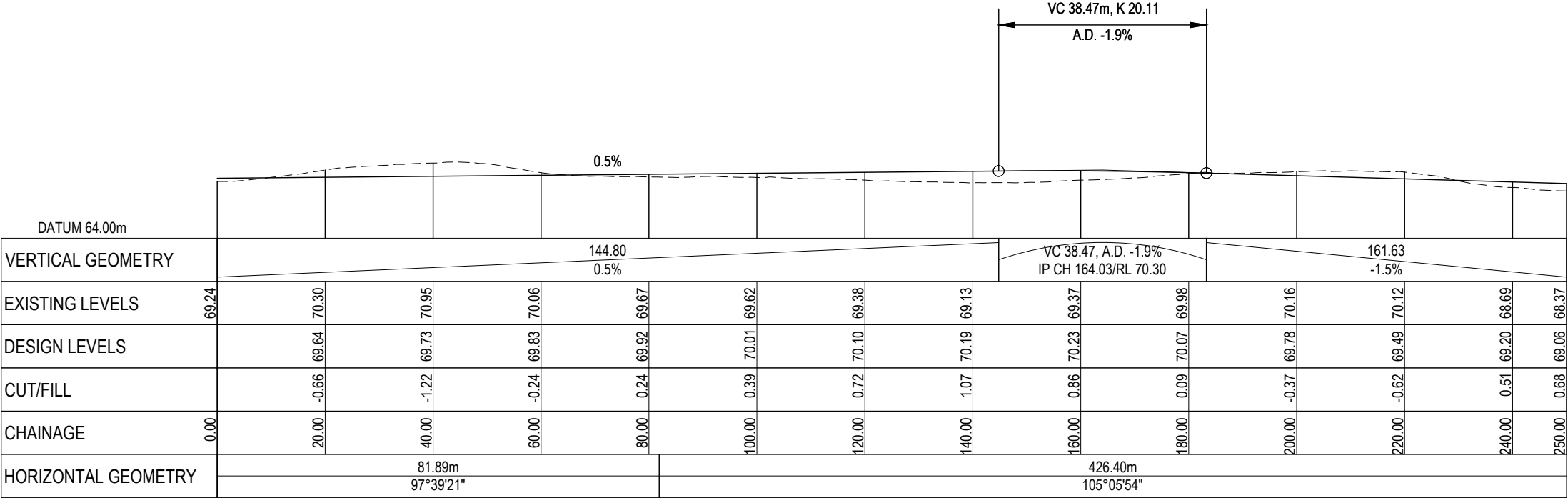
Title

PROPOSED  
ROADING  
LONGSECTION

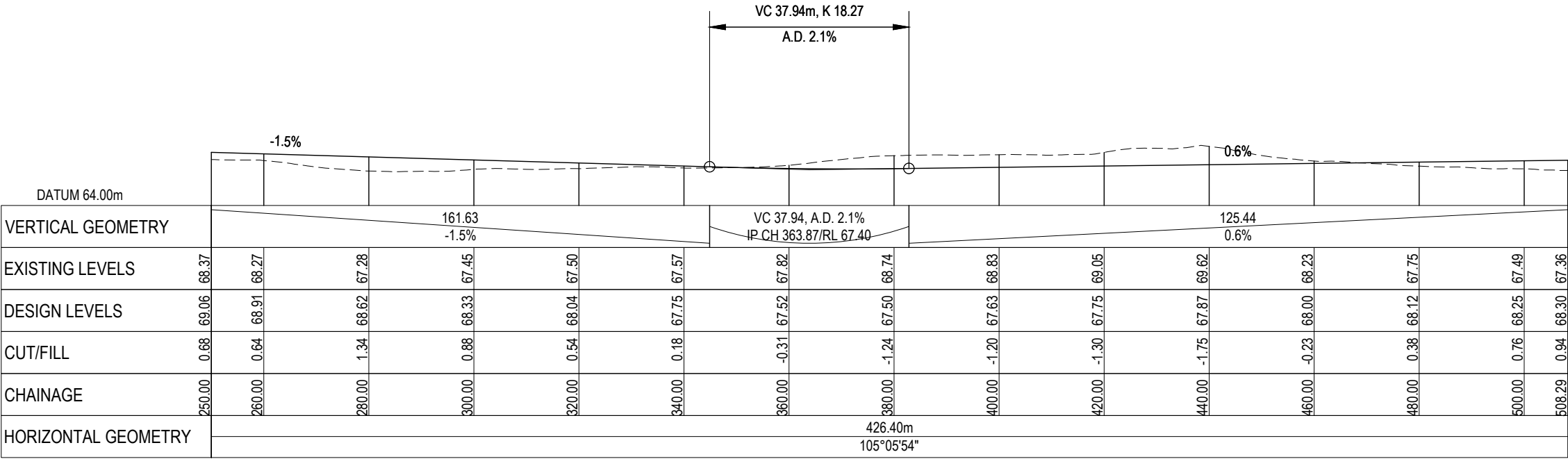
Project no.	289001		
Scale	AS SHOWN		
Cad file	C320-LONG SECTIONS.DWG		
Drawing no.	C320-18	Rev	D

RESOURCE CONSENT

DATE: 11/19/25 FILEPATH: F:\MAMEN\HAMTON6 PROJECTS\289001 - STATION ROAD\7 DRAWING\11 ASHBORNE RESIDENTIAL\C320-LONG SECTIONS.DWG



ROAD 16  
SCALE: HORI 1:1000 VERT 1:500



ROAD 16  
SCALE: HORI 1:1000 VERT 1:500

RESOURCE CONSENT

- NOTES
1. All works to be in accordance with Matamata-Piako District Council standards.
  2. Co-ordinates in terms of NZ Geodetic Datum MT Eden 2000.
  3. Levels in terms of the New Zealand Vertical Datum 2016.
  4. Benchmark: IT I DPS 29877 RL: 65.51.
  5. Boundaries are subject to final survey.

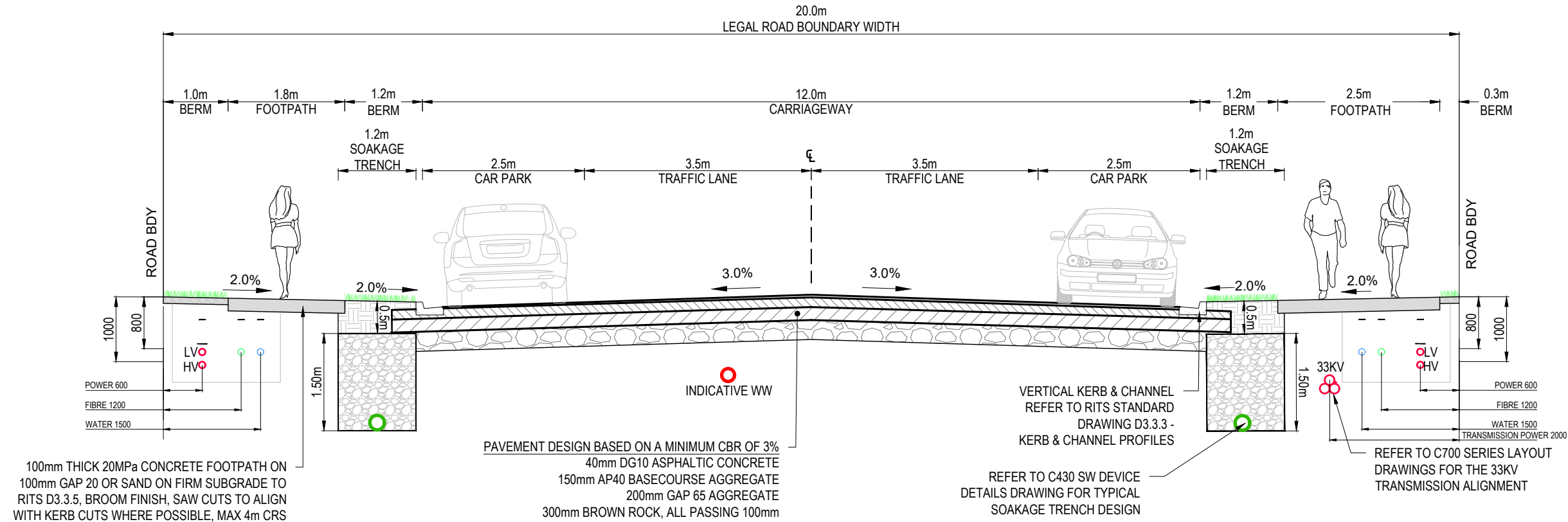
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C	FAST TRACK APP	RJM	11/2025
B	FAST TRACK APP	RJM	04/2025
A	FAST TRACK APP	RJM	04/2025
Rev	Description	By	Date
		By	Date
Survey	MAVEN		05/2024
Design	MKS		11/2024
Drawn	AP		11/2024
Checked	DJM		11/2024



Project  
**ASHBOURNE  
RESIDENTIAL  
FOR  
MATAMATA  
DEVELOPMENTS LTD**

Title  
**PROPOSED  
ROADING  
LONGSECTION**

Project no.	289001		
Scale	AS SHOWN		
Cad file	C320-LONG SECTIONS.DWG		
Drawing no.	C320-19	Rev	D



SECTION A1 - 20m ROAD - TYPICAL CROSS SECTION (ROAD 1)  
SCALE: 1:75 @ A3

- Notes
1. All works to be in accordance with local council standards.
  2. Co-ordinates in terms of Mount Eden 2000
  3. Reduced levels in terms of NZVD 2016.
  4. Benchmark: IT I DPS 29877 RL: 65.19
  5. The Contractors shall obtain all necessary approval from utility operators before commencing work under or near their services.
  6. Final pavement design subject to CBR/Beam tests on subgrade material.
  7. Setout schedule with co-ordinates of chainage points along road centerline to be supplied to the Contractors prior to construction.
  8. Refer to long section for finished centerline levels. Refer to typical cross sections to obtain levels for other locations.
  9. Vehicle crossing to be constructed by others unless otherwise stated.
  10. The Contractor may, with the agreement of the Engineer, adopt the alternative pavement design as specified on typical cross section, provided that the subgrade can achieve a minimum of CBR 3.
  11. Subgrade testing required, contractor shall notify engineer of any results below CBR of 3%. Engineer to advise on the additional pavement requirements or Subgrade remediation.

D	FAST TRACK APP	MKS	11/2025
C	FAST TRACK APP	RJM	05/2025
B	FAST TRACK APP	RJM	04/2025
A	FAST TRACK APP	TCH	04/2025
Rev	Description	By	Date
		By	Date
Survey	MAVEN		03/2024
Design	MKS		10/2024
Drawn	MKS		10/2024
Checked	DJM		05/2025



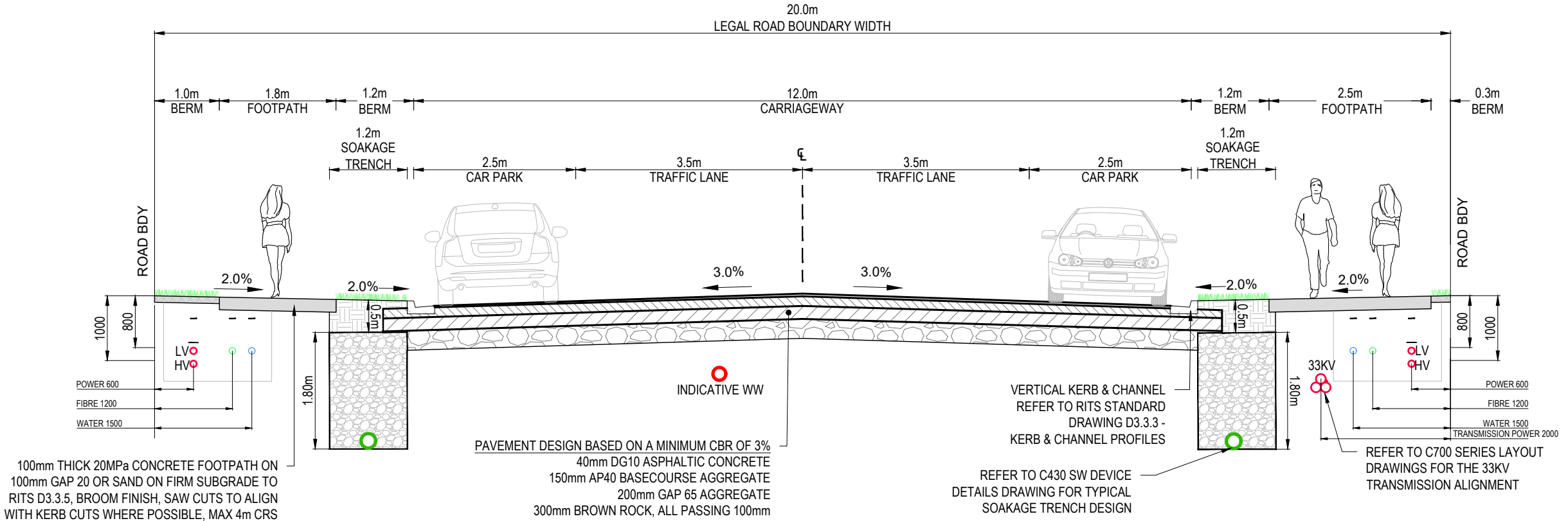
Project  
**ASHBOURNE  
RESIDENTIAL  
FOR  
MATAMATA  
DEVELOPMENTS**

Title  
**TYPICAL ROAD  
CROSS SECTION  
SHEET**

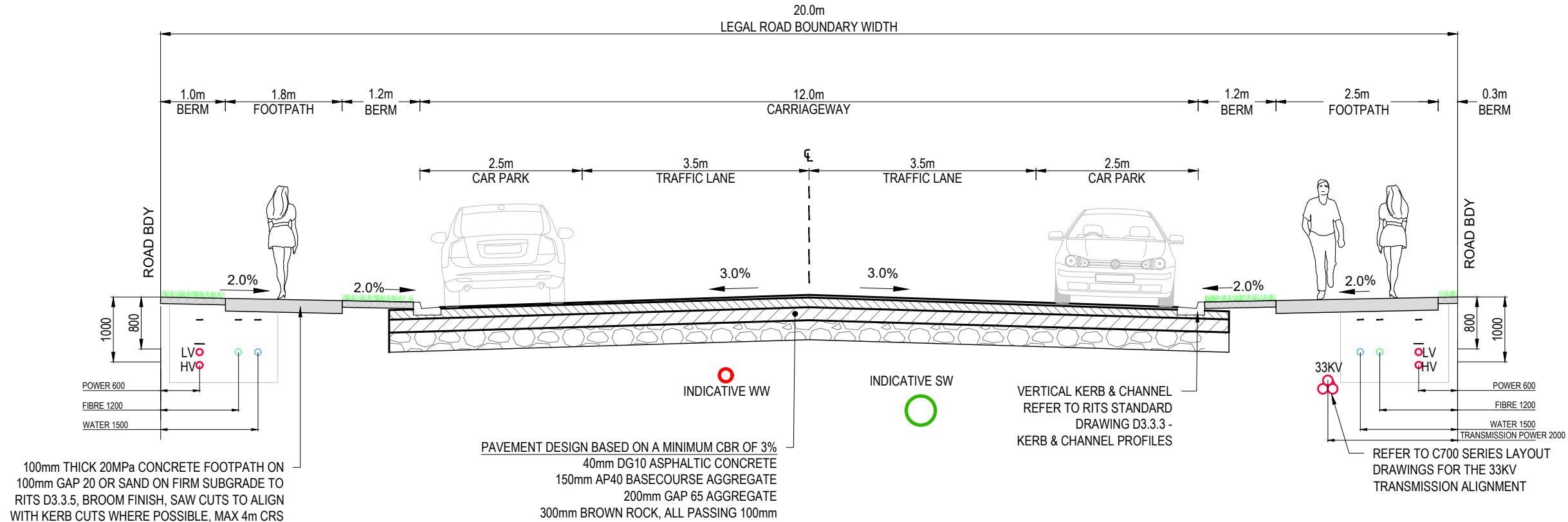
Project no.	289001
Scale	AS SHOWN
Cad file	C340-TYP RD SECTION.DWG
Drawing no.	C340-1
Rev	D

RESOURCE CONSENT

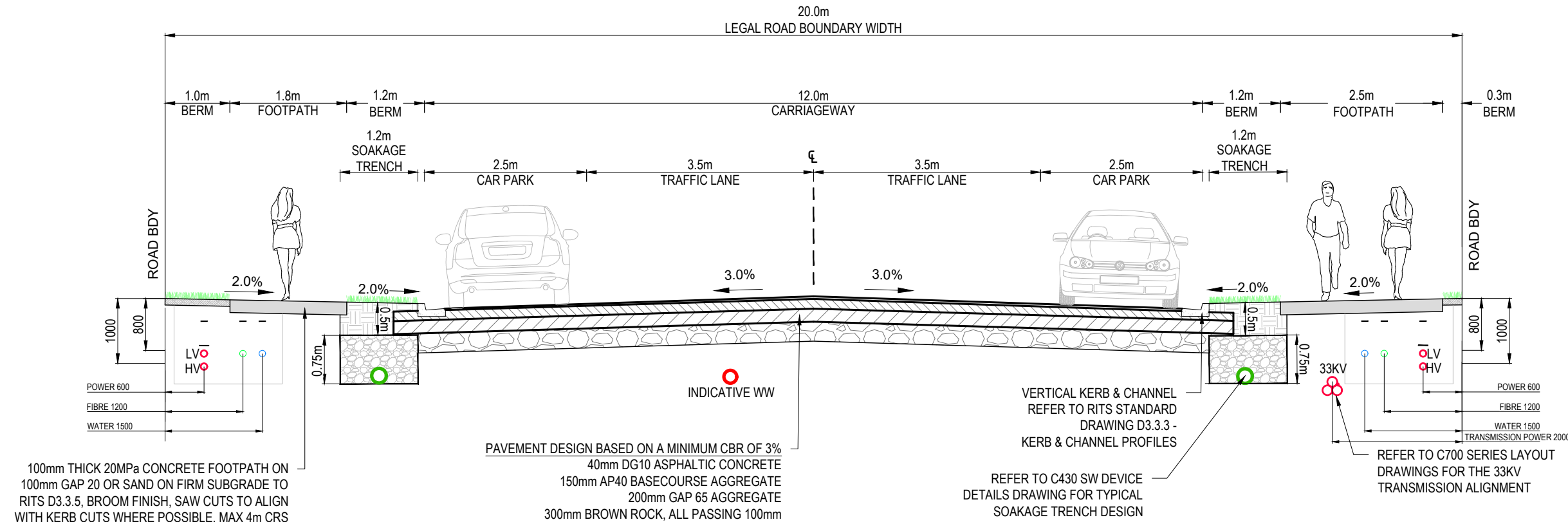
SECTION A2 - 20m ROAD - TYPICAL CROSS SECTION (ROAD 1)  
SCALE: 1:75 @ A3



- Notes
1. All works to be in accordance with local council standards.
  2. Co-ordinates in terms of Mount Eden 2000
  3. Reduced levels in terms of NZVD 2016.
  4. Benchmark: IT I DPS 29877 RL: 65.19
  5. The Contractors shall obtain all necessary approval from utility operators before commencing work under or near their services.
  6. Final pavement design subject to CBR/Beam tests on subgrade material.
  7. Setout schedule with co-ordinates of chainage points along road centerline to be supplied to the Contractors prior to construction.
  8. Refer to long section for finished centerline levels. Refer to typical cross sections to obtain levels for other locations.
  9. Vehicle crossing to be constructed by others unless otherwise stated.
  10. The Contractor may, with the agreement of the Engineer, adopt the alternative pavement design as specified on typical cross section, provided that the subgrade can achieve a minimum of CBR 3.
  11. Subgrade testing required, contractor shall notify engineer of any results below CBR of 3%. Engineer to advise on the additional pavement requirements or Subgrade remediation.



SECTION A3 - 20m ROAD - TYPICAL CROSS SECTION (ROAD 1)  
SCALE: 1:75 @ A3



SECTION A4 - 20m ROAD - TYPICAL CROSS SECTION (ROAD 7)  
SCALE: 1:75 @ A3

RESOURCE CONSENT

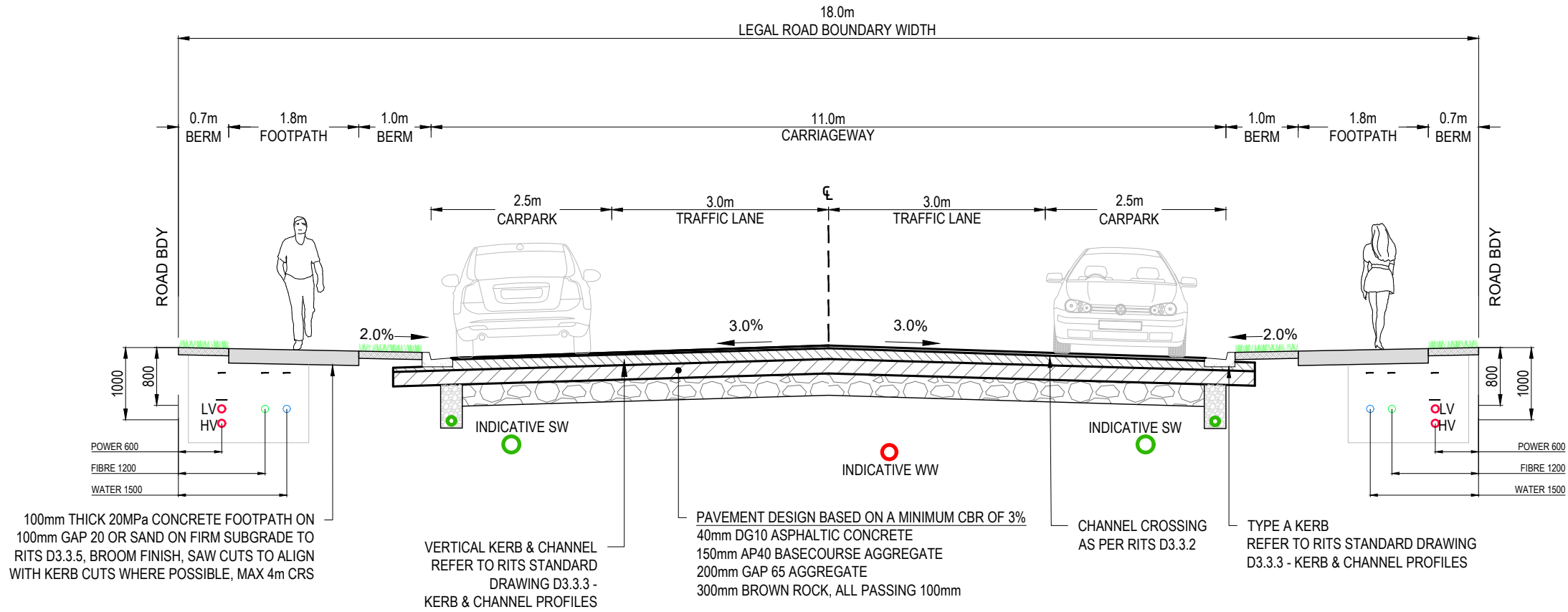
A	FAST TRACK APP	MKS	11/2025
Rev	Description	By	Date
		By	Date
Survey	MAVEN		03/2024
Design	MKS		11/2025
Drawn	MKS		11/2025
Checked	DJM		11/2025



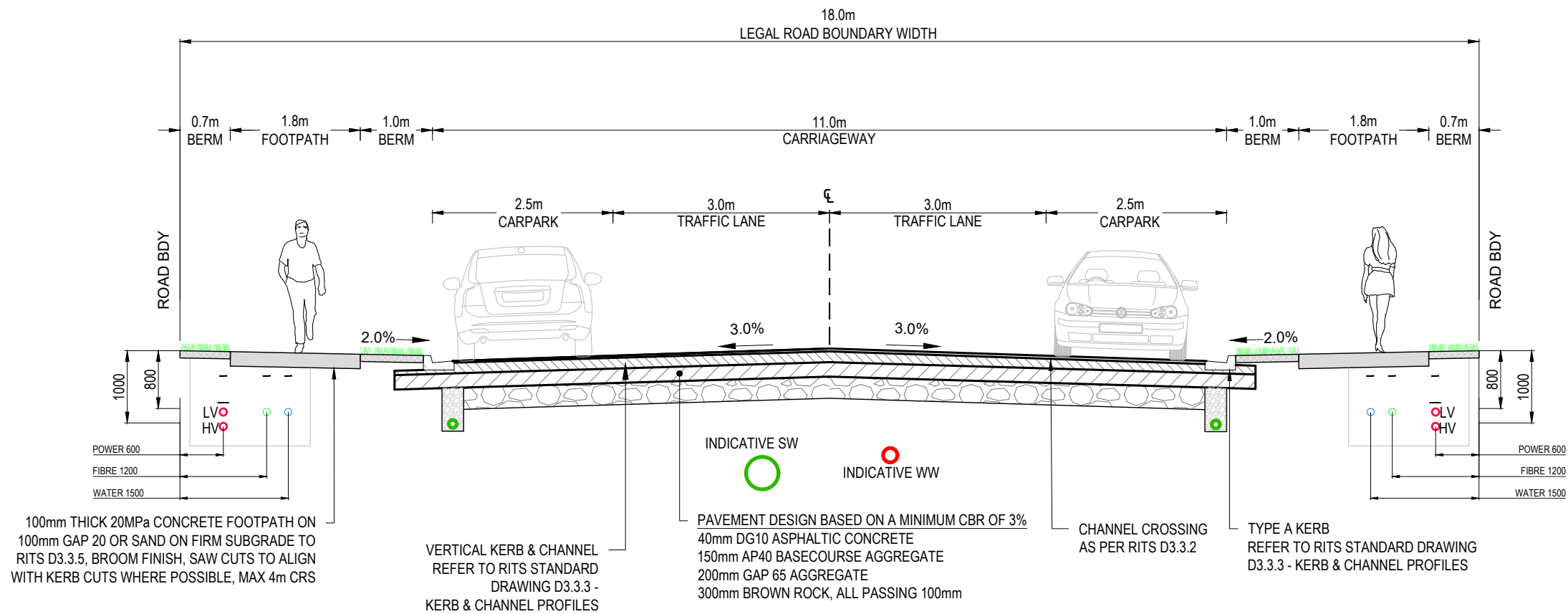
Project  
**ASHBOURNE  
RESIDENTIAL  
FOR  
MATAMATA  
DEVELOPMENTS**

Title  
**TYPICAL ROAD  
CROSS SECTION  
SHEET**

Project no.	289001
Scale	AS SHOWN
Cad file	C340-TYP RD SECTION.DWG
Drawing no.	C340-1A
Rev	A



SECTION B1 - 18m ROAD - TYPICAL CROSS SECTION (NO SW DEVICES)  
SCALE: 1:75 @ A3



SECTION B2 - 18m ROAD - TYPICAL CROSS SECTION (PIPE NETWORK)  
SCALE: 1:75 @ A3

Notes

1. All works to be in accordance with local council standards.
2. Co-ordinates in terms of Mount Eden 2000
3. Reduced levels in terms of NZVD 2016.
4. Benchmark: IT I DPS 29877 RL: 65.19
5. The Contractors shall obtain all necessary approval from utility operators before commencing work under or near their services.
6. Final pavement design subject to CBR/Beam tests on subgrade material.
7. Setout schedule with co-ordinates of chainage points along road centerline to be supplied to the Contractors prior to construction.
8. Refer to long section for finished centerline levels. Refer to typical cross sections to obtain levels for other locations.
9. Vehicle crossing to be constructed by others unless otherwise stated.
10. The Contractor may, with the agreement of the Engineer, adopt the alternative pavement design as specified on typical cross section, provided that the subgrade can achieve a minimum of CBR 3.
11. Subgrade testing required, contractor shall notify engineer of any results below CBR of 3%. Engineer to advise on the additional pavement requirements or Subgrade remediation.

A	FAST TRACK APP	MKS	11/2025
Rev	Description	By	Date
		By	Date
Survey	MAVEN		03/2024
Design	MKS		11/2025
Drawn	MKS		11/2025
Checked	DJM		11/2025

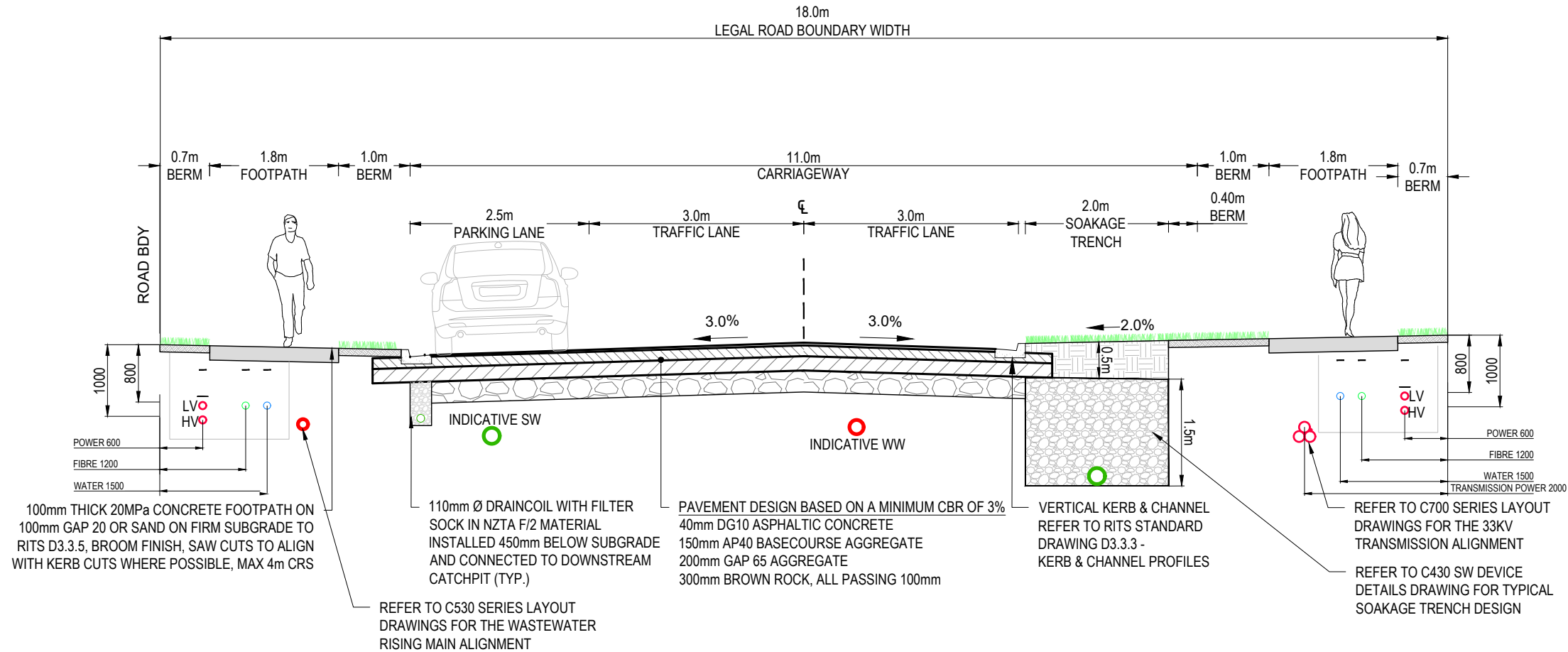


Project  
**ASHBOURNE  
RESIDENTIAL  
FOR  
MATAMATA  
DEVELOPMENTS**

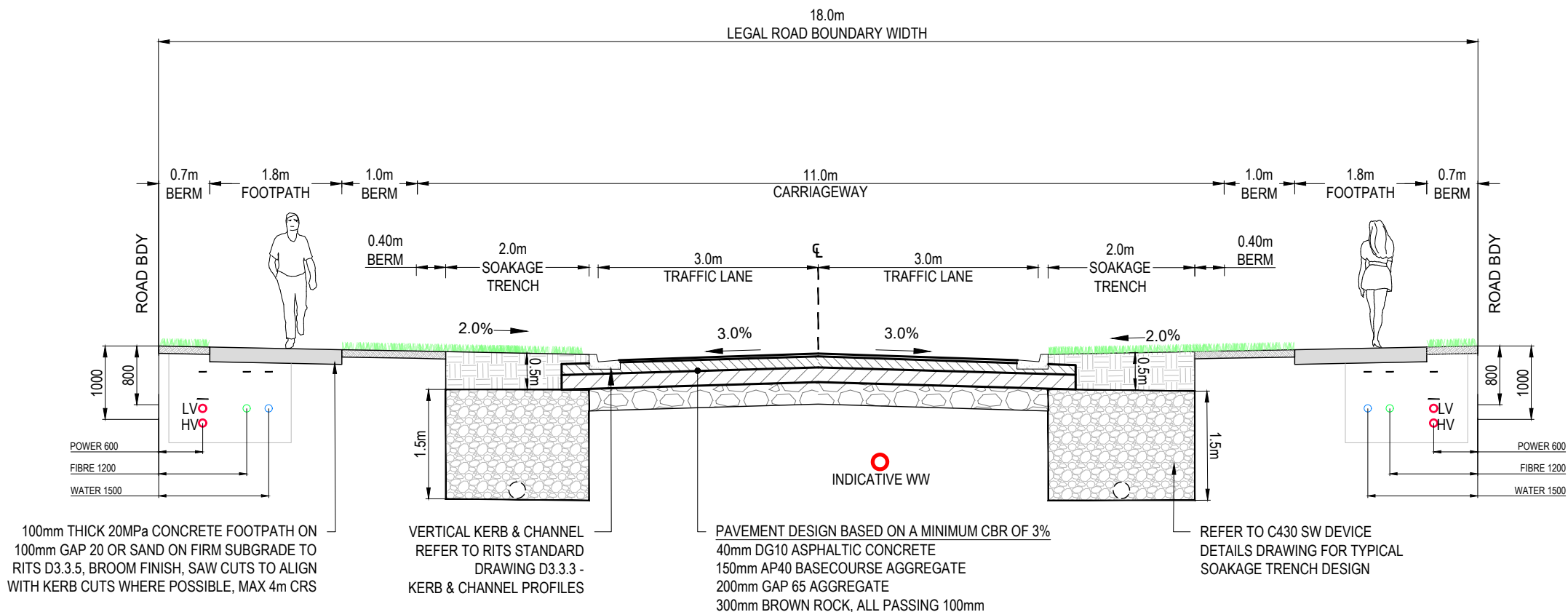
Title  
**TYPICAL ROAD  
CROSS SECTION  
SHEET**

Project no.	289001
Scale	AS SHOWN
Cad file	C340-TYP RD SECTION.DWG
Drawing no.	C340-1B
Rev	<b>A</b>

RESOURCE CONSENT



SECTION C - 18m ROAD - TYPICAL CROSS SECTION  
SCALE: 1:75 @ A3



SECTION D - 18m ROAD - TYPICAL CROSS SECTION  
SCALE: 1:75 @ A3

- Notes
1. All works to be in accordance with local council standards.
  2. Co-ordinates in terms of Mount Eden 2000
  3. Reduced levels in terms of NZVD 2016.
  4. Benchmark: IT I DPS 29877 RL: 65.19
  5. The Contractors shall obtain all necessary approval from utility operators before commencing work under or near their services.
  6. Final pavement design subject to CBR/Beam tests on subgrade material.
  7. Setout schedule with co-ordinates of chainage points along road centerline to be supplied to the Contractors prior to construction.
  8. Refer to long section for finished centerline levels. Refer to typical cross sections to obtain levels for other locations.
  9. Vehicle crossing to be constructed by others unless otherwise stated.
  10. The Contractor may, with the agreement of the Engineer, adopt the alternative pavement design as specified on typical cross section, provided that the subgrade can achieve a minimum of CBR 3.
  11. Subgrade testing required, contractor shall notify engineer of any results below CBR of 3%. Engineer to advise on the additional pavement requirements or Subgrade remediation.

D	FAST TRACK APP	MKS	11/2025
C	FAST TRACK APP	RJM	05/2025
B	FAST TRACK APP	RJM	04/2025
A	FAST TRACK APP	TCH	04/2025
Rev	Description	By	Date
		By	Date
Survey	MAVEN		03/2024
Design	MKS		10/2024
Drawn	MKS		10/2024
Checked	DJM		05/2025

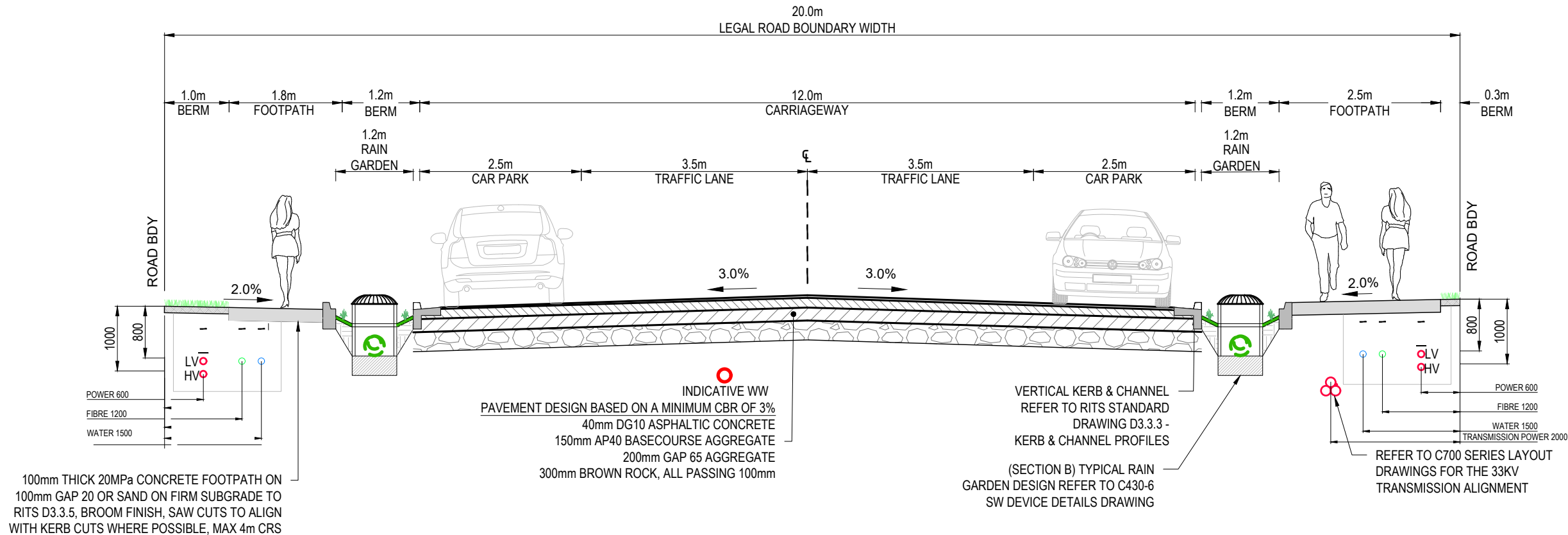


Project  
**ASHBOURNE  
RESIDENTIAL  
FOR  
MATAMATA  
DEVELOPMENTS**

Title  
**TYPICAL ROAD  
CROSS SECTION  
SHEET**

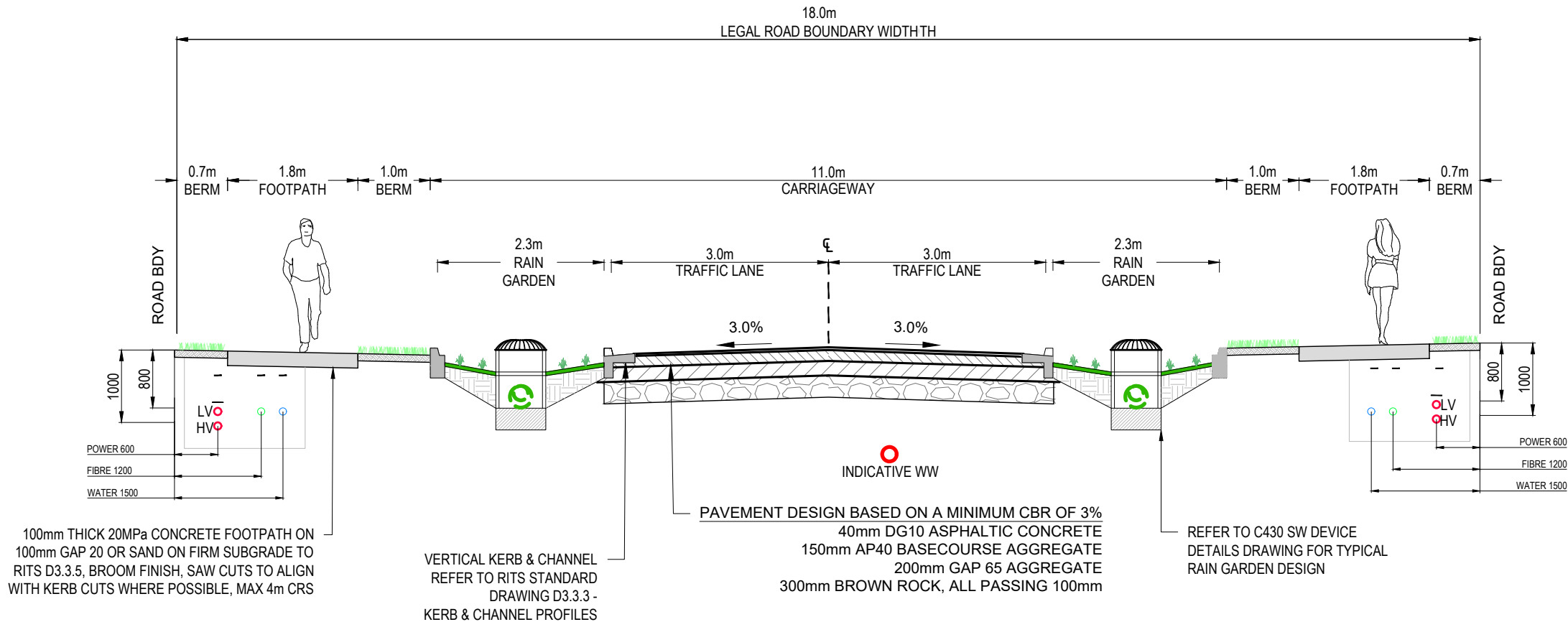
Project no.	289001
Scale	AS SHOWN
Cad file	C340-TYP RD SECTION.DWG
Drawing no.	C340-2
Rev	D

RESOURCE CONSENT



SECTION E - 20m ROAD - TYPICAL CROSS SECTION (ROAD 1 & 7)  
SCALE: 1:75 @ A3

- Notes
1. All works to be in accordance with local council standards.
  2. Co-ordinates in terms of Mount Eden 2000
  3. Reduced levels in terms of NZVD 2016.
  4. Benchmark: IT I DPS 29877 RL: 65.19
  5. The Contractors shall obtain all necessary approval from utility operators before commencing work under or near their services.
  6. Final pavement design subject to CBR/Beam tests on subgrade material.
  7. Setout schedule with co-ordinates of chainage points along road centerline to be supplied to the Contractors prior to construction.
  8. Refer to long section for finished centerline levels. Refer to typical cross sections to obtain levels for other locations.
  9. Vehicle crossing to be constructed by others unless otherwise stated.
  10. The Contractor may, with the agreement of the Engineer, adopt the alternative pavement design as specified on typical cross section, provided that the subgrade can achieve a minimum of CBR 3.
  11. Subgrade testing required, contractor shall notify engineer of any results below CBR of 3%. Engineer to advise on the additional pavement requirements or Subgrade remediation.



SECTION F - 18m ROAD - TYPICAL CROSS SECTION  
SCALE: 1:75 @ A3

C	FAST TRACK APP	RJM	05/2025
B	FAST TRACK APP	RJM	04/2025
A	FAST TRACK APP	TCH	04/2025
Rev	Description	By	Date
		By	Date
Survey	MAVEN		03/2024
Design	MKS		10/2024
Drawn	MKS		10/2024
Checked	DJM		05/2025



Project  
**ASHBOURNE  
RESIDENTIAL  
FOR  
MATAMATA  
DEVELOPMENTS**

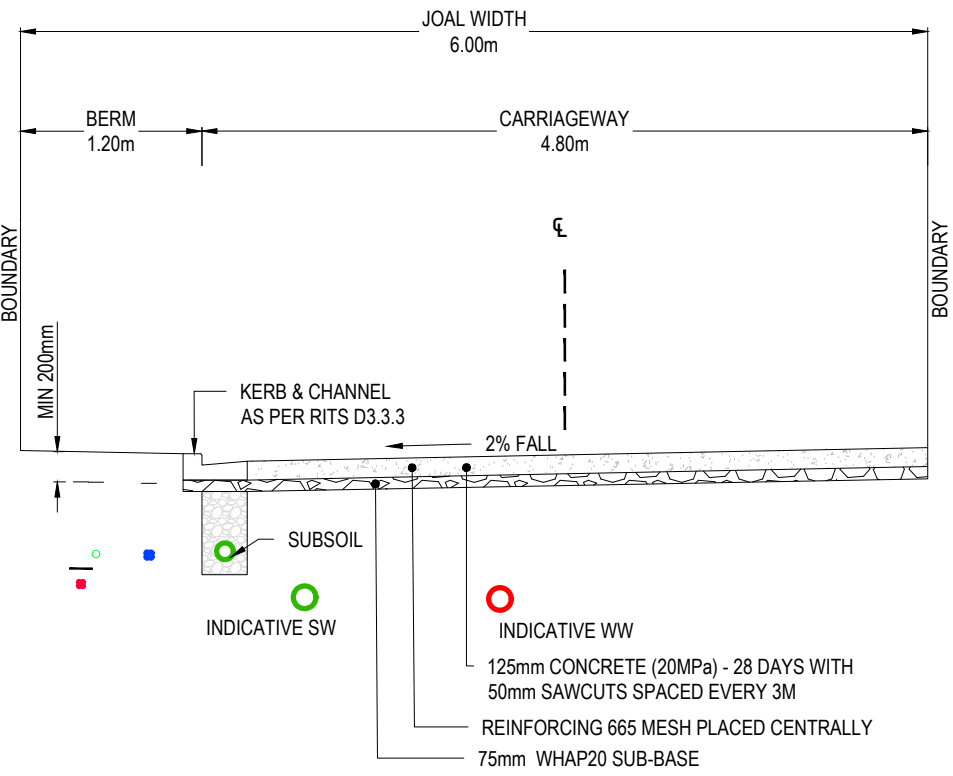
Title  
**TYPICAL ROAD  
CROSS SECTION  
SHEET**

Project no.	289001
Scale	AS SHOWN
Cad file	C340-TYP RD SECTION.DWG
Drawing no.	C340-3
Rev	C

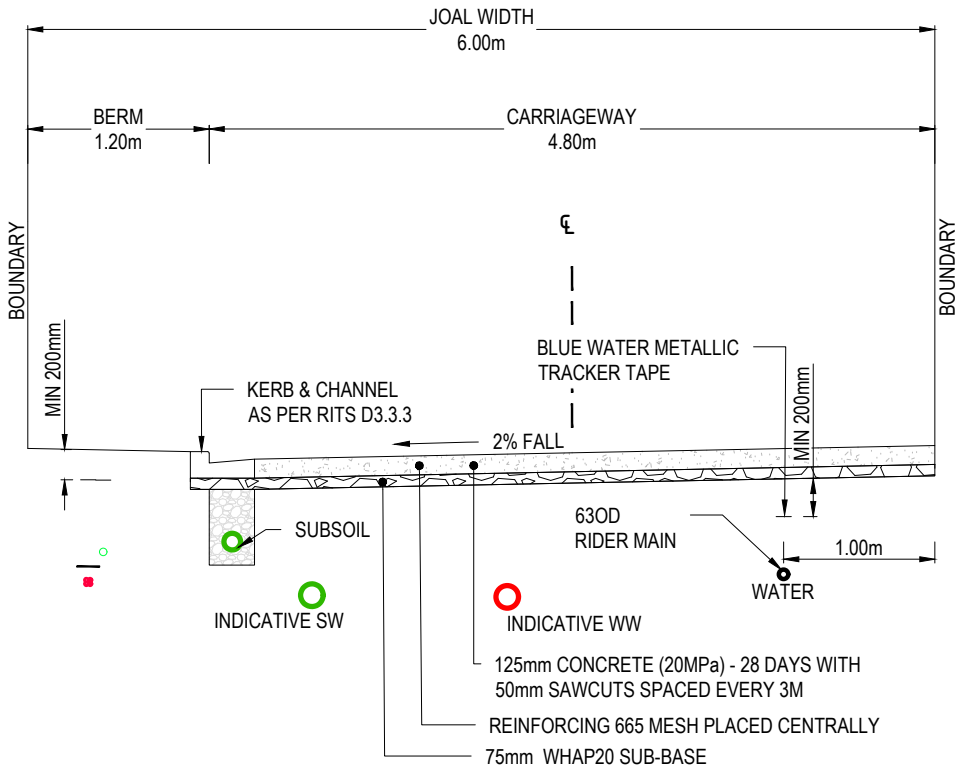
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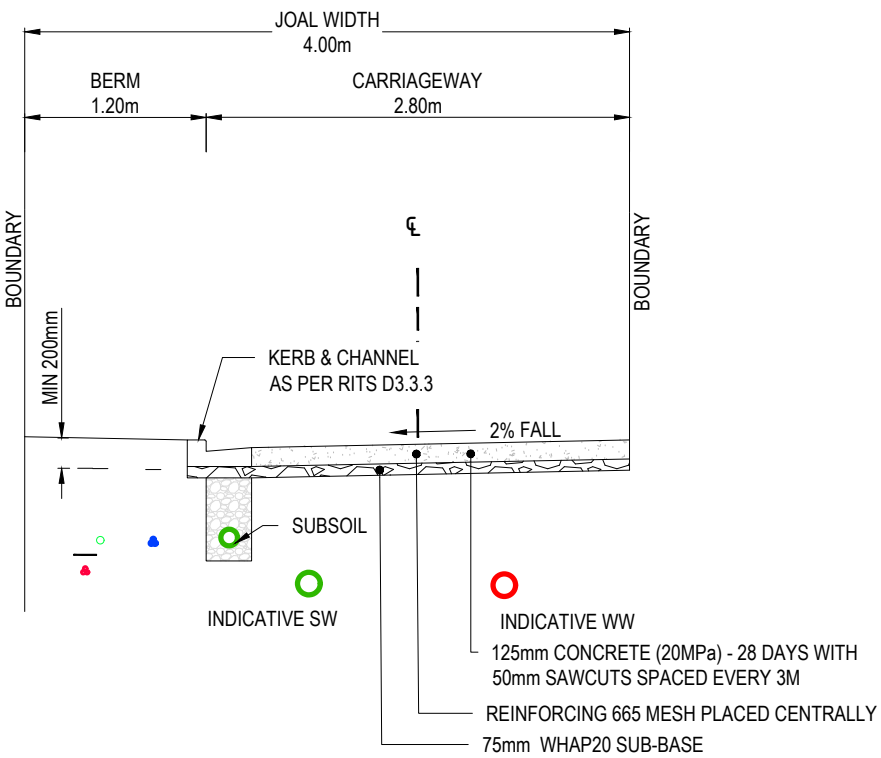
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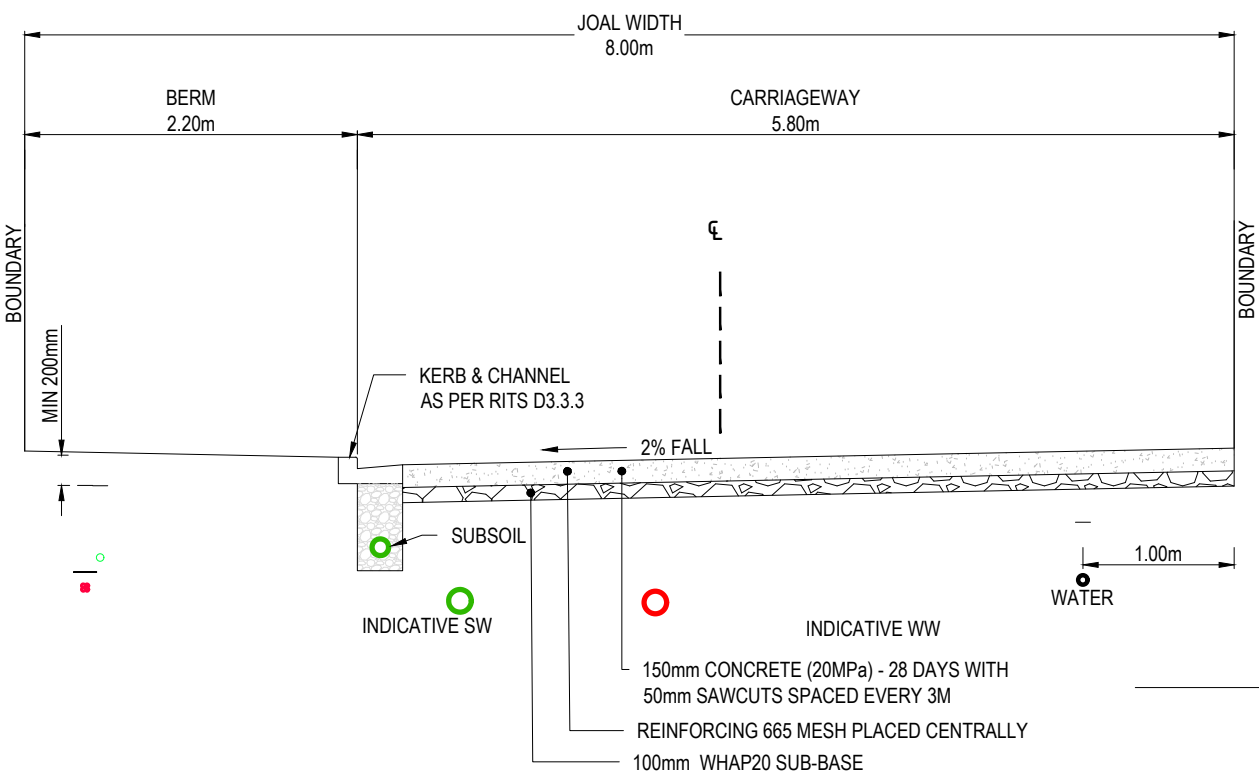
6m JOAL TYPICAL CROSS SECTION  
(TYPE 1)  
SCALE @ A3 1:50



6m JOAL TYPICAL CROSS SECTION  
(TYPE 2)  
SCALE @ A3 1:50



4m JOAL - TYPICAL CROSS SECTION  
(TYPE 3)  
SCALE 1:50 @ A3



8m JOAL TYPICAL CROSS SECTION  
(TYPE 1)  
SCALE @ A3 1:50

- Notes
- All works to be in accordance with local council standards.
  - Co-ordinates in terms of Mount Eden 2000
  - Reduced levels in terms of NZVD 2016.
  - Benchmark: IT I DPS 29877 RL: 65.19
  - The Contractors shall obtain all necessary approval from utility operators before commencing work under or near their services.
  - Final pavement design subject to CBR/Beam tests on subgrade material.
  - Setout schedule with co-ordinates of chainage points along road centerline to be supplied to the Contractors prior to construction.
  - Refer to long section for finished centerline levels. Refer to typical cross sections to obtain levels for other locations.
  - Vehicle crossing to be constructed by others unless otherwise stated.
  - The Contractor may, with the agreement of the Engineer, adopt the alternative pavement design as specified on typical cross section, provided that the subgrade can achieve a minimum of CBR 3.
  - Subgrade testing required, contractor shall notify engineer of any results below CBR of 3%. Engineer to advise on the additional pavement requirements or Subgrade remediation.

C	FAST TRACK APP	RJM	05/2025
B	FAST TRACK APP	RJM	04/2025
A	FAST TRACK APP	TCH	04/2025
Rev	Description	By	Date
		By	Date
Survey	MAVEN		03/2024
Design	AP		03/2024
Drawn	AP		03/2024
Checked	DJM		05/2025

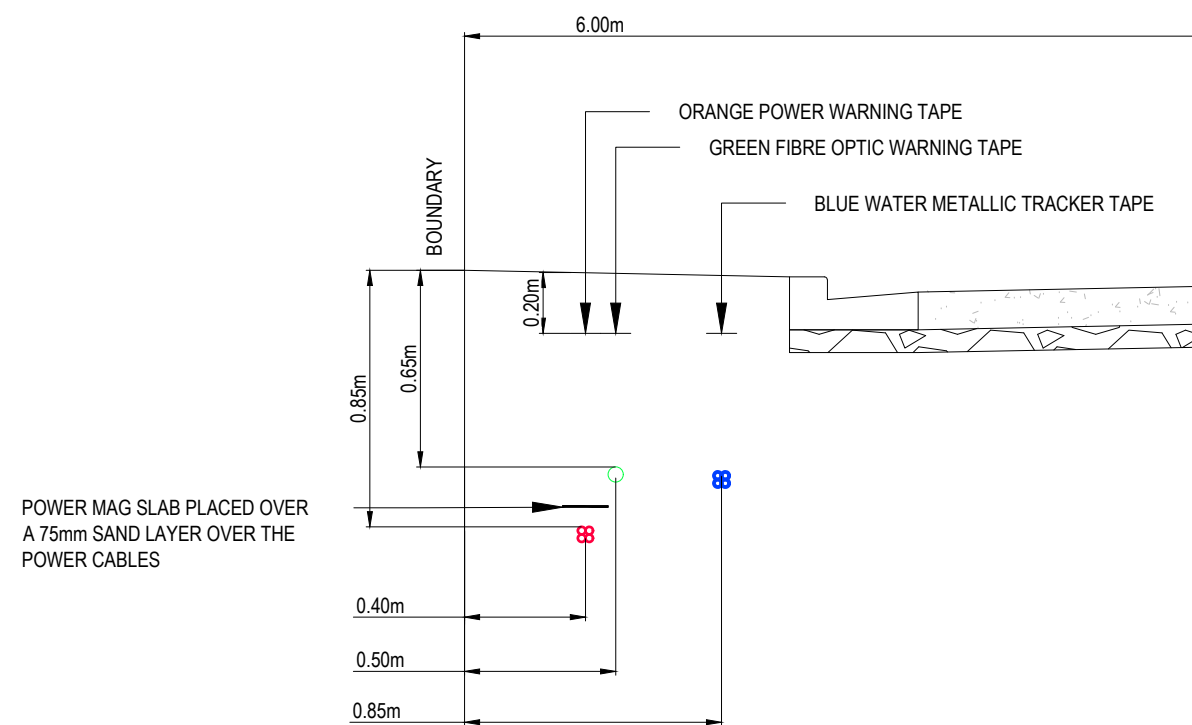
**M** Maven Associates  
09 571 0050  
info@maven.co.nz  
www.maven.co.nz  
5 Owens Road, Epsom  
Auckland 1023

Project  
**ASHBOURNE  
RESIDENTIAL  
FOR  
MATAMATA  
DEVELOPMENTS**

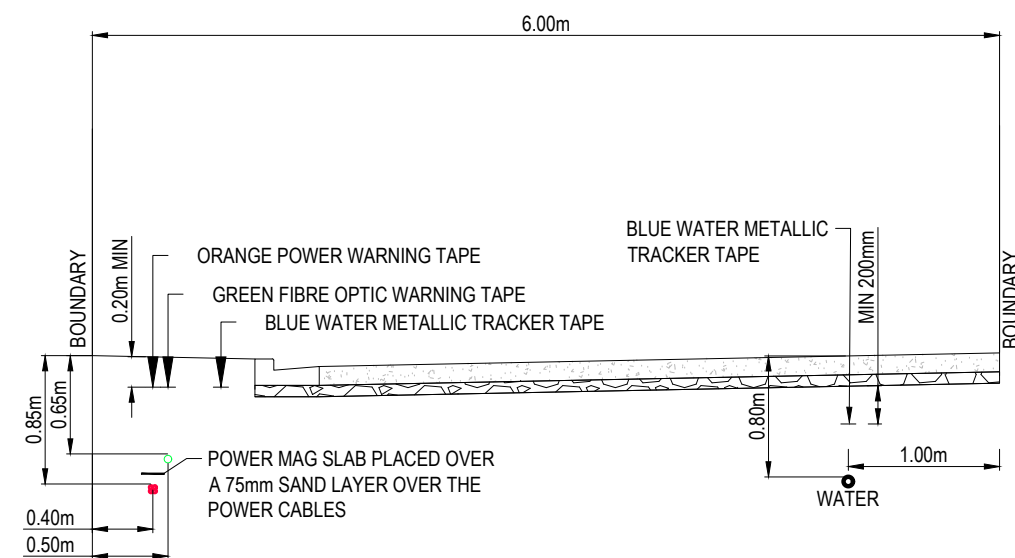
Title  
**TYPICAL ROAD  
CROSS SECTION  
SHEET**

Project no.	289001		
Scale	AS SHOWN		
Cad file	C340-TYP RD SECTION.DWG		
Drawing no.	C340-5	Rev	C

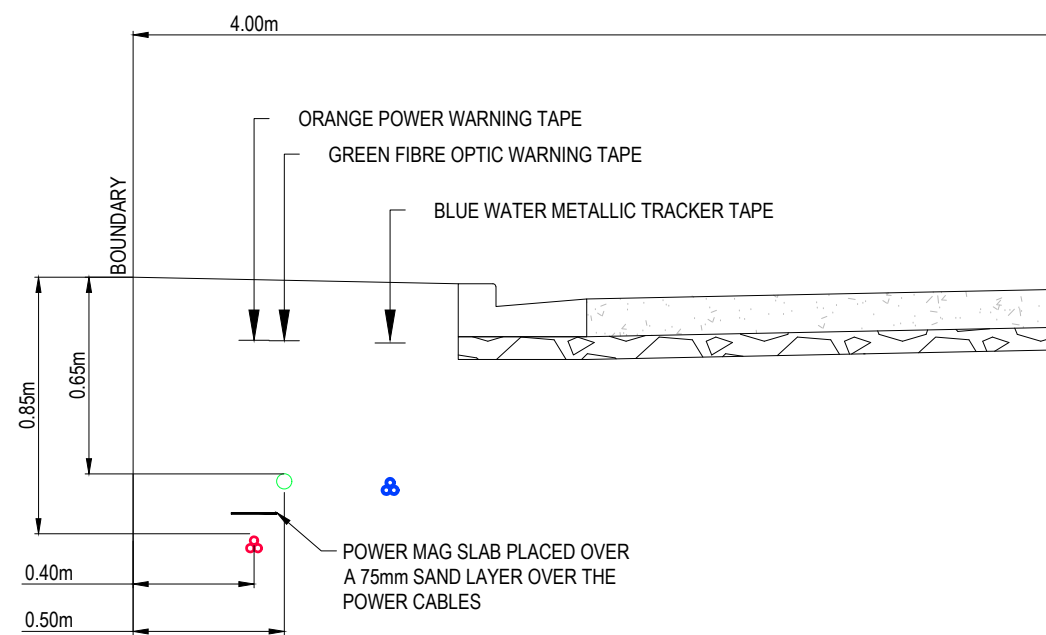
RESOURCE CONSENT



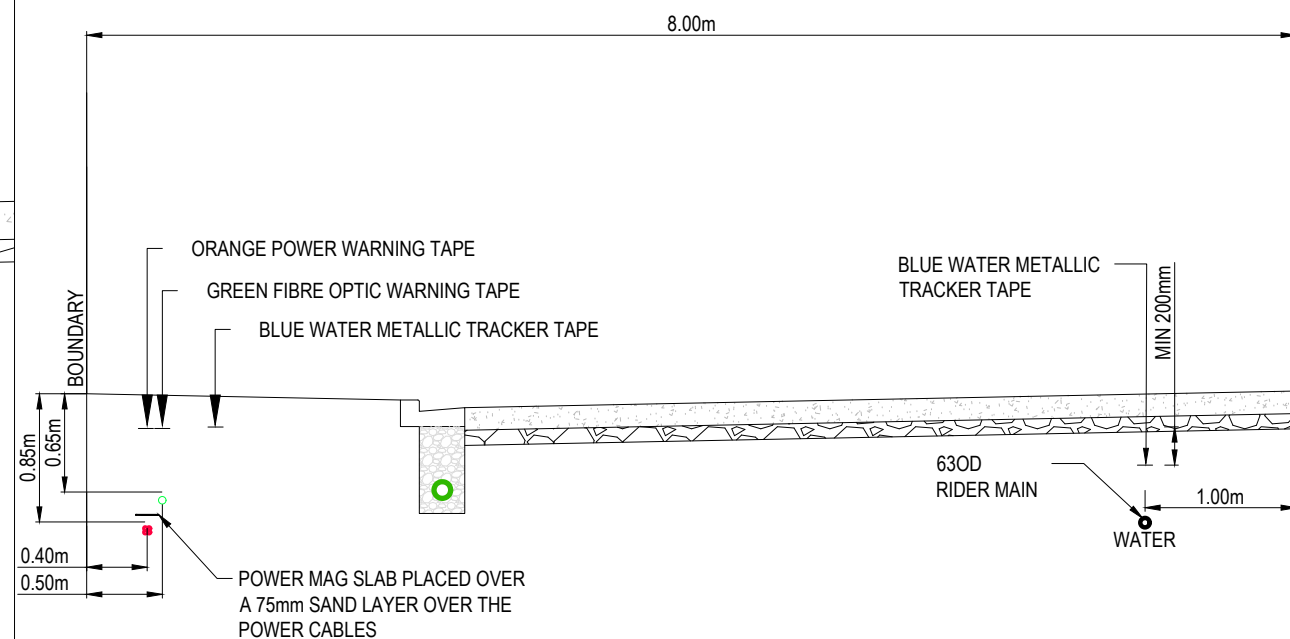
6m JOAL TYPICAL SERVICE TRENCH (SERVING 4 LOTS)  
(TYPE 1)  
SCALE @ A3 1:25



6m JOAL TYPICAL SERVICE TRENCH (SERVING 5+ LOTS)  
(TYPE 2)  
SCALE @ A3 1:50



4m JOAL - TYPICAL SERVICE TRENCH (SERVING 3 LOTS)  
(TYPE 3)  
SCALE 1:25 @ A3



8m JOAL TYPICAL SERVICE TRENCH (SERVING 5+ LOTS)  
(TYPE 1)  
SCALE @ A3 1:50

- Notes
1. All works to be in compliance with local council standards.
2. Co-ordinates in terms of Mount Eden 2000
3. Reduced levels in terms of NZVD 2016.
4. Benchmark: IT I D P S 29877 RL: 65.19
5. The Contractors shall obtain all necessary approval from utility operators before commencing work under or near their services.
6. Final pavement design subject to CBR/Beam tests on subgrade material.
7. Setout schedule with co-ordinates of chainage points along road centerline to be supplied to the Contractors prior to construction.
8. Refer to long section for finished centerline levels. Refer to typical cross sections to obtain levels for other locations.
9. Vehicle crossing to be constructed by others unless otherwise stated.
10. The Contractor may, with the agreement of the Engineer, adopt the alternative pavement design as specified on typical cross section, provided that the subgrade can achieve a minimum of CBR 3.
11. Subgrade testing required, contractor shall notify engineer of any results below CBR of 3%. Engineer to advise on the additional pavement requirements or Subgrade remediation.

C	FAST TRACK APP	RJM	05/2025
B	FAST TRACK APP	RJM	04/2025
A	FAST TRACK APP	TCH	04/2025
Rev	Description	By	Date
	By	Date	
Survey	MAVEN	03/2024	
Design	AP	03/2024	
Drawn	AP	03/2024	
Checked	DJM	05/2025	



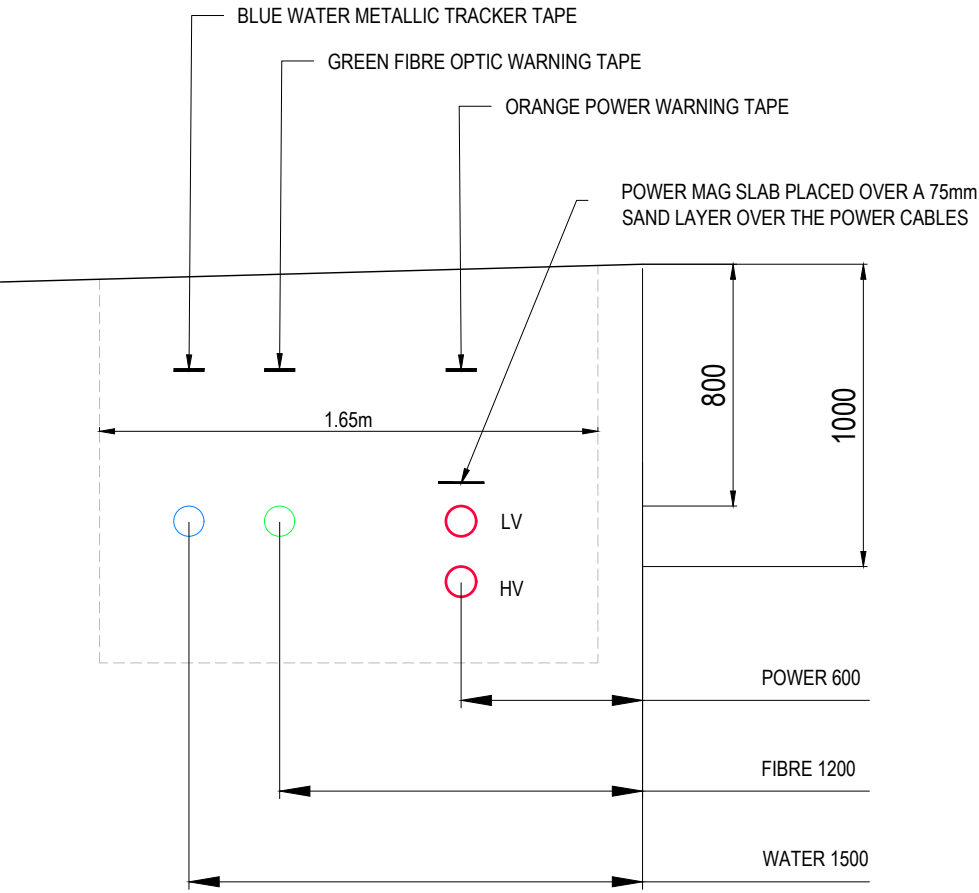
Project  
**ASHBOURNE  
RESIDENTIAL  
FOR  
MATAMATA  
DEVELOPMENTS**

Title

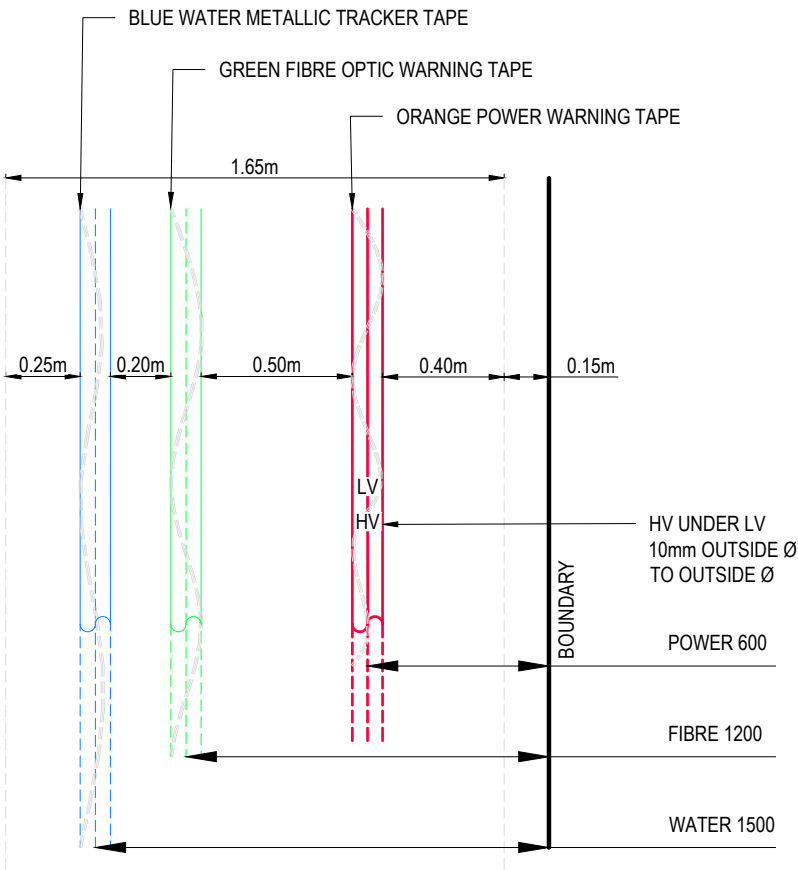
**TYPICAL ROAD  
CROSS SECTION  
SHEET**

Project no.	289001		
Scale	AS SHOWN		
Cad file	C340-TYP RD SECTION.DWG		
Drawing no.	C340-6	Rev	<b>C</b>

DATE: 11/1/25 FILE PATH: F:\Maven\Hamilton\6. PROJECTS\289001 - STATION ROAD\7. DRAWING\11. ASHBOURNE RESIDENTIAL\C340-TYP RD SECTION.DWG



TYPICAL SERVICE TRENCH CROSS SECTION (PUBLIC ROAD)  
(TYPE 1)  
SCALE 1:25@ A3



TYPICAL SERVICE TRENCH PLAN VIEW (PUBLIC ROAD)  
(TYPE 1)  
SCALE 1:25@ A3

RESOURCE CONSENT

- Notes
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  4. Benchmark: IT I DPS 29877 RL: 65.19
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B	FAST TRACK APP	RJM	04/2025
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Rev	Description	By	Date
	By	Date	
Survey	MAVEN	03/2024	
Design	AP	03/2024	
Drawn	AP	03/2024	
Checked	DJM	05/2025	

M

MAVEN

Maven Associates

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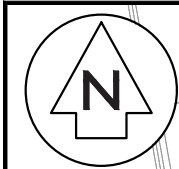
5 Owens Road, Epsom

Auckland 1023

Project  
**ASHBOURNE  
RESIDENTIAL  
FOR  
MATAMATA  
DEVELOPMENTS**

Title  
**TYPICAL ROAD  
CROSS SECTION  
SHEET**

Project no.	289001		
Scale	AS SHOWN		
Cad file	C340-TYP RD SECTION.DWG		
Drawing no.	C340-7	Rev	C



PROPOSED  
NORTHERN SOLAR FARM

STATION ROAD

STATION ROAD

C360-1

C360-2

C360-3

C360-4

C360-5

C360-6

C360-7

C360-8

C360-9

C360-10

BALANCE LOT

PROPOSED  
RETIREMENT VILLAGE

PROPOSED  
SOUTHERN SOLAR FARM

LOT 3 DP 463448

LOT 1 DP 463448

RESOURCE CONSENT

- Notes
1. All works to be in accordance with Waikato Regional Infrastructure Technical Specifications.
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  3. Levels in terms of the NZ Vertical Datum 2016.
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  12. Traffic signs and markings to be in accordance with MOTSAM and NZTA TCD manual.
  13. Centerline type 1: 100mm solid lane line
  14. Centerline type 2 : 100mm dashed 3-7 lane line

Legend

	STAGE BOUNDARY
	EX BDY
	PROP BDY
	ROAD CENTRELINE
	PROP STREET TREE
	PROP STREET LIGHT
	PROP STREET SIGN
	ROAD NAME SIGN
	TACTILE PAVERS
	RAISED CROSSING

D	FAST TRACK APP	RJM	11/2025
C	FAST TRACK APP	RJM	05/2025
B	FAST TRACK APP	RJM	04/2025
A	FAST TRACK APP	RJM	04/2025
Rev	Description	By	Date
		By	Date
Survey	MAVEN		05/2024
Design	AP		11/2024
Drawn	AP		11/2024
Checked	DJM		05/2025



**Maven Waikato**  
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New Zealand

Project  
**ASHBOURNE  
RESIDENTIAL  
FOR  
MATAMATA  
DEVELOPMENTS LTD**

Title  
**PROPOSED  
ROADING MARKING  
OVERVIEW PLAN**

Project no.	289001		
Scale	1:6000 @ A3		
Cad file	C360-MARKINGS.DWG		
Drawing no.	C360	Rev	D

DATE: 11/11/25 FILE PATH: F:\Maven\Hamilton\6. PROJECTS\289001 - STATION ROAD\ DRAWING\11. ASHBOURNE RESIDENTIAL\036-MARKINGS.DWG



CONTINUITY LINE REFLECTORISED  
WHITE 100mm 1m LINE 1.5m GAP  
REFER TO MOTSAM 2 SECTION 3.07.03

URBAN LIMIT LINE  
REFLECTORISED 300mm REFER  
TO MOTSAM 2 SECTION 3.06.03

URBAN 'GIVEWAY' TRIANGLE REFER  
TO MOTSAM 2 FIGURE 3.09A

LOT 1  
DP 365568

LOT 2  
DP 365568

GIVEWAY SIGN - RG6

CONTINUOUS WHITE REFLECTORISED  
LINE 100mm REFER TO MOTSAM 2  
SECTION 3.04.02

LOT 1  
DP 404835

LOT 2  
DP 404835

LOT 5  
DP 365568

STORMWATER  
WETLAND D

3m LINEMARKING 7m GAP  
REFLECTORISED WHITE 100mm  
MOTSAM 2 SECTION 2.01.02

RESOURCE CONSENT

- Notes
1. All works to be in accordance with Waikato Regional Infrastructure Technical Specifications.
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  3. Levels in terms of the NZ Vertical Datum 2016.
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  12. Traffic signs and markings to be in accordance with MOTSAM and NZTA TCD manual.
  13. Centerline type 1: 100mm solid lane line
  14. Centerline type 2 : 100mm dashed 3-7 lane line

Legend	
	STAGE BOUNDARY
	EX BDY
	PROP BDY
	ROAD CENTRELINE
	PROP STREET TREE
	PROP STREET LIGHT
	PROP STREET SIGN
	ROAD NAME SIGN
	TACTILE PAVERS
	RAISED CROSSING

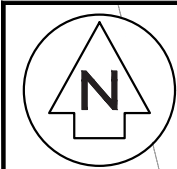
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Rev	Description	By	Date
		By	Date
Survey	MAVEN		05/2024
Design	AP		11/2024
Drawn	AP		11/2024
Checked	DJM		05/2025

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New Zealand

Project  
**ASHBOURNE  
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FOR  
MATAMATA  
DEVELOPMENTS LTD**

Title  
**PROPOSED  
ROADING MARKING  
PLAN**

Project no.	289001		
Scale	1:1000 @ A3		
Cad file	C360-MARKINGS.DWG		
Drawing no.	C360-1	Rev	<b>D</b>



OLIVE PLACE

LOT 3  
DP 404835

LOT 9  
DP 562902

LOT 13  
DP 562902

LOT 14  
DP 562902

STORMWATER  
WETLAND C

CONTINUITY LINE REFLECTORISED  
WHITE 100mm 1m LINE 1.5m GAP  
REFER TO MOTSAM 2 SECTION 3.07.03

GIVEWAY SIGN - RG6

URBAN 'GIVEWAY' TRIANGLE REFER  
TO MOTSAM 2 FIGURE 3.09A

ROAD 4

CONTINUOUS WHITE REFLECTORISED  
LINE 100mm REFER TO MOTSAM 2  
SECTION 3.04.02

3m LINEMARKING 7m GAP  
REFLECTORISED WHITE 100mm  
MOTSAM 2 SECTION 2.01.02

- Notes
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  14. Centerline type 2 : 100mm dashed 3-7 lane line

Legend

	STAGE BOUNDARY
	EX BDY
	PROP BDY
	ROAD CENTRELINE
	PROP STREET TREE
	PROP STREET LIGHT
	PROP STREET SIGN
	ROAD NAME SIGN
	TACTILE PAVERS
	RAISED CROSSING

D	FAST TRACK APP	RJM	11/2025
C	FAST TRACK APP	RJM	05/2025
B	FAST TRACK APP	RJM	04/2025
A	FAST TRACK APP	RJM	04/2025
Rev	Description	By	Date
		By	Date
Survey	MAVEN		05/2024
Design	AP		11/2024
Drawn	AP		11/2024
Checked	DJM		05/2025

**Maven Waikato**  
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New Zealand

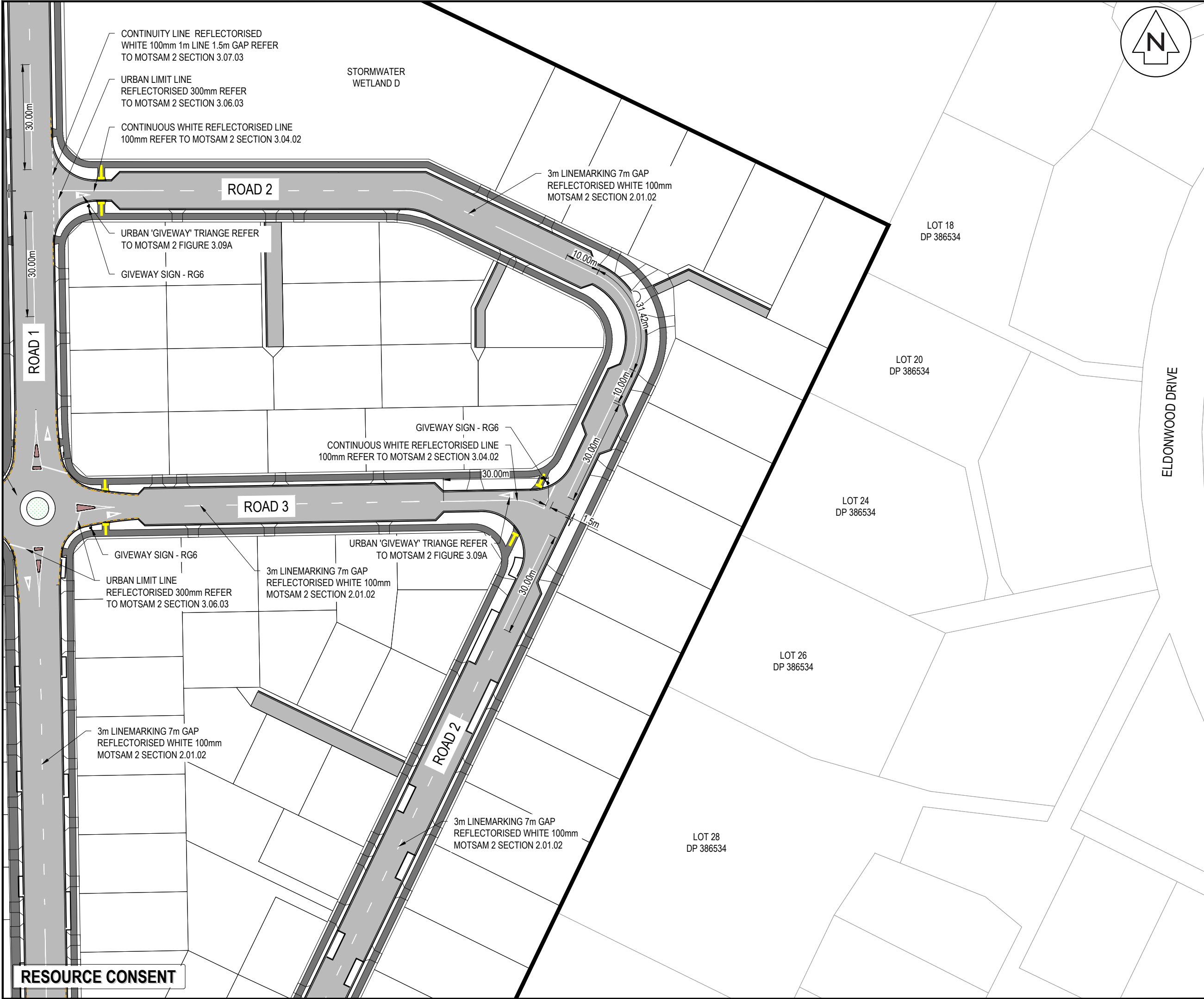
Project  
**ASHBOURNE  
RESIDENTIAL  
FOR  
MATAMATA  
DEVELOPMENTS LTD**

Title  
**PROPOSED  
ROADING MARKING  
PLAN**

Project no.	289001		
Scale	1:1000 @ A3		
Cad file	C360-MARKINGS.DWG		
Drawing no.	C360-2	Rev	D

RESOURCE CONSENT

DATE: 11/18/25 FILE PATH: F:\MAVEN\HAMILTON\6 PROJECTS\289001 - STATION ROAD\7 DRAWING\11 ASHBORNE RESIDENTIAL\360-MARKINGS.DWG



Notes

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	EX BDY
	PROP BDY
	ROAD CENTRELINE
	PROP STREET TREE
	PROP STREET LIGHT
	PROP STREET SIGN
	ROAD NAME SIGN
	TACTILE PAVERS
	RAISED CROSSING

D	FAST TRACK APP	RJM	11/2025
C	FAST TRACK APP	RJM	05/2025
B	FAST TRACK APP	RJM	04/2025
A	FAST TRACK APP	RJM	04/2025
Rev	Description	By	Date
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Design	AP		11/2024
Drawn	AP		11/2024
Checked	DJM		05/2025

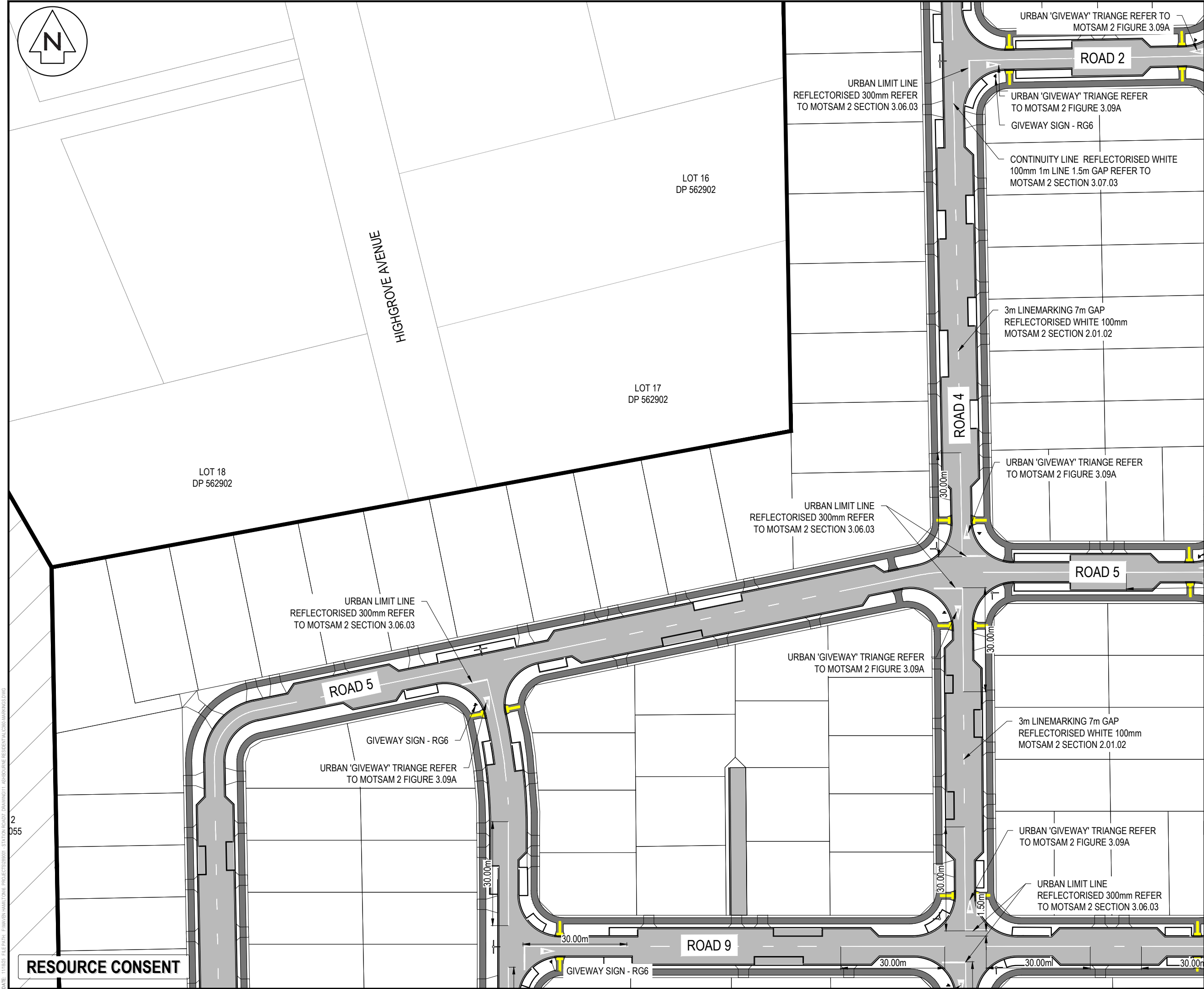
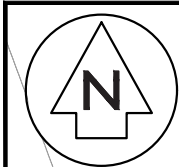


Project  
**ASHBOURNE  
RESIDENTIAL  
FOR  
MATAMATA  
DEVELOPMENTS LTD**

Title  
**PROPOSED  
ROADING MARKING  
PLAN**

Project no.	289001		
Scale	1:1000 @ A3		
Cad file	C360-MARKINGS.DWG		
Drawing no.	C360-3	Rev	D

RESOURCE CONSENT



Notes

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Legend

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	EX BDY
	PROP BDY
	ROAD CENTRELINE
	PROP STREET TREE
	PROP STREET LIGHT
	PROP STREET SIGN
	ROAD NAME SIGN
	TACTILE PAVERS
	RAISED CROSSING

D	FAST TRACK APP	RJM	11/2025
C	FAST TRACK APP	RJM	05/2025
B	FAST TRACK APP	RJM	04/2025
A	FAST TRACK APP	RJM	04/2025
Rev	Description	By	Date
Survey	MAVEN		05/2024
Design	AP		11/2024
Drawn	AP		11/2024
Checked	DJM		05/2025

**Maven Waikato**  
07 242 0601  
info@maven.co.nz  
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Level 1 286 Victoria Street, Hamilton  
New Zealand

Project

**ASHBOURNE  
RESIDENTIAL  
FOR  
MATAMATA  
DEVELOPMENTS LTD**

Title

**PROPOSED  
ROADING MARKING  
PLAN**

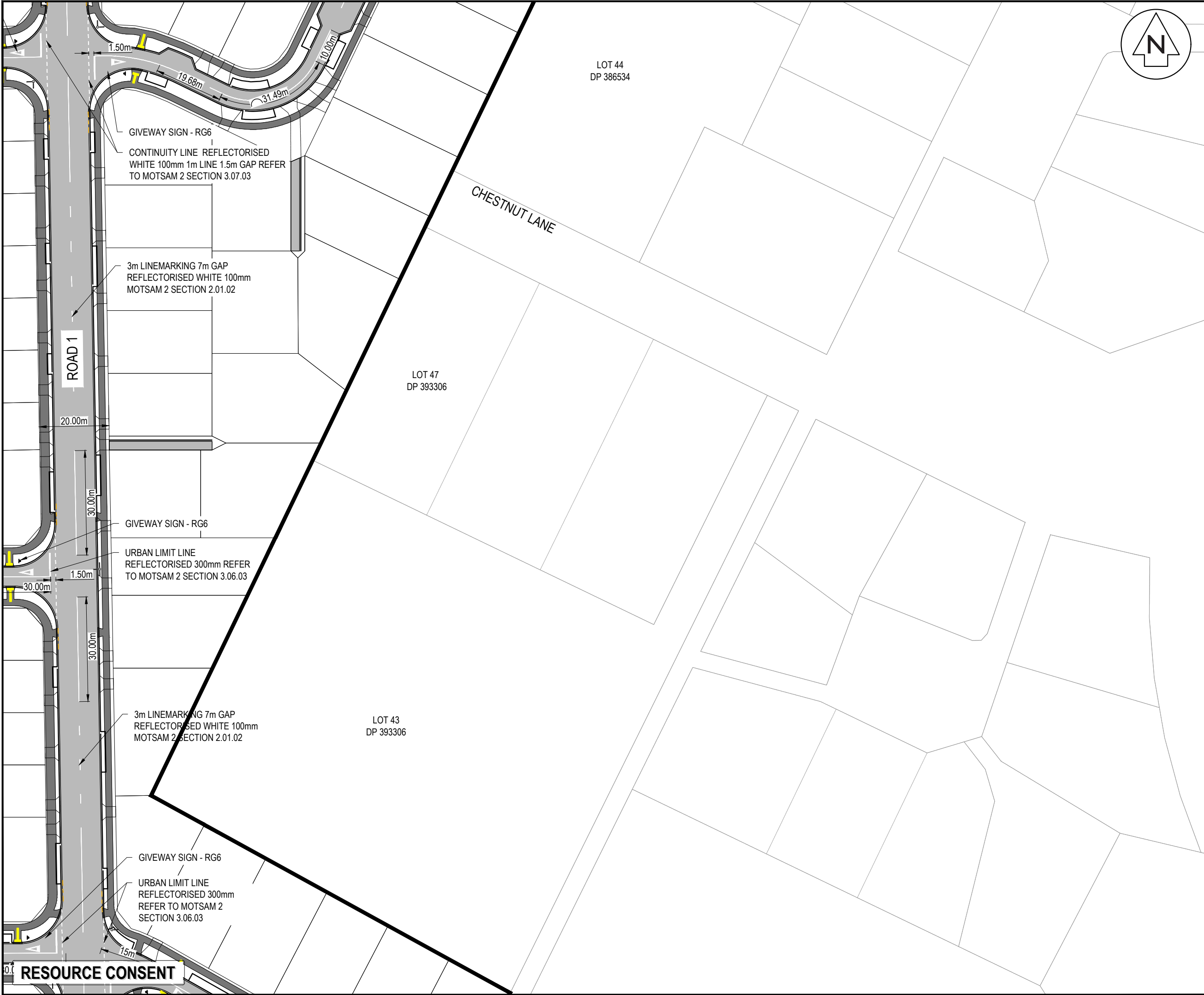
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055

RESOURCE CONSENT

DATE: 11/18/25 FILE PATH: F:\MAVEN\HAMILTON\6 - PROJECTS\289001 - STATION ROAD\ DRAWING\11 - ASHBOURNE RESIDENTIAL\036-MARKINGS.DWG



- Notes
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Legend	
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	EX BDY
	PROP BDY
	ROAD CENTRELINE
	PROP STREET TREE
	PROP STREET LIGHT
	PROP STREET SIGN
	ROAD NAME SIGN
	TACTILE PAVERS
	RAISED CROSSING

D	FAST TRACK APP	RJM	11/2025
C	FAST TRACK APP	RJM	05/2025
B	FAST TRACK APP	RJM	04/2025
A	FAST TRACK APP	RJM	04/2025
Rev	Description	By	Date
		By	Date
Survey	MAVEN		05/2024
Design	AP		11/2024
Drawn	AP		11/2024
Checked	DJM		05/2025



**Maven Waikato**  
07 242 0601  
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New Zealand

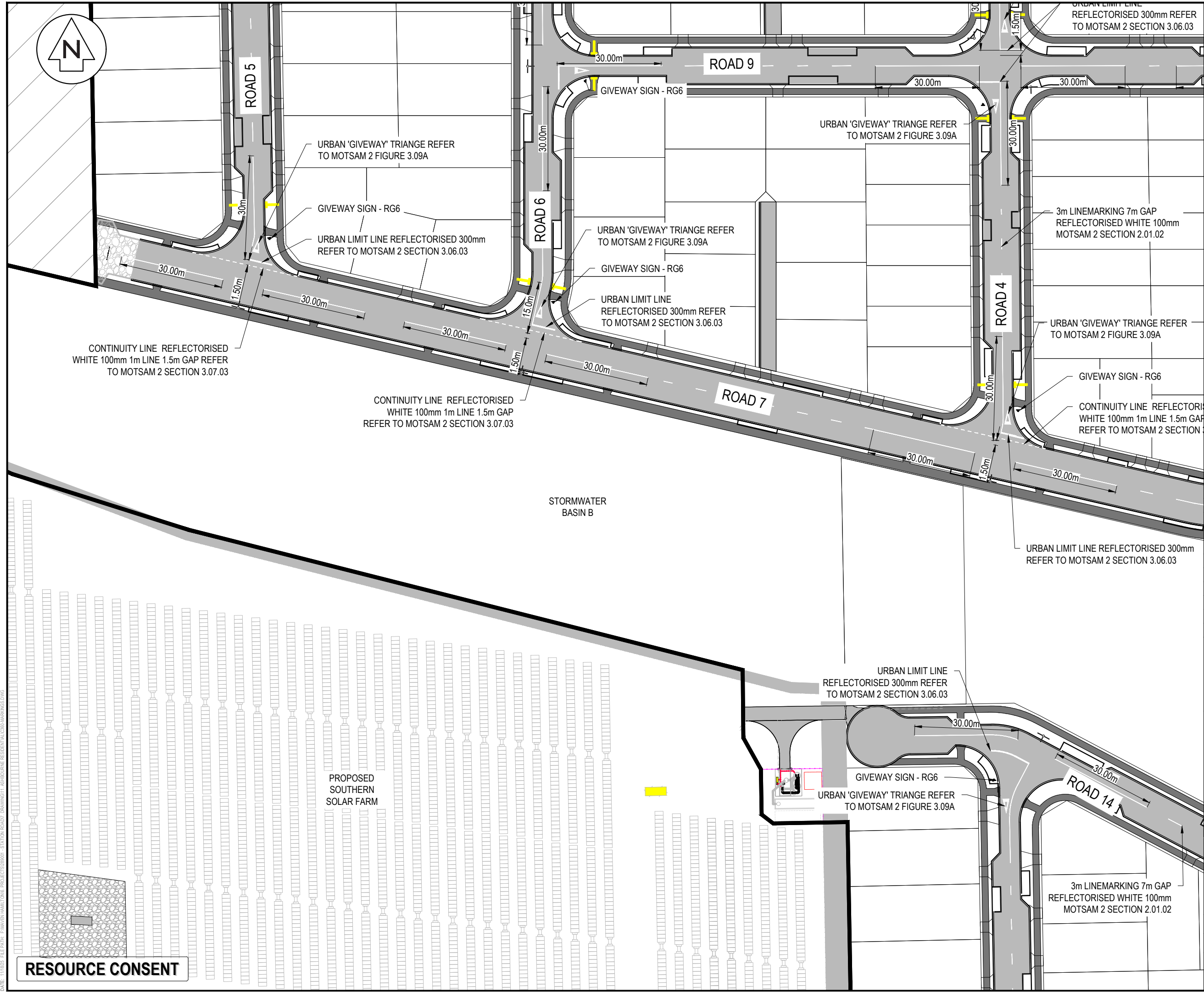
Project

**ASHBOURNE  
RESIDENTIAL  
FOR  
MATAMATA  
DEVELOPMENTS LTD**

Title

**PROPOSED  
ROADING MARKING  
PLAN**

Project no.	289001		
Scale	1:1000 @ A3		
Cad file	C360-MARKINGS.DWG		
Drawing no.	C360-5	Rev	<b>D</b>



Notes

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Legend

	STAGE BOUNDARY
	EX BDY
	PROP BDY
	ROAD CENTRELINE
	PROP STREET TREE
	PROP STREET LIGHT
	PROP STREET SIGN
	ROAD NAME SIGN
	TACTILE PAVERS
	RAISED CROSSING

D	FAST TRACK APP	RJM	11/2025
C	FAST TRACK APP	RJM	05/2025
B	FAST TRACK APP	RJM	04/2025
A	FAST TRACK APP	RJM	04/2025
Rev	Description	By	Date
		By	Date
Survey	MAVEN		05/2024
Design	AP		11/2024
Drawn	AP		11/2024
Checked	DJM		05/2025

**Maven Waikato**  
07 242 0601  
info@maven.co.nz  
www.maven.co.nz  
Level 1 286 Victoria Street, Hamilton  
New Zealand

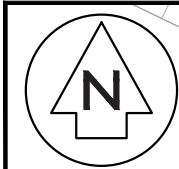
Project  
**ASHBOURNE  
RESIDENTIAL  
FOR  
MATAMATA  
DEVELOPMENTS LTD**

Title  
**PROPOSED  
ROADING MARKING  
PLAN**

Project no.	289001		
Scale	1:1000 @ A3		
Cad file	C360-MARKINGS.DWG		
Drawing no.	C360-6	Rev	D

DATE: 11/11/25 FILE PATH: F:\Maven\Hamilton\6. PROJECTS\289001 - STATION ROAD\ DRAWING\11. ASHBOURNE RESIDENTIAL\0360-MARKINGS.DWG





LOT 40  
DP 393306

ELDONWOOD DRIVE

LOT 106  
DP 393306

LOT 14  
DP 584421

LOT 15  
DP 584421

LOT 16  
DP 584421

LOT 17  
DP 584421

LOT 18  
DP 584421

LOT 19  
DP 584421

STORMWATER  
BASIN A

PEAKEDALE DRIVE

3m LINEMARKING 7m GAP  
REFLECTORISED WHITE 100mm  
MOTSAM 2 SECTION 2.01.02

'GIVEWAY' TRIANGLE REFER  
AM 2 FIGURE 3.09A

SIGN - RG6

ITY LINE REFLECTORISED  
0mm 1m LINE 1.5m GAP  
D MOTSAM 2 SECTION 3.07.03

CONTINUITY LINE REFLECTORISED  
WHITE 100mm 1m LINE 1.5m GAP REFER  
TO MOTSAM 2 SECTION 3.07.03

URBAN 'GIVEWAY' TRIANGLE REFER

RESOURCE CONSENT

#### Notes

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3. Levels in terms of the NZ Vertical Datum 2016.
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6. The Contractors shall obtain all necessary approval from utility operators before commencing work under or near their services.
7. Final pavement design subject to CBR/Beam tests on subgrade material.
8. Setout schedule with co-ordinates of chainage points along road centerline to be supplied to the Contractors prior to construction.
9. Refer to long section for finished centerline levels. Refer to typical cross sections to obtain levels for other locations.
10. Vehicle crossing to be constructed by others unless otherwise stated.
11. The Contractor may, with the agreement of the Engineer, adopt the alternative pavement design as specified on typical cross section, provided that the subgrade can achieve a minimum of CBR 3.
12. Traffic signs and markings to be in accordance with MOTSAM and NZTA TCD manual.
13. Centerline type 1: 100mm solid lane line
14. Centerline type 2 : 100mm dashed 3-7 lane line

#### Legend

	STAGE BOUNDARY
	EX BDY
	PROP BDY
	ROAD CENTRELINE
	PROP STREET TREE
	PROP STREET LIGHT
	PROP STREET SIGN
	ROAD NAME SIGN
	TACTILE PAVERS
	RAISED CROSSING

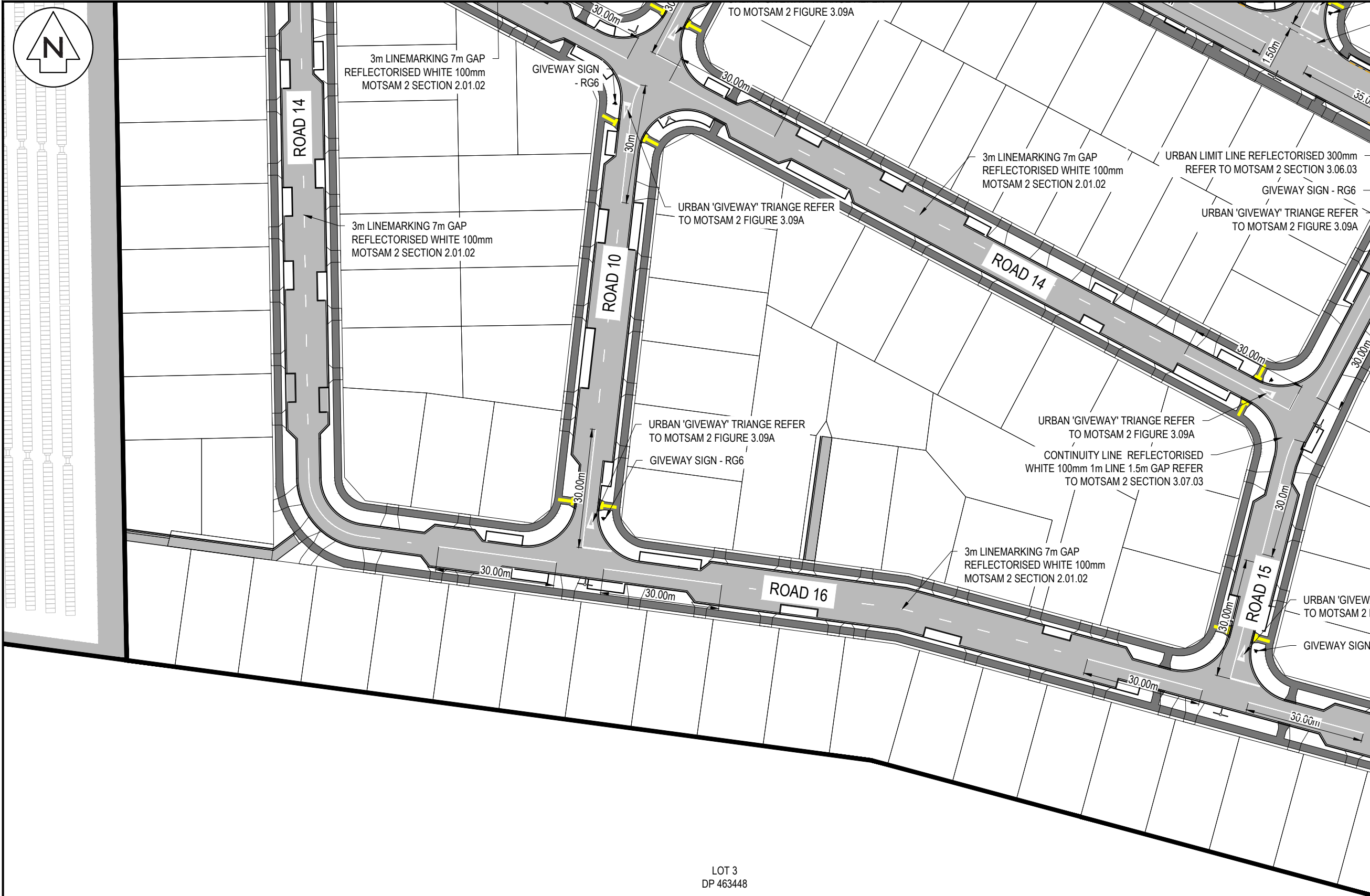
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C	FAST TRACK APP	RJM	05/2025
B	FAST TRACK APP	RJM	04/2025
A	FAST TRACK APP	RJM	04/2025
Rev	Description	By	Date
		By	Date
Survey	MAVEN		05/2024
Design	AP		11/2024
Drawn	AP		11/2024
Checked	DJM		05/2025



Project  
**ASHBOURNE  
RESIDENTIAL  
FOR  
MATAMATA  
DEVELOPMENTS LTD**

Title  
**PROPOSED  
ROADING MARKING  
PLAN**

Project no.	289001		
Scale	1:1000 @ A3		
Cad file	C360-MARKINGS.DWG		
Drawing no.	C360-8	Rev	<b>D</b>



- Notes
1. All works to be in accordance with Waikato Regional Infrastructure Technical Specifications.
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Legend

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	EX BDY
	PROP BDY
	ROAD CENTRELINE
	PROP STREET TREE
	PROP STREET LIGHT
	PROP STREET SIGN
	ROAD NAME SIGN
	TACTILE PAVERS
	RAISED CROSSING

D	FAST TRACK APP	RJM	11/2025
C	FAST TRACK APP	RJM	05/2025
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A	FAST TRACK APP	RJM	04/2025
Rev	Description	By	Date
		By	Date
Survey	MAVEN		05/2024
Design	AP		11/2024
Drawn	AP		11/2024
Checked	DJM		05/2025

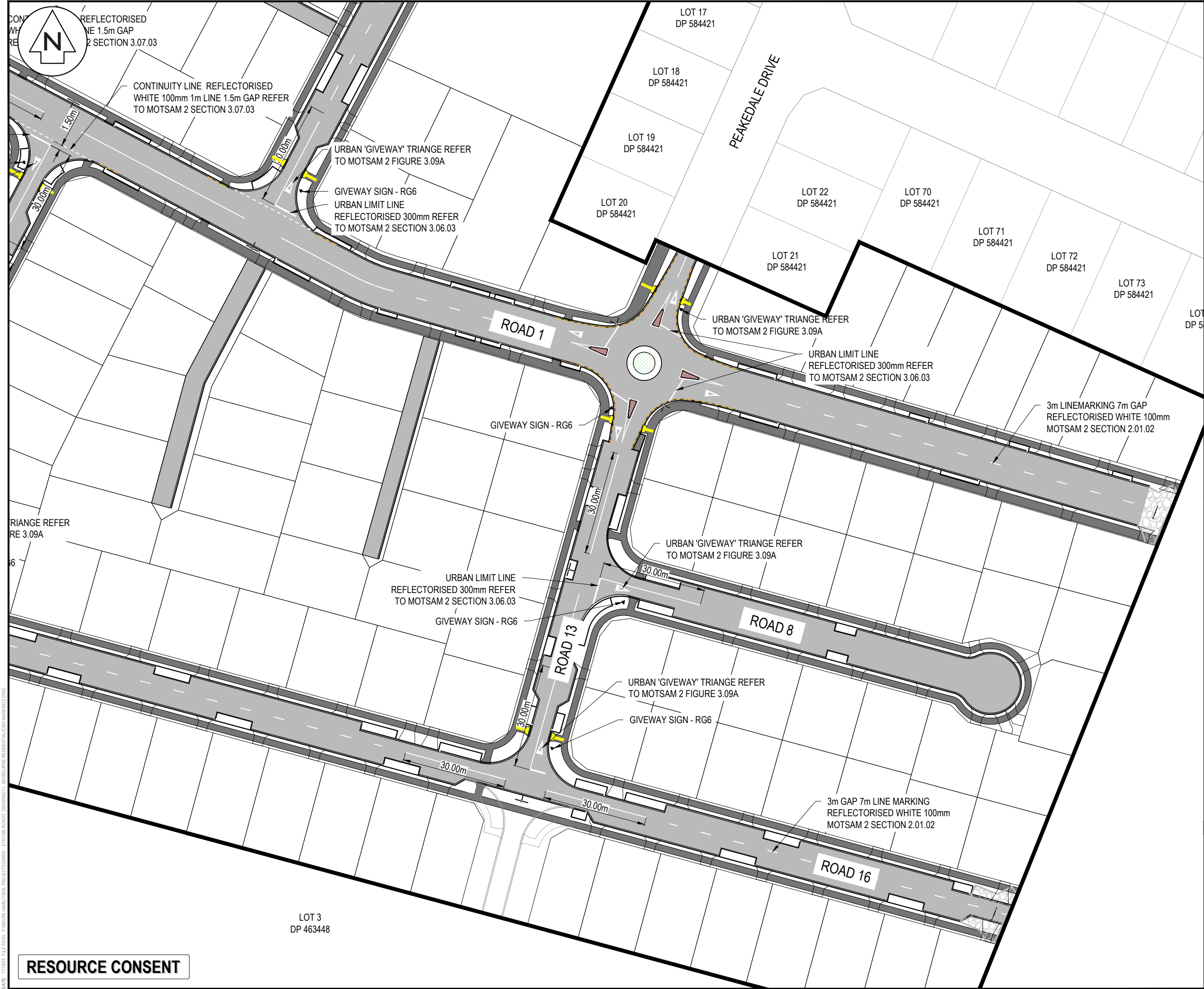
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New Zealand

Project  
**ASHBOURNE  
RESIDENTIAL  
FOR  
MATAMATA  
DEVELOPMENTS LTD**

Title  
**PROPOSED  
ROADING MARKING  
PLAN**

Project no.	289001		
Scale	1:1000 @ A3		
Cad file	C360-MARKINGS.DWG		
Drawing no.	C360-9	Rev	<b>D</b>

RESOURCE CONSENT



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Legend

	STAGE BOUNDARY
	EX BDY
	PROP BDY
	ROAD CENTRELINE
	PROP STREET TREE
	PROP STREET LIGHT
	PROP STREET SIGN
	ROAD NAME SIGN
	TACTILE PAVERS
	RAISED CROSSING

D	FAST TRACK APP	RJM	11/2025
C	FAST TRACK APP	RJM	05/2025
B	FAST TRACK APP	RJM	04/2025
A	FAST TRACK APP	RJM	04/2025
Rev	Description	By	Date
		By	Date
Survey	MAVEN		05/2024
Design	AP		11/2024
Drawn	AP		11/2024
Checked	DJM		05/2025



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Project  
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Title  
**PROPOSED  
ROADING MARKING  
PLAN**

Project no.	289001		
Scale	1:1000 @ A3		
Cad file	C360-MARKINGS.DWG		
Drawing no.	C360-10	Rev	<b>D</b>

RESOURCE CONSENT



PROPOSED  
NORTHERN SOLAR FARM

STATION ROAD

STATION ROAD

C400-1

C400-2

C400-3

C400-4

C400-5

BALANCE LOT

PROPOSED  
RETIREMENT VILLAGE

PROPOSED GREENWAY

PROPOSED  
SOUTHERN SOLAR FARM

LOT 3 DP 463448

LOT 1 DP 463448

#### Notes

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#### Legend

- EX BOUNDARY
- PROP LOT BOUNDARY
- PROP SWMH 1050mmØ
- PROP SCRUFFY DOME
- SOAKAGE TRENCH - 1.2m WIDE
- SOAKAGE TRENCH - 2m WIDE
- RAINGARDEN - 1.2m / 2.3m WIDE

D	FAST TRACK APP	MKS	11/2025
C	FAST TARK APP	NDL	05/2025
B	FAST TRACK APP	NDL	04/2025
A	FAST TRACK APPLICATION	NDL	04/2025
Rev	Description	By	Date
Survey	MAVEN		05/2024
Design	MKS		04/2025
Drawn	NDL		04/2025
Checked	DJM		05/2025



Project  
**ASHBOURNE  
RESIDENTIAL  
FOR  
MATAMATA  
DEVELOPMENTS LTD**

Title  
**PROPOSED  
STORMWATER  
OVERVIEW PLAN**

Project no.	289001		
Scale	1:6000 @ A3		
Cad file	C400-STORMWATER.DWG		
Drawing no.	C400	Rev	D

RESOURCE CONSENT



DATE: 11/1/25 FILE PATH: F:\Maven\Hamilton\6. PROJECTS\289001 - STATION ROAD\ DRAWING\11. ASHBOURNE RESIDENTIAL\ C400- STORMWATER.DWG

RESOURCE CONSENT



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Legend	
	EX BOUNDARY
	PROP LOT BOUNDARY
	PROP SWMH 1050mmØ
	PROP MANHOLE GRATE
	SOAKAGE TRENCH - 1.2m WIDE
	SOAKAGE TRENCH - 2m WIDE
	RAINGARDEN - 1.2m / 2.3m WIDE

D	FAST TRACK APP	MKS	11/2025
C	FAST TRACK APP	NDL	05/2025
B	FAST TRACK APP	NDL	04/2025
A	FAST TRACK APP	NDL	04/2025
Rev	Description	By	Date
		By	Date
	Survey	MAVEN	05/2024
	Design	MKS	04/2025
	Drawn	NDL	04/2025
	Checked	DJM	05/2025



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FOR  
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DEVELOPMENTS LTD**

Title  
**PROPOSED  
STORMWATER  
PLAN**

Project no.	289001		
Scale	1:1000 @ A3		
Cad file	C400-STORMWATER.DWG		
Drawing no.	C400-1	Rev	D

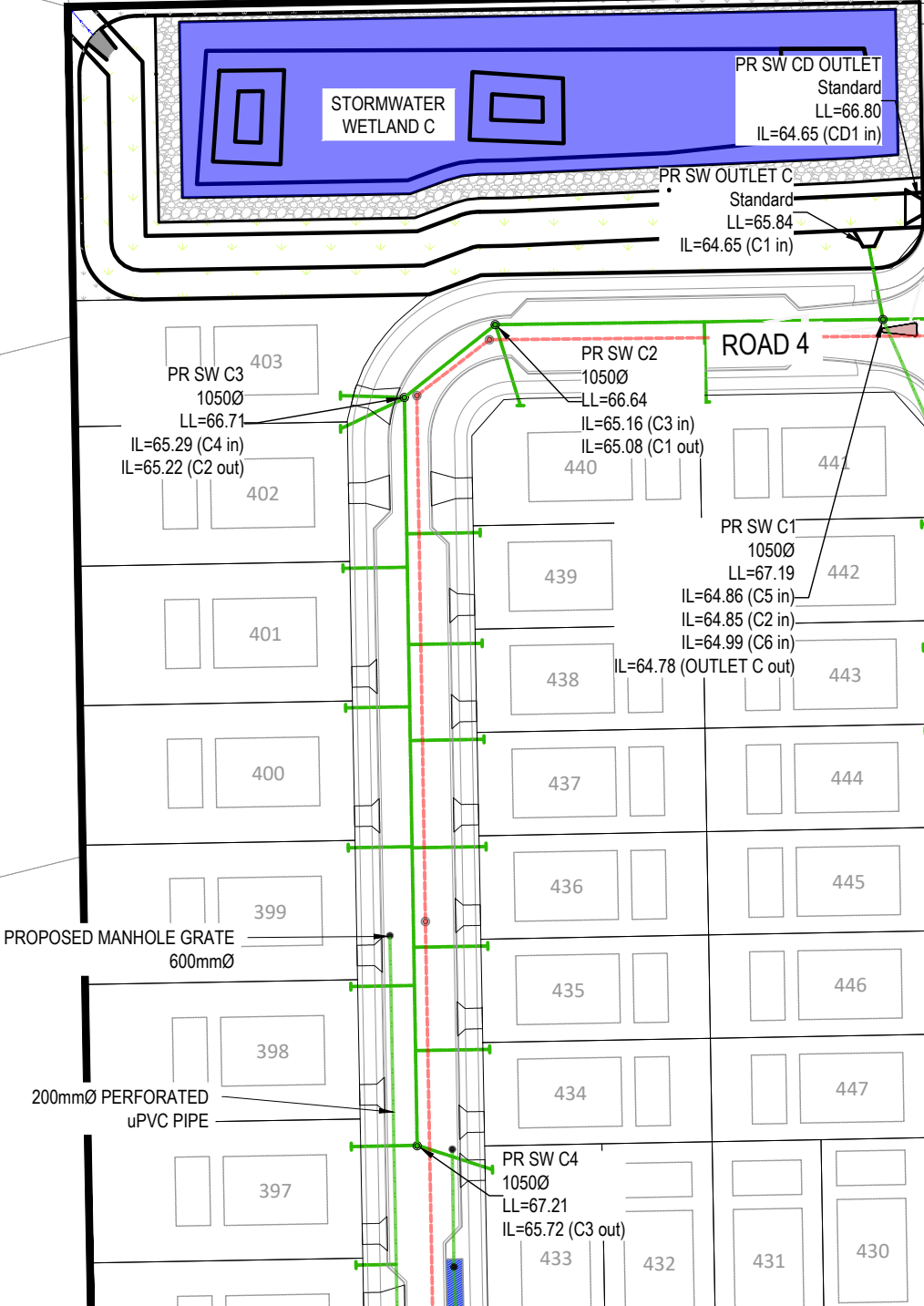


LOT 3  
DP 404835

LOT 9  
DP 562902

LOT 13  
DP 562902

LOT 14  
DP 562902



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Legend

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●	PROP SWMH 1050mmØ
●	PROP MANHOLE GRATE
█	SOAKAGE TRENCH - 1.2m WIDE
█	SOAKAGE TRENCH - 2m WIDE
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Survey	MAVEN		05/2024
Design	MKS		04/2025
Drawn	NDL		04/2025
Checked	DJM		05/2025

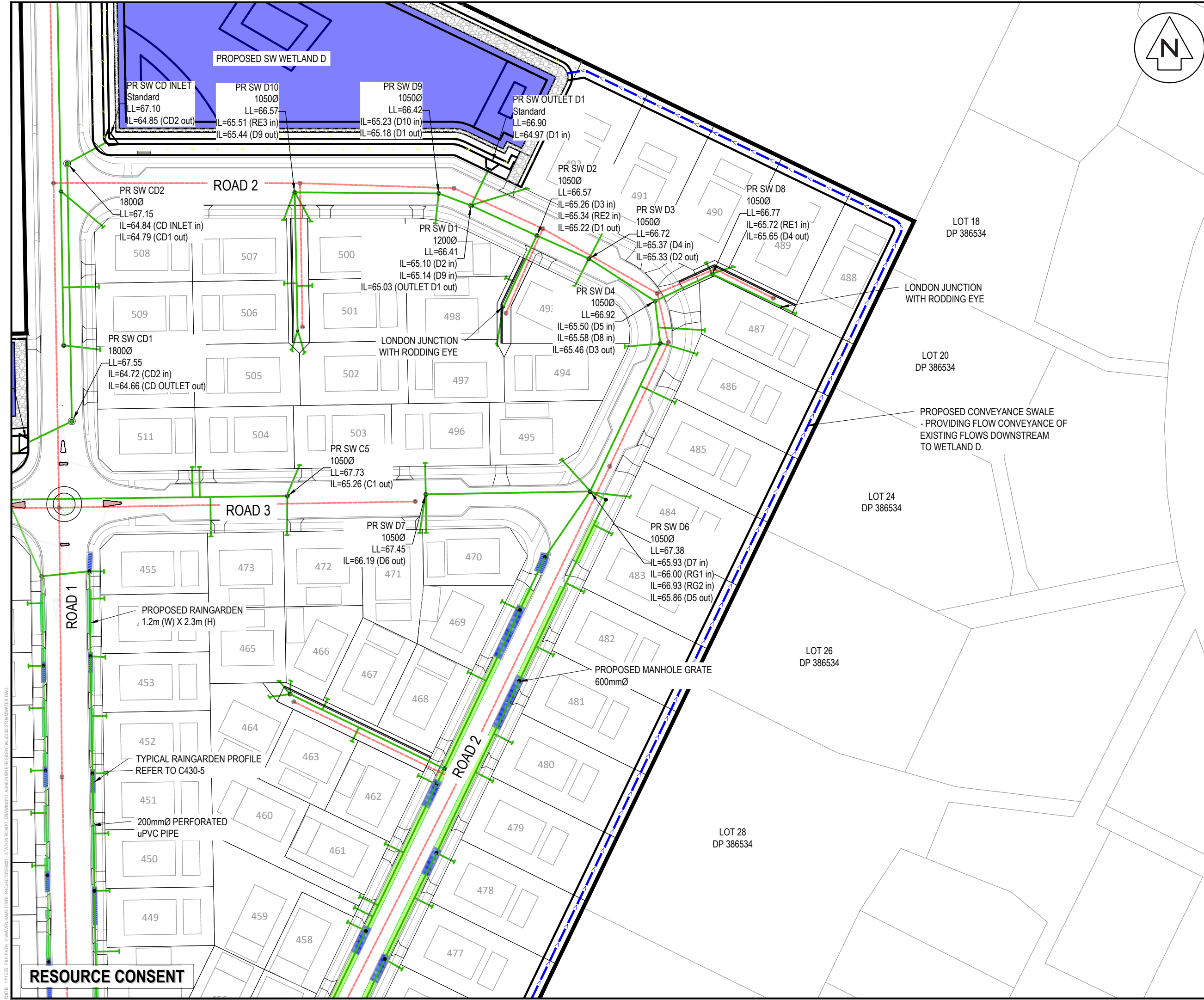
**M** **MAVEN** Associates  
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Title  
**PROPOSED  
STORMWATER  
PLAN**

Project no.	289001		
Scale	1:1000 @ A3		
Cad file	C400-STORMWATER.DWG		
Drawing no.	C400-2	Rev	D

RESOURCE CONSENT



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	PROP LOT BOUNDARY
	PROP SWMH 1050mmØ
	PROP MANHOLE GRATE
	SOAKAGE TRENCH - 1.2m WIDE
	SOAKAGE TRENCH - 2m WIDE
	RAINGARDEN - 1.2m / 2.3m WIDE

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A	FAST TRACK APP	NDL	04/2025
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		By	Date
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Design	MKS		04/2025
Drawn	RJM		04/2025
Checked	DJM		05/2025



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Title  
**PROPOSED  
STORMWATER  
PLAN**

Project no.	289001		
Scale	1:1000 @ A3		
Cad file	C400-STORMWATER.DWG		
Drawing no.	C400-3	Rev	<b>D</b>



LOT 16  
DP 562902

LOT 17  
DP 562902

LOT 18  
DP 562902

LOT 2  
DP 21055

RESOURCE CONSENT

TYPICAL RAINGARDEN PROFILE  
REFER TO C430-5

PROPOSED SWMH  
1050mmØ

ROADSIDE SOAKAGE TRENCH  
2.0m (W) X 1.25m (H)

PROPOSED RAINGARDEN  
2.3m (W) X 1.0m (H)

ROADSIDE SOAKAGE TRENCH  
2.0m (W) X 1.25m (H)

ROAD 2

ROAD 4

ROAD 5

ROAD 9

PROPOSED MANHOLE GRATE  
600mmØ

200mmØ PERFORATED  
uPVC PIPE

Notes

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- PROP MANHOLE GRATE
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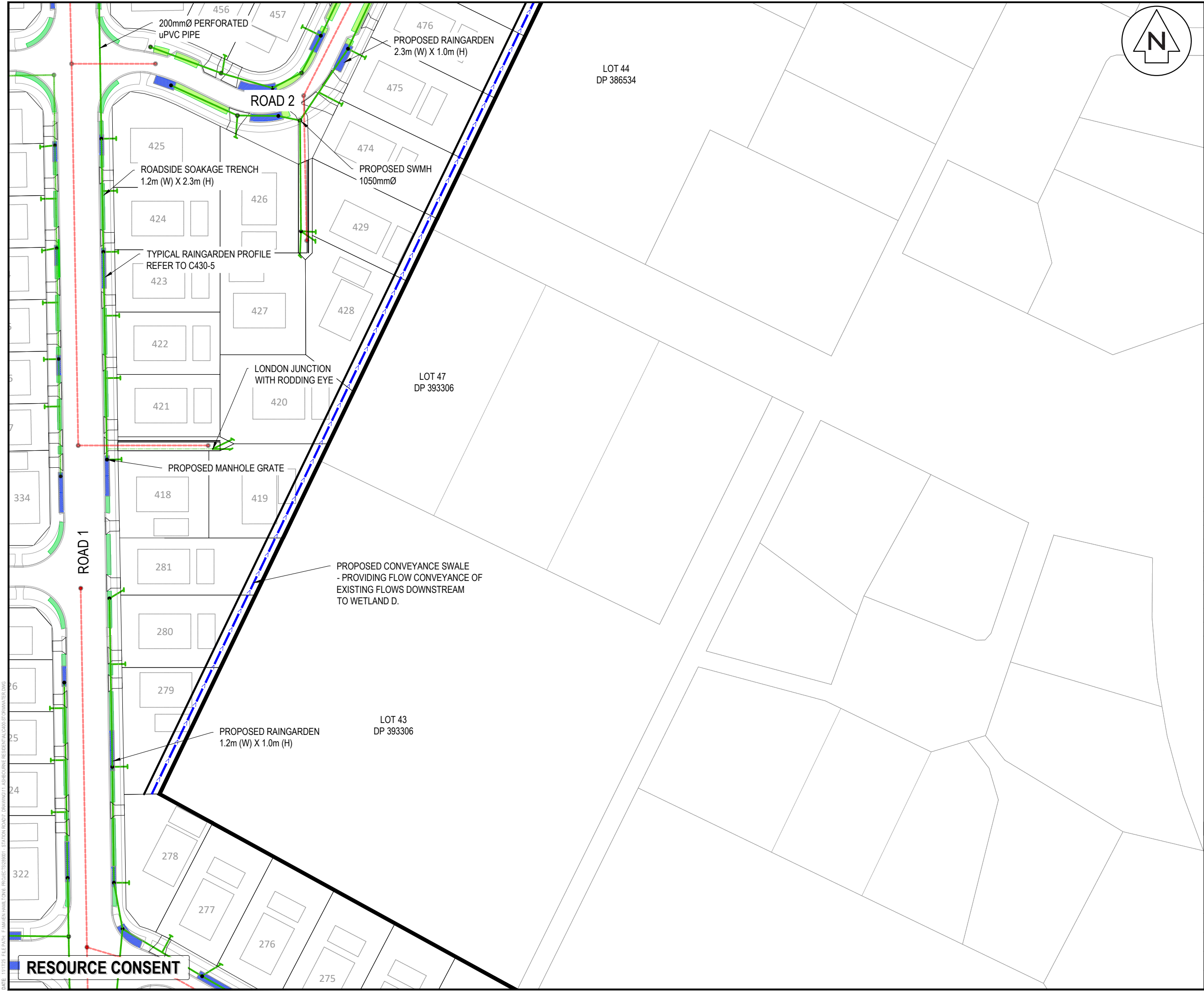
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C	FAST TRACK APP	NDL	05/2025
B	FAST TRACK APP	NDL	04/2025
A	FAST TRACK APPLICATION	NDL	04/2025
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Drawn	NDL		04/2025
Checked	DJM		05/2025



Project  
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FOR  
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Title  
**PROPOSED  
STORMWATER  
PLAN**

Project no.	289001
Scale	1:1000 @ A3
Cad file	C400-STORMWATER.DWG
Drawing no.	C400-4
Rev	D



- Notes
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	PROP LOT BOUNDARY
	PROP SWMH 1050mmØ
	PROP MANHOLE GRATE
	SOAKAGE TRENCH - 1.2m WIDE
	SOAKAGE TRENCH - 2m WIDE
	RAINGARDEN - 1.2m / 2.3m WIDE

D	FAST TRACK APP	MKS	11/2025
C	FAST TRACK APP	NDL	05/2025
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A	FAST TRACK APP	NDL	04/2025
Rev	Description	By	Date
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Survey	MAVEN		05/2024
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Checked	DJM		05/2025

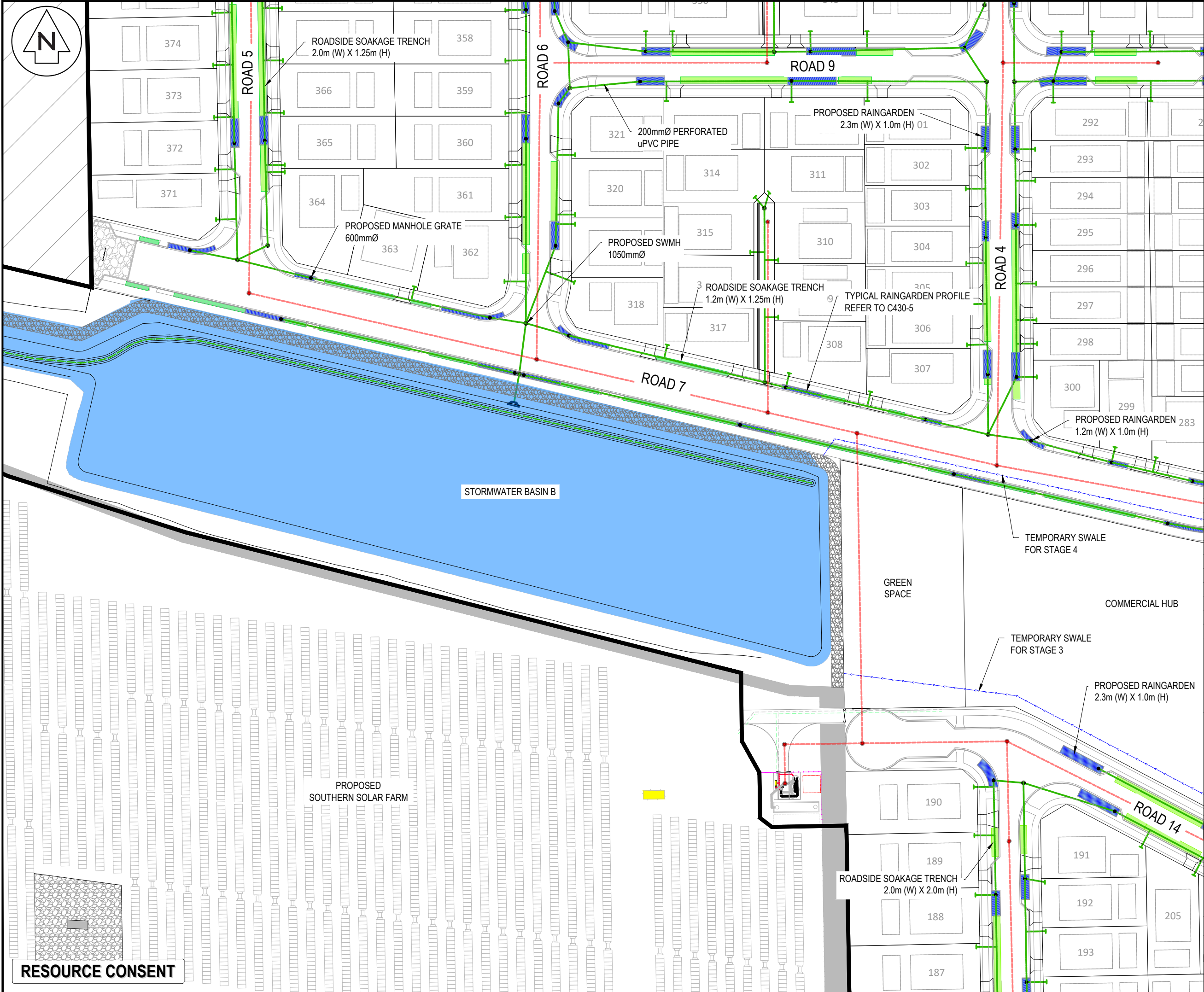


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Title  
**PROPOSED  
STORMWATER  
PLAN**

Project no.	289001		
Scale	1:1000 @ A3		
Cad file	C400-STORMWATER.DWG		
Drawing no.	C400-5	Rev	D



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Legend

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	SOAKAGE TRENCH - 2m WIDE
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Design	MKS		04/2025
Drawn	NDL		04/2025
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Title  
**PROPOSED  
STORMWATER  
PLAN**

Project no.	289001		
Scale	1:1000 @ A3		
Cad file	C400-STORMWATER.DWG		
Drawing no.	C400-6	Rev	D

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RESOURCE CONSENT



- Notes
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Legend

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C	FAST TRACK APP	MKS	05/2025
B	FAST TRACK APP	NDL	04/2025
A	FAST TRACK APP	NDL	04/2025
Rev	Description	By	Date
		By	Date
Survey	MAVEN		05/2024
Design	MKS		04/2025
Drawn	NDL		04/2025
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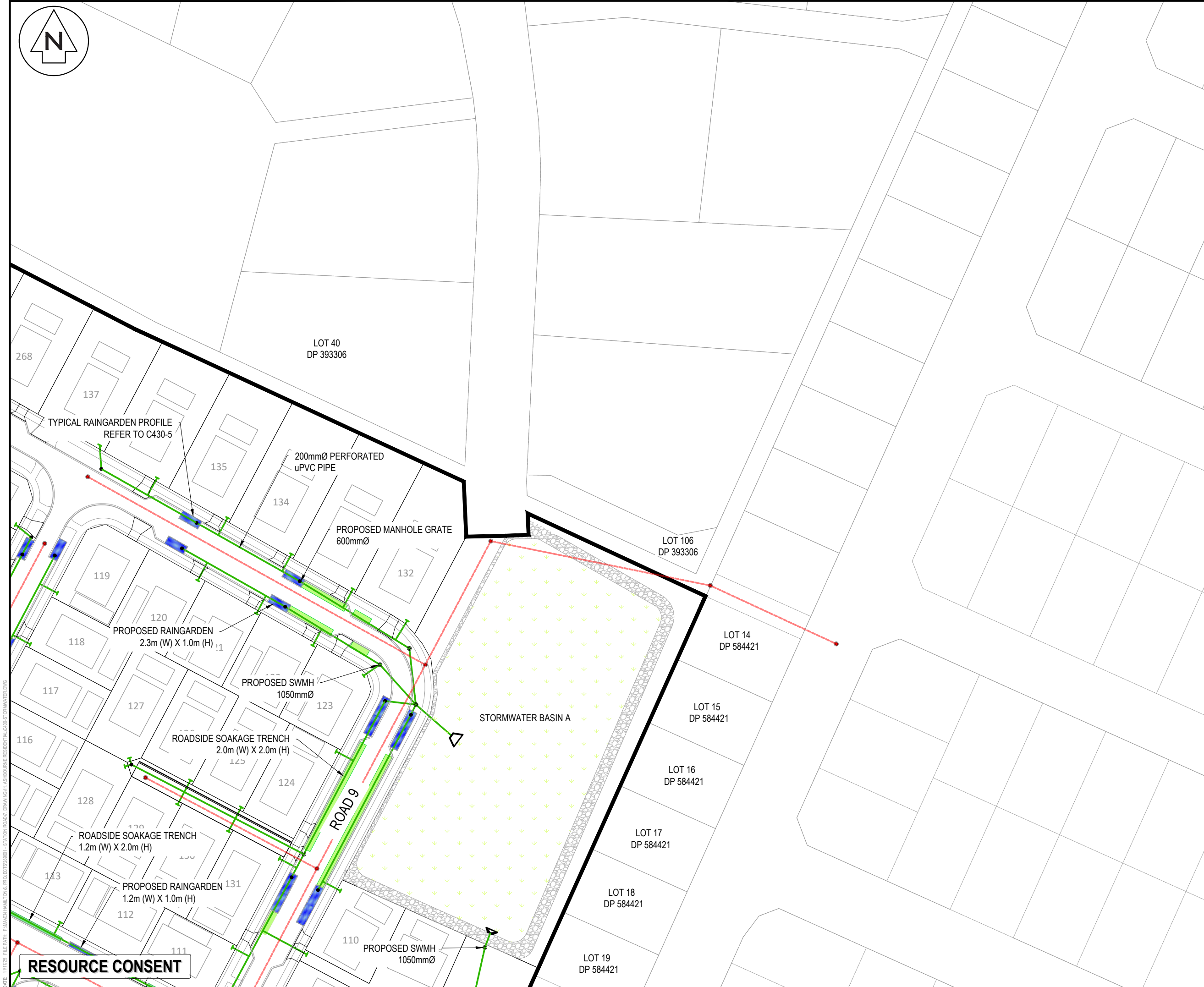


Project  
**ASHBOURNE  
RESIDENTIAL  
FOR  
MATAMATA  
DEVELOPMENTS LTD**

Title  
**PROPOSED  
STORMWATER  
PLAN**

Project no.	289001
Scale	1:1000 @ A3
Cad file	C400-STORMWATER.DWG
Drawing no.	C400-7
Rev	D

RESOURCE CONSENT



- Notes
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	PROP SWMH 1050mmØ
	PROP MANHOLE GRATE
	SOAKAGE TRENCH - 1.2m WIDE
	SOAKAGE TRENCH - 2m WIDE
	RAINGARDEN - 1.2m / 2.3m WIDE

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Rev	Description	By	Date
Survey	MAVEN		05/2024
Design	MKS		04/2025
Drawn	NDL		04/2025
Checked	DJM		05/2025

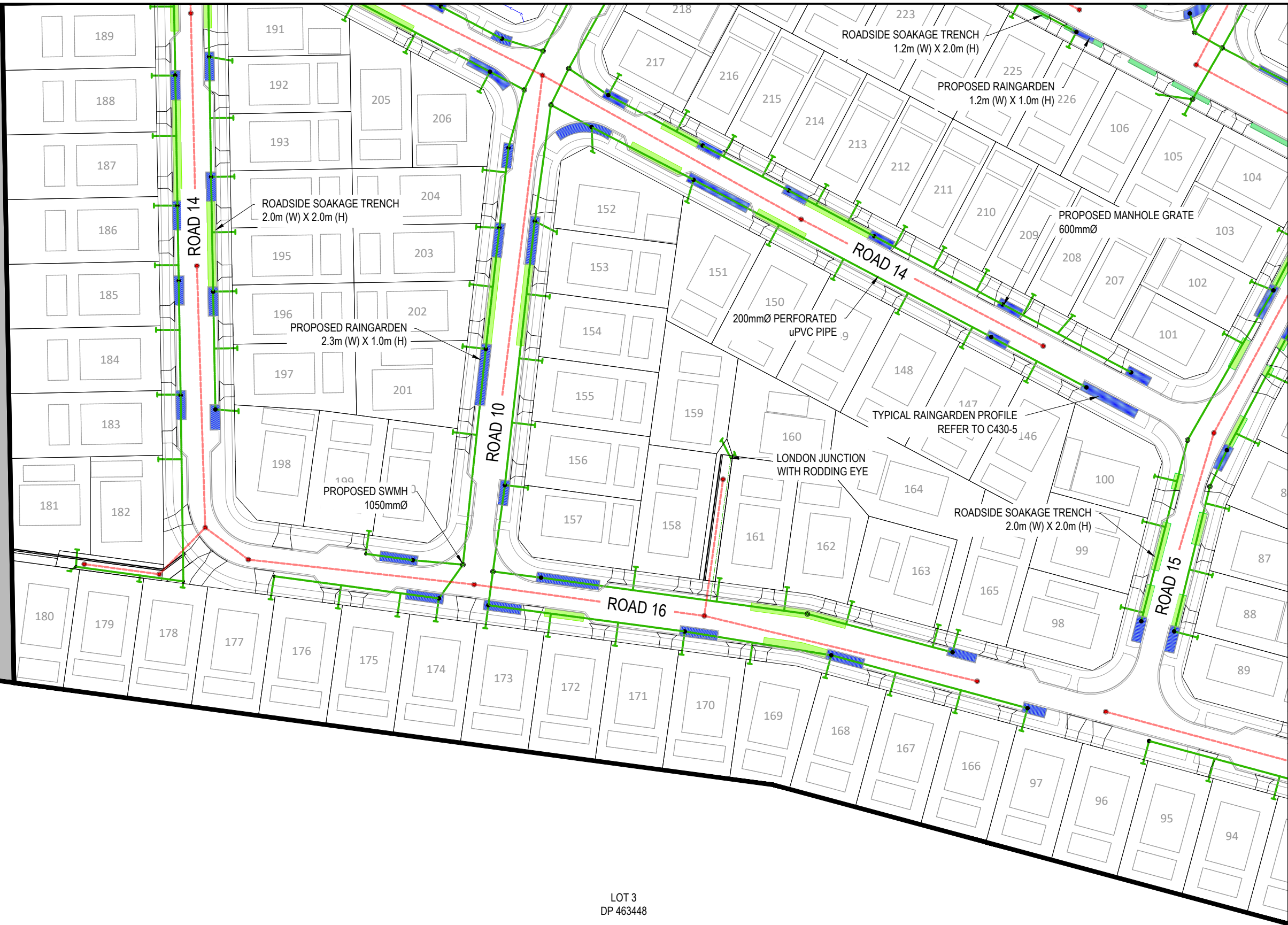
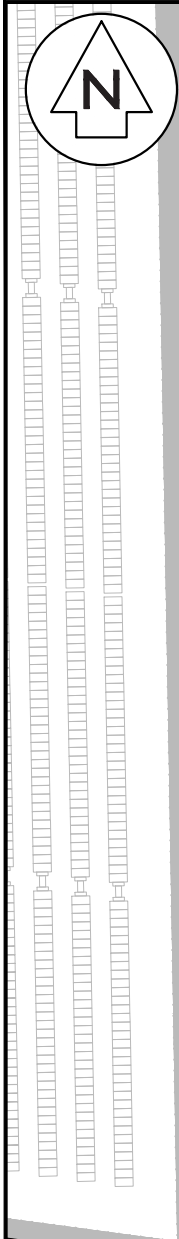


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Project  
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FOR  
MATAMATA  
DEVELOPMENTS LTD**

Title  
**PROPOSED  
STORMWATER  
PLAN**

Project no.	289001		
Scale	1:1000 @ A3		
Cad file	C400-STORMWATER.DWG		
Drawing no.	C400-8	Rev	D



LOT 3  
DP 463448

- Notes
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  3. Levels in terms of the New Zealand Vertical Datum 2016.
  4. It is the contractors responsibility to locate all services that may be affected by his operations.
  5. Approved hardfill is to be used in backfilling of all stormwater lines within the road reserve.
  6. All catchpit leads shall be laid at 1% unless otherwise specified.
  7. All lines to be abandoned shall be sealed at each end. Timing of all sealing to be coordinated with council staff.

Legend

	EX BOUNDARY
	PROP LOT BOUNDARY
	PROP SWMH 1050mmØ
	PROP MANHOLE GRATE
	SOAKAGE TRENCH - 1.2m WIDE
	SOAKAGE TRENCH - 2m WIDE
	RAINGARDEN - 1.2m / 2.3m WIDE

D	FAST TRACK APP	MKS	11/2025
C	FAST TRACK APP	NDL	05/2025
B	FAST TRACK APP	NDL	04/2025
A	FAST TRACK APP	NDL	04/2025
Rev	Description	By	Date
		By	Date
Survey	MAVEN		05/2024
Design	MKS		04/2025
Drawn	NDL		04/2025
Checked	DJM		05/2025

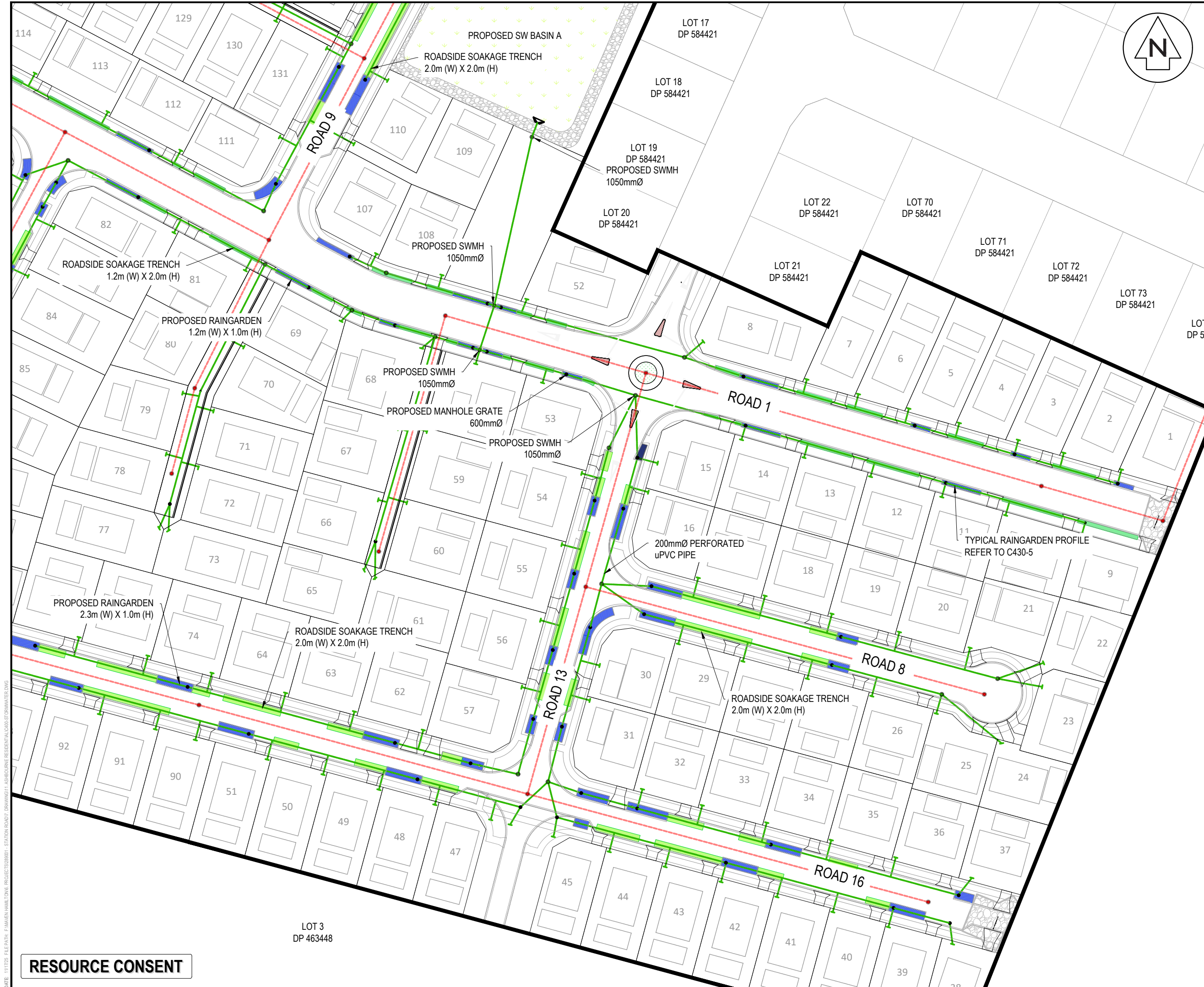
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Project  
**ASHBOURNE  
RESIDENTIAL  
FOR  
MATAMATA  
DEVELOPMENTS LTD**

Title  
**PROPOSED  
STORMWATER  
PLAN**

Project no.	289001		
Scale	1:1000 @ A3		
Cad file	C400-STORMWATER.DWG		
Drawing no.	C400-9	Rev	D

RESOURCE CONSENT



- Notes
1. All works to be in accordance with Waikato Regional Infrastructure Technical Specifications.
  2. Co-ordinates in terms of NZ Geodetic Datum Mount Eden 2000.
  3. Levels in terms of the New Zealand Vertical Datum 2016.
  4. It is the contractors responsibility to locate all services that may be affected by his operations.
  5. Approved hardfill is to be used in backfilling of all stormwater lines within the road reserve.
  6. All catchpit leads shall be laid at 1% unless otherwise specified.
  7. All lines to be abandoned shall be sealed at each end. Timing of all sealing to be coordinated with council staff.

Legend

---	EX BOUNDARY
---	PROP LOT BOUNDARY
●	PROP SWMH 1050mmØ
●	PROP MANHOLE GRATE
█	SOAKAGE TRENCH - 1.2m WIDE
█	SOAKAGE TRENCH - 2m WIDE
█	RAINGARDEN - 1.2m / 2.3m WIDE

D	FAST TRACK APP	MKS	11/2025
C	FAST TRACK APP	NDL	05/2025
B	FAST TRACK APP	NDL	04/2025
A	FAST TRACK APP	NDL	04/2025
Rev	Description	By	Date
		By	Date
Survey	MAVEN		05/2024
Design	MKS		04/2025
Drawn	NDL		04/2025
Checked	DJM		05/2025



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Project  
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RESIDENTIAL  
FOR  
MATAMATA  
DEVELOPMENTS LTD**

Title  
**PROPOSED  
STORMWATER  
PLAN**

Project no.	289001		
Scale	1:1000 @ A3		
Cad file	C400-STORMWATER.DWG		
Drawing no.	C400-10	Rev	<b>D</b>

RESOURCE CONSENT

DATE: 11/11/25 FILEPATH: F:\MVEN\HAMITON6 PROJECTS\289001 - STATION ROAD\ DRAWING\11 ASHBORNE RESIDENTIAL\C400-STORMWATER.DWG



- Notes
1. All works to be in accordance with Waikato Regional Infrastructure Technical Specifications.
  2. Co-ordinates in terms of NZ Geodetic Datum Mount Eden 2000.
  3. Levels in terms of the New Zealand Vertical Datum 2016.
  4. It is the contractors responsibility to locate all services that may be affected by his operations.
  5. Approved hardfill is to be used in backfilling of all stormwater lines within the road reserve.
  6. All catchpit leads shall be laid at 1% unless otherwise specified.
  7. All lines to be abandoned shall be sealed at each end. Timing of all sealing to be coordinated with council staff.

Legend	
	PR BOUNDARY
	EX BDY
	PR SITE BOUNDARY
	PR STAGE BOUNDARY
	PROP SWMH 1050mmØ
	PROP MANHOLE GRATE
	SOAKAGE TRENCH - 1.2m WIDE
	SOAKAGE TRENCH - 2m WIDE
	RAINGARDEN - 1.2m / 2.3m WIDE

B	FAST TRACK APP	MKS	11/2025
A	FAST TRACK APP	GNT	05/2025
Rev	Description	By	Date
Survey	MAVEN		05/2024
Design	MKS		05/2025
Drawn	GNT		05/2025
Checked	DJM		05/2025



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Project  
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FOR  
MATAMATA  
DEVELOPMENTS LTD**

Title  
**PROPOSED  
STORMWATER  
PLAN STAGE 1**

Project no.	289001		
Scale	1:1500 @ A3		
Cad file	C400-STORMWATER.DWG		
Drawing no.	C400-11	Rev	<b>B</b>

RESOURCE CONSENT



- Notes
1. All works to be in accordance with Waikato Regional Infrastructure Technical Specifications.
  2. Co-ordinates in terms of NZ Geodetic Datum Mount Eden 2000.
  3. Levels in terms of the New Zealand Vertical Datum 2016.
  4. It is the contractors responsibility to locate all services that may be affected by his operations.
  5. Approved hardfill is to be used in backfilling of all stormwater lines within the road reserve.
  6. All catchpit leads shall be laid at 1% unless otherwise specified.
  7. All lines to be abandoned shall be sealed at each end. Timing of all sealing to be coordinated with council staff.

- Legend
- PR BOUNDARY
  - EX BDY
  - PR SITE BOUNDARY
  - PR STAGE BOUNDARY
  - PROP SWMH 1050mmØ
  - PROP MANHOLE GRATE
  - SOAKAGE TRENCH - 1.2m WIDE
  - SOAKAGE TRENCH - 2m WIDE
  - RAINGARDEN - 1.2m / 2.3m WIDE

B	FAST TRACK APP	MKS	11/2025
A	FAST TRACK APP	GNT	05/2025
Rev	Description	By	Date
		By	Date
Survey	MAVEN		05/2024
Design	MKS		05/2025
Drawn	GNT		05/2025
Checked	DJM		05/2025



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Project  
**ASHBOURNE  
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FOR  
MATAMATA  
DEVELOPMENTS LTD**

Title  
**PROPOSED  
STORMWATER  
PLAN STAGE 2**

Project no.	289001
Scale	1:1500 @ A3
Cad file	C400-STORMWATER.DWG
Drawing no.	C400-12
Rev	<b>B</b>

**RESOURCE CONSENT**

DATE: 11/1/25 FILE PATH: F:\MVEN\HAMTON6 PROJECTS\289001 - STATION ROAD\DRAWING\1 ASHBORNE RESIDENTIAL\C400-STORMWATER.DWG



STORMWATER  
BASIN B

SERVICE IS TO EXTEND 1.0m PASSED  
STAGE BOUNDARY AND CAPPED FOR  
FUTURE STAGE CONNECTION.

CONTRACTOR TO EXPOSE END  
CAP FROM PREVIOUS STAGE TO  
CONNECT SERVICE

CONTRACTOR TO EXPOSE END  
CAP FROM PREVIOUS STAGE TO  
CONNECT SERVICE

LOT 3  
DP 463448

#### Notes

1. All works to be in accordance with Waikato Regional Infrastructure Technical Specifications.
2. Co-ordinates in terms of NZ Geodetic Datum Mount Eden 2000.
3. Levels in terms of the New Zealand Vertical Datum 2016.
4. It is the contractors responsibility to locate all services that may be affected by his operations.
5. Approved hardfill is to be used in backfilling of all stormwater lines within the road reserve.
6. All catchpit leads shall be laid at 1% unless otherwise specified.
7. All lines to be abandoned shall be sealed at each end. Timing of all sealing to be coordinated with council staff.

#### Legend

	PR BOUNDARY
	EX BDY
	PR SITE BOUNDARY
	PR STAGE BOUNDARY
	PROP SWMH 1050mmØ
	PROP MANHOLE GRATE
	SOAKAGE TRENCH - 1.2m WIDE
	SOAKAGE TRENCH - 2m WIDE
	RAINGARDEN - 1.2m / 2.3m WIDE

B	FAST TRACK APP	MKS	11/2025
A	FAST TRACK APP	GNT	05/2025
Rev	Description	By	Date
Survey	MAVEN		05/2024
Design	MKS		05/2025
Drawn	GNT		05/2025
Checked	DJM		05/2025

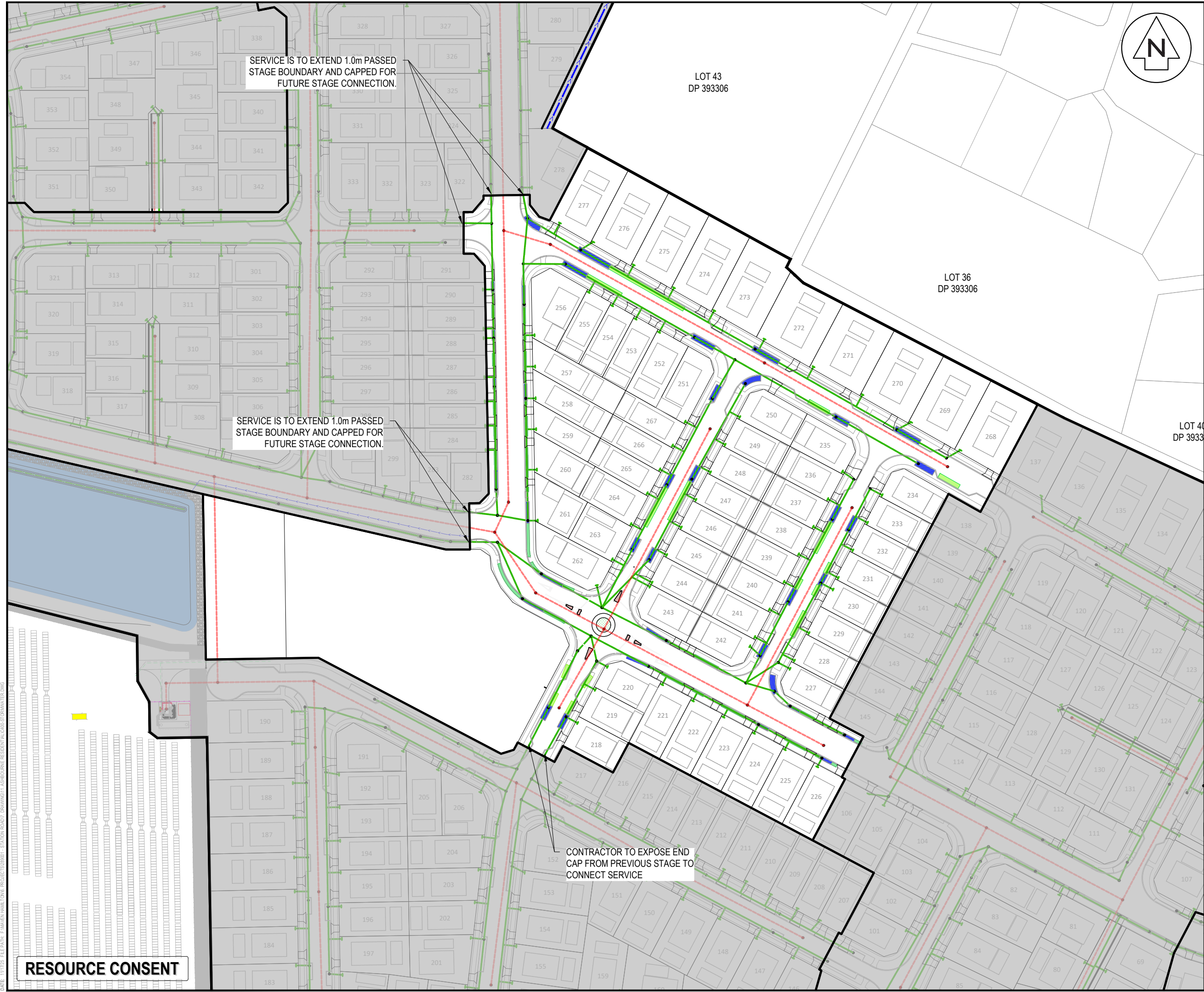


Project  
**ASHBOURNE  
RESIDENTIAL  
FOR  
MATAMATA  
DEVELOPMENTS LTD**

Title  
**PROPOSED  
STORMWATER  
PLAN STAGE 3**

Project no.	289001		
Scale	1:1500 @ A3		
Cad file	C400-STORMWATER.DWG		
Drawing no.	C400-13	Rev	<b>B</b>

RESOURCE CONSENT



- Notes
1. All works to be in accordance with Waikato Regional Infrastructure Technical Specifications.
  2. Co-ordinates in terms of NZ Geodetic Datum Mount Eden 2000.
  3. Levels in terms of the New Zealand Vertical Datum 2016.
  4. It is the contractors responsibility to locate all services that may be affected by his operations.
  5. Approved hardfill is to be used in backfilling of all stormwater lines within the road reserve.
  6. All catchpit leads shall be laid at 1% unless otherwise specified.
  7. All lines to be abandoned shall be sealed at each end. Timing of all sealing to be coordinated with council staff.

Legend

	PR BOUNDARY
	EX BDY
	PR SITE BOUNDARY
	PR STAGE BOUNDARY
	PROP SWMH 1050mmØ
	PROP MANHOLE GRATE
	SOAKAGE TRENCH - 1.2m WIDE
	SOAKAGE TRENCH - 2m WIDE
	RAINGARDEN - 1.2m / 2.3m WIDE

B	FAST TRACK APP	MKS	11/2025
A	FAST TRACK APP	GNT	05/2025
Rev	Description	By	Date
Survey	MAVEN		05/2024
Design	MKS		05/2025
Drawn	GNT		05/2025
Checked	DJM		05/2025

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Project  
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FOR  
MATAMATA  
DEVELOPMENTS LTD**

Title  
**PROPOSED  
STORMWATER  
PLAN STAGE 4**

Project no.	289001		
Scale	1:1500 @ A3		
Cad file	C400-STORMWATER.DWG		
Drawing no.	C400-14	Rev	<b>B</b>

**RESOURCE CONSENT**



LOT 16  
DP 562902

LOT 17  
DP 562902

LOT 18  
DP 562902

LOT 47  
DP 393306

LOT 43  
DP 393306

SERVICE IS TO EXTEND 1.0m PASSED  
STAGE BOUNDARY AND CAPPED FOR  
FUTURE STAGE CONNECTION.

CONTRACTOR TO EXPOSE END  
CAP FROM PREVIOUS STAGE TO  
CONNECT SERVICE

SERVICE IS TO EXTEND 1.0m PASSED  
STAGE BOUNDARY AND CAPPED FOR  
FUTURE STAGE CONNECTION.

CONTRACTOR TO EXPOSE END  
CAP FROM PREVIOUS STAGE TO  
CONNECT SERVICE

RESOURCE CONSENT

#### Notes

1. All works to be in accordance with Waikato Regional Infrastructure Technical Specifications.
2. Co-ordinates in terms of NZ Geodetic Datum Mount Eden 2000.
3. Levels in terms of the New Zealand Vertical Datum 2016.
4. It is the contractors responsibility to locate all services that may be affected by his operations.
5. Approved hardfill is to be used in backfilling of all stormwater lines within the road reserve.
6. All catchpit leads shall be laid at 1% unless otherwise specified.
7. All lines to be abandoned shall be sealed at each end. Timing of all sealing to be coordinated with council staff.

#### Legend

	PR BOUNDARY
	EX BDY
	PR SITE BOUNDARY
	PR STAGE BOUNDARY
	PROP SWMH 1050mmØ
	PROP MANHOLE GRATE
	SOAKAGE TRENCH - 1.2m WIDE
	SOAKAGE TRENCH - 2m WIDE
	RAINGARDEN - 1.2m / 2.3m WIDE

B	FAST TRACK APP	MKS	11/2025
A	FAST TRACK APP	GNT	05/2025
Rev	Description	By	Date
Survey	MAVEN		05/2024
Design	MKS		05/2025
Drawn	GNT		05/2025
Checked	DJM		05/2025



Project  
**ASHBOURNE  
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FOR  
MATAMATA  
DEVELOPMENTS LTD**

Title  
**PROPOSED  
STORMWATER  
PLAN STAGE 5**

Project no.	289001
Scale	1:1500 @ A3
Cad file	C400-STORMWATER.DWG
Drawing no.	C400-15
Rev	B



LOT 16  
DP 562902

LOT 17  
DP 562902

LOT 18  
DP 562902

LOT 2  
DP 21055

CONTRACTOR TO EXPOSE END  
CAP FROM PREVIOUS STAGE TO  
CONNECT SERVICE

#### Notes

1. All works to be in accordance with Waikato Regional Infrastructure Technical Specifications.
2. Co-ordinates in terms of NZ Geodetic Datum Mount Eden 2000.
3. Levels in terms of the New Zealand Vertical Datum 2016.
4. It is the contractors responsibility to locate all services that may be affected by his operations.
5. Approved hardfill is to be used in backfilling of all stormwater lines within the road reserve.
6. All catchpit leads shall be laid at 1% unless otherwise specified.
7. All lines to be abandoned shall be sealed at each end. Timing of all sealing to be coordinated with council staff.

#### Legend

- PR BOUNDARY
- EX BDY
- PR SITE BOUNDARY
- PR STAGE BOUNDARY
- PROP SWMH 1050mmØ
- PROP SCRUFFY DOME
- SOAKAGE TRENCH - 1.2m WIDE
- SOAKAGE TRENCH - 2m WIDE
- RAINGARDEN - 1.2m / 2.3m WIDE

B	FAST TRACK APP	MKS	11/2025
A	FAST TRACK APP	GNT	05/2025
Rev	Description	By	Date
Survey	MAVEN		05/2024
Design	MKS		05/2025
Drawn	GNT		05/2025
Checked	DJM		05/2025



Project  
**ASHBOURNE  
RESIDENTIAL  
FOR  
MATAMATA  
DEVELOPMENTS LTD**

Title  
**PROPOSED  
STORMWATER  
PLAN STAGE 6**

Project no.	289001		
Scale	1:1500 @ A3		
Cad file	C400-STORMWATER.DWG		
Drawing no.	C400-16	Rev	<b>B</b>

RESOURCE CONSENT



LOT 3  
DP 404835

LOT 9  
DP 562902

LOT 13  
DP 562902

LOT 14  
DP 562902

LOT 16  
DP 562902

LOT 17  
DP 562902

LOT 18  
DP 562902

STORMWATER WETLAND C

SERVICE IS TO EXTEND 1.0m PASSED  
STAGE BOUNDARY AND CAPPED FOR  
FUTURE STAGE CONNECTION.

LOT 28  
DP 386534

LOT 44  
DP 386534

LOT 47  
DP 393306

#### Notes

1. All works to be in accordance with Waikato Regional Infrastructure Technical Specifications.
2. Co-ordinates in terms of NZ Geodetic Datum Mount Eden 2000.
3. Levels in terms of the New Zealand Vertical Datum 2016.
4. It is the contractors responsibility to locate all services that may be affected by his operations.
5. Approved hardfill is to be used in backfilling of all stormwater lines within the road reserve.
6. All catchpit leads shall be laid at 1% unless otherwise specified.
7. All lines to be abandoned shall be sealed at each end. Timing of all sealing to be coordinated with council staff.

#### Legend

	PR BOUNDARY
	EX BDY
	PR SITE BOUNDARY
	PR STAGE BOUNDARY
	PROP SWMH 1050mmØ
	PROP MANHOLE GRATE
	SOAKAGE TRENCH - 1.2m WIDE
	SOAKAGE TRENCH - 2m WIDE
	RAINGARDEN - 1.2m / 2.3m WIDE

B	FAST TRACK APP	MKS	11/2025
A	FAST TRACK APP	GNT	05/2025
Rev	Description	By	Date
Survey	MAVEN		05/2024
Design	MKS		05/2025
Drawn	GNT		05/2025
Checked	DJM		05/2025



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Project  
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FOR  
MATAMATA  
DEVELOPMENTS LTD**

Title  
**PROPOSED  
STORMWATER  
PLAN STAGE 7**

Project no.	289001		
Scale	1:1500 @ A3		
Cad file	C400-STORMWATER.DWG		
Drawing no.	C400-17	Rev	<b>B</b>

RESOURCE CONSENT



- Notes
1. All works to be in accordance with Waikato Regional Infrastructure Technical Specifications.
  2. Co-ordinates in terms of NZ Geodetic Datum Mount Eden 2000.
  3. Levels in terms of the New Zealand Vertical Datum 2016.
  4. It is the contractors responsibility to locate all services that may be affected by his operations.
  5. Approved hardfill is to be used in backfilling of all stormwater lines within the road reserve.
  6. All catchpit leads shall be laid at 1% unless otherwise specified.
  7. All lines to be abandoned shall be sealed at each end. Timing of all sealing to be coordinated with council staff.

Legend

	PR BOUNDARY
	EX BDY
	PR SITE BOUNDARY
	PR STAGE BOUNDARY
	PROP SWMH 1050mmØ
	PROP MANHOLE GRATE
	SOAKAGE TRENCH - 1.2m WIDE
	SOAKAGE TRENCH - 2m WIDE
	RAINGARDEN - 1.2m / 2.3m WIDE

B	FAST TRACK APP	MKS	11/2025
A	FAST TRACK APP	GNT	05/2025
Rev	Description	By	Date
Survey	MAVEN		05/2024
Design	MKS		05/2025
Drawn	GNT		05/2025
Checked	DJM		05/2025



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FOR  
MATAMATA  
DEVELOPMENTS LTD**

Title  
**PROPOSED  
STORMWATER  
PLAN STAGE 8**

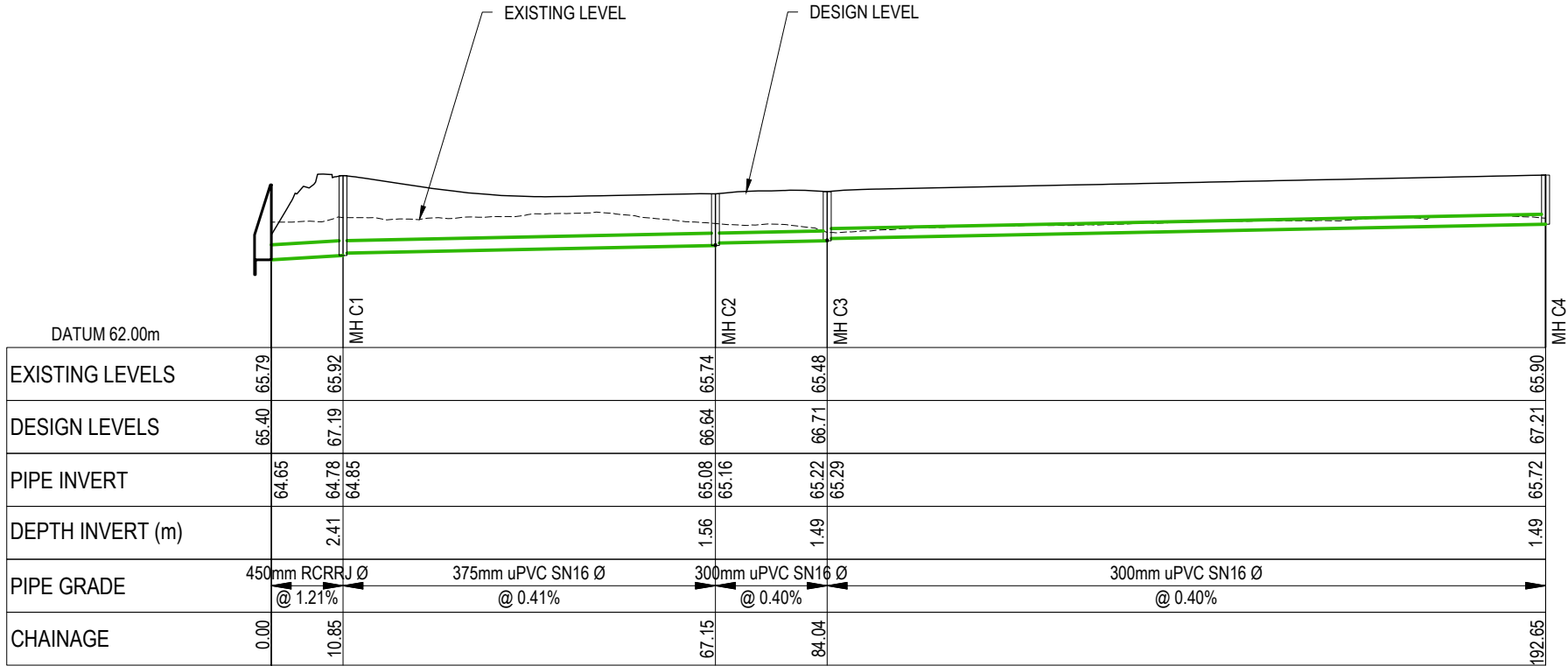
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Drawing no.	C400-18	Rev	B

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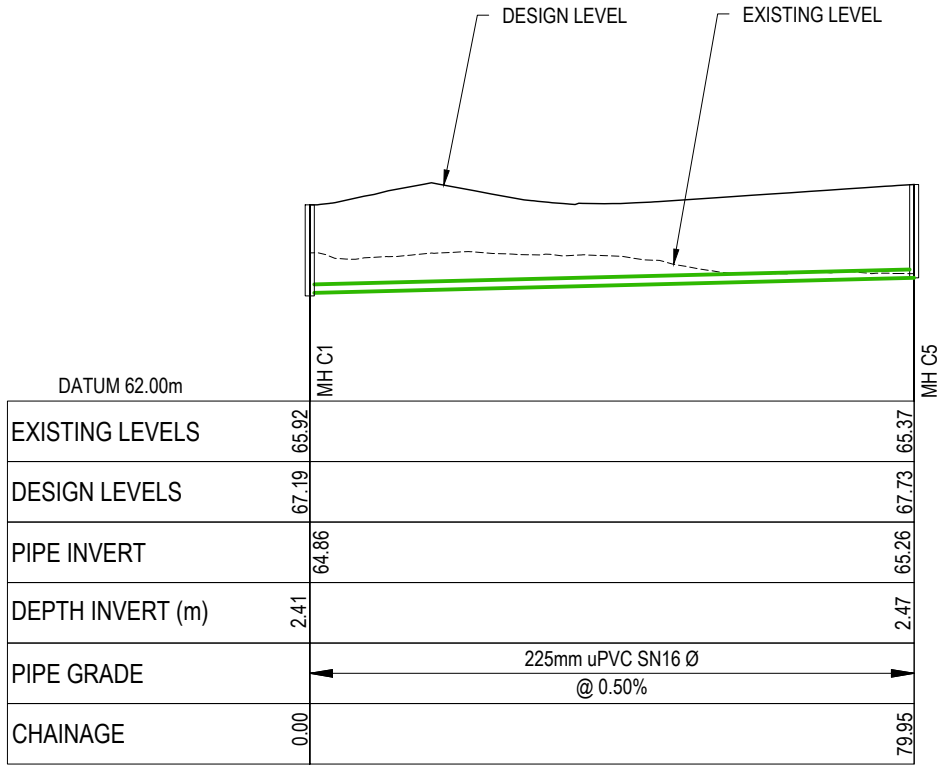
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DATE: 11/1/25 FILE PATH: F:\Maven\Hamilton\6. PROJECTS\289001 - STATION ROAD\7. DRAWING\11. ASHBOURNE RESIDENTIAL\C400-STORMWATER.DWG

RESOURCE CONSENT



LONGSECTION - CATCHMENT C - LINE 1  
SCALE 1:1000 HORI & 1:200 VERTICAL @ A3



LONGSECTION - CATCHMENT C - LINE 2  
SCALE 1:1000 HORI & 1:200 VERTICAL @ A3

- Notes
- All works to be in accordance with Waikato Regional Infrastructure Technical Specifications.
  - Co-ordinates in terms of NZ Geodetic Datum Mt Eden 2000. Levels in terms of the New Zealand Vertical Datum 2016.
  - It is the contractors responsibility to locate all services that may be affected by his operations.
  - All concrete SW pipe to be installed in accordance with AS/NZS 3725:2007 for buried concrete pipes and AS/NZ 4058:2007 for precast concrete pipes (pressure and non-pressure) as stipulated in the RITS 2018
  - Approved hardfill is to be used in backfilling of all stormwater lines within the road reserve.
  - Heavy duty manhole lids and frames to be used in trafficked areas.
  - All catchpit leads shall be laid at 1% unless otherwise specified.
  - All pipes  $\leq 375\varnothing$  to be PVC-U SN16 instead of RRJ (concrete).
  - All concrete lines are to be Class 4 RCRRJ unless otherwise specified.
  - All lines to be abandoned shall be sealed at each end. Timing of all sealing to be coordinated with council staff.
  - Pipe lengths shown on plan are from upstream pipe invert to downstream pipe invert.

Legend

----- EX GROUND LEVEL  
----- PROP GROUND LEVEL

A	FAST TRACK APP	MKS	11/2025
Rev	Description	By	Date
		By	Date
Survey	MAVEN		05/2024
Design	MKS		11/2025
Drawn	MKS		11/2025
Checked	DJM		11/2025

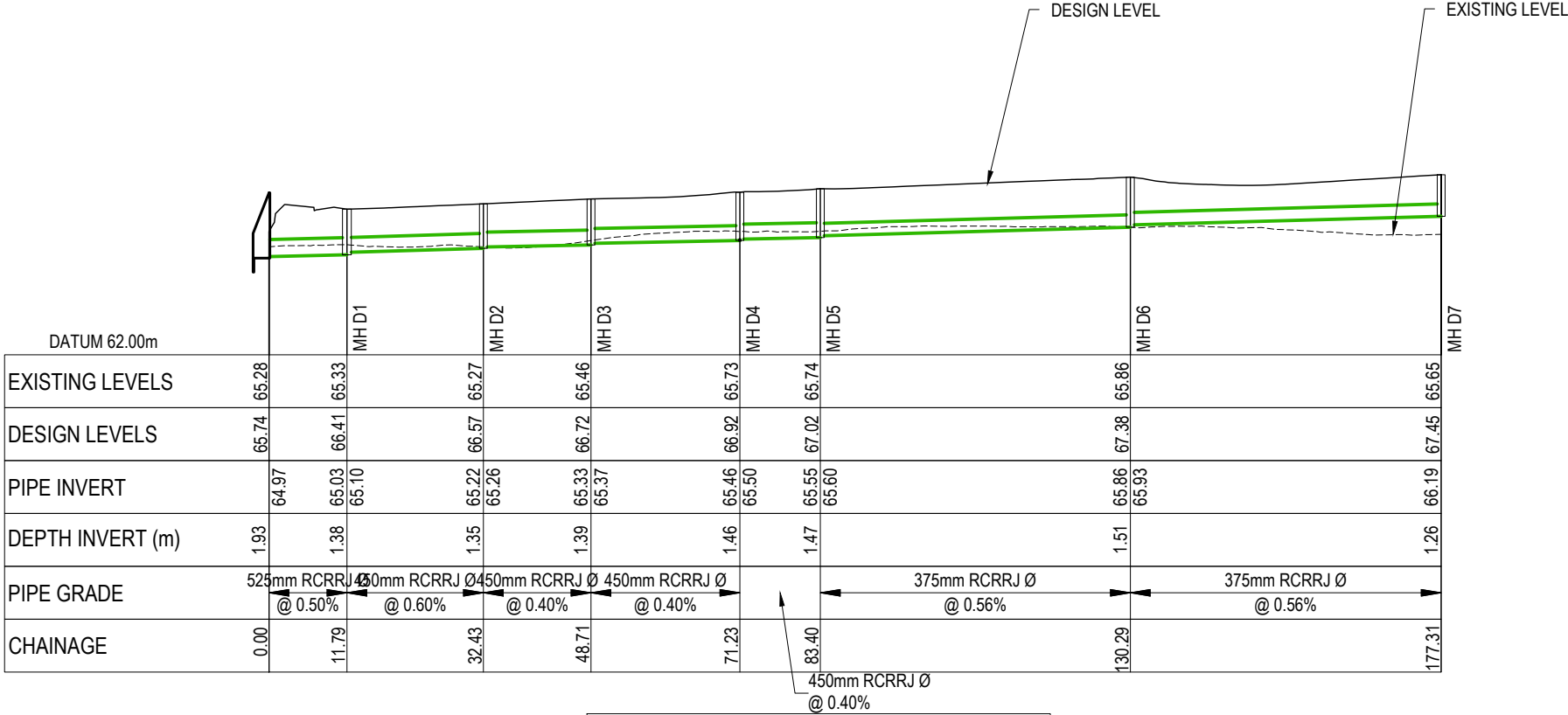
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Project  
**ASHBOURNE  
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MATAMATA  
DEVELOPMENTS LTD**

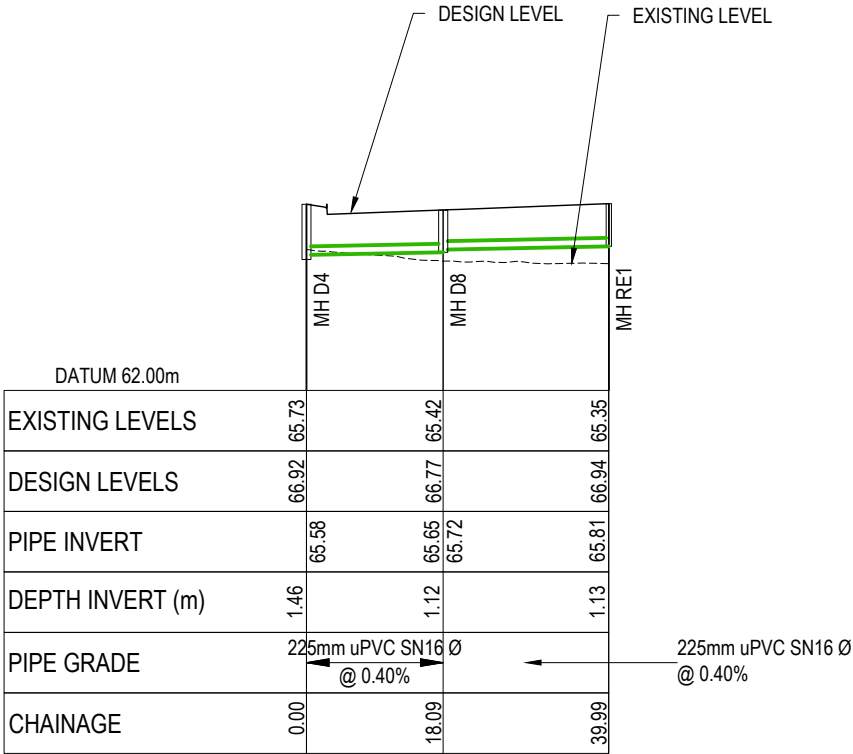
Title  
**PROPOSED  
STORMWATER  
LONGSECTIONS**

Project no.	289001		
Scale	AS SHOWN		
Cad file	C400-STORMWATER.DWG		
Drawing no.	C400-20	Rev	<b>A</b>

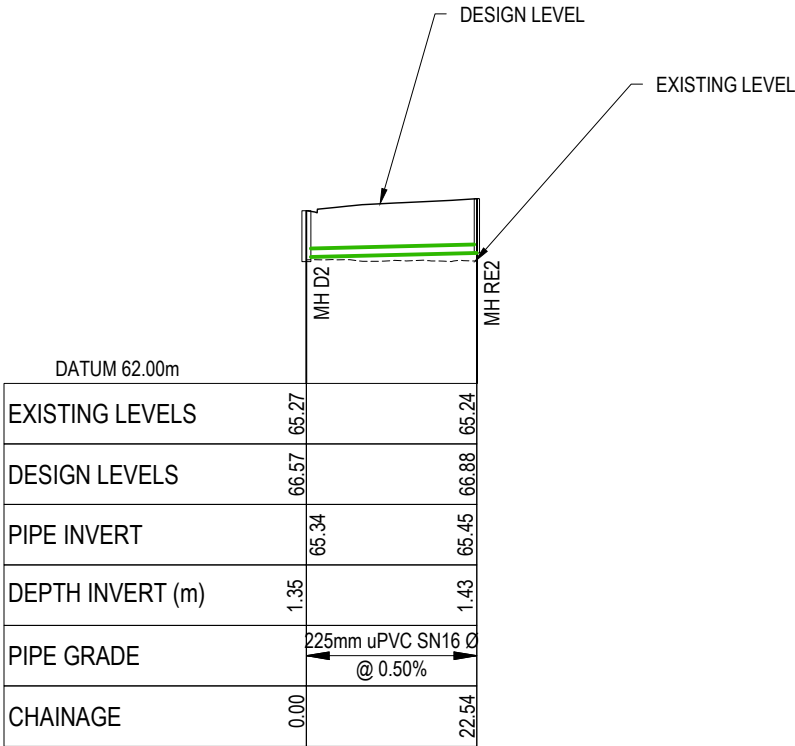
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LONGSECTION - CATCHMENT D1 - LINE 1  
SCALE 1:1000 HORI & 1:200 VERTICAL @ A3



LONGSECTION - CATCHMENT D1 - LINE 2  
SCALE 1:1000 HORI & 1:200 VERTICAL @ A3



LONGSECTION - CATCHMENT D1 - LINE 3  
SCALE 1:1000 HORI & 1:200 VERTICAL @ A3

RESOURCE CONSENT

- Notes
- All works to be in accordance with Waikato Regional Infrastructure Technical Specifications.
  - Co-ordinates in terms of NZ Geodetic Datum Mt Eden 2000. Levels in terms of the New Zealand Vertical Datum 2016.
  - It is the contractors responsibility to locate all services that may be affected by his operations.
  - All concrete SW pipe to be installed in accordance with AS/NZS 3725:2007 for buried concrete pipes and AS/NZ 4058:2007 for precast concrete pipes (pressure and non-pressure) as stipulated in the RITS 2018
  - Approved hardfill is to be used in backfilling of all stormwater lines within the road reserve.
  - Heavy duty manhole lids and frames to be used in trafficked areas.
  - All catchpit leads shall be laid at 1% unless otherwise specified.
  - All pipes ≤ 375Ø to be PVC-U SN16 instead of RRJ (concrete).
  - All concrete lines are to be Class 4 RCRRJ unless otherwise specified.
  - All lines to be abandoned shall be sealed at each end. Timing of all sealing to be coordinated with council staff.
  - Pipe lengths shown on plan are from upstream pipe invert to downstream pipe invert.

Legend

----- EX GROUND LEVEL  
----- PROP GROUND LEVEL

A	FAST TRACK APP	MKS	11/2025
Rev	Description	By	Date
		By	Date
Survey	MAVEN		05/2024
Design	MKS		11/2025
Drawn	MKS		11/2025
Checked	DJM		11/2025

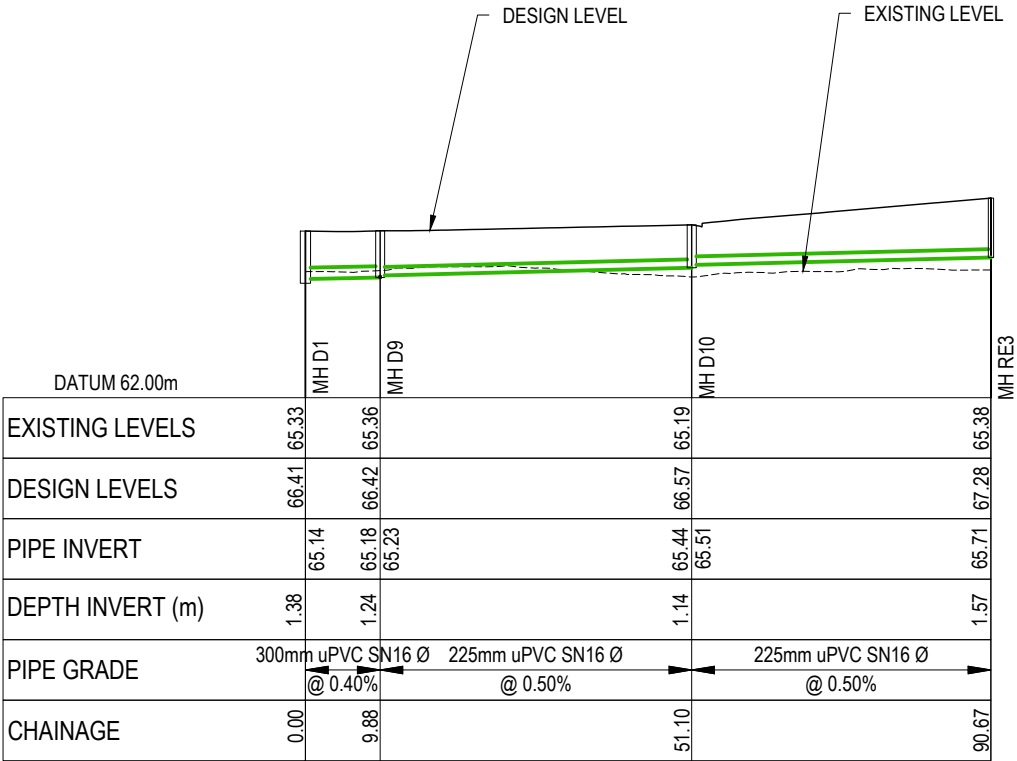


Project  
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FOR  
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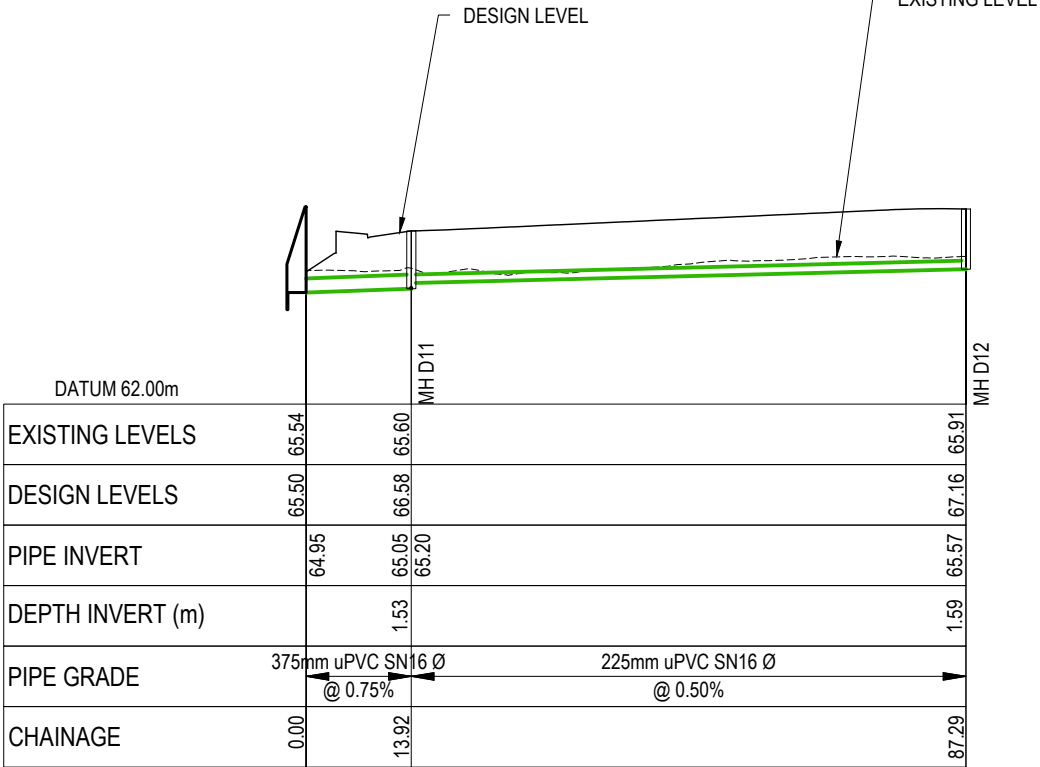
Title  
**PROPOSED  
STORMWATER  
LONGSECTIONS**

Project no.	289001
Scale	AS SHOWN
Cad file	C400-STORMWATER.DWG
Drawing no.	C400-21
Rev	A

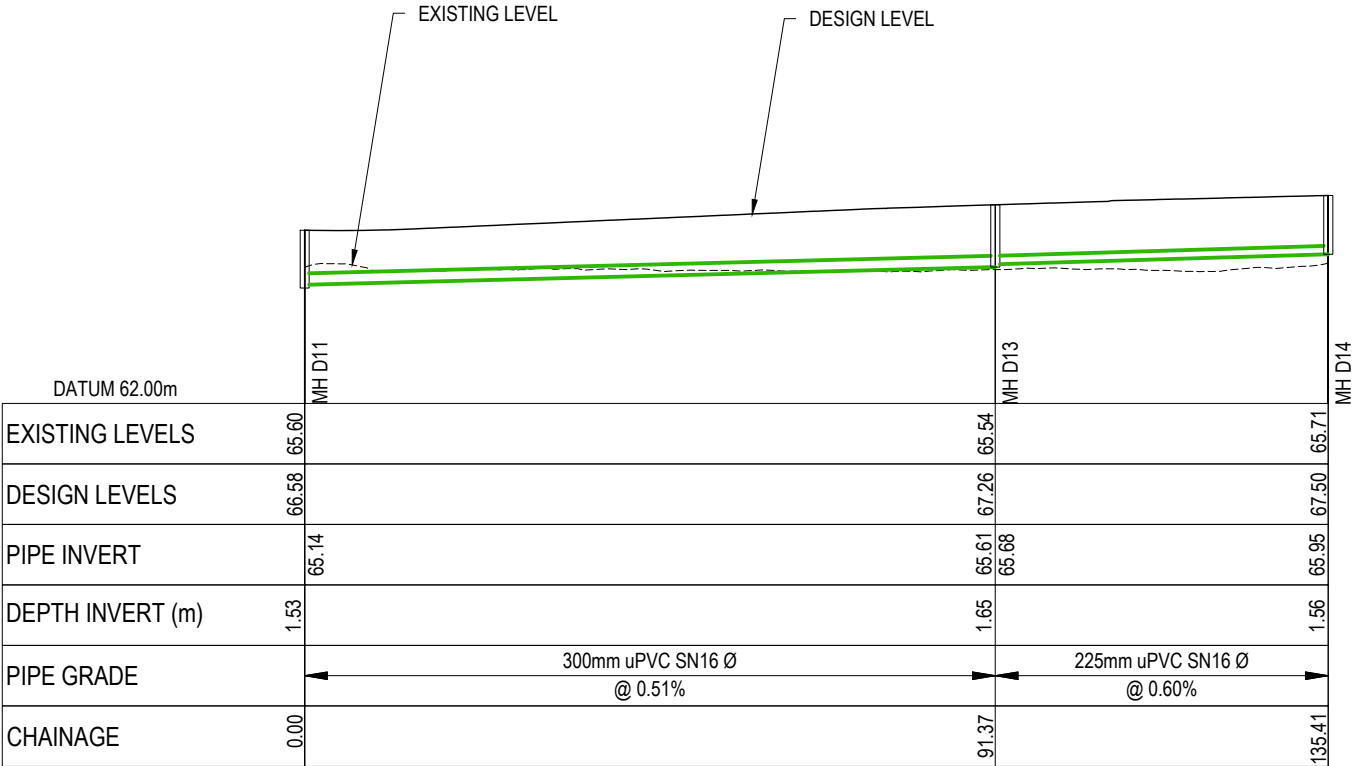
DATE: 11/1/25 FILE PATH: F:\MVEN\HAMITON6 PROJECTS\289001 - STATION ROAD\7 DRAWING\11 ASHBOURNE RESIDENTIAL\C400-STORMWATER.DWG



LONGSECTION - CATCHMENT D1 - LINE 4  
SCALE 1:1000 HORI & 1:200 VERTICAL @ A3



LONGSECTION - CATCHMENT D2 - LINE 1  
SCALE 1:1000 HORI & 1:200 VERTICAL @ A3



LONGSECTION - CATCHMENT D2 - LINE 2  
SCALE 1:1000 HORI & 1:200 VERTICAL @ A3

RESOURCE CONSENT

- Notes
- All works to be in accordance with Waikato Regional Infrastructure Technical Specifications.
  - Co-ordinates in terms of NZ Geodetic Datum Mt Eden 2000. Levels in terms of the New Zealand Vertical Datum 2016.
  - It is the contractors responsibility to locate all services that may be affected by his operations.
  - All concrete SW pipe to be installed in accordance with AS/NZS 3725:2007 for buried concrete pipes and AS/NZ 4058:2007 for precast concrete pipes (pressure and non-pressure) as stipulated in the RITS 2018
  - Approved hardfill is to be used in backfilling of all stormwater lines within the road reserve.
  - Heavy duty manhole lids and frames to be used in trafficked areas.
  - All catchpit leads shall be laid at 1% unless otherwise specified.
  - All pipes ≤ 375Ø to be PVC-U SN16 instead of RRJ (concrete).
  - All concrete lines are to be Class 4 RCRRJ unless otherwise specified.
  - All lines to be abandoned shall be sealed at each end. Timing of all sealing to be coordinated with council staff.
  - Pipe lengths shown on plan are from upstream pipe invert to downstream pipe invert.

Legend

----- EX GROUND LEVEL  
----- PROP GROUND LEVEL

A	FAST TRACK APP	MKS	11/2025
Rev	Description	By	Date
	By	Date	
Survey	MAVEN	05/2024	
Design	MKS	11/2025	
Drawn	MKS	11/2025	
Checked	DJM	11/2025	

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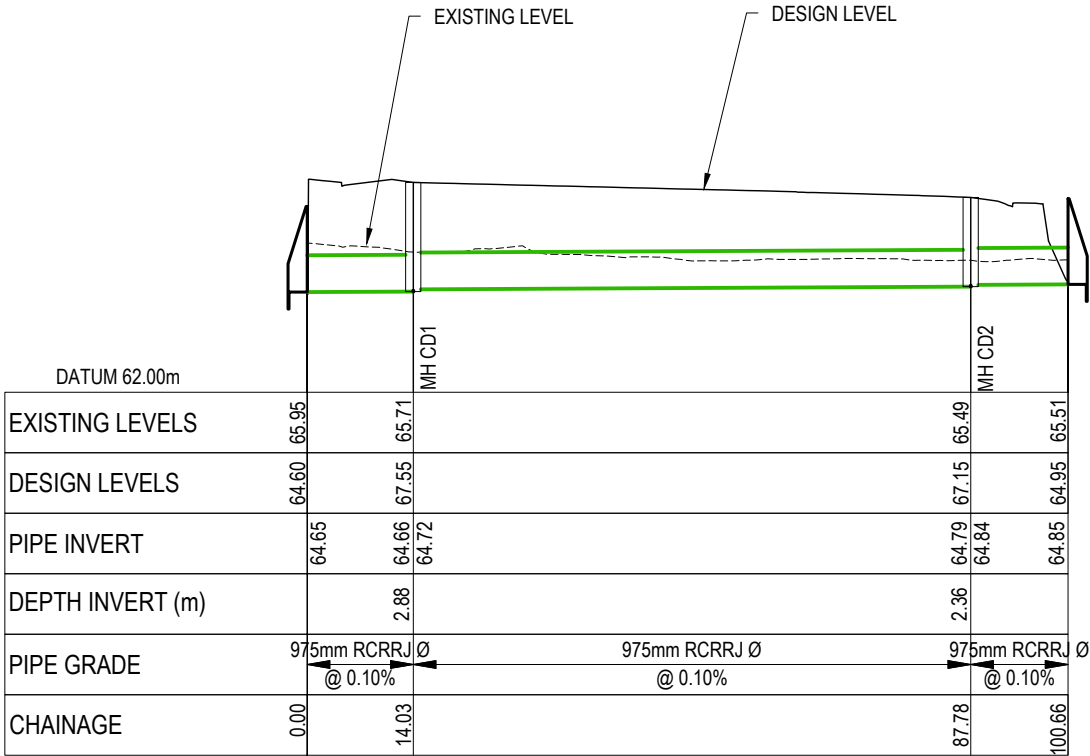
Project  
**ASHBOURNE  
RESIDENTIAL  
FOR  
MATAMATA  
DEVELOPMENTS LTD**

Title  
**PROPOSED  
STORMWATER  
LONGSECTIONS**

Project no.	289001		
Scale	AS SHOWN		
Cad file	C400-STORMWATER.DWG		
Drawing no.	C400-22	Rev	<b>A</b>

DATE: 11/1/25 FILE PATH: F:\MVEN\HAMITON\6 PROJECTS\289001 - STATION ROAD\7 DRAWING\11 ASHBOURNE RESIDENTIAL\C400-Stormwater.DWG

RESOURCE CONSENT



LONGSECTION - CONNECTION C & D - LINE 1  
SCALE 1:1000 HORI & 1:200 VERTICAL @ A3

- Notes
1. All works to be in accordance with Waikato Regional Infrastructure Technical Specifications.
  2. Co-ordinates in terms of NZ Geodetic Datum Mt Eden 2000. Levels in terms of the New Zealand Vertical Datum 2016.
  3. It is the contractors responsibility to locate all services that may be affected by his operations.
  4. All concrete SW pipe to be installed in accordance with AS/NZS 3725:2007 for buried concrete pipes and AS/NZ 4058:2007 for precast concrete pipes (pressure and non-pressure) as stipulated in the RITS 2018
  5. Approved hardfill is to be used in backfilling of all stormwater lines within the road reserve.
  6. Heavy duty manhole lids and frames to be used in trafficked areas.
  7. All catchpit leads shall be laid at 1% unless otherwise specified.
  8. All pipes ≤ 375Ø to be PVC-U SN16 instead of RRJ (concrete).
  9. All concrete lines are to be Class 4 RCRRJ unless otherwise specified.
  10. All lines to be abandoned shall be sealed at each end. Timing of all sealing to be coordinated with council staff.
  11. Pipe lengths shown on plan are from upstream pipe invert to downstream pipe invert.

Legend

----- EX GROUND LEVEL  
----- PROP GROUND LEVEL

A	FAST TRACK APP RFI	MKS	11/2025
Rev	Description	By	Date
	By	Date	
Survey	MAVEN	05/2024	
Design	MKS	11/2025	
Drawn	MKS	11/2025	
Checked	DJM	11/2025	



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Project

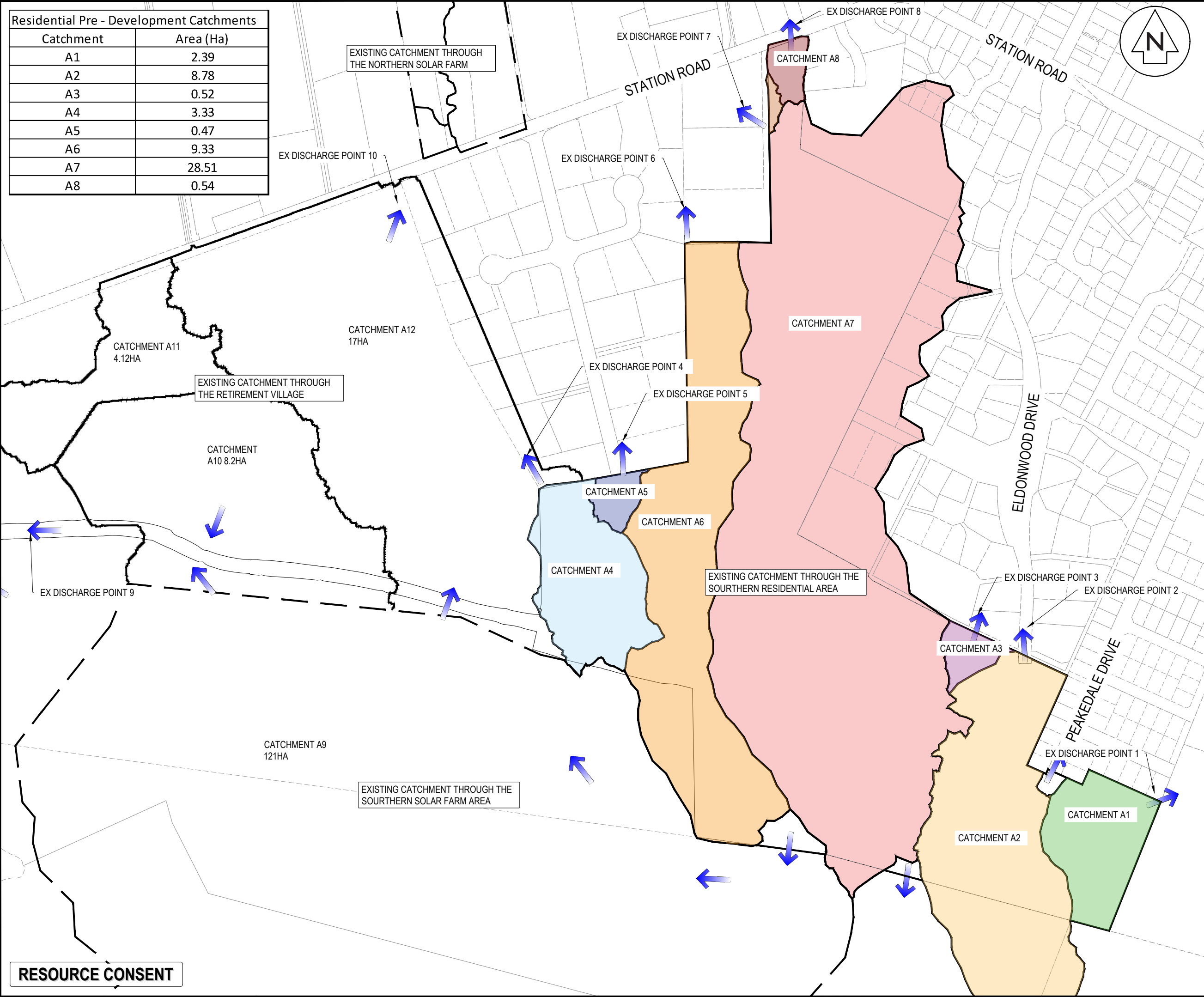
**ASHBOURNE  
RESIDENTIAL  
FOR  
MATAMATA  
DEVELOPMENTS LTD**

Title

**PROPOSED  
STORMWATER  
LONGSECTIONS**

Project no.	289001		
Scale	AS SHOWN		
Cad file	C400-STORMWATER.DWG		
Drawing no.	C400-23	Rev	<b>A</b>

Residential Pre - Development Catchments	
Catchment	Area (Ha)
A1	2.39
A2	8.78
A3	0.52
A4	3.33
A5	0.47
A6	9.33
A7	28.51
A8	0.54



B	FAST TRACK APP	RK	11/2025
A	FAST TRACK APP	RK	04/2025
Rev	Description	By	Date
		By	Date
Survey	MAVEN		05/2024
Design	MKS		02/2025
Drawn	MKS		02/2025
Checked	DJM		02/2025



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Project  
**ASHBOURNE  
RESIDENTIAL  
FOR  
MATAMATA  
DEVELOPMENTS LTD**

Title  
**PRE DEVELOPMENT  
CATCHMENT DISCHARGE  
PLAN - RES/RV & S.SF**

Project no.	289001		
Scale	1:5000 @ A3		
Cad file	C410- SW CATCHMENTS.DWG		
Drawing no.	C410-1	Rev	<b>B</b>

**RESOURCE CONSENT**



PRE DEVELOPMENT 10 YEAR= 0.52 m<sup>3</sup>/s  
PRE DEVELOPMENT 10 YEAR (80%)=0.416 m<sup>3</sup>/s  
POST DEVELOPMENT 10 YEAR=0.356 m<sup>3</sup>/s  
STORMWATER OUTFLOW INTO EXISTING DRAIN.

PRE DEVELOPMENT 10 YEAR= 4.22 m<sup>3</sup>/s  
PRE DEVELOPMENT 10 YEAR (80%)=3.3 m<sup>3</sup>/s  
POST DEVELOPMENT 10 YEAR=0.85 m<sup>3</sup>/s  
STORMWATER OUTFLOW INTO EXISTING DRAIN.

POST DEVELOPMENT DISCHARGE  
POINT WITH FLOW CONTROL INTO WAITOA RIVER

Residential Post - Deveopemnt Catchments	
Catchment	Area (Ha)
A	10.09
INFLOW TO A	3.28
B	19.50
C	6.00
D	6.36
INFLOW TO D	6.23

Legend  
PR OVERLAND FLOWPATH  
PR HIGH FLOW BYPASS DIRECTION

B	FAST TRACK APP	MKS	11/2025
A	FAST TRACK APP	RK	04/2025
Rev	Description	By	Date
		By	Date
Survey	MAVEN		05/2024
Design	MKS		02/2025
Drawn	MKS		02/2025
Checked	DJM		02/2025



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Project  
**ASHBOURNE  
RESIDENTIAL  
FOR  
MATAMATA  
DEVELOPMENTS LTD**

Title  
**POST DEVELOPMENT  
10 YR CATCHMENT  
DISCHARGE POINTS - RES**

Project no.	289001		
Scale	1:5000 @ A3		
Cad file	C410- SW CATCHMENTS.DWG		
Drawing no.	C410-2	Rev	<b>B</b>

RESOURCE CONSENT



PRE DEVELOPMENT 100 YEAR= 1.06 m<sup>3</sup>/s  
PRE DEVELOPMENT 100 YEAR (80%)=0.848 m<sup>3</sup>/s  
POST DEVELOPMENT 100 YEAR=0.827 m<sup>3</sup>/s  
STORMWATER OUTFLOW INTO EXISTING DRAIN.

PRE DEVELOPMENT 100 YEAR (80%  
CATCHMENT B)=9.19 m<sup>3</sup>/s  
POST DEVELOPMENT 100 YEAR=7.6 m<sup>3</sup>/s  
STORMWATER OUTFLOW INTO EXISTING DRAIN.

POST DEVELOPMENT DISCHARGE  
POINT WITH FLOW CONTROL INTO WAITOA RIVER

Residential Post - Deveopemnt Catchments	
Catchment	Area (Ha)
A	10.09
INFLOW TO A	3.28
B	19.50
C	6.00
D	6.36
INFLOW TO D	6.23

Legend  
PR OVERLAND FLOWPATH  
PR HIGH FLOW BYPASS DIRECTION

A	FAST TRACK APP	RK	11/2025
Rev	Description	By	Date
		By	Date
Survey	MAVEN		05/2024
Design	MKS		11/2025
Drawn	MKS		11/2025
Checked	DJM		11/2025



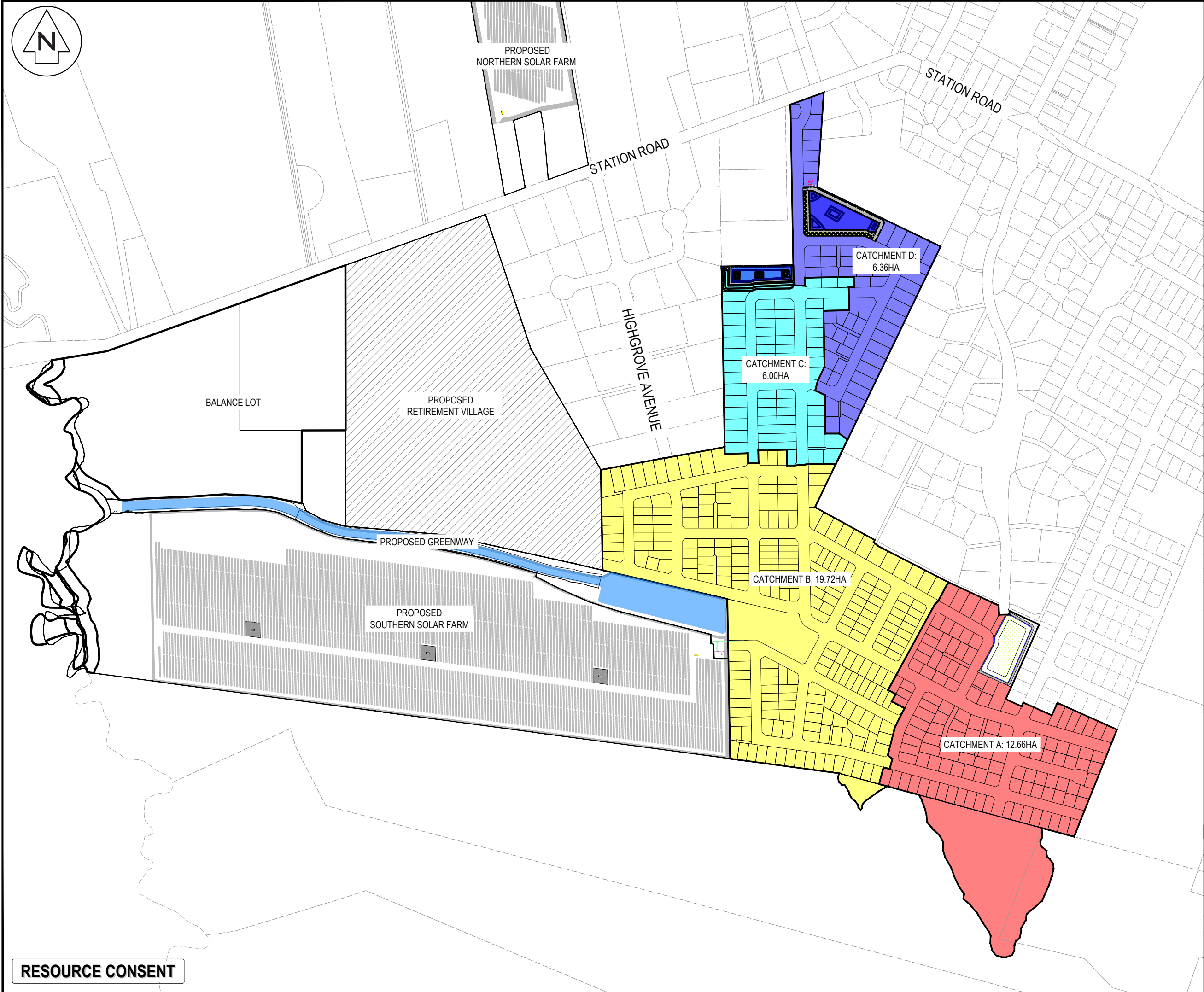
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Project  
**ASHBOURNE  
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FOR  
MATAMATA  
DEVELOPMENTS LTD**

Title  
**POST DEVELOPMENT  
100 YR CATCHMENT  
DISCHARGE POINTS - RES**

Project no.	289001
Scale	1:5000 @ A3
Cad file	C410- SW CATCHMENTS.DWG
Drawing no.	C410-3
Rev	<b>A</b>

RESOURCE CONSENT



- Notes
1. All works to be in accordance with Waikato Regional Infrastructure Technical Specifications.
  2. Co-ordinates in terms of NZ Geodetic Datum Mount Eden 2000.
  3. Levels in terms of the New Zealand Vertical Datum 2016.
  4. It is the contractors responsibility to locate all services that may be affected by his operations.
  5. Approved hardfill is to be used in backfilling of all stormwater lines within the road reserve.
  6. All catchpit leads shall be laid at 1% unless otherwise specified.
  7. All lines to be abandoned shall be sealed at each end. Timing of all sealing to be coordinated with council staff.

Legend	
	EX BOUNDARY
	CATCHMENT BDY
	PROP LOT BOUNDARY
	CATCHMENT A
	CATCHMENT B
	CATCHMENT C
	CATCHMENT D

D	FAST TRACK APP	MKS	11/2025
C	FAST TRACK APP	MKS	05/2025
B	FAST TRACK APP	MKS	04/2025
A	FAST TRACK APP	MKS	04/2025
Rev	Description	By	Date
		By	Date
Survey	MAVEN		05/2024
Design	MKS		02/2025
Drawn	MKS		02/2025
Checked	DJM		05/2025



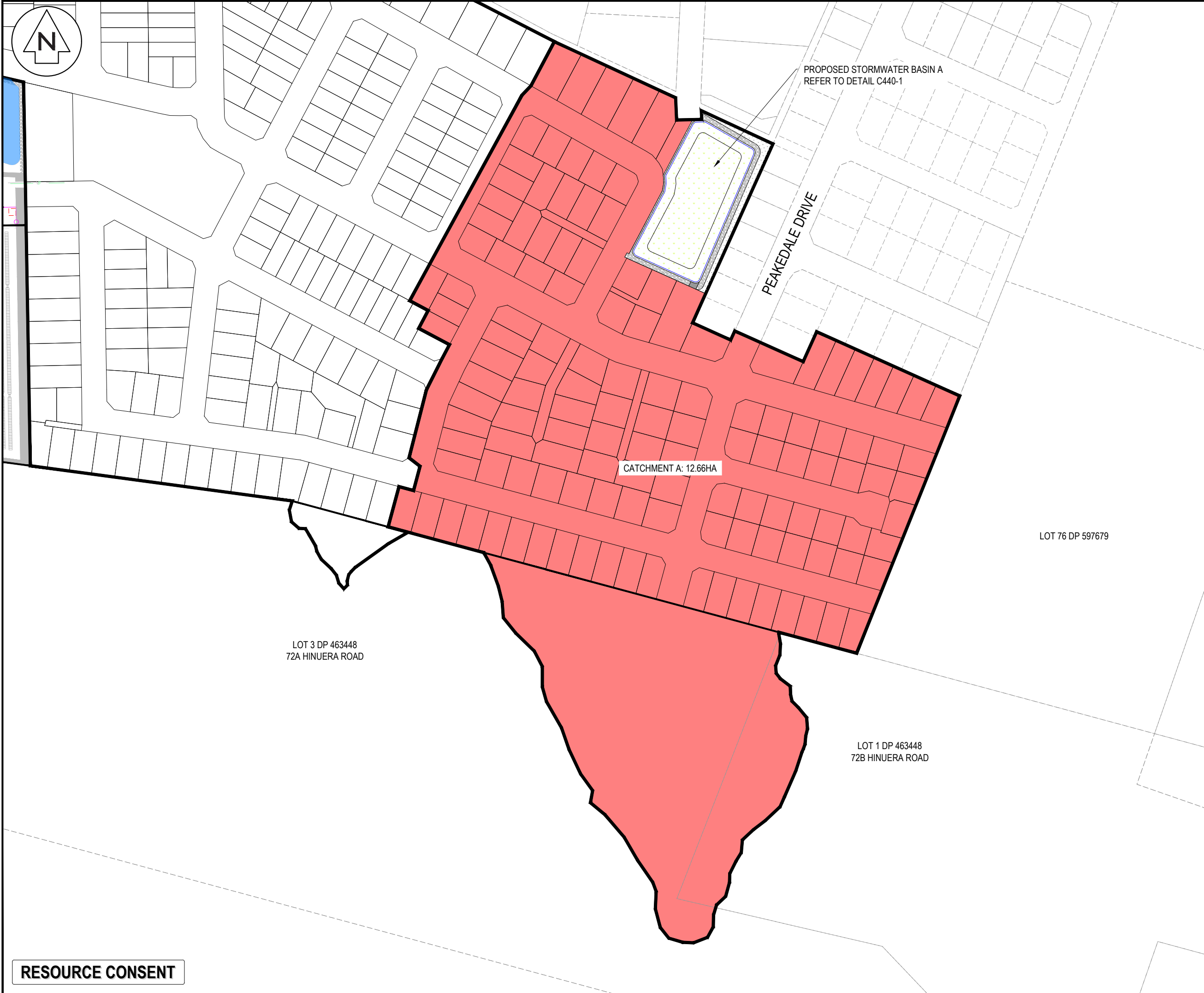
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Project  
**ASHBOURNE  
RESIDENTIAL  
FOR  
MARAMARA  
DEVELOPMENTS LTD**

Title  
**PROPOSED STORMWATER  
BASIN CATCHMENT  
OVERVIEW PLAN**

Project no.	289001		
Scale	1:6000 @ A3		
Cad file	C420-SW BASIN CATCHMENTS.DWG		
Drawing no.	C420	Rev	<b>D</b>

RESOURCE CONSENT



- Notes
1. All works to be in accordance with Waikato Regional Infrastructure Technical Specifications.
  2. Co-ordinates in terms of NZ Geodetic Datum Mount Eden 2000.
  3. Levels in terms of the New Zealand Vertical Datum 2016.
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Legend	
	EX BOUNDARY
	CATCHMENT BDY
	PROP LOT BOUNDARY
	CATCHMENT A
	CATCHMENT B
	CATCHMENT C
	CATCHMENT D

C	FAST TRACK APP	MKS	05/2025
B	FAST TRACK APP	MKS	04/2025
A	FAST TRACK APP	MKS	04/2025
Rev	Description	By	Date
		By	Date
Survey	MAVEN		05/2024
Design	MKS		02/2025
Drawn	MKS		02/2025
Checked	DJM		04/2025

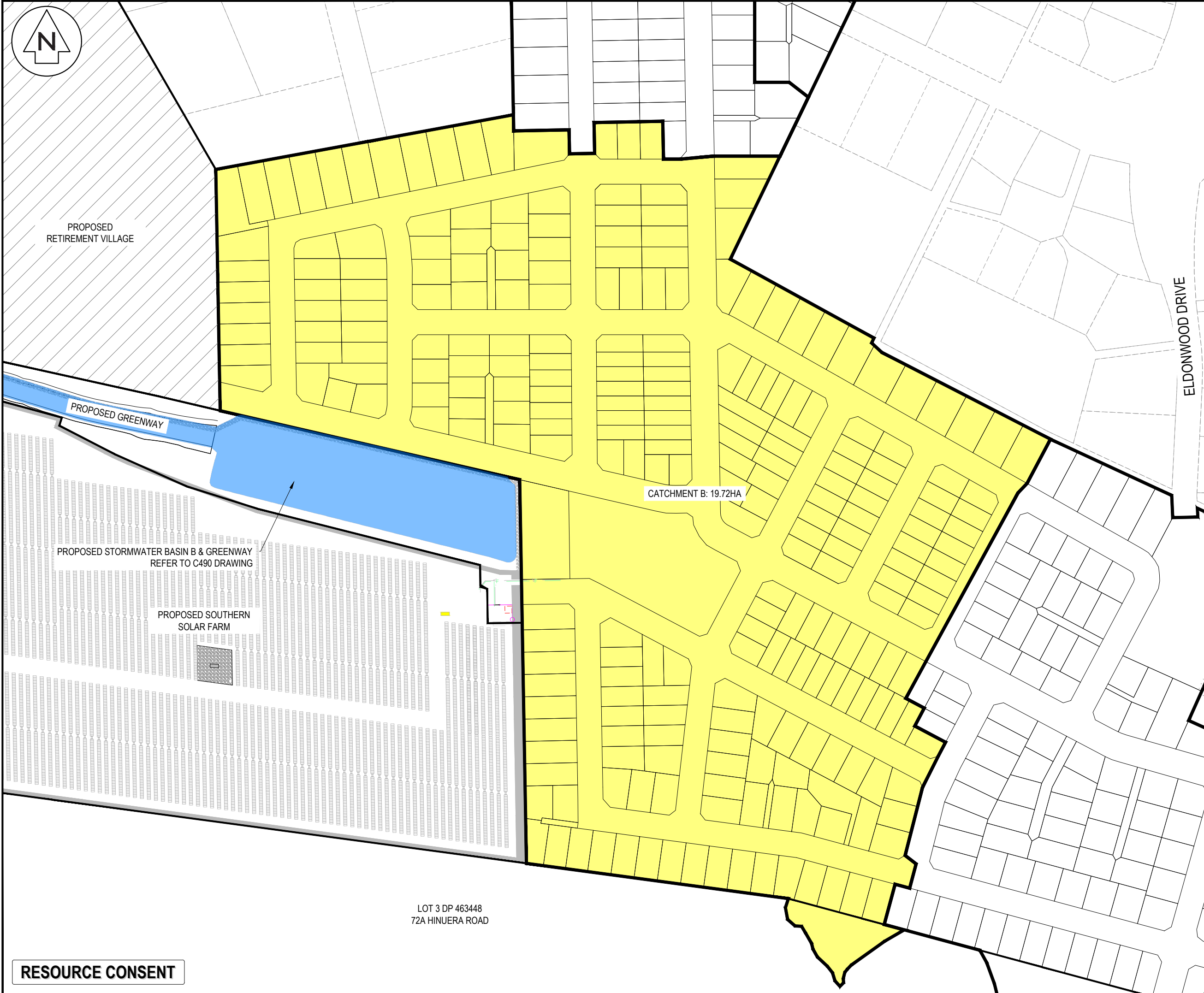


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FOR  
MARAMARA  
DEVELOPMENTS LTD**

Title  
**PROPOSED STORMWATER  
BASIN CATCHMENT  
PLAN A**

Project no.	289001		
Scale	1:2000 @ A3		
Cad file	C420-SW BASIN CATCHMENTS.DWG		
Drawing no.	C420-1	Rev	C



Notes

1. All works to be in accordance with Waikato Regional Infrastructure Technical Specifications.
2. Co-ordinates in terms of NZ Geodetic Datum Mount Eden 2000.
3. Levels in terms of the New Zealand Vertical Datum 2016.
4. It is the contractors responsibility to locate all services that may be affected by his operations.
5. Approved hardfill is to be used in backfilling of all stormwater lines within the road reserve.
6. All catchpit leads shall be laid at 1% unless otherwise specified.
7. All lines to be abandoned shall be sealed at each end. Timing of all sealing to be coordinated with council staff.

Legend

	EX BOUNDARY
	CATCHMENT BDY
	PROP LOT BOUNDARY
	CATCHMENT A
	CATCHMENT B
	CATCHMENT C
	CATCHMENT D

C	FAST TRACK APP	MKS	05/2025
B	FAST TRACK APP	MKS	04/2025
A	FAST TRACK APP	MKS	04/2025
Rev	Description	By	Date
		By	Date
Survey	MAVEN		05/2024
Design	MKS		02/2025
Drawn	MKS		02/2025
Checked	DJM		04/2025

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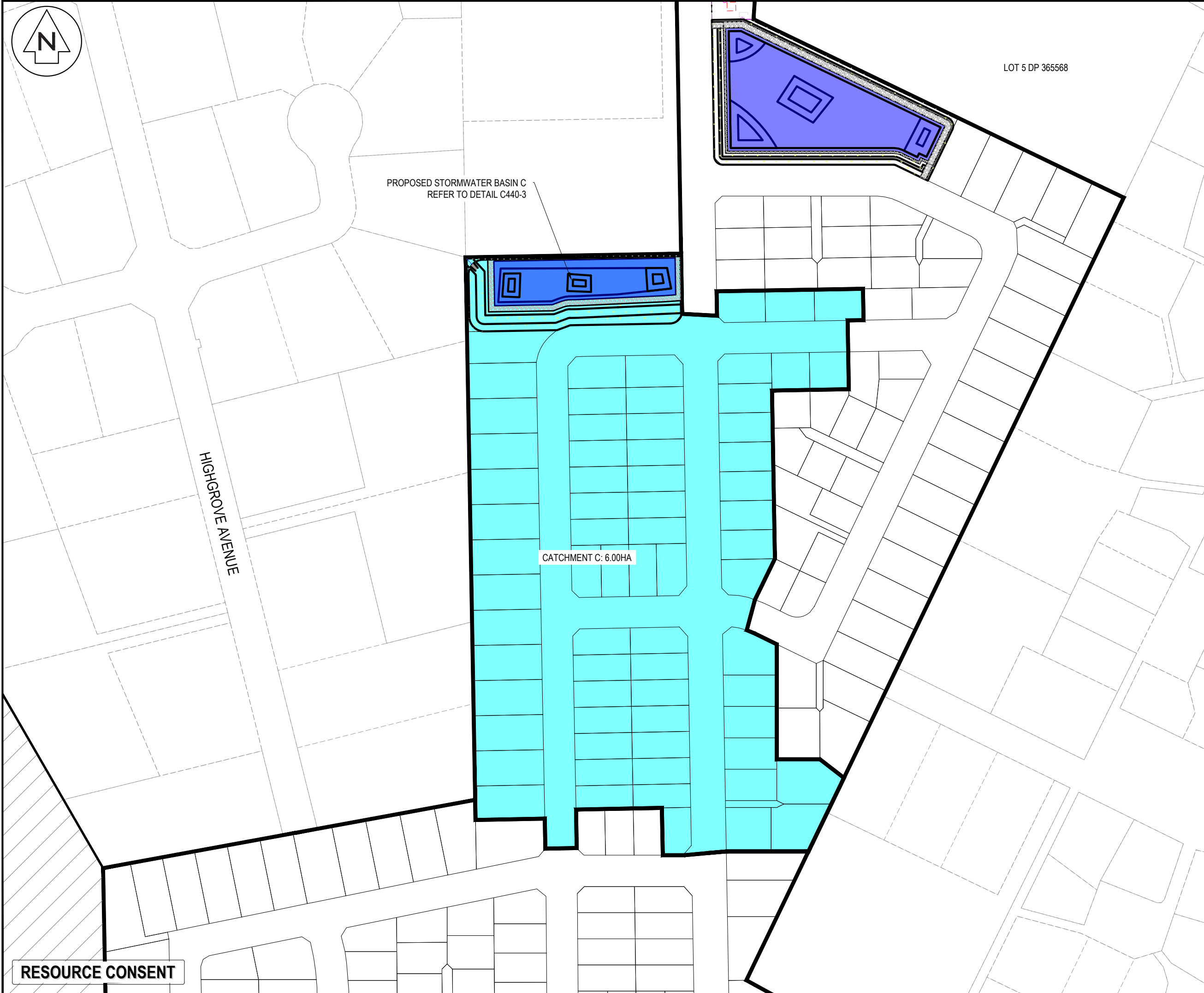
Project

**ASHBOURNE  
RESIDENTIAL  
FOR  
MARAMARA  
DEVELOPMENTS LTD**

Title

**PROPOSED STORMWATER  
BASIN CATCHMENT  
PLAN B**

Project no.	289001		
Scale	1:2500 @ A3		
Cad file	C420-SW BASIN CATCHMENTS.DWG		
Drawing no.	C420-2	Rev	<b>C</b>



- Notes
1. All works to be in accordance with Waikato Regional Infrastructure Technical Specifications.
  2. Co-ordinates in terms of NZ Geodetic Datum Mount Eden 2000.
  3. Levels in terms of the New Zealand Vertical Datum 2016.
  4. It is the contractors responsibility to locate all services that may be affected by his operations.
  5. Approved hardfill is to be used in backfilling of all stormwater lines within the road reserve.
  6. All catchpit leads shall be laid at 1% unless otherwise specified.
  7. All lines to be abandoned shall be sealed at each end. Timing of all sealing to be coordinated with council staff.

Legend	
	EX BOUNDARY
	CATCHMENT BDY
	PROP LOT BOUNDARY
	CATCHMENT A
	CATCHMENT B
	CATCHMENT C
	CATCHMENT D

D	FAST TRACK APP	MKS	11/2025
C	FAST TRACK APP	MKS	05/2025
B	FAST TRACK APP	MKS	04/2025
A	FAST TRACK APP	MKS	04/2025
Rev	Description	By	Date
		By	Date
Survey	MAVEN		05/2024
Design	MKS		02/2025
Drawn	MKS		02/2025
Checked	DJM		04/2025

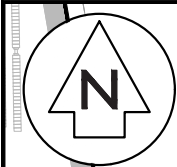


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Project  
**ASHBOURNE  
RESIDENTIAL  
FOR  
MARAMARA  
DEVELOPMENTS LTD**

Title  
**PROPOSED STORMWATER  
BASIN CATCHMENT  
PLAN C**

Project no.	289001		
Scale	1:2000 @ A3		
Cad file	C420-SW BASIN CATCHMENTS.DWG		
Drawing no.	C420-3	Rev	<b>D</b>



STATION ROAD

STATION ROAD

STATION ROAD

LOT 5 DP 365568

PROPOSED STORMWATER BASIN D  
REFER TO DETAIL C440-5

CATCHMENT D: 6.36HA

HIGHGROVE AVENUE

ELDONWOOD DRIVE

RESOURCE CONSENT

- Notes
1. All works to be in accordance with Waikato Regional Infrastructure Technical Specifications.
  2. Co-ordinates in terms of NZ Geodetic Datum Mount Eden 2000.
  3. Levels in terms of the New Zealand Vertical Datum 2016.
  4. It is the contractors responsibility to locate all services that may be affected by his operations.
  5. Approved hardfill is to be used in backfilling of all stormwater lines within the road reserve.
  6. All catchpit leads shall be laid at 1% unless otherwise specified.
  7. All lines to be abandoned shall be sealed at each end. Timing of all sealing to be coordinated with council staff.

Legend	
	EX BOUNDARY
	CATCHMENT BDY
	PROP LOT BOUNDARY
	CATCHMENT A
	CATCHMENT B
	CATCHMENT C
	CATCHMENT D

D	FAST TRACK APP	MKS	11/2025
C	FAST TRACK APP	MKS	05/2025
B	FAST TRACK APP	MKS	04/2025
A	FAST TRACK APP	MKS	04/2025
Rev	Description	By	Date
		By	Date
Survey	MAVEN		05/2024
Design	MKS		02/2025
Drawn	MKS		02/2025
Checked	DJM		04/2025

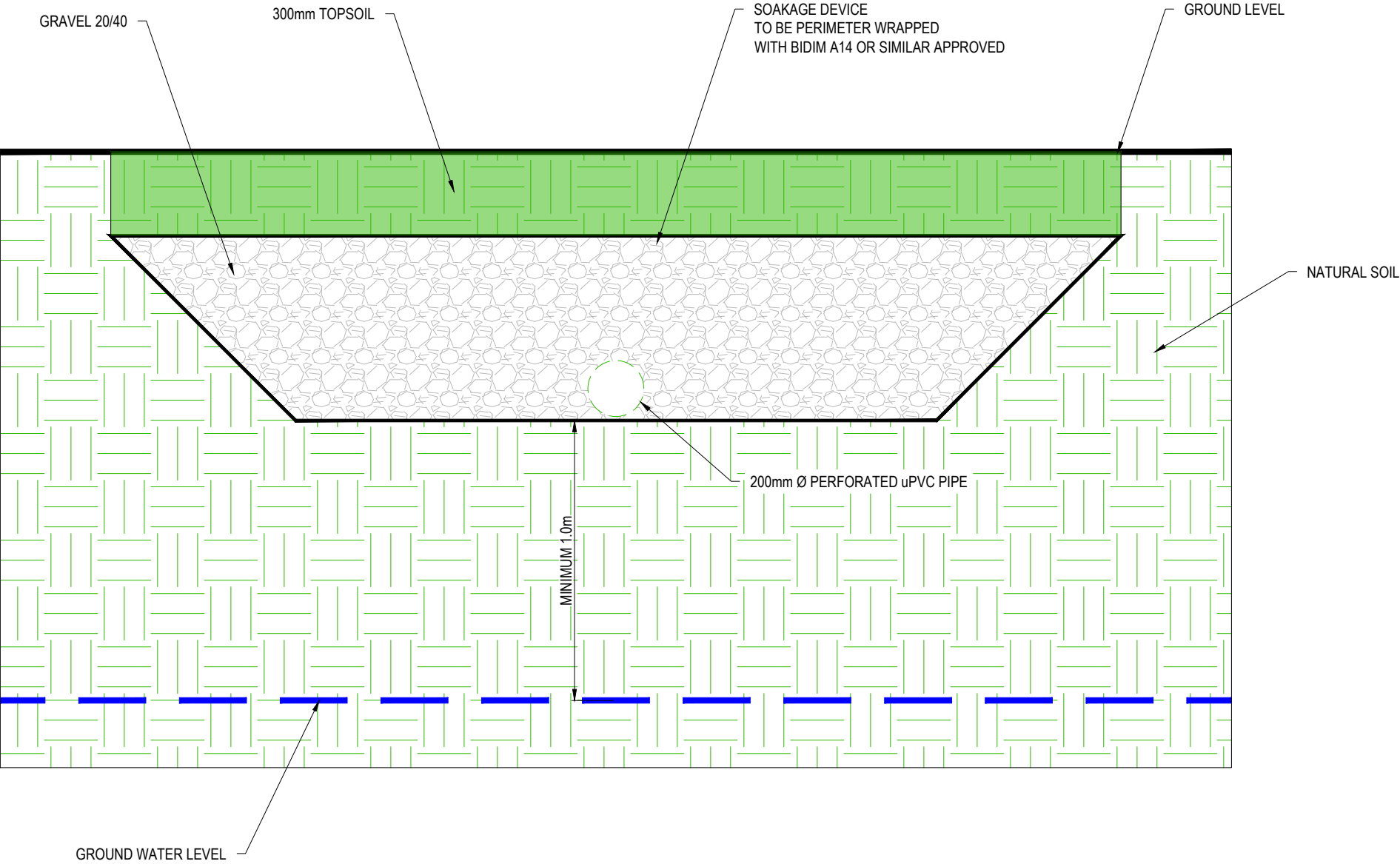


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Project  
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RESIDENTIAL  
FOR  
MARAMARA  
DEVELOPMENTS LTD**

Title  
**PROPOSED STORMWATER  
BASIN CATCHMENT  
PLAND D**

Project no.	289001		
Scale	1:2500 @ A3		
Cad file	C420-SW BASIN CATCHMENTS.DWG		
Drawing no.	C420-4	Rev	D



SOAKAGE DEVICE - TYPICAL CROSS SECTION  
SCALE: 1:20 @ A3

- Notes
1. All works to be in accordance with Waikato Regional Infrastructure Technical Specifications.
  2. Co-ordinates in terms of NZ Geodetic Datum Mount Eden 2000.
  3. Levels in terms of the New Zealand Vertical Datum 2016.
  4. It is the contractors responsibility to locate all services that may be affected by his operations.
  5. Approved hardfill is to be used in backfilling of all stormwater lines within the road reserve.
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A	FAST TRACK APP	MKS	04/2025
Rev	Description	By	Date
		By	Date
Survey	MAVEN		05/2024
Design	MKS		02/2024
Drawn	MKS		02/2024
Checked	DJM		04/2025

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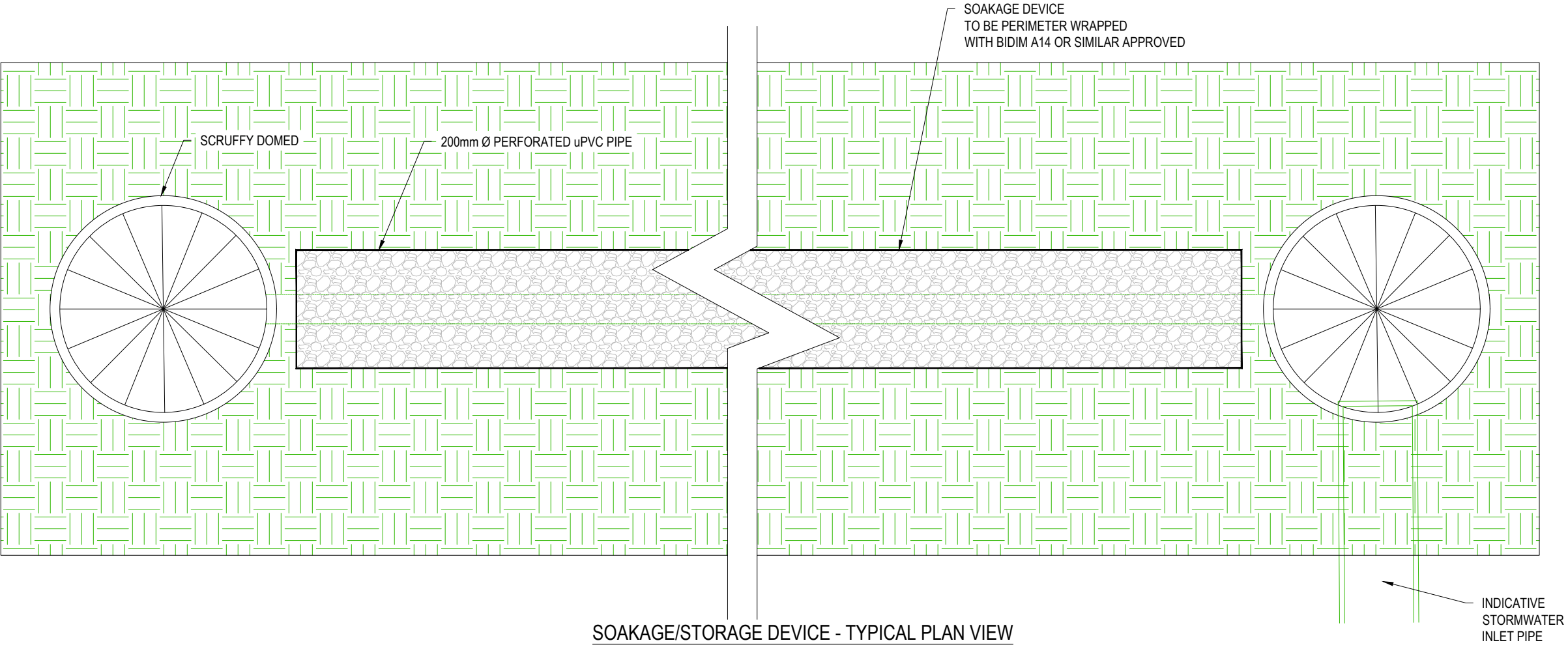
Project  
**ASHBOURNE  
RESIDENTIAL  
FOR  
MATAMATA  
DEVELOPMENTS**

Title  
**PROPOSED  
SOAKAGE DEVICE  
CROSS SECTION**

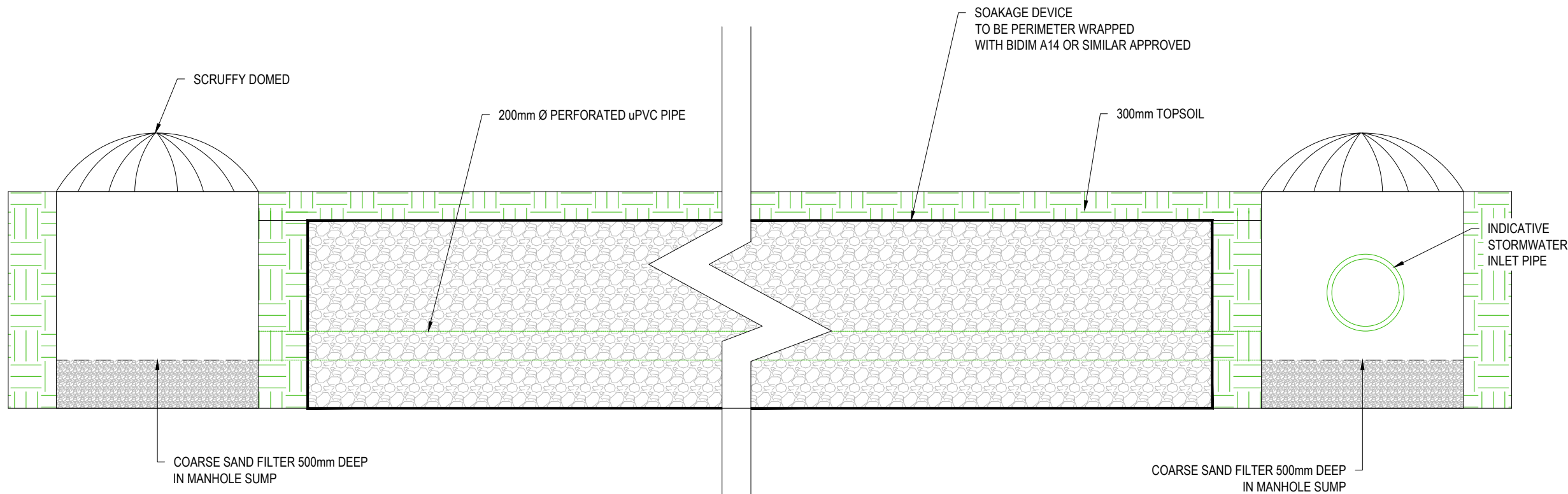
Project no.	289001
Scale	1:20 @ A3
Cad file	C430-SW DEVICE DETAILS.DWG
Drawing no.	C430-1
Rev	<b>A</b>

RESOURCE CONSENT

DATE: 11/1/25 FILEPATH: F:\Maven\Hamilton\6. PROJECTS\88001 - STATION ROAD\7. DRAWING\11. ASHBOURNE RESIDENTIAL\0430-SW DEVICE DETAILS.DWG



SOAKAGE/STORAGE DEVICE - TYPICAL PLAN VIEW  
SCALE: 1:50 @ A3



SOAKAGE DEVICE - TYPICAL LONGSECTION  
SCALE: 1:50 @ A3

RESOURCE CONSENT

- Notes
1. All works to be in accordance with Waikato Regional Infrastructure Technical Specifications.
  2. Co-ordinates in terms of NZ Geodetic Datum Mount Eden 2000.
  3. Levels in terms of the New Zealand Vertical Datum 2016.
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B	FAST TRACK APP	MKS	05/2025
A	FAST TRACK APP	MKS	04/2025
Rev	Description	By	Date
		By	Date
Survey	MAVEN		05/2024
Design	MKS		02/2024
Drawn	MKS		02/2024
Checked	DJM		05/2025

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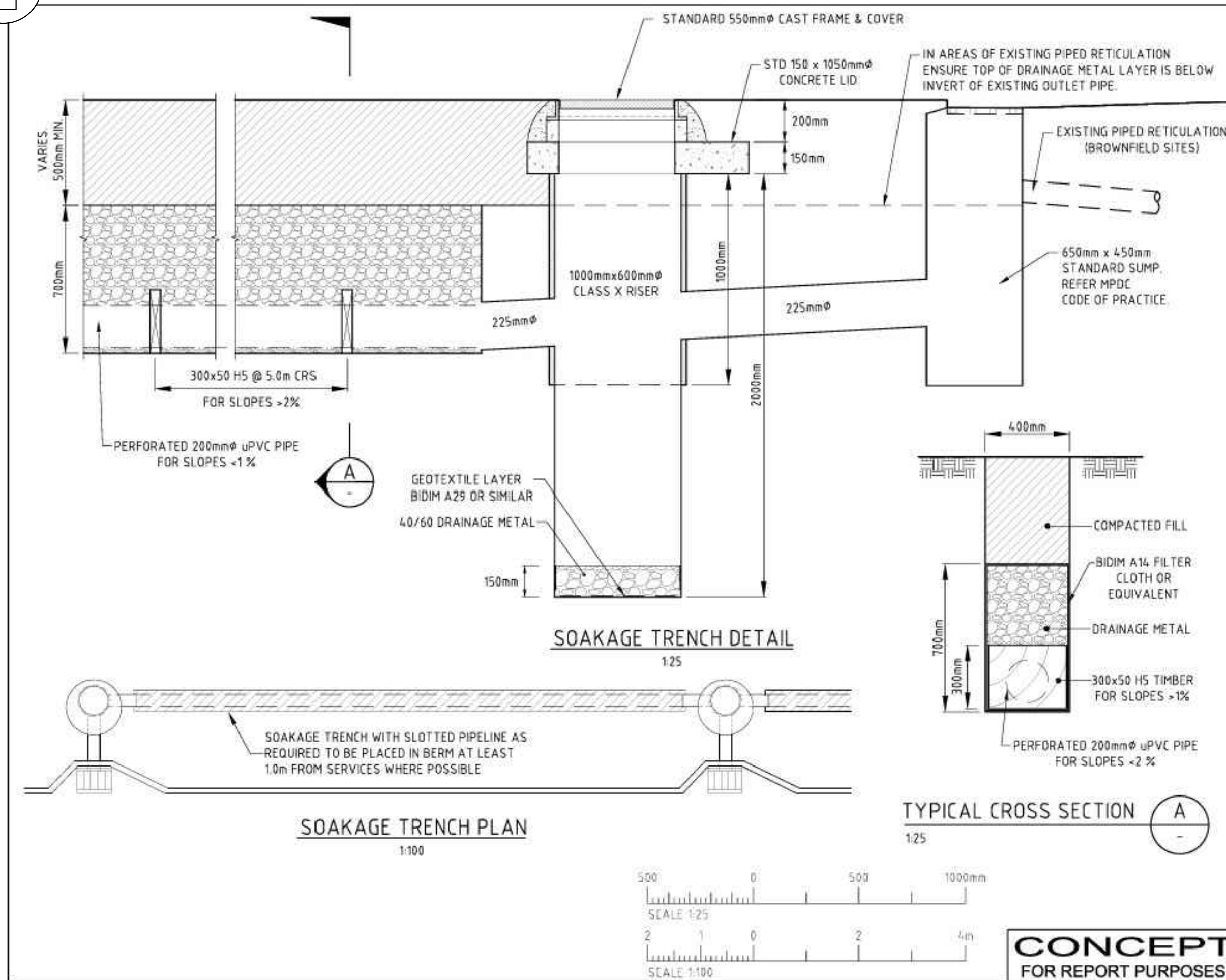
Project  
**ASHBOURNE  
RESIDENTIAL  
FOR  
MATAMATA  
DEVELOPMENTS**

Title  
**PROPOSED  
SOAKAGE DEVICE  
CROSS SECTION**

Project no.	289001
Scale	AS SHOWN
Cad file	C430-SW DEVICE DETAILS.DWG
Drawing no.	C430-2
Rev	B



SOAKAGE TRENCH DETAIL PLAN DERIVED FROM  
MPDC SOAKAGE DESIGN PROCEDURES AND GUIDELINES  
- APPENDIX C



A	FAST TRACK APP	MKS	04/2025
Rev	Description	By	Date
Survey	MAVEN		05/2024
Design	MKS		11/2024
Drawn	MKS		11/2024
Checked	DJM		04/2025



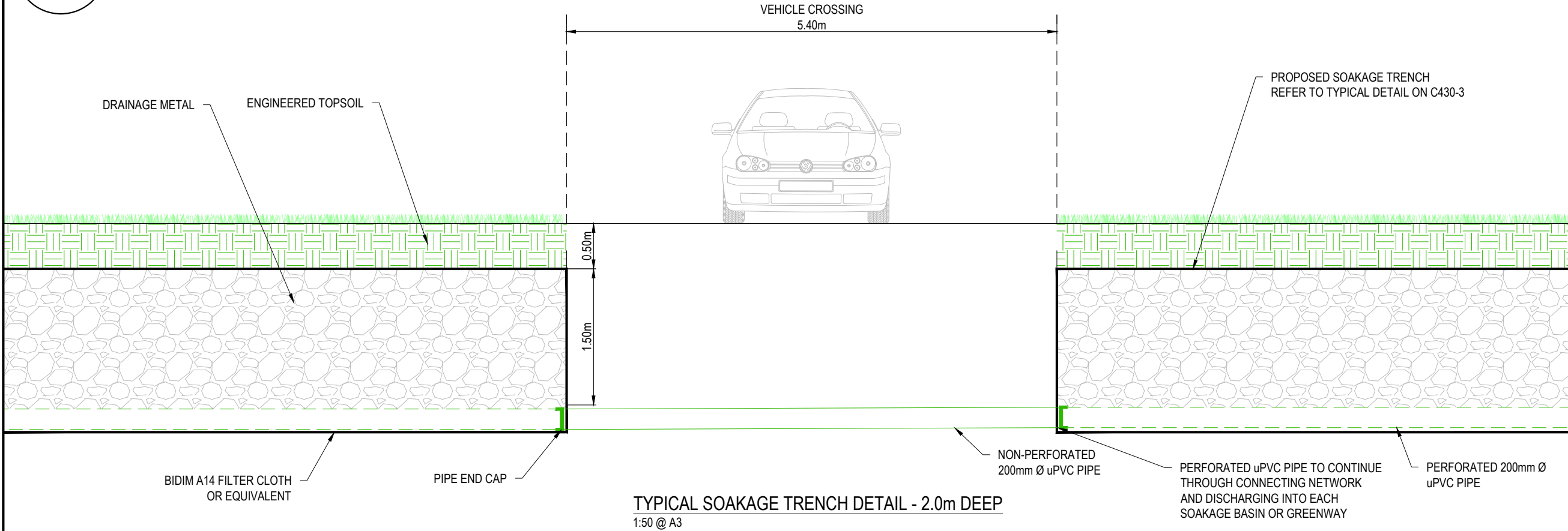
Project  
**ASHBOURNE  
RESIDENTIAL  
FOR  
MATAMATA  
DEVELOPMENTS**

Title  
**MPDC  
SOAKAGE TRENCH  
DETAIL PLAN**

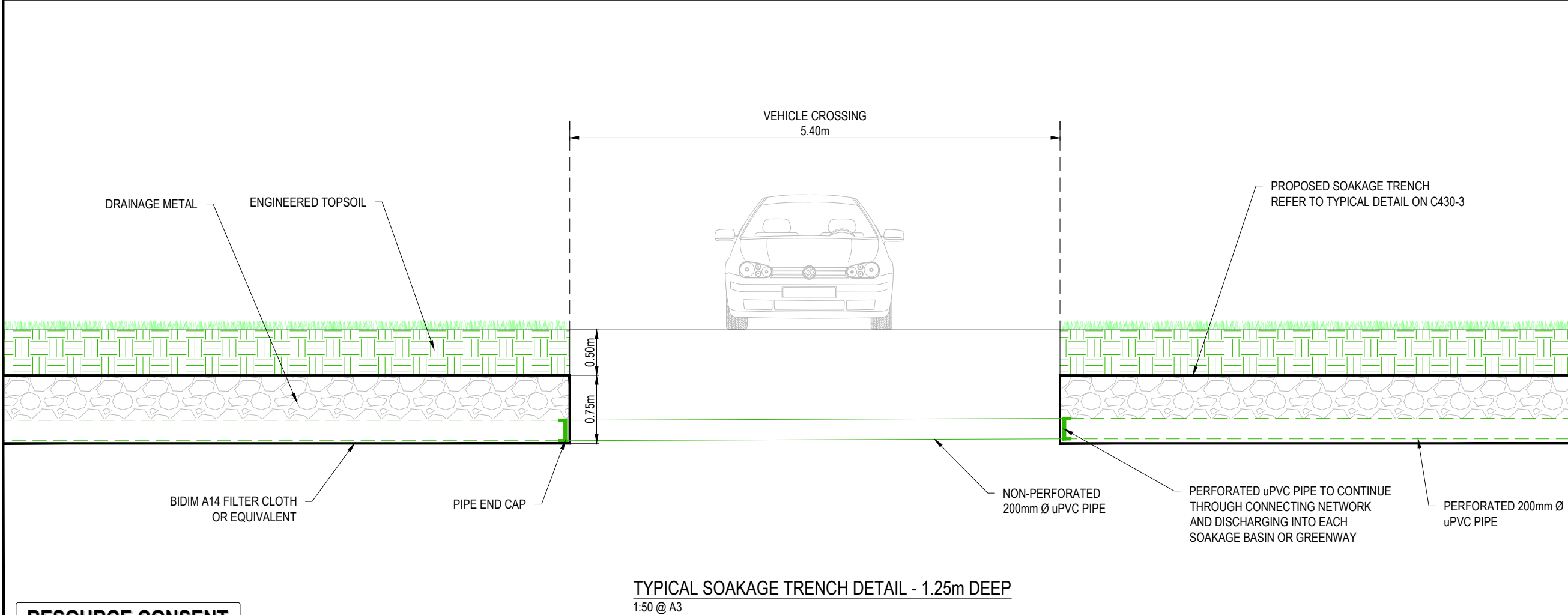
Project no.	289001
Scale	-
Cad file	C430-SW DEVICE DETAILS.DWG
Drawing no.	C430-3
Rev	A

RESOURCE CONSENT

TYPICAL SOAKAGE TRENCH - DETAIL PLAN  
SCALE: N.T.S

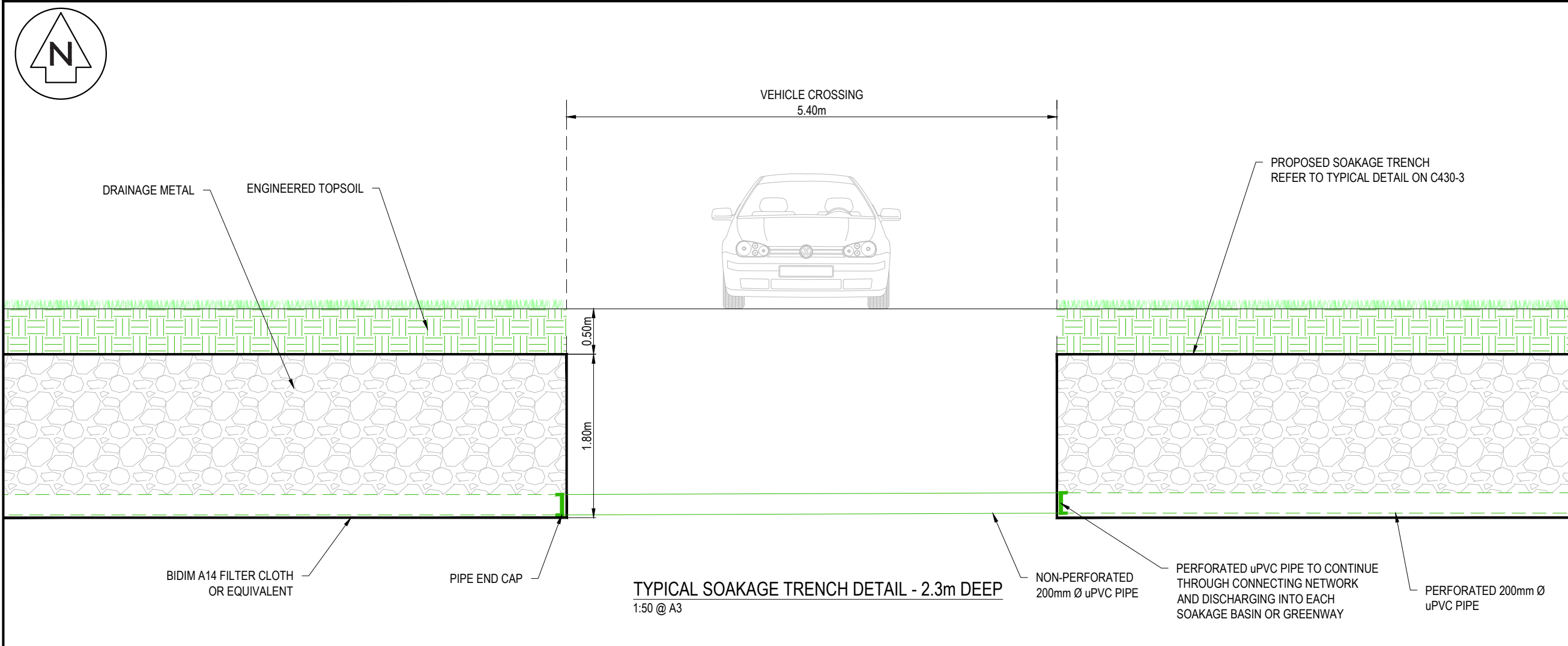


- Notes
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  3. Levels in terms of the New Zealand Vertical Datum 2016.
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  7. All lines to be abandoned shall be sealed at each end. Timing of all sealing to be coordinated with council staff.



B	FAST TRACK APP	MKS	11/2025
A	FAST TRACK APP	MKS	04/2025
Rev	Description	By	Date
		By	Date
Survey	MAVEN		05/2024
Design	MKS		12/2024
Drawn	MKS		12/2024
Checked	DJM		04/2025
<div><div><div>M</div><div>MAVEN</div></div><div><div>Maven Waikato</div><div>07 242 0601</div><div>info@maven.co.nz</div><div>www.maven.co.nz</div><div>Level 1 286 Victoria Street, Hamilton</div><div>New Zealand</div></div></div>			
Project <b>ASHBOURNE RESIDENTIAL FOR MATAMATA DEVELOPMENTS</b>			
Title <b>ROADSIDE TYPICAL SOAKAGE TRENCH DETAILS</b>			
Project no.	289001		
Scale	AS SHOWN		
Cad file	C430-SW DEVICE DETAILS.DWG		
Drawing no.	C430-4	Rev	<b>B</b>

RESOURCE CONSENT



- Notes
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  3. Levels in terms of the New Zealand Vertical Datum 2016.
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A	FAST TRACK APP	MKS	11/2025
Rev	Description	By	Date
		By	Date
Survey	MAVEN		05/2024
Design	MKS		11/2025
Drawn	MKS		11/2025
Checked	DJM		11/2025

M

MAVEN

Maven Waikato

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www.maven.co.nz

Level 1 286 Victoria Street, Hamilton

New Zealand

Project

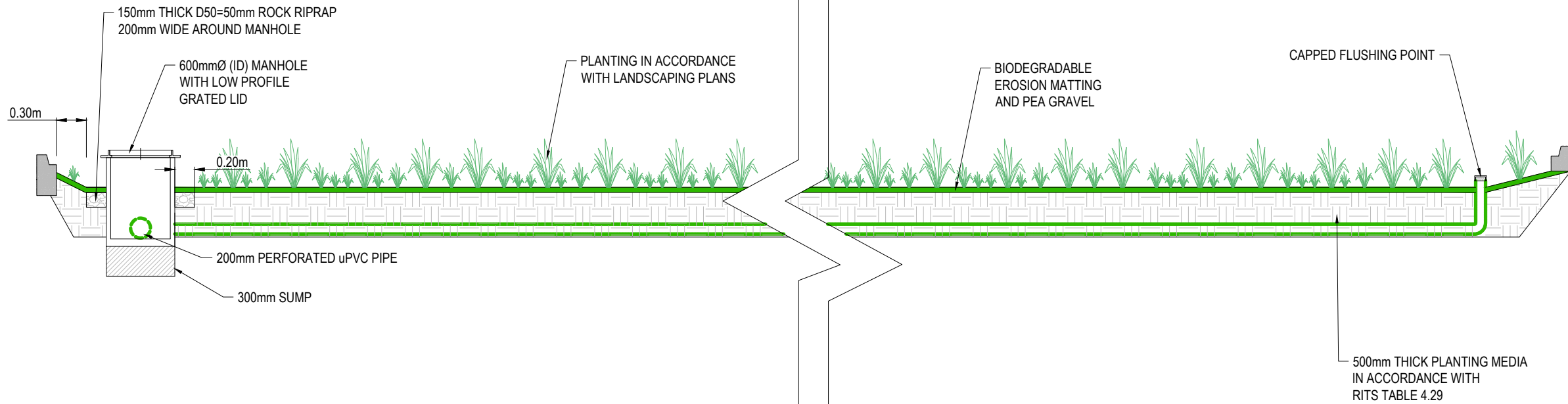
**ASHBOURNE  
RESIDENTIAL  
FOR  
MATAMATA  
DEVELOPMENTS**

Title

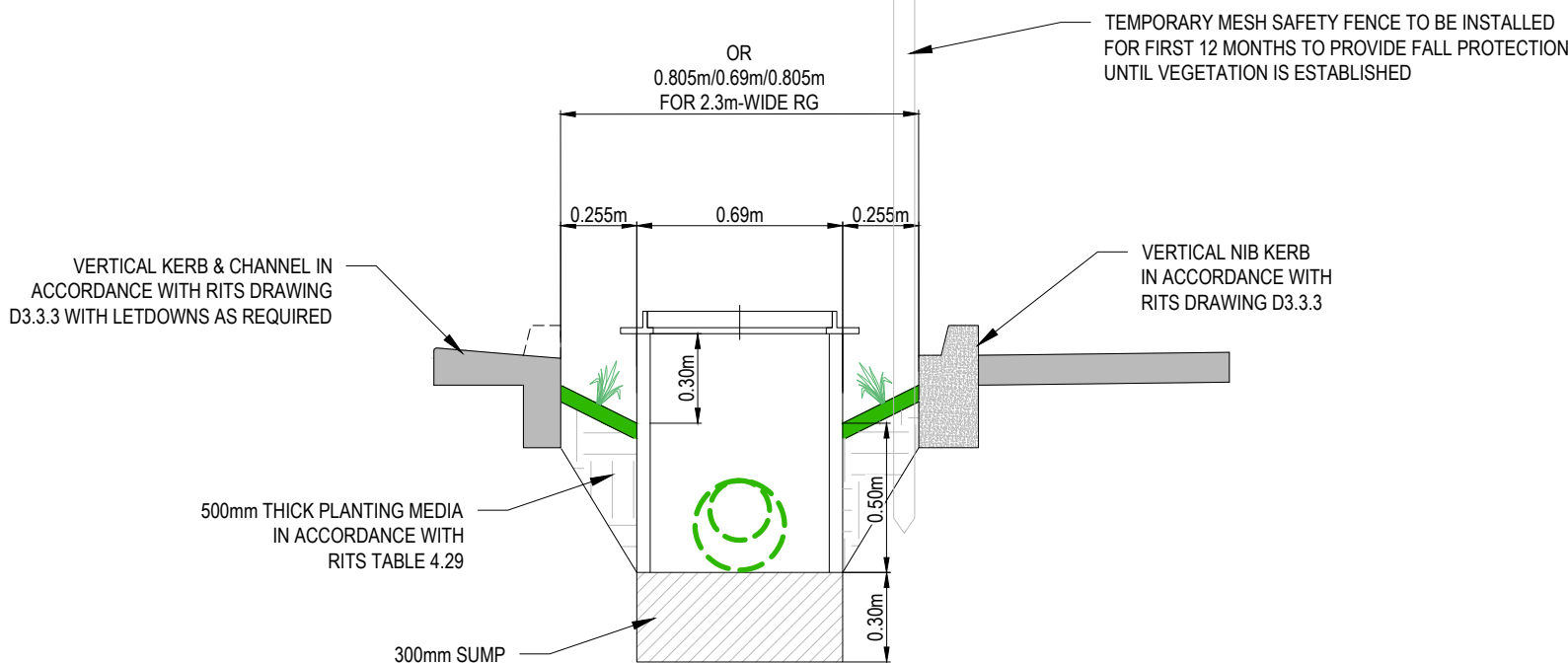
**ROADSIDE TYPICAL  
SOAKAGE TRENCH  
DETAILS**

Project no.	289001		
Scale	AS SHOWN		
Cad file	C430-SW DEVICE DETAILS.DWG		
Drawing no.	C430-4A	Rev	A

RESOURCE CONSENT



TYPICAL RAINGARDEN PROFILE  
1:50 @ A3



TYPICAL RAINGARDEN PROFILE  
1:50 @ A3

- Notes
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  2. Co-ordinates in terms of NZ Geodetic Datum Mount Eden 2000.
  3. Levels in terms of the New Zealand Vertical Datum 2016.
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D	FAST TRACK APP	MKS	11/2025
C	FAST TRACK APP	MKS	05/2025
B	FAST TRACK APP	MKS	05/2025
A	FAST TRACK APP	MKS	04/2025
Rev	Description	By	Date
		By	Date
Survey	MAVEN		05/2024
Design	MKS		04/2025
Drawn	MKS		04/2025
Checked	DJM		05/2025

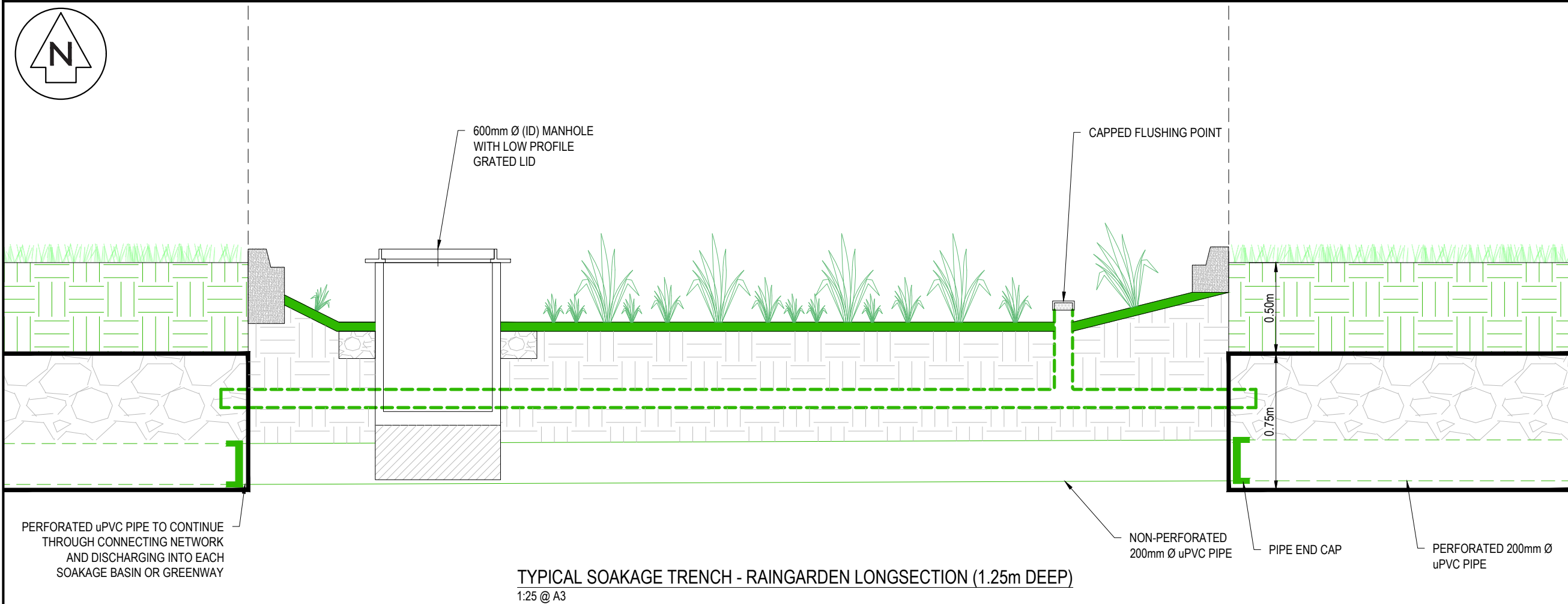


Project  
**ASHBOURNE  
RESIDENTIAL  
FOR  
MATAMATA  
DEVELOPMENTS**

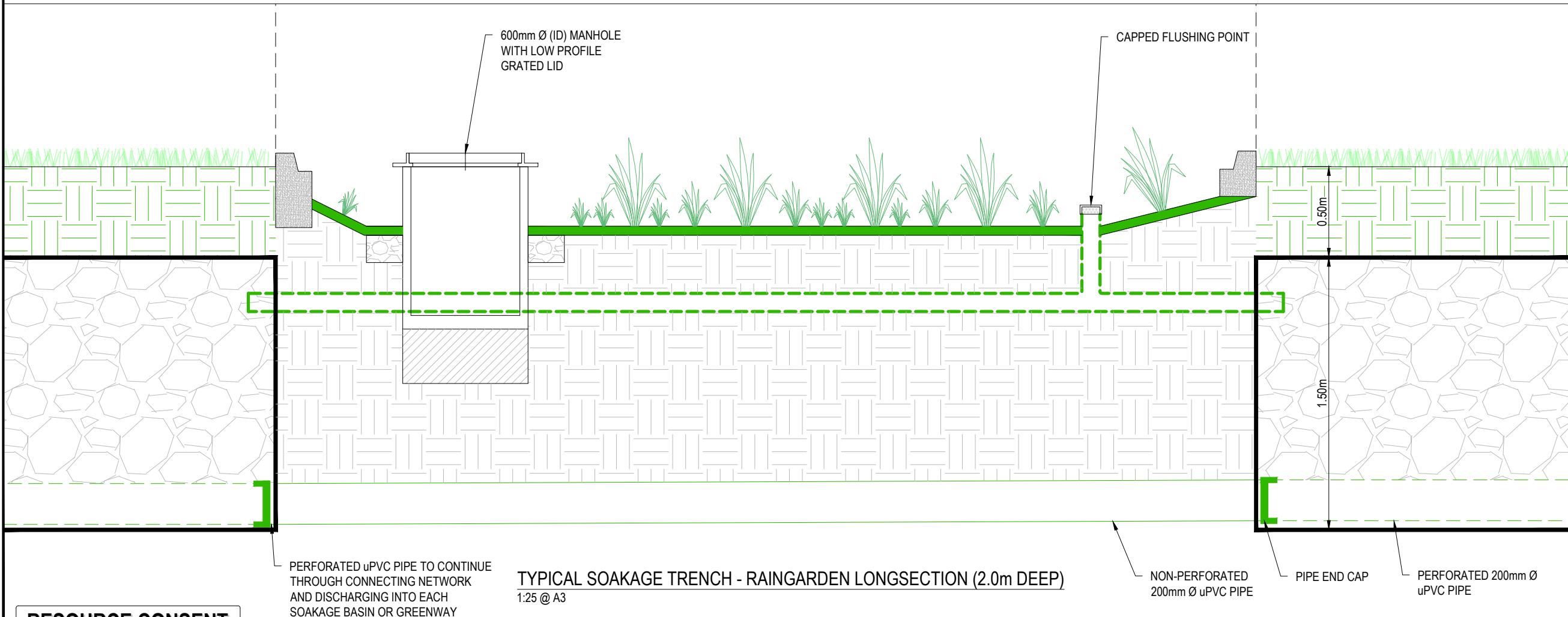
Title  
**TYPICAL  
RAINGARDEN  
DETAILS**

Project no.	289001		
Scale	AS SHOWN		
Cad file	C430-SW DEVICE DETAILS.DWG		
Drawing no.	C430-5	Rev	D

RESOURCE CONSENT



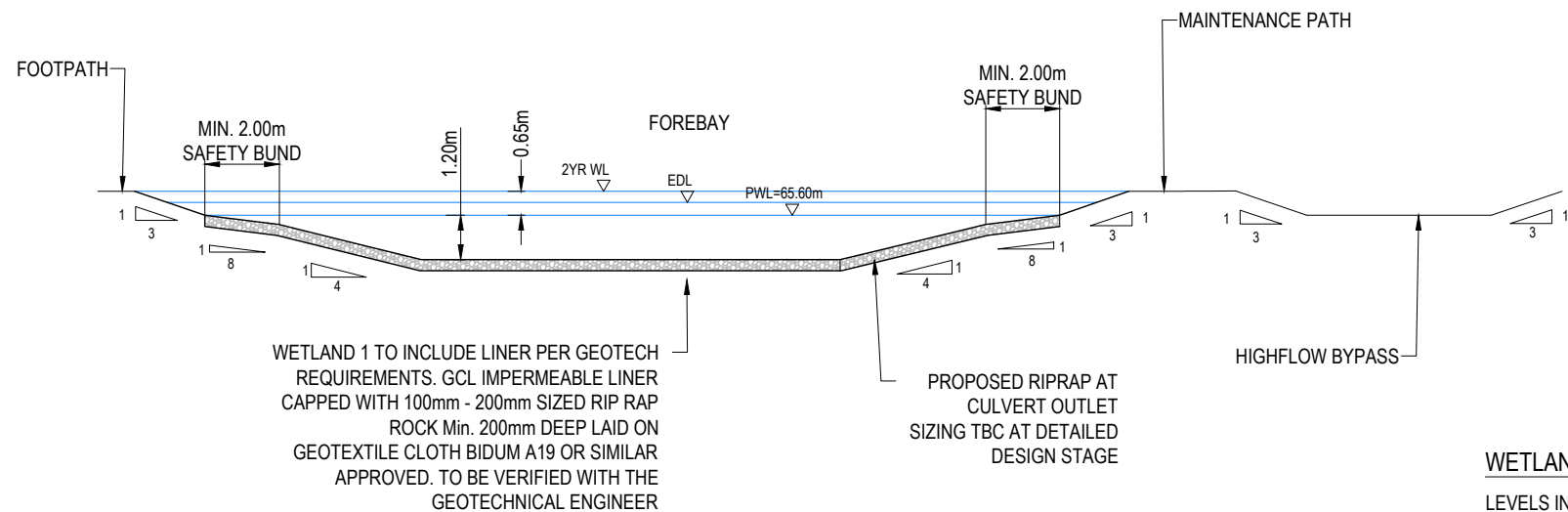
- Notes
1. All works to be in accordance with Waikato Regional Infrastructure Technical Specifications.
  2. Co-ordinates in terms of NZ Geodetic Datum Mount Eden 2000.
  3. Levels in terms of the New Zealand Vertical Datum 2016.
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A	FAST TRACK APP	MKS	11/2025
Rev	Description	By	Date
		By	Date
Survey	MAVEN		05/2024
Design	MKS		11/2025
Drawn	MKS		11/2025
Checked	DJM		11/2025
<div><div><div>M</div><div>MAVEN</div></div><div><div>Maven Waikato</div><div>07 242 0601</div><div>info@maven.co.nz</div><div>www.maven.co.nz</div><div>Level 1 286 Victoria Street, Hamilton</div><div>New Zealand</div></div></div>			
Project <b>ASHBOURNE RESIDENTIAL FOR MATAMATA DEVELOPMENTS</b>			
Title <b>TYPICAL RAINGARDEN - SOAKAGE TRENCH LONGSECTION</b>			
Project no.	289001		
Scale	AS SHOWN		
Cad file	C430-SW DEVICE DETAILS.DWG		
Drawing no.	C430-6	Rev	<b>A</b>

RESOURCE CONSENT

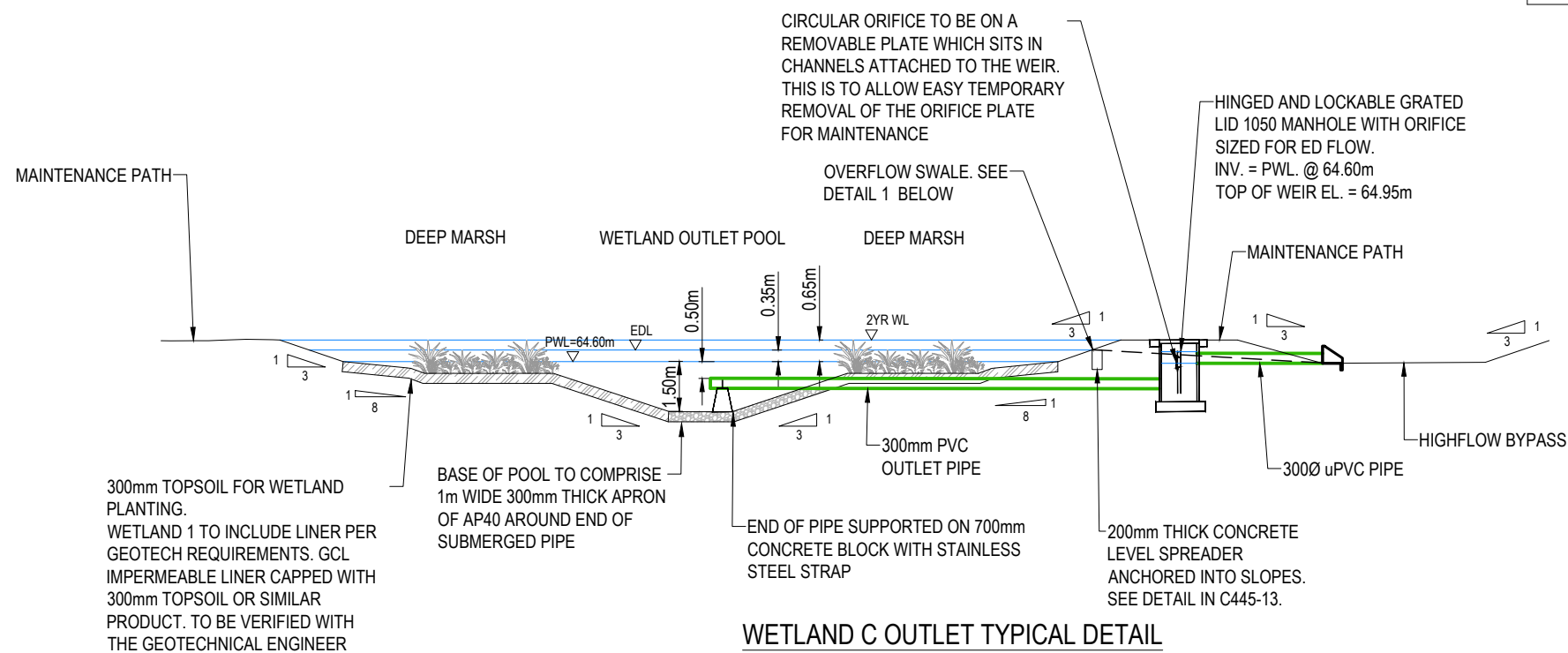
DATE: 11/11/25 FILEPATH: F:\MVEN\HAMILTON6 - PROJECTS\88001 - STATION ROAD7 DRAWING\11 - ASHBOURNE RESIDENTIAL\C430-SW DEVICE DETAILS.DWG



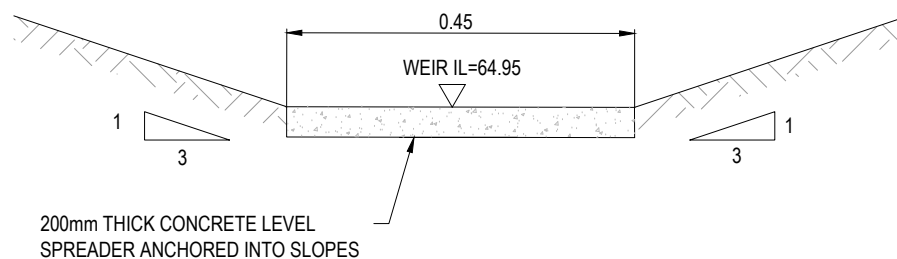
WETLAND C FOREBAY TYPICAL DETAIL  
SCALE 1:200

WETLAND OUTLET DETAILS SUMMARY TABLE  
LEVELS IN TERMS OF NZVD16 VERTICAL DATUM

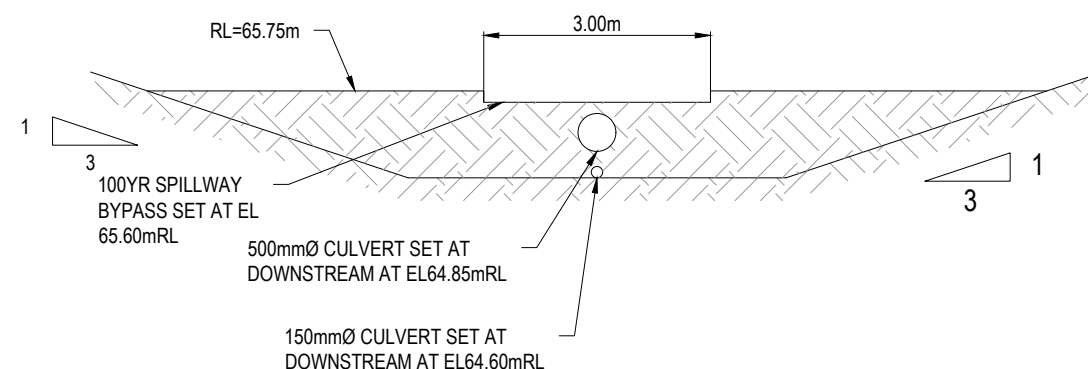
Wetland	ED Orifice (mm)	Orifice Invert (m)	Wetland Weir to Overflow Swale - Min Width (m)	Top of Weir (m)
C	80	64.60	0.45	64.95



WETLAND C OUTLET TYPICAL DETAIL  
SCALE 1:200



DETAIL 1: WETLAND C OVERFLOW SWALE TYPICAL DETAIL  
SCALE 1:100



DETAIL 2: WETLAND C HIGHFLOW BYPASS  
OUTLET DETAIL  
SCALE 1:100

RESOURCE CONSENT

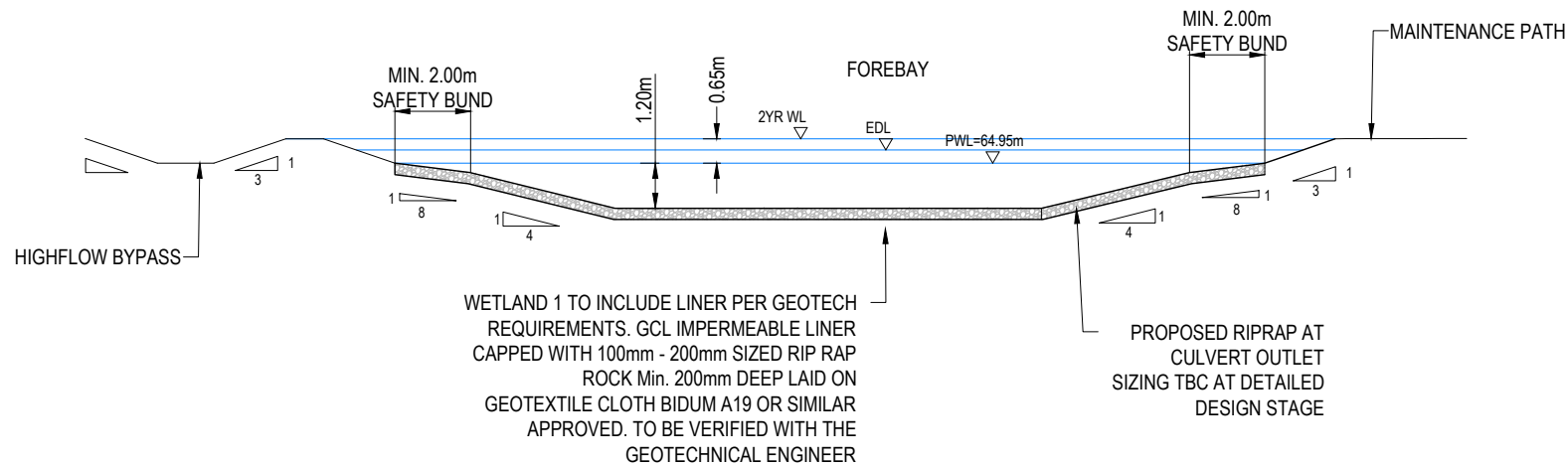
A	FAST TRACK APP	LP	11/2025
Rev	Description	By	Date
		By	Date
Survey	MAVEN		05/2024
Design	MKS		11/2025
Drawn	LP		11/2025
Checked	DJM		11/2025



Project  
**ASHBOURNE  
RESIDENTIAL  
FOR  
MATAMATA  
DEVELOPMENTS**

Title  
**PROPOSED TYPICAL  
WETLAND C  
DETAILS**

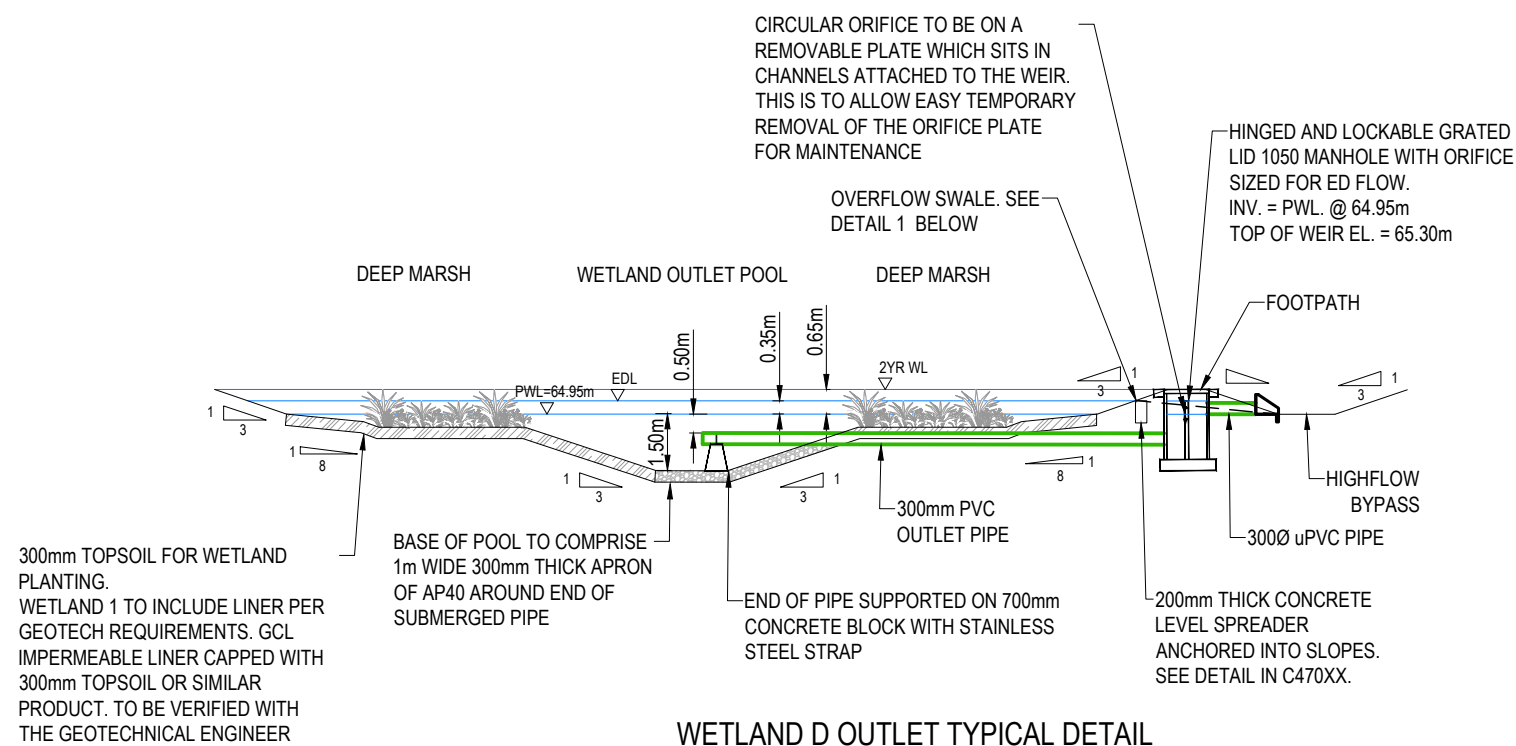
Project no.	289001
Scale	AS SHOWN
Cad file	C430-SW DEVICE DETAILS.DWG
Drawing no.	C430-7
Rev	A



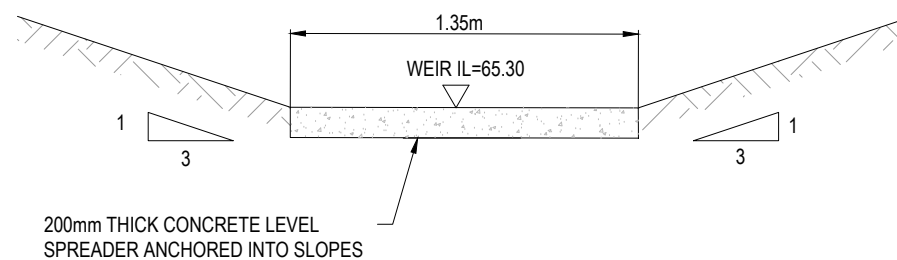
WETLAND D FOREBAY TYPICAL DETAIL  
SCALE 1:200

WETLAND OUTLET DETAILS SUMMARY TABLE  
LEVELS IN TERMS OF NZVD16 VERTICAL DATUM

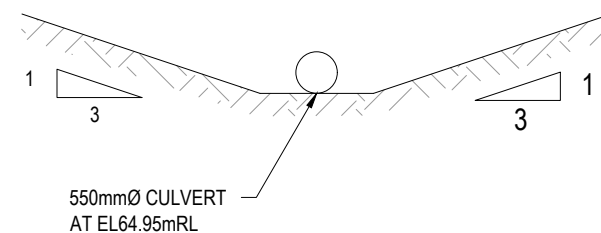
Wetland	ED Orifice (mm)	Orifice Invert (m)	Wetland Weir to Overflow Swale - Min Width (m)	Top of Weir (m)
D	100	64.95	1.35	65.30



WETLAND D OUTLET TYPICAL DETAIL  
SCALE 1:200



DETAIL 1: WETLAND D OVERFLOW SWALE TYPICAL DETAIL  
SCALE 1:200



DETAIL 2: WETLAND D HIGHFLOW BYPASS  
OUTLET DETAIL  
SCALE 1:100

RESOURCE CONSENT

A	FAST TRACK APP	LP	11/2025
Rev	Description	By	Date
		By	Date
Survey	MAVEN		05/2024
Design	MKS		11/2025
Drawn	LP		11/2025
Checked	DJM		11/2025



Project  
**ASHBOURNE  
RESIDENTIAL  
FOR  
MATAMATA  
DEVELOPMENTS**

Title  
**PROPOSED TYPICAL  
WETLAND D  
DETAILS**

Project no.	289001
Scale	AS SHOWN
Cad file	C430-SW DEVICE DETAILS.DWG
Drawing no.	C430-8
Rev	<b>A</b>



PROPOSED  
NORTHERN SOLAR FARM

STATION ROAD

STATION ROAD

WETLAND D

WETLAND C

PROPOSED  
RETIREMENT VILLAGE

CHESTNUT LANE

ELDONWOOD DRIVE

STORMWATER BASIN A

PROPOSED  
SOUTHERN SOLAR FARM

LOT 3 DP 463448

RESOURCE CONSENT

Notes

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Legend

- EX BOUNDARY
- PROP STORMWATER
- PROP LOT BOUNDARY
- PROP WETLAND
- PROP SHARED PATH / MAINTENANCE TRACK

D	FAST TRACK APP	LP	11/2025
C	FAST TRACK APP	MKS	05/2025
B	FAST TRACK APP	MKS	04/2025
A	FAST TRACK APP	MKS	04/2025
Rev	Description	By	Date
		By	Date
Survey	MAVEN		05/2024
Design	MKS		12/2024
Drawn	MKS		12/2024
Checked	DJM		05/2025

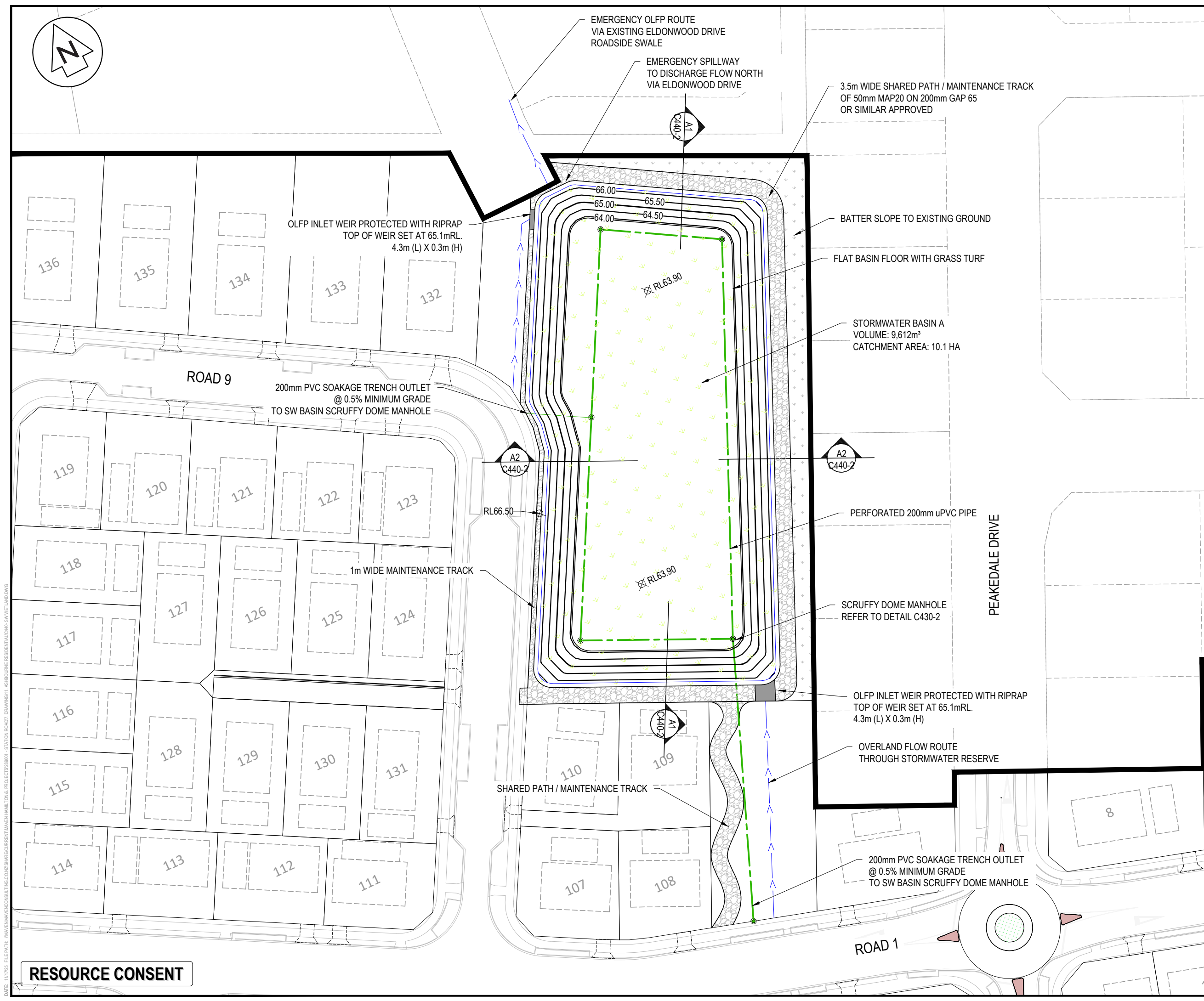


Project  
**ASHBOURNE  
RESIDENTIAL  
FOR  
MATAMATA  
DEVELOPMENTS LTD**

Title  
**PROPOSED  
STORMWATER BASIN  
OVERVIEW PLAN**

Project no.	289001		
Scale	1:5000 @ A3		
Cad file	C440- SW WETLAND.DWG		
Drawing no.	C440	Rev	D

DATE: 11/1/25 FILE PATH: \\MAVEN\MAVEN\CONSULTING\ASHBOURNE\RESIDENTIAL\MATAMATA\PROJECTS\289001 - STATION ROAD\DRAWING\11 ASHBOURNE RESIDENTIAL\C440- SW WETLAND.DWG



- Notes
1. All works to be in accordance with Waikato Regional Infrastructure Technical Specifications.
  2. Co-ordinates in terms of NZ Geodetic Datum Mount Eden 2000.
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Legend

	EX BOUNDARY
	EX STORMWATER
	PROP LOT BOUNDARY
	PROP SW BASIN
	PROP SHARED PATH / MAINTENANCE TRACK

D	FAST TRACK APP	GNT	11/2025
C	FAST TRACK APP	MKS	05/2025
B	FAST TRACK APP	MKS	04/2025
A	FAST TRACK APP	MKS	04/2025
Rev	Description	By	Date
		By	Date
Survey	MAVEN		05/2024
Design	MKS		12/2024
Drawn	MKS		12/2024
Checked	DJM		05/2025



**Maven Associates**  
09 571 0050  
info@maven.co.nz  
www.maven.co.nz  
5 Owens Road, Epsom  
Auckland 1023

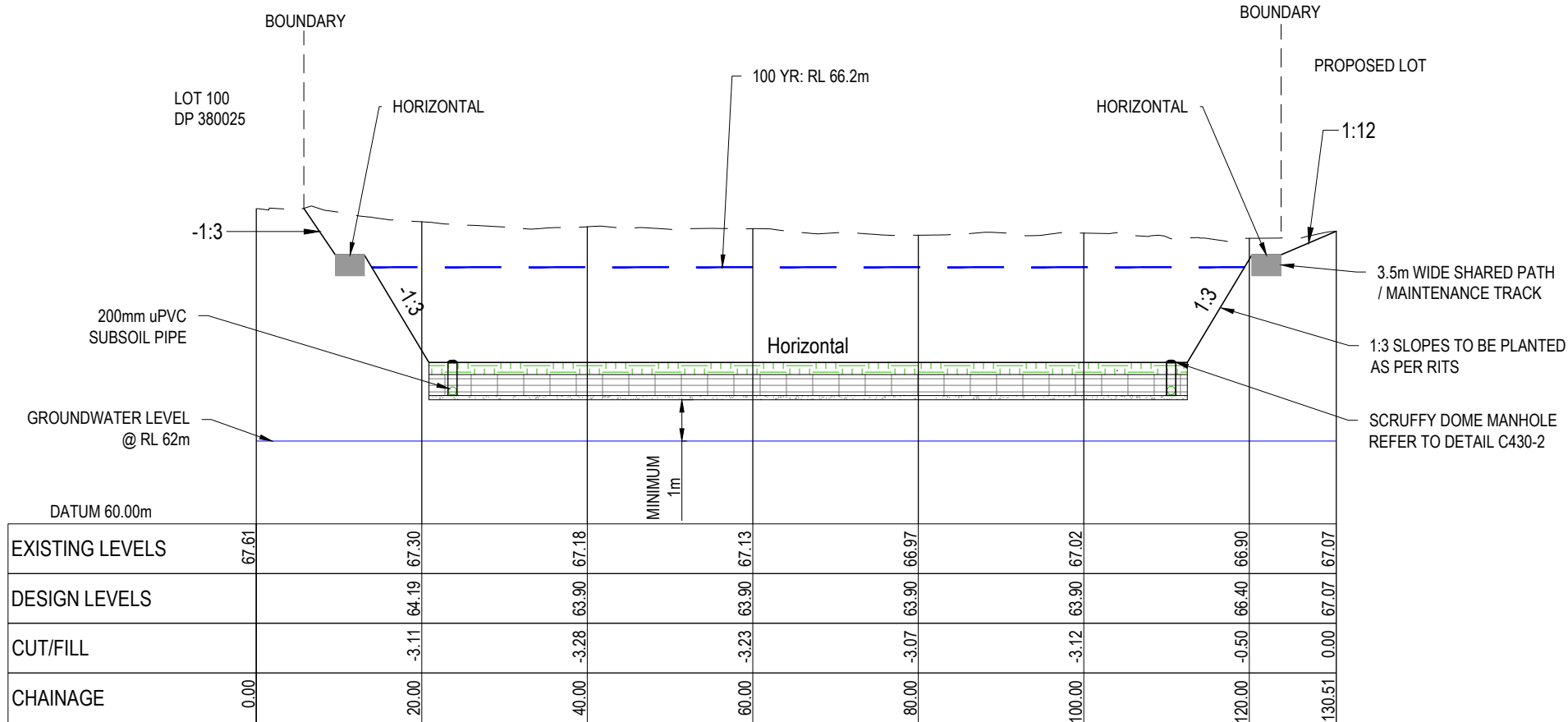
Project  
**ASHBOURNE  
RESIDENTIAL  
FOR  
MATAMATA  
DEVELOPMENTS LTD**

Title  
**PROPOSED  
STORMWATER  
BASIN A PLAN**

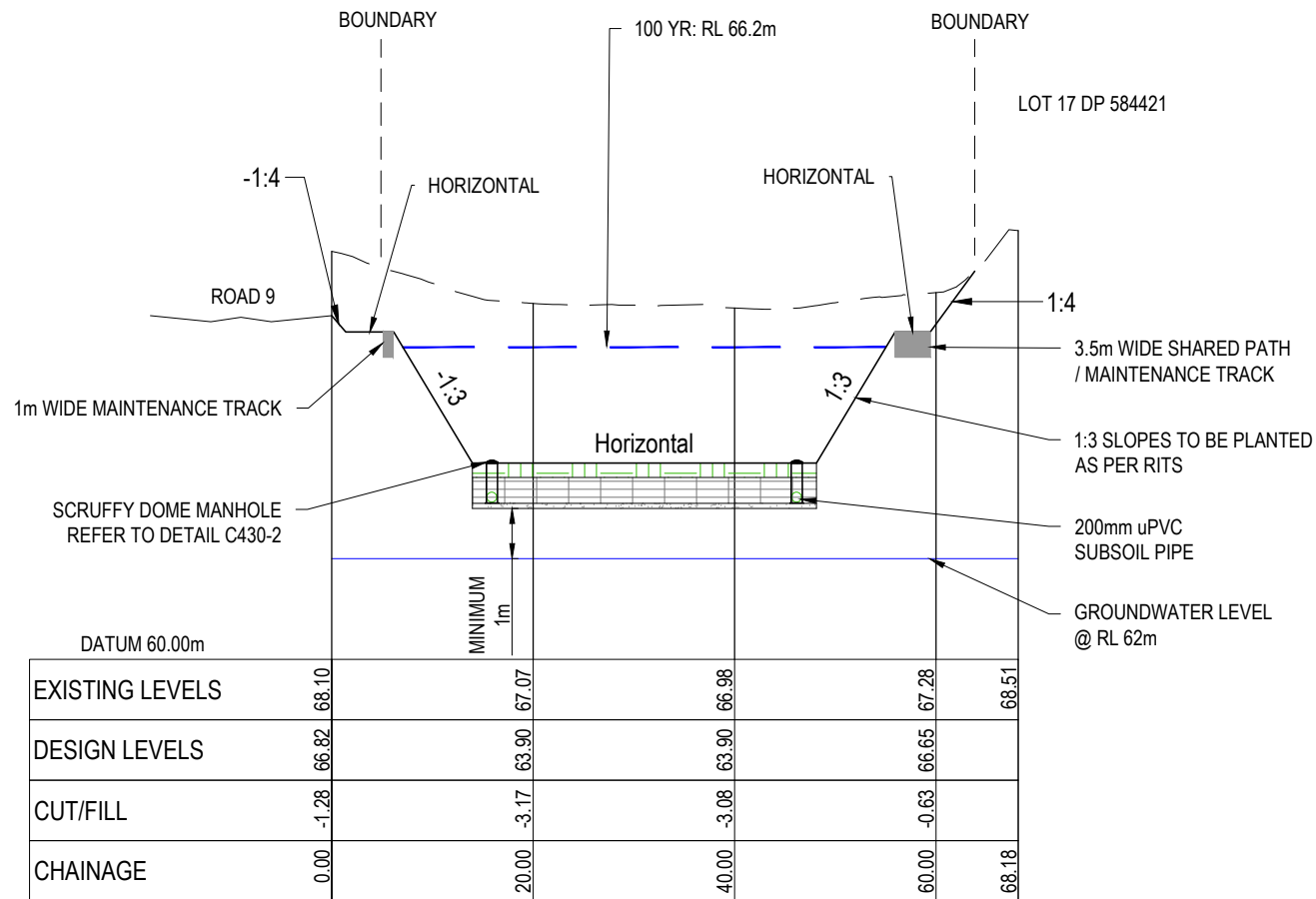
Project no.	289001
Scale	1:750 @ A3
Cad file	C440- SW WETLAND.DWG
Drawing no.	C440-1
Rev	D

**RESOURCE CONSENT**

DATE: 11/1/25 FILE PATH: \\MVEN\WORK\CONSULTING\ASHBOURNE\MATAMATA\PROJECTS\289001 - STATION ROAD\DRAWING\11 ASHBOURNE RESIDENTIAL C440- SW WETLAND.DWG



A1  
SCALE: HORI 1:750 VERT 1:150



A2  
SCALE: HORI 1:750 VERT 1:150

- Notes
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  - Groundwater levels provided by CMW per testpit logs dated 17/12/2024.
  - Batter slopes to be verified by Geotechnical Engineer.

Legend

---	EX GROUND LEVEL
---	PROP GROUND LEVEL
---	100YR - 10 YR LEVEL
---	GROUNDWATER LEVEL

C	FAST TRACK APP	MKS	05/2025
B	FAST TRACK APP	MKS	04/2025
A	FAST TRACK APP	MKS	04/2025
Rev	Description	By	Date
		By	Date
Survey	MAVEN		05/2024
Design	MKS		12/2024
Drawn	MKS		12/2024
Checked	DJM		05/2025



Project  
**ASHBOURNE  
RESIDENTIAL  
FOR  
MATAMATA  
DEVELOPMENTS LTD**

Title  
**PROPOSED  
STORMWATER  
BASIN A DETAILS**

Project no.	289001		
Scale	AS SHOWN		
Cad file	C440- SW WETLAND.DWG		
Drawing no.	C440-2	Rev	C

RESOURCE CONSENT

WETLAND C

MIN AREA @4% CATCHMENT = 722m<sup>2</sup>  
ACTUAL AREA = 1,579m<sup>2</sup> (DRIVEN BY EDV)

MIN WQ VOLUME = 263m<sup>3</sup>  
MIN ED VOLUME = 315m<sup>3</sup>  
ACTUAL ED VOLUME = 594m<sup>3</sup>

WATER LEVELS

- 2 YEAR WATER LEVEL - RL 65.25m
- ED LEVEL - RL 65.30m
- PERMANENT WATER LEVEL - RL 64.60m

BATHYMETRY - WETLAND C

- DEEP MARSH - 0.35m
  - SHALLOW MARSH - 0.20m
  - FOREBAY POOL - 1.5-2m
  - INTERMEDIATE POOL - 1.2m
  - OUTLET POOL - 1.5m
- REFER TO C430-7 FOR WETLAND DETAILS

EXISTING CHANNEL

EMERGENCY OLFP ROUTE  
VIA EXISTING CHANNEL

EMERGENCY SPILLWAY  
TO DISCHARGE FLOW NORTH  
VIA EXISTING CHANNEL

GRATED  
MANHOLE WITH  
ED ORIFICE

2YR SPILLWAY TO  
DISCHARGE FLOW INTO  
HIGHFLOW BYPASS

3.5m WIDE SHARED PATH / MAINTENANCE TRACK  
OF 50mm MAP20 ON 200mm GAP 65  
OR SIMILAR APPROVED

1 WIDE FOOTPATH

HYDRAULIC WEIR TO PROVIDE  
MITIGATION FOR 10 AND 100YR.  
REFER TO C430-8 FOR DETAILS

OUTLET POOL

FOREBAY

CULVERT TO DIRECT  
<2YR FLOW TO  
WETLAND. TBC AT  
DETAILED DESIGN  
STAGE

OD OUTLET  
LL=66.80  
IL=64.65 (in)

OUTLET C  
LL=65.84  
IL=64.65 (in)

RL66.75

OLFP INLET WEIR PROTECTED WITH RIPRAP  
TOP OF WEIR SET AT 65.3mRL.  
1.5m (L) X 0.3m (H)

OVERLAND FLOW ROUTE  
THROUGH STORMWATER RESERVE

BROAD CRESTED WEIR WITHIN  
HIGHFLOW CHANNEL. FLOWS  
GREATER THAN 2YR FLOW  
DIRECTED TO BYPASS. TOP OF WEIR SET AT EL. 65.25m

BATTER SLOPE TO EXISTING GROUND

HIGHFLOW BYPASS

403

402

440

441

439

442

RESOURCE CONSENT



Notes

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Legend

- EX BOUNDARY
- EX STORMWATER
- PROP LOT BOUNDARY
- EX CHANNEL
- PROP WETLAND
- PROP SHARED PATH / MAINTENANCE TRACK

D	FAST TRACK APP	LP	11/2025
C	FAST TRACK APP	MKS	05/2025
B	FAST TRACK APP	MKS	04/2025
A	FAST TRACK APP	MKS	04/2025
Rev	Description	By	Date
Survey	MAVEN		05/2024
Design	MKS		12/2024
Drawn	MKS		12/2024
Checked	DJM		05/2025

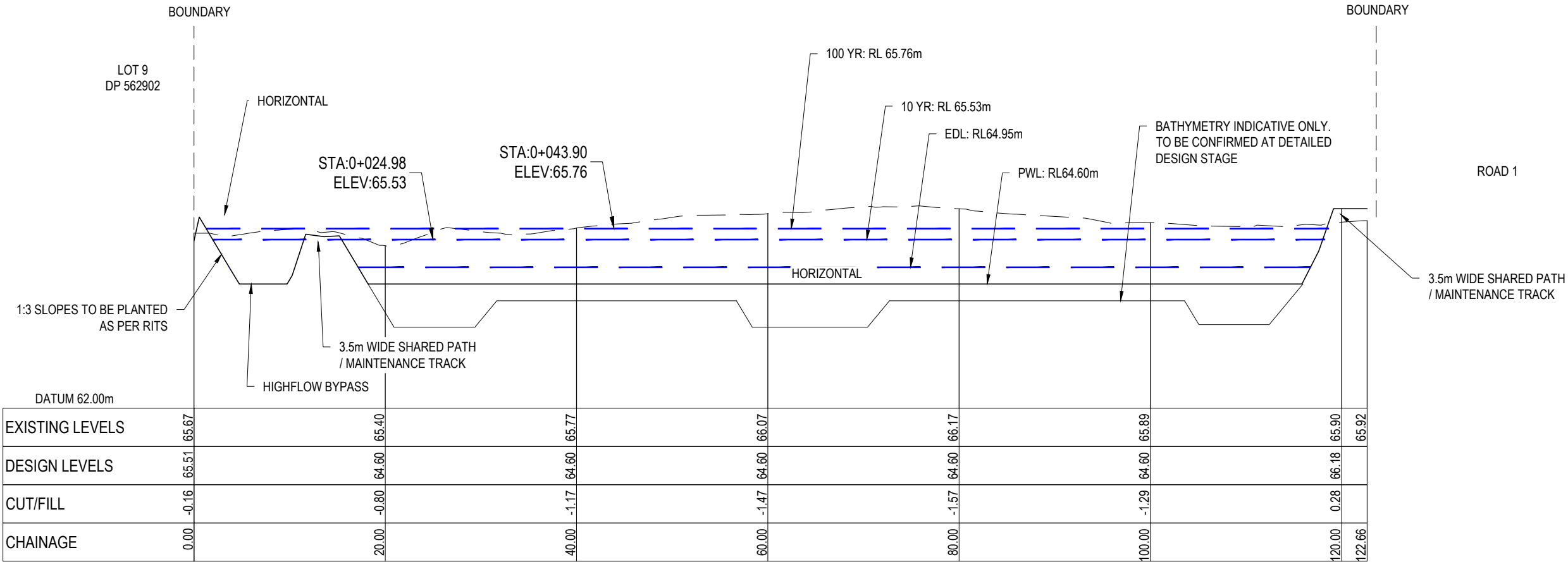


Project  
**ASHBOURNE  
RESIDENTIAL  
FOR  
MATAMATA  
DEVELOPMENTS LTD**

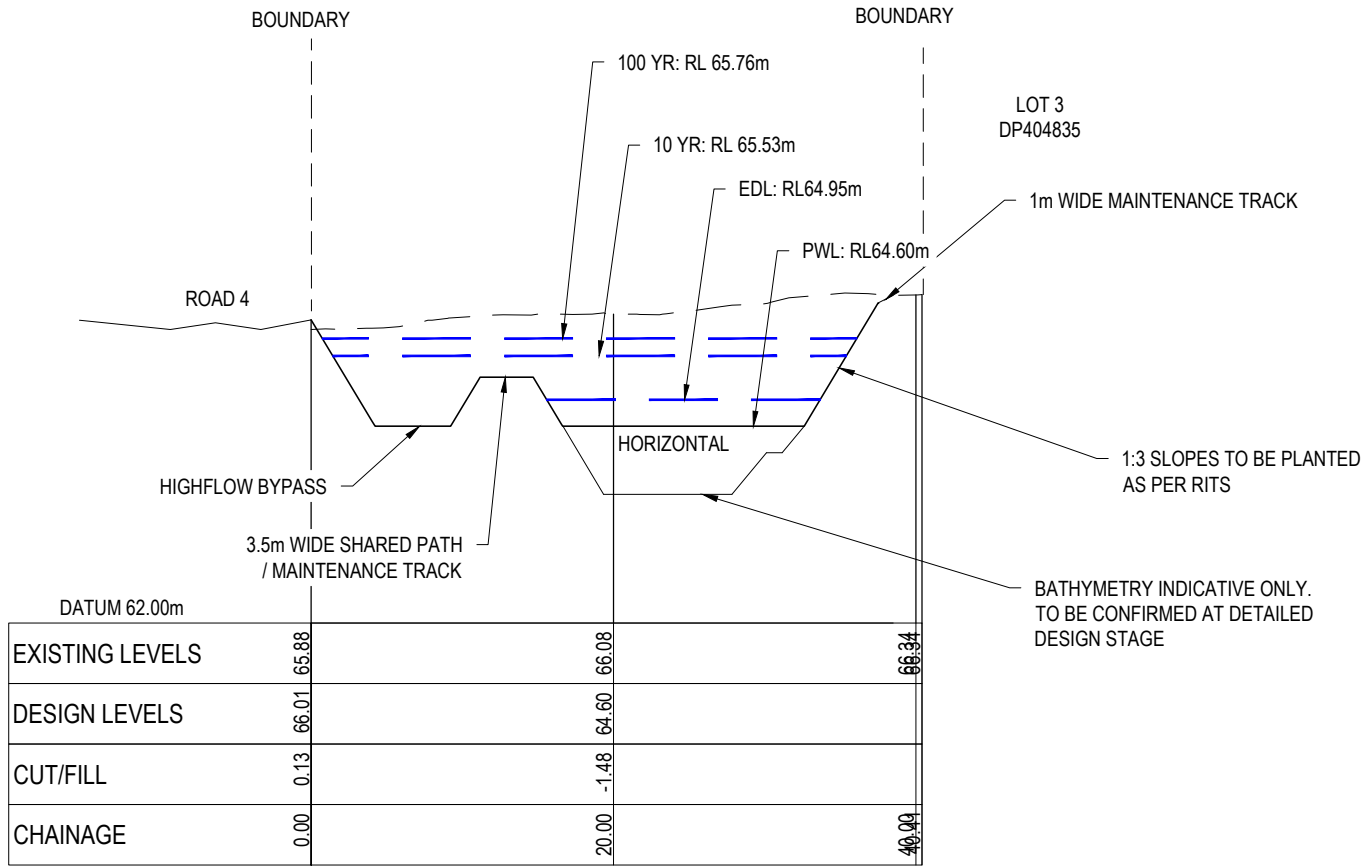
Title  
**PROPOSED  
STORMWATER  
WETLAND PLAN**

Project no.	289001
Scale	1:500 @ A3
Cad file	C440- SW WETLAND.DWG
Drawing no.	C440-3
Rev	D

DATE: 11/1/25 FILE PATH: \\MAVEN\MAVEN\CONSULTING\ASHBOURNE\RESIDENTIAL\C440-SW WETLAND.DWG PROJECTS\289001 - STATION ROAD.DWG\11 ASHBOURNE RESIDENTIAL\C440-SW WETLAND.DWG



C1  
S SCALE: HORI 1:500 VERT 1:100



C2  
SCALE: HORI 1:500 VERT 1:100

RESOURCE CONSENT

Notes

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- Groundwater levels provided by CMW per testpit logs dated 17/12/2024.
- Batter slopes to be verified by Geotechnical Engineer.

Legend

- EX GROUND LEVEL
- PROP GROUND LEVEL
- 100YR - 10 YR LEVEL
- GROUNDWATER LEVEL

D	FAST TRACK APP	LP	11/2025
C	FAST TRACK APP	MKS	05/2025
B	FAST TRACK APP	MKS	04/2025
A	FAST TRACK APP	MKS	04/2025
Rev	Description	By	Date
		By	Date
Survey	MAVEN		05/2024
Design	MKS		12/2024
Drawn	MKS		12/2024
Checked	DJM		05/2025

**M**  
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Project  
**ASHBOURNE  
RESIDENTIAL  
FOR  
MATAMATA  
DEVELOPMENTS LTD**

Title  
**PROPOSED  
STORMWATER  
BASIN C DETAILS**

Project no.	289001		
Scale	AS SHOWN		
Cad file	C440-SW WETLAND.DWG		
Drawing no.	C440-4	Rev	D



EMERGENCY OLFP  
ROUTE VIA EXISTING  
OLFP ROUTE

OLFP OUTLET WEIR  
PROTECTED WITH  
RIPRAP

CULVERT TO DIRECT  
<2YR FLOW TO  
WETLAND. TBC AT  
DETAILED DESIGN  
STAGE

3.5m WIDE MAINTENANCE TRACK  
OF 50mm MAP20 ON 200mm GAP 65  
OR SIMILAR APPROVED

RL65.27

BROAD CRESTED WEIR WITHIN  
HIGHFLOW CHANNEL. FLOWS  
GREATER THAN 2YR FLOW  
DIRECTED TO BYPASS. TOP OF WEIR SET AT EL. 65.60m

RL64.95

BROAD CRESTED WEIR WITHIN  
HIGHFLOW CHANNEL. FLOWS  
GREATER THAN 2YR FLOW  
DIRECTED TO BYPASS. TOP OF WEIR SET AT EL. 65.60m

FOREBAY

RL66.00

1 WIDE FOOTPATH

CULVERT TO DIRECT  
<2YR FLOW TO  
WETLAND. TBC AT  
DETAILED DESIGN  
STAGE

OUTLET D1  
LL=66.90  
IL=64.97 (in)

ROAD 2

OLFP INLET WEIR PROTECTED WITH RIPRAP

OVERLAND FLOW ROUTE  
THROUGH STORMWATER RESERVE

OVERLAND  
FLOW ROUTE  
THROUGH  
STORMWATER  
RESERVE

2YR SPILLWAY TO  
DISCHARGE FLOW INTO  
HIGHFLOW BYPASS

TO DISCHARGE FLOW INTO  
WETLAND C HIGHFLOW  
BYPASS VIA PIPE SIZED FOR  
100YR

#### WETLAND D

MIN AREA @4% CATCHMENT = 1177m<sup>2</sup>  
ACTUAL AREA = 4,980 (DRIVEN BY EDV)

MIN WQ VOLUME = 428m<sup>3</sup>  
MIN ED VOLUME = 513m<sup>3</sup>  
ACTUAL ED VOLUME = 1813m<sup>3</sup>

#### WATER LEVELS

- 2 YEAR WATER LEVEL - RL 65.6
- ED LEVEL - RL 65.30
- PERMANENT WATER LEVEL - RL 64.95m

#### BATHYMETRY - WETLAND D

- DEEP MARSH - 0.35m
  - SHALLOW MARSH - 0.20m
  - FOREBAY POOL - 1.5-2m
  - INTERMEDIATE POOL - 1.2m
  - OUTLET POOL - 1.5m
- REFER TO C430-8 OR WETLAND DETAILS

#### Notes

- All works to be in accordance with Waikato Regional Infrastructure Technical Specifications.
- Co-ordinates in terms of NZ Geodetic Datum Mount Eden 2000.
- Levels in terms of the New Zealand Vertical Datum 2016.
- It is the contractors responsibility to locate all services that may be affected by his operations.
- Approved hardfill is to be used in backfilling of all stormwater lines within the road reserve.
- All catchpit leads shall be laid at 1% unless otherwise specified.
- All lines to be abandoned shall be sealed at each end. Timing of all sealing to be coordinated with council staff.

#### Legend

- EX BOUNDARY
- EX STORMWATER
- PROP LOT BOUNDARY
- PROP WETLAND
- PROP SHARED PATH / MAINTENANCE TRACK

D	FAST TRACK APP	LP	11/2025
C	FAST TRACK APP	MKS	05/2025
B	FAST TRACK APP	MKS	04/2025
A	FAST TRACK APP	MKS	04/2025
Rev	Description	By	Date
		By	Date
Survey	MAVEN		05/2024
Design	MKS		12/2024
Drawn	MKS		12/2024
Checked	DJM		05/2025



Project  
**ASHBOURNE  
RESIDENTIAL  
FOR  
MATAMATA  
DEVELOPMENTS LTD**

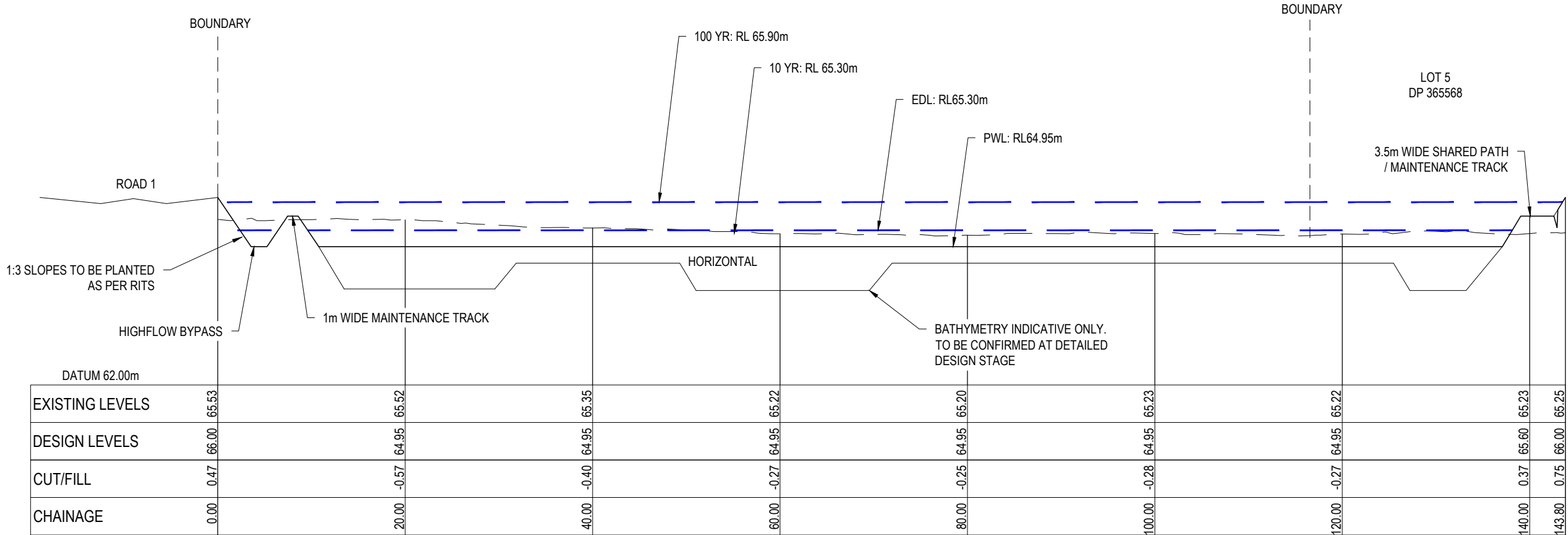
Title  
**PROPOSED  
STORMWATER  
WETLAND D PLAN**

Project no.	289001
Scale	1:500 @ A3
Cad file	C440- SW WETLAND.DWG
Drawing no.	C440-5
Rev	D

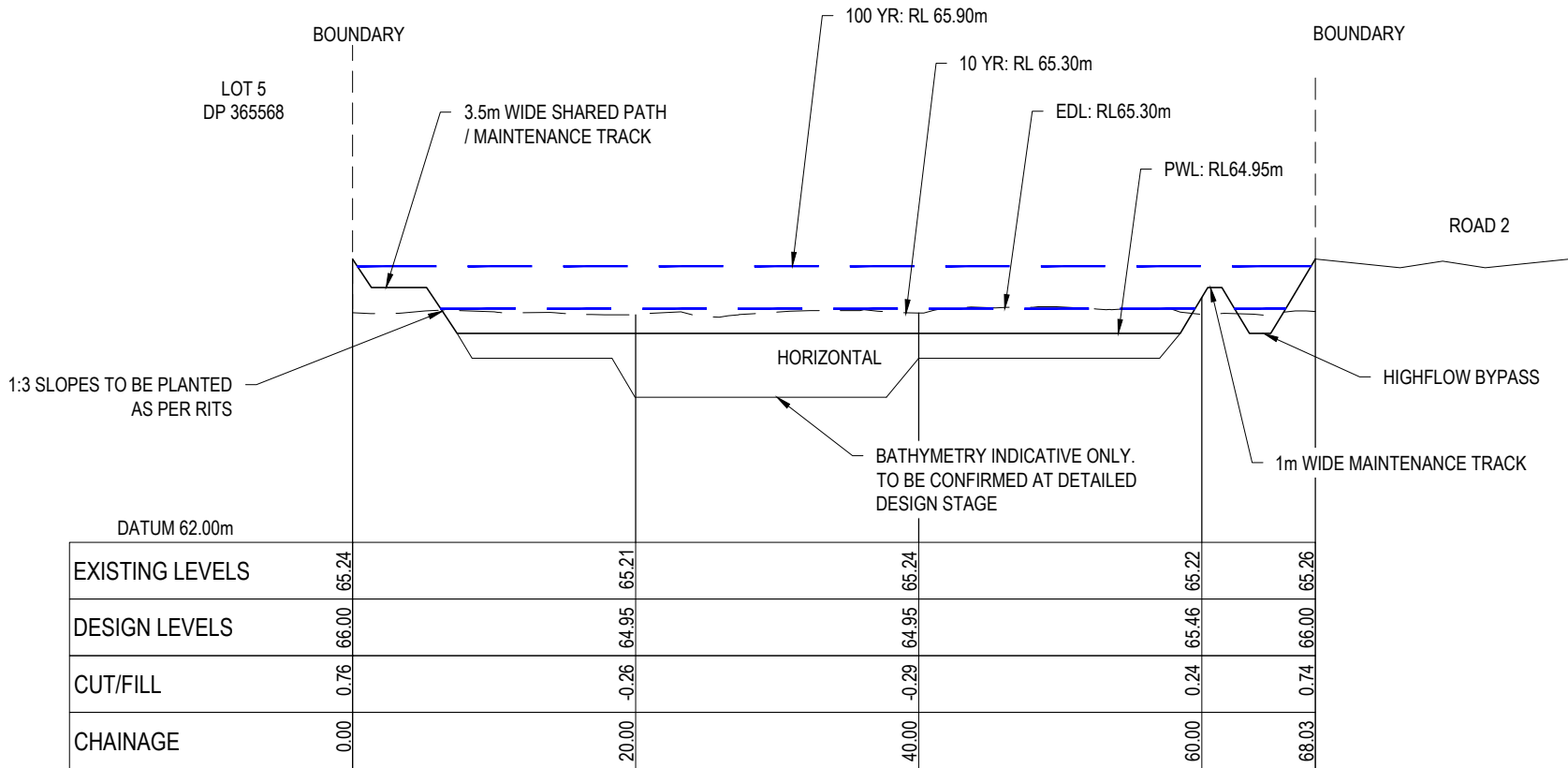
RESOURCE CONSENT

DATE: 11/1/25 FILE PATH: \\MAVEN\PROJECTS\289001\ASHBOURNE RESIDENTIAL\DWG PROJECTS\289001 STATION ROAD\DRAWING\11 ASHBOURNE RESIDENTIAL\DWG PROJECTS\289001

DATE: 11/1/25 FILE PATH: \\MAVEN\MAVEN\CONSULTING\ASHBOURNE\RESIDENTIAL\ASHBOURNE\RESIDENTIAL\C440-SW WETLAND.DWG



D1  
SCALE: HORI 1:500 VERT 1:100



D2  
SCALE: HORI 1:500 VERT 1:100

RESOURCE CONSENT

- Notes
1. All works to be in accordance with Waikato Regional Infrastructure Technical Specifications.
  2. Co-ordinates in terms of NZ Geodetic Datum Mount Eden 2000.
  3. Levels in terms of the New Zealand Vertical Datum 2016.
  4. It is the contractors responsibility to locate all services that may be affected by his operations.
  5. Approved hardfill is to be used in backfilling of all stormwater lines within the road reserve.
  6. All catchpit leads shall be laid at 1% unless otherwise specified.
  7. All lines to be abandoned shall be sealed at each end. Timing of all sealing to be coordinated with council staff.
  8. Flood levels are per stromwater modelling dated 10/02/2025.
  9. Groundwater levels provided by CMW per testpit logs dated 17/12/2024.
  10. Batter slopes to be verified by Geotechnical Engineer.

Legend

—	EX GROUND LEVEL
—	PROP GROUND LEVEL
—	100YR - 10 YR LEVEL
—	GROUNDWATER LEVEL

D	FAST TRACK APP	LP	11/2025
C	FAST TRACK APP	MKS	05/2025
B	FAST TRACK APP	MKS	04/2025
A	FAST TRACK APP	MKS	04/2025
Rev	Description	By	Date
		By	Date
Survey	MAVEN		05/2024
Design	MKS		12/2024
Drawn	MKS		12/2024
Checked	DJM		05/2025

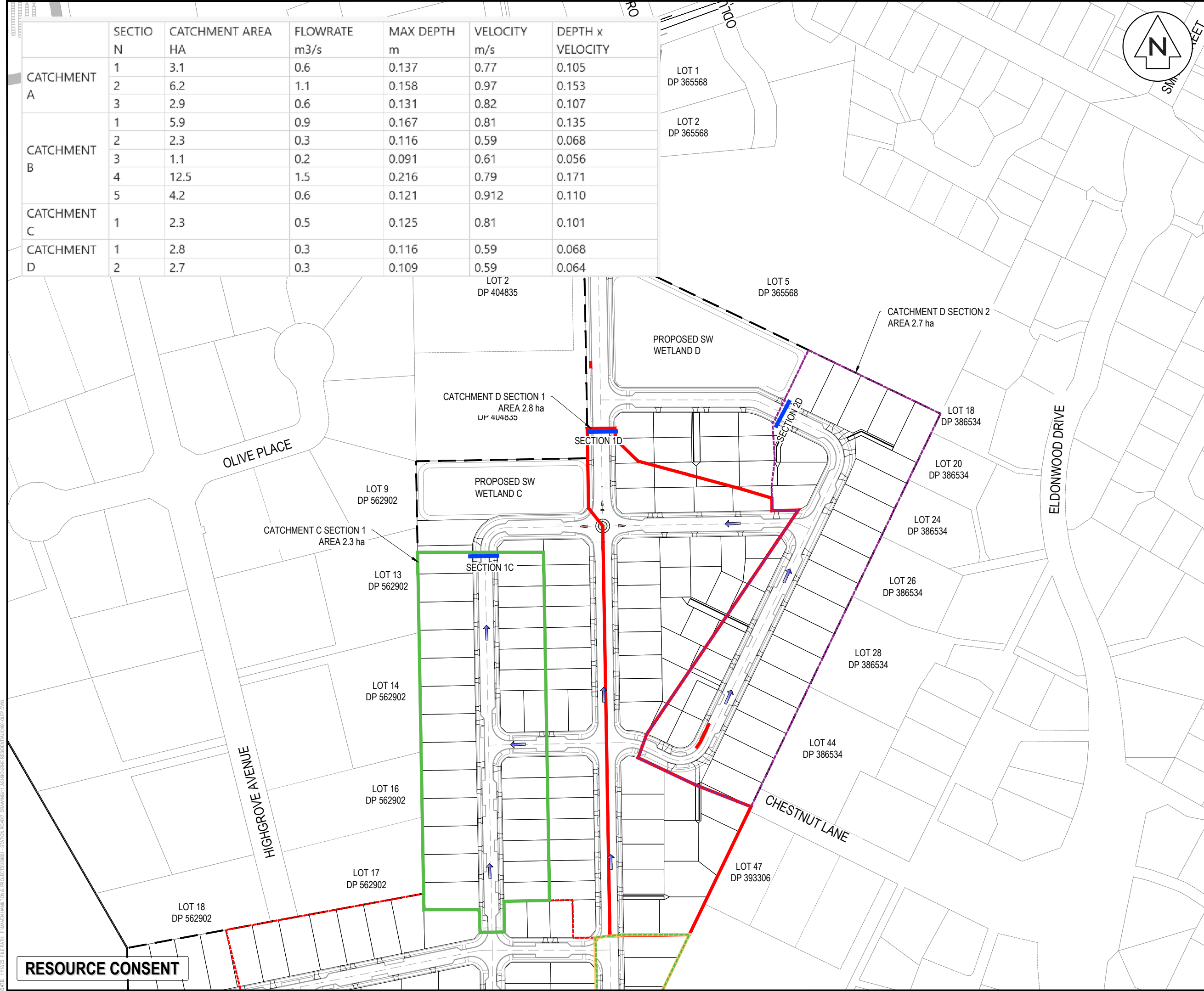


Project  
**ASHBOURNE  
RESIDENTIAL  
FOR  
MATAMATA  
DEVELOPMENTS LTD**

Title  
**PROPOSED  
STORMWATER  
BASIN D DETAILS**

Project no.	289001		
Scale	AS SHOWN		
Cad file	C440- SW WETLAND.DWG		
Drawing no.	C440-6	Rev	<b>D</b>





	SECTION	CATCHMENT AREA	FLOWRATE	MAX DEPTH	VELOCITY	DEPTH x VELOCITY
	N	HA	m3/s	m	m/s	
CATCHMENT A	1	3.1	0.6	0.137	0.77	0.105
	2	6.2	1.1	0.158	0.97	0.153
	3	2.9	0.6	0.131	0.82	0.107
CATCHMENT B	1	5.9	0.9	0.167	0.81	0.135
	2	2.3	0.3	0.116	0.59	0.068
	3	1.1	0.2	0.091	0.61	0.056
	4	12.5	1.5	0.216	0.79	0.171
CATCHMENT C	5	4.2	0.6	0.121	0.912	0.110
	1	2.3	0.5	0.125	0.81	0.101
CATCHMENT D	1	2.8	0.3	0.116	0.59	0.068
	2	2.7	0.3	0.109	0.59	0.064

- Notes
1. All works to be in accordance with Waikato Regional Infrastructure Technical Specifications.
  2. Co-ordinates in terms of NZ Geodetic Datum Mount Eden 2000.
  3. Levels in terms of the New Zealand Vertical Datum 2016.
  4. It is the contractors responsibility to locate all services that may be affected by his operations.
  5. Approved hardfill is to be used in backfilling of all stormwater lines within the road reserve.
  6. All catchpit leads shall be laid at 1% unless otherwise specified.
  7. All lines to be abandoned shall be sealed at each end. Timing of all sealing to be coordinated with council staff.

Legend	
	EX BOUNDARY
	SITE BOUNDARY

C	FAST TRACK APP	GNT	11/2025
B	FAST TRACK APP	RK	05/2025
A	FAST TRACK APP	RK	04/2025
Rev	Description	By	Date
		By	Date
Survey	MAVEN		05/2024
Design	RJM		12/2024
Drawn	NAK		12/2024
Checked	DJM		05/2025



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Auckland 1023

Project  
**ASHBOURNE  
RESIDENTIAL  
FOR  
MATAMATA  
DEVELOPMENTS LTD**

Title  
**PROPOSED  
OVERLAND FLOWPATH  
CATCHMENT PLAN**

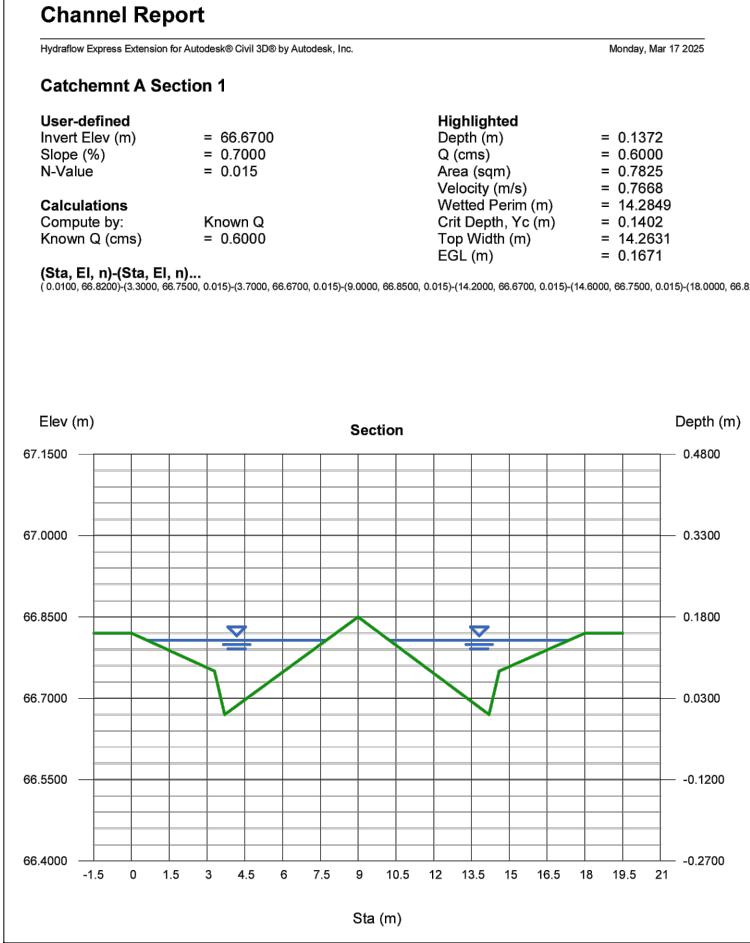
Project no.	289001		
Scale	1:2500 @ A3		
Cad file	C460-QLFP.DWG		
Drawing no.	C460-2	Rev	C

DATE: 11/10/25 FILEPATH: F:\Maven\Hamilton\6. PROJECTS\289001 - STATION ROAD\DRAWING\1. ASHBORNE RESIDENTIAL\C460-QLFP.DWG

RESOURCE CONSENT

DATE: 11/19/25 FILE PATH: F:\Maven\Hamilton\6. PROJECTS\88801 - STATION ROAD\7. DRAWING\11. ASHBORNE RESIDENTIAL\C460-QLFP.DWG

RESOURCE CONSENT



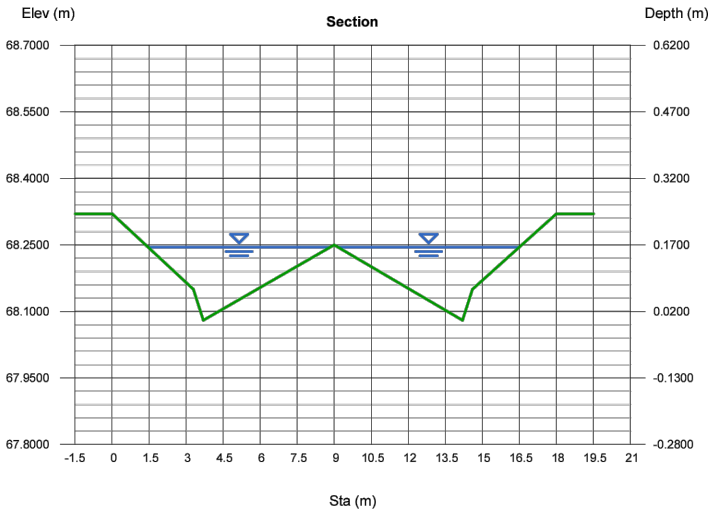
Channel Report

Hydraflow Express Extension for Autodesk® Civil 3D® by Autodesk, Inc. Monday, Mar 17 2025

Catchemnt B Section 1

<b>User-defined</b>		<b>Highlighted</b>	
Invert Elev (m)	= 68.0800	Depth (m)	= 0.1646
Slope (%)	= 0.5000	Q (cms)	= 0.9000
N-Value	= 0.015	Area (sqm)	= 1.1164
<b>Calculations</b>		Velocity (m/s)	= 0.8062
Compute by:	Known Q	Wetted Perim (m)	= 14.7110
Known Q (cms)	= 0.9000	Crit Depth, Yc (m)	= 0.1615
		Top Width (m)	= 14.6887
		EGL (m)	= 0.1977

(Sta, El, n)-(Sta, El, n)...  
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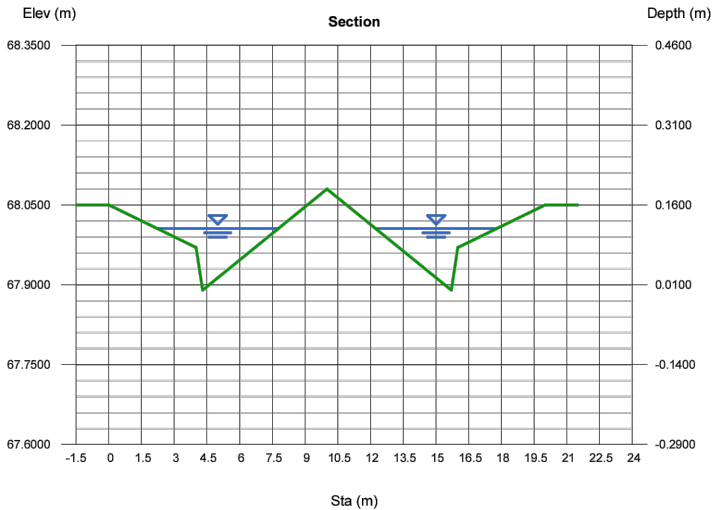
Channel Report

Hydraflow Express Extension for Autodesk® Civil 3D® by Autodesk, Inc. Monday, Mar 17 2025

Catchemnt B Section 2

<b>User-defined</b>		<b>Highlighted</b>	
Invert Elev (m)	= 67.8900	Depth (m)	= 0.1158
Slope (%)	= 0.5000	Q (cms)	= 0.3000
N-Value	= 0.015	Area (sqm)	= 0.5120
<b>Calculations</b>		Velocity (m/s)	= 0.5859
Compute by:	Known Q	Wetted Perim (m)	= 11.1529
Known Q (cms)	= 0.3000	Crit Depth, Yc (m)	= 0.1128
		Top Width (m)	= 11.1273
		EGL (m)	= 0.1333

(Sta, El, n)-(Sta, El, n)...  
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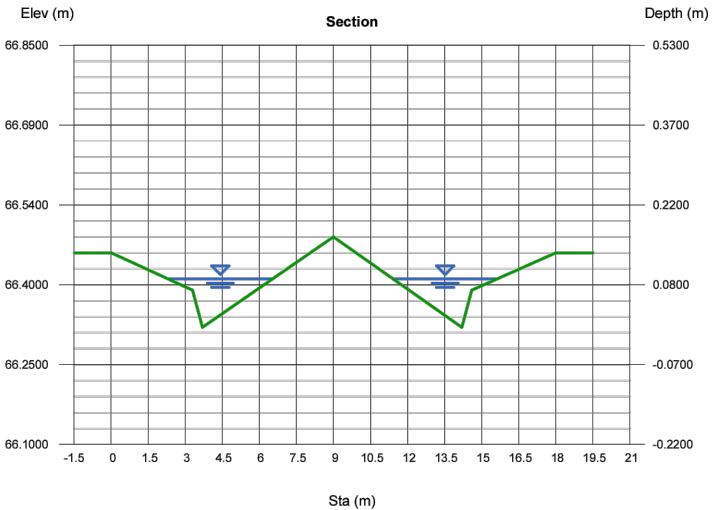
Channel Report

Hydraflow Express Extension for Autodesk® Civil 3D® by Autodesk, Inc. Monday, Mar 17 2025

Catchemnt B Section 3

<b>User-defined</b>		<b>Highlighted</b>	
Invert Elev (m)	= 66.3200	Depth (m)	= 0.0914
Slope (%)	= 0.7000	Q (cms)	= 0.200
N-Value	= 0.015	Area (sqm)	= 0.3253
<b>Calculations</b>		Velocity (m/s)	= 0.6147
Compute by:	Known Q	Wetted Perim (m)	= 8.5125
Known Q (cms)	= 0.2000	Crit Depth, Yc (m)	= 0.0945
		Top Width (m)	= 8.4970
		EGL (m)	= 0.1107

(Sta, El, n)-(Sta, El, n)...  
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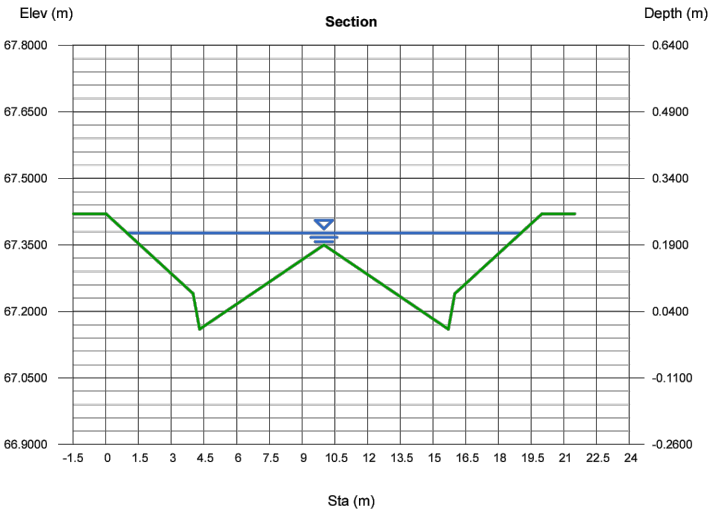
Channel Report

Hydraflow Express Extension for Autodesk® Civil 3D® by Autodesk, Inc. Monday, Mar 17 2025

Catchemnt D Section 4

<b>User-defined</b>		<b>Highlighted</b>	
Invert Elev (m)	= 67.1600	Depth (m)	= 0.2164
Slope (%)	= 0.3000	Q (cms)	= 1.5000
N-Value	= 0.015	Area (sqm)	= 1.9030
<b>Calculations</b>		Velocity (m/s)	= 0.7882
Compute by:	Known Q	Wetted Perim (m)	= 18.0888
Known Q (cms)	= 1.5000	Crit Depth, Yc (m)	= 0.2012
		Top Width (m)	= 18.0554
		EGL (m)	= 0.2481

(Sta, El, n)-(Sta, El, n)...  
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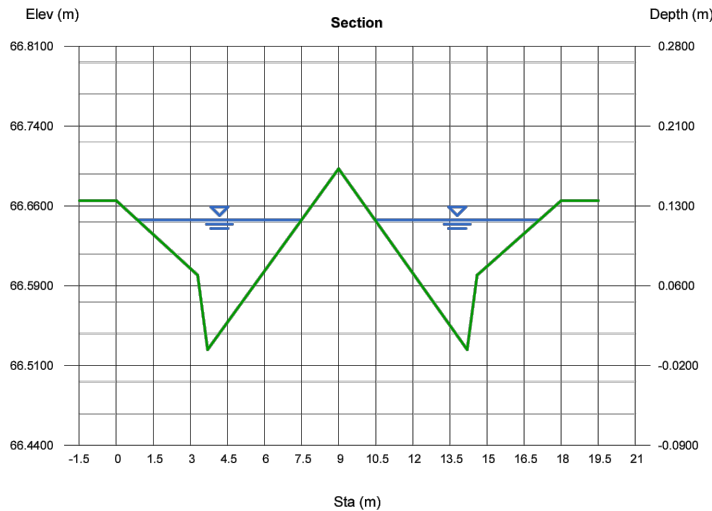
Channel Report

Hydraflow Express Extension for Autodesk® Civil 3D® by Autodesk, Inc. Monday, Mar 17 2025

Catchemnt B Section 5

<b>User-defined</b>		<b>Highlighted</b>	
Invert Elev (m)	= 66.5300	Depth (m)	= 0.1219
Slope (%)	= 1.1000	Q (cms)	= 0.6000
N-Value	= 0.015	Area (sqm)	= 0.6574
<b>Calculations</b>		Velocity (m/s)	= 0.9127
Compute by:	Known Q	Wetted Perim (m)	= 13.3098
Known Q (cms)	= 0.6000	Crit Depth, Yc (m)	= 0.1341
		Top Width (m)	= 13.2927
		EGL (m)	= 0.1644

(Sta, El, n)-(Sta, El, n)...  
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RESOURCE CONSENT

B	FAST TRACK APP	RK	05/2025
A	FAST TRACK APP	RK	04/2025
Rev	Description	By	Date
		By	Date
Survey	MAVEN		05/2024
Design	RJM		12/2024
Drawn	NAK		12/2024
Checked	DJM		05/2025



Project  
**ASHBOURNE  
RESIDENTIAL  
FOR  
MATAMATA  
DEVELOPMENTS LTD**

Title  
**PROPOSED  
OVERLAND FLOWPATH  
SECTIONS 2 OF 3**

Project no.	289001		
Scale	1:2500 @ A3		
Cad file	C460-OLFP.DWG		
Drawing no.	C460-4	Rev	<b>B</b>

DATE: 11/19/25 FILEPATH: F:\MVEN\HAMITON6 PROJECTS\289001 - STATION ROAD\ DRAWING\11 ASHBORNE RESIDENTIAL\C460-QLFP.DWG

RESOURCE CONSENT

### Channel Report

Hydraflow Express Extension for Autodesk® Civil 3D® by Autodesk, Inc.

Monday, Mar 17 2025

#### Catchemnt C Section 1

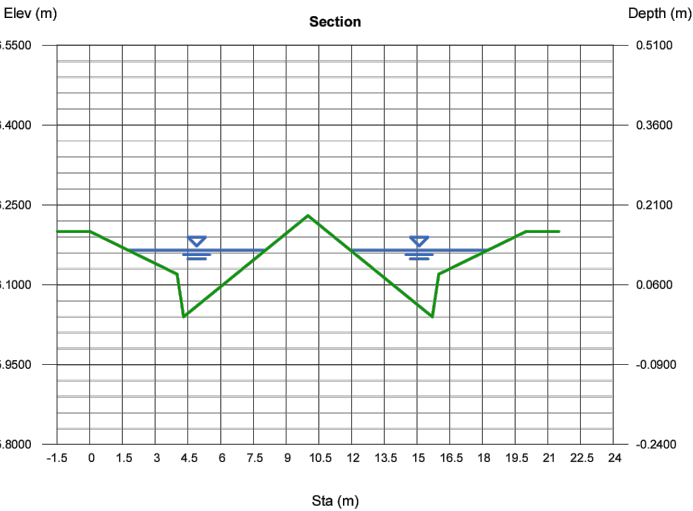
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N-Value = 0.015

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Area (sqm) = 0.6205  
Velocity (m/s) = 0.8058  
Wetted Perim (m) = 12.6157  
Crit Depth, Yc (m) = 0.1341  
Top Width (m) = 12.5896  
EGL (m) = 0.1581

Calculations  
Compute by: Known Q  
Known Q (cms) = 0.5000

(Sta, El, n)-(Sta, El, n)...

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### Channel Report

Hydraflow Express Extension for Autodesk® Civil 3D® by Autodesk, Inc.

Monday, Mar 17 2025

#### Catchemnt D Section 1

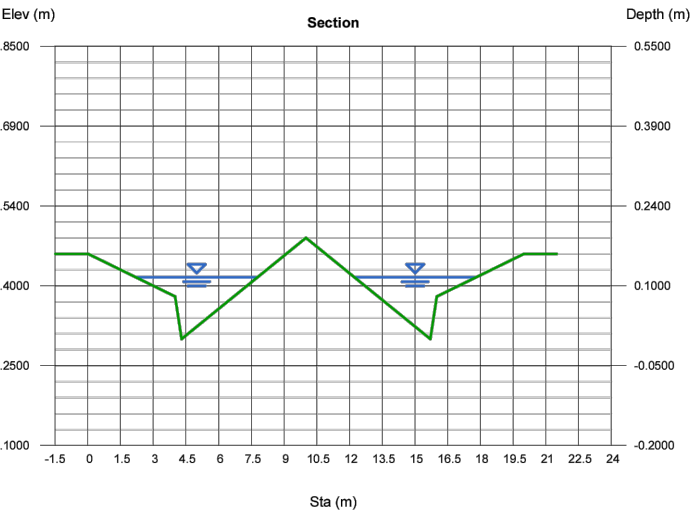
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Slope (%) = 0.5000  
N-Value = 0.015

Highlighted  
Depth (m) = 0.1158  
Q (cms) = 0.3000  
Area (sqm) = 0.5121  
Velocity (m/s) = 0.5858  
Wetted Perim (m) = 11.1542  
Crit Depth, Yc (m) = 0.1128  
Top Width (m) = 11.1286  
EGL (m) = 0.1333

Calculations  
Compute by: Known Q  
Known Q (cms) = 0.3000

(Sta, El, n)-(Sta, El, n)...

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### Channel Report

Hydraflow Express Extension for Autodesk® Civil 3D® by Autodesk, Inc.

Monday, Mar 17 2025

#### Catchemnt D Section 2

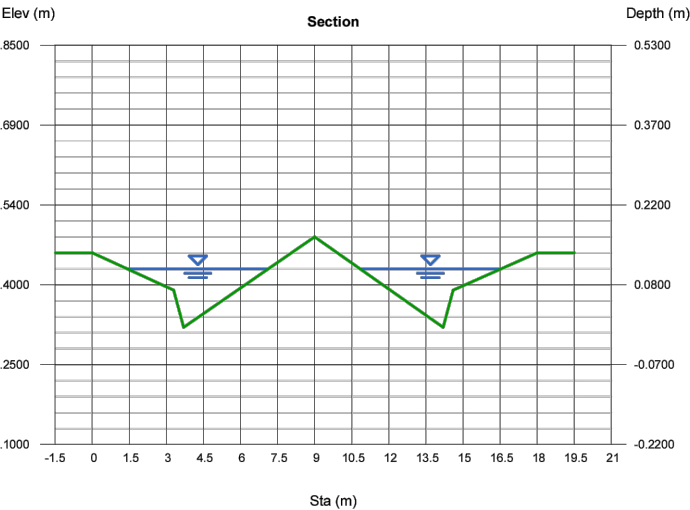
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Invert Elev (m) = 66.3200  
Slope (%) = 0.5000  
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Highlighted  
Depth (m) = 0.1097  
Q (cms) = 0.3000  
Area (sqm) = 0.5070  
Velocity (m/s) = 0.5917  
Wetted Perim (m) = 11.3907  
Crit Depth, Yc (m) = 0.1067  
Top Width (m) = 11.3742  
EGL (m) = 0.1276

Calculations  
Compute by: Known Q  
Known Q (cms) = 0.3000

(Sta, El, n)-(Sta, El, n)...

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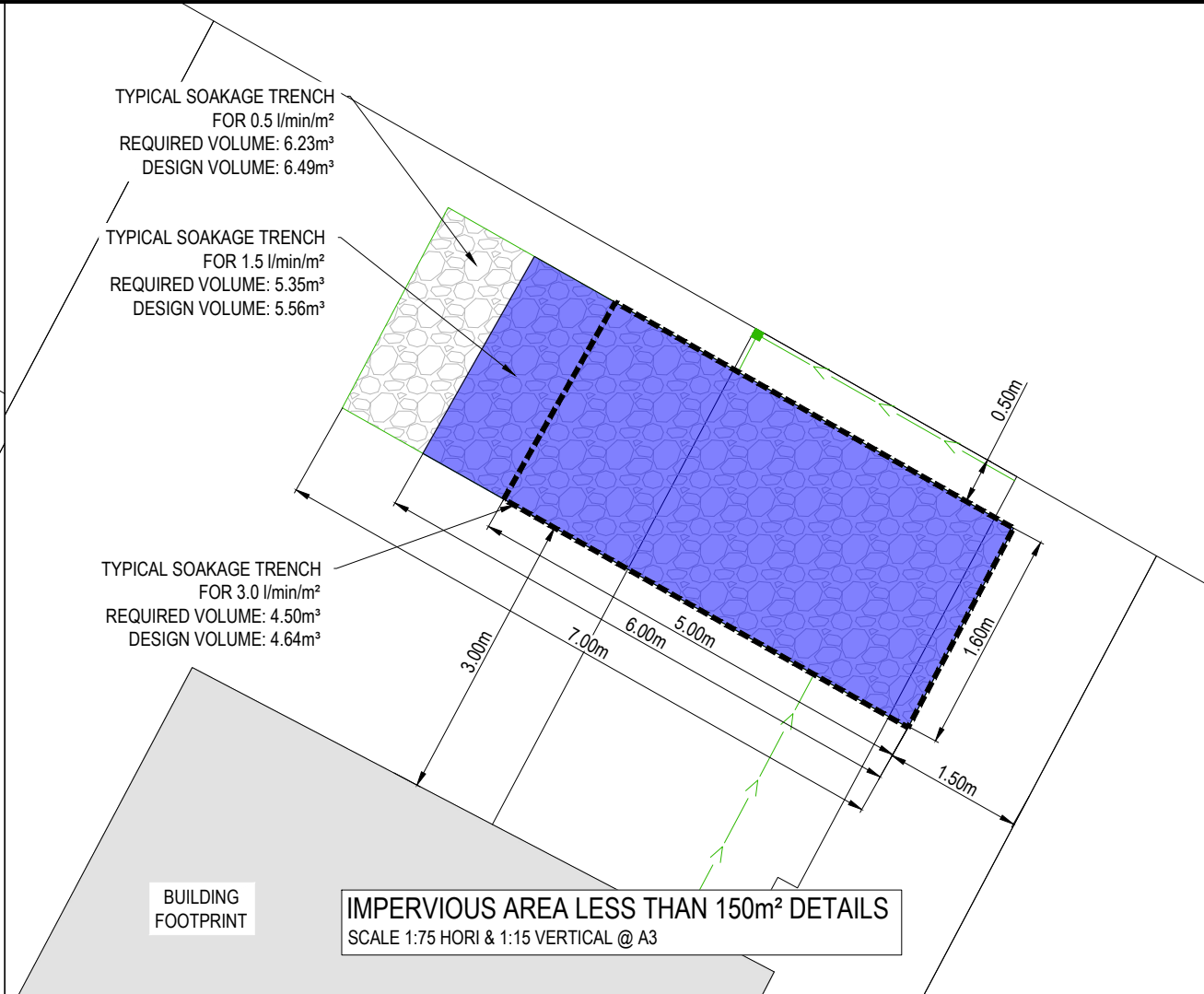
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A	FAST TRACK APP	RK	04/2025
Rev	Description	By	Date
		By	Date
Survey	MAVEN		05/2024
Design	RJM		12/2024
Drawn	NAK		12/2024
Checked	DJM		05/2025



Project  
**ASHBOURNE  
RESIDENTIAL  
FOR  
MATAMATA  
DEVELOPMENTS LTD**

Title  
**PROPOSED  
OVERLAND FLOWPATH  
SECTIONS 3 OF 3**

Project no.	289001		
Scale	1:2500 @ A3		
Cad file	C460-QLFP.DWG		
Drawing no.	C460-5	Rev	B

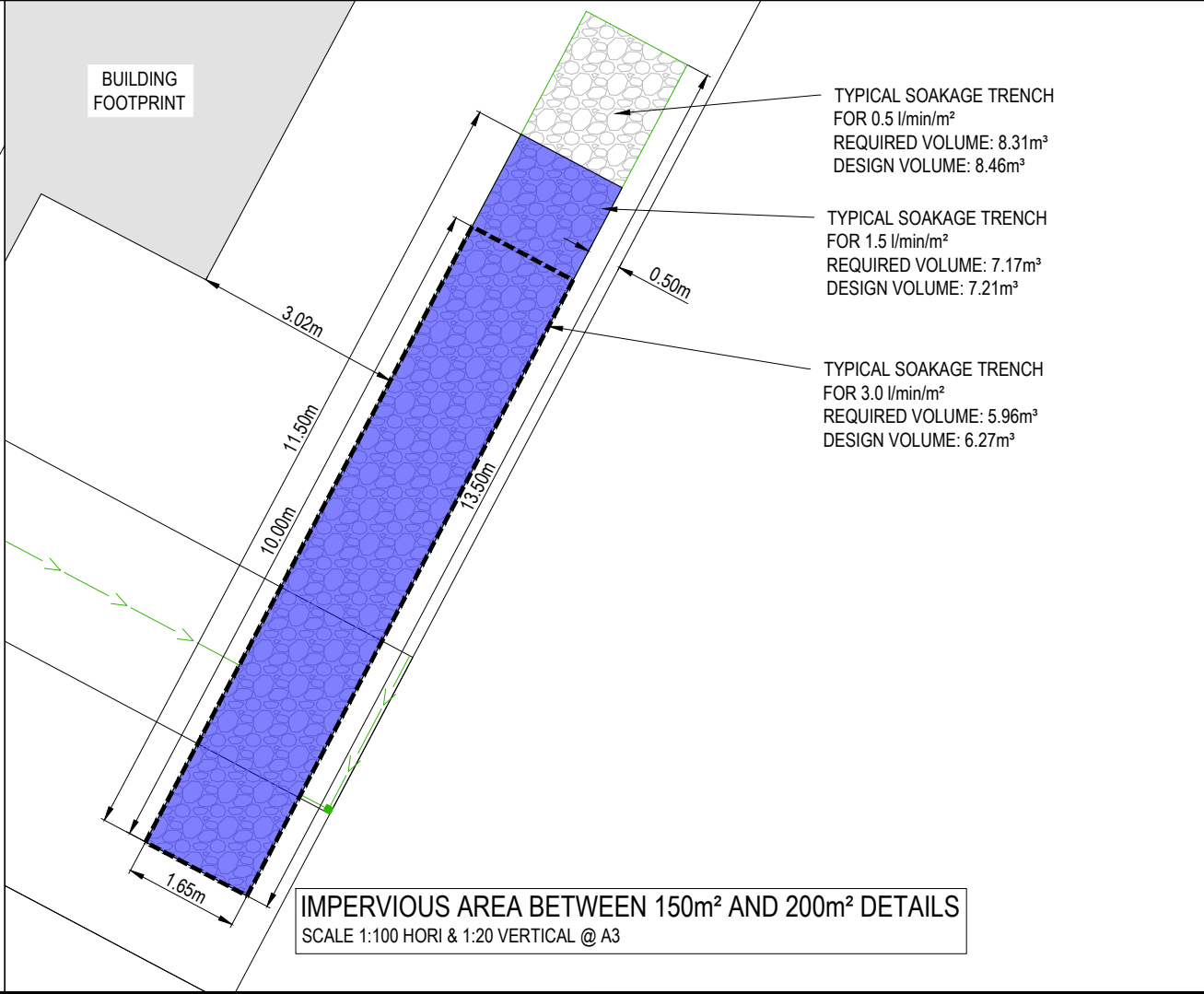
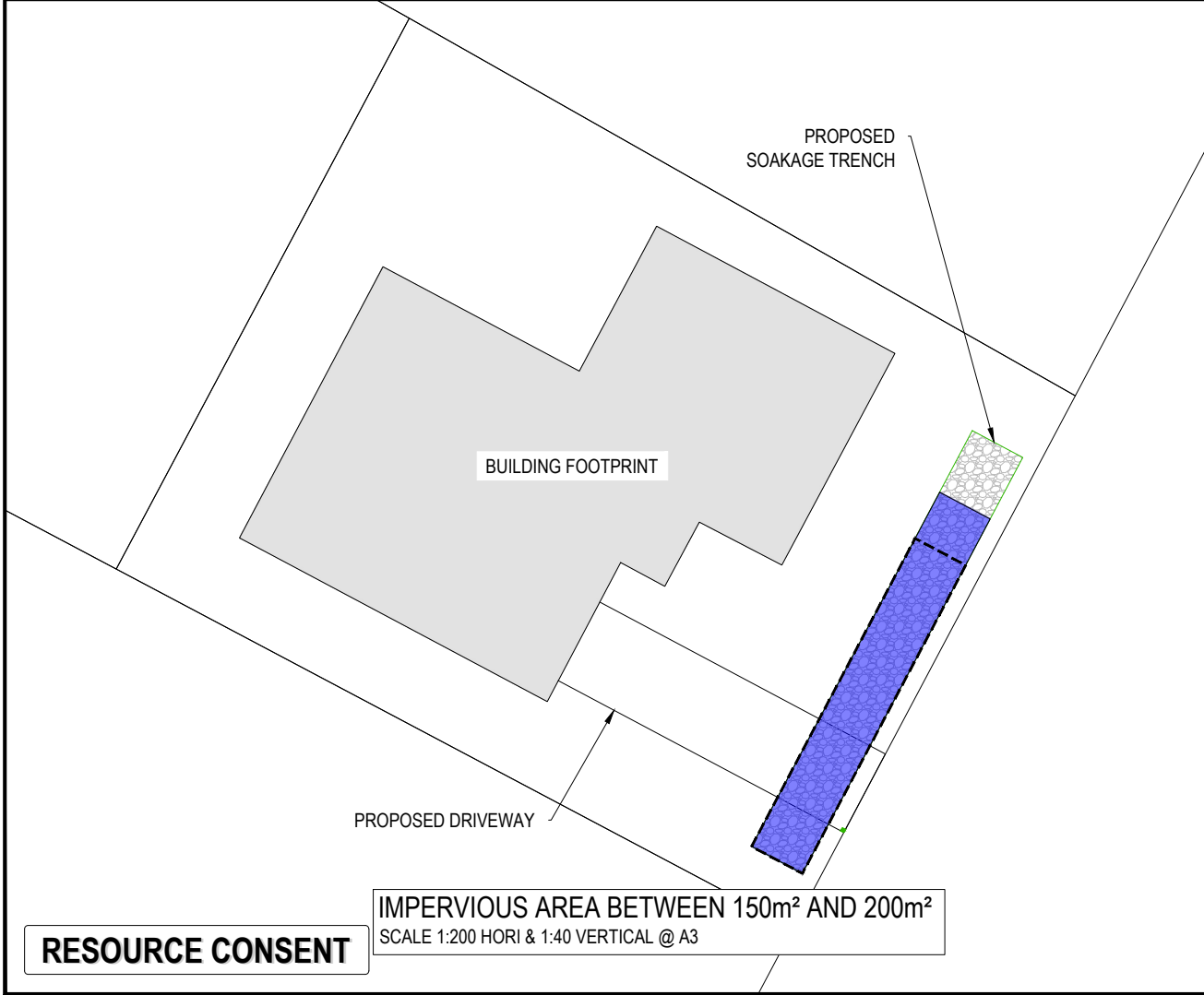


Notes

1. Site specific testing is required at Building Consent to determine the soakage rate and optimal soakage trench location.
2. On-lot soakage trench size is to be determined using the attached table by selecting the appropriate impervious area and corresponding soakage rate.
3. Invert of soakage device must be above the winter groundwater table.
4. Sizing is based on assumed depth of 1m. If 2m depth is chosen, the area of the soakage device can be halved.
5. Soakage trench device is sized to cater for the 10-year ARI event including climate change.
6. Soakage trench must maintain minimum 3m clearance from building footprint in accordance with RITS.
7. Soakage device to be either a soakage trench, soak hole or an approved alternative.
8. Soakage device must be constructed in accordance with the MPDC and Building Consent requirements.

Legend

- SOAKAGE TRENCH - 0.5l/min/m<sup>2</sup>
- SOAKAGE TRENCH - 1.5l/min/m<sup>2</sup>
- SOAKAGE TRENCH - 3.0l/min/m<sup>2</sup>



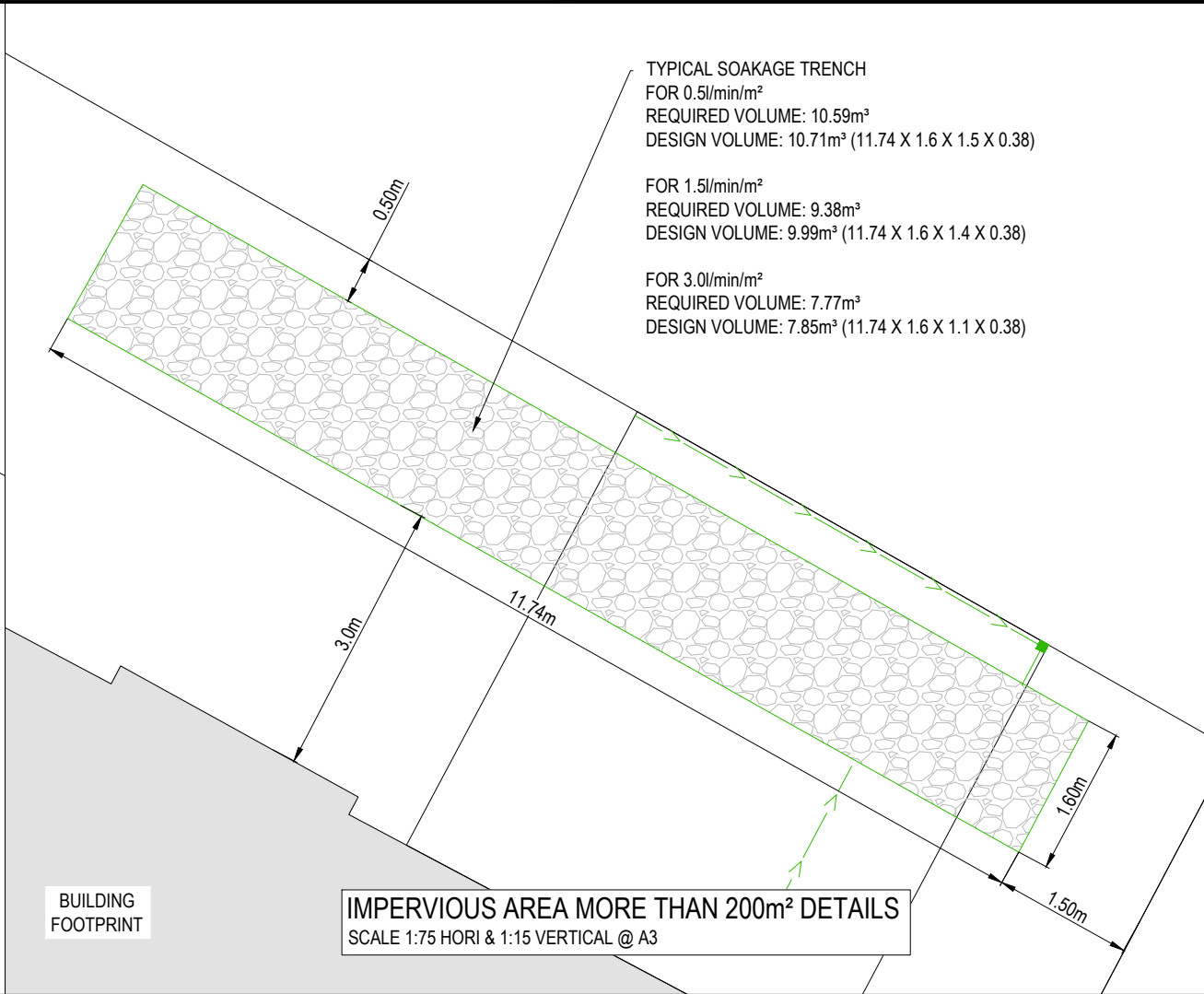
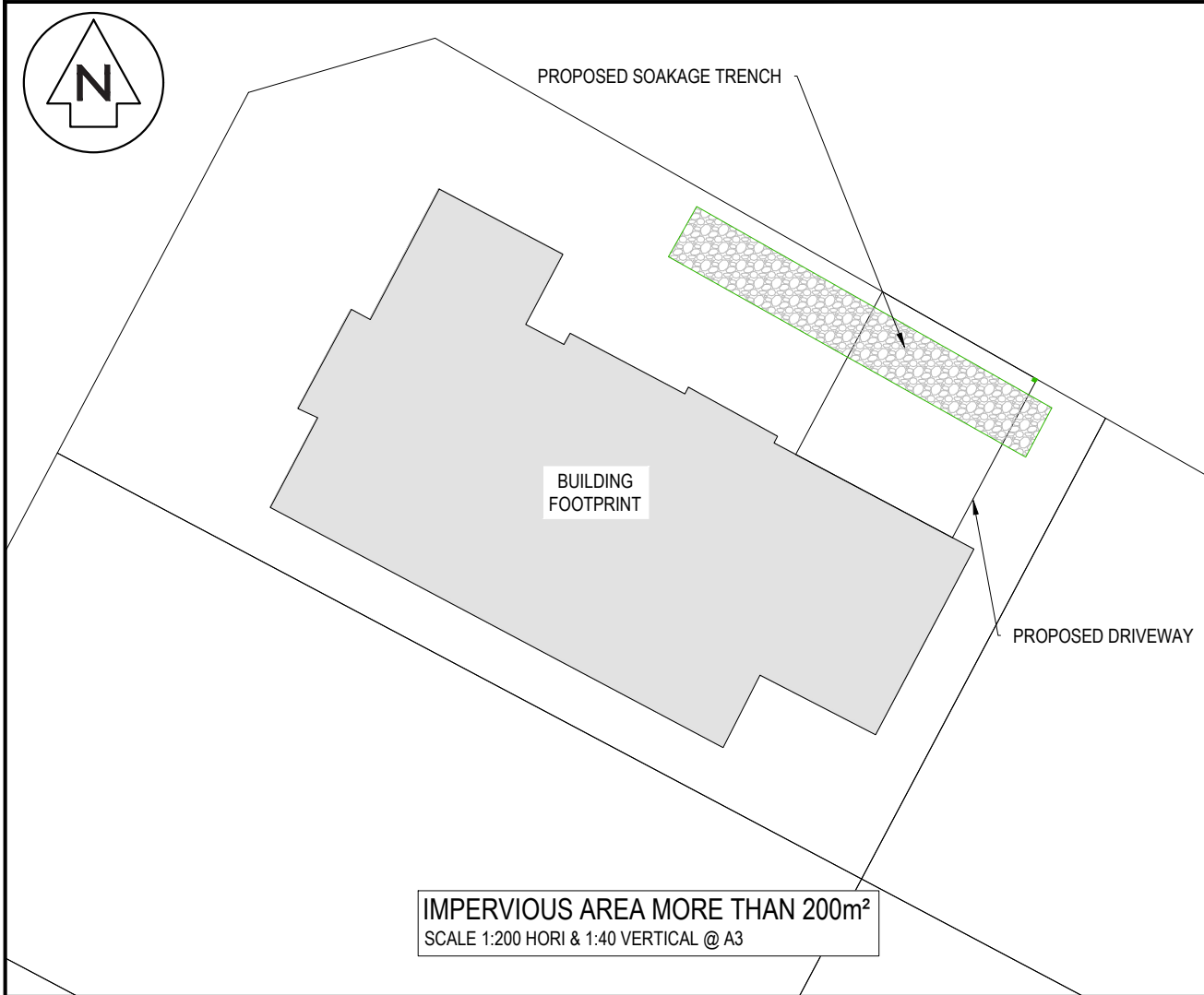
B	FAST TRACK APP	MKS	06/2025
A	FAST TRACK APP	MKS	04/2025
Rev	Description	By	Date
		By	Date
Survey	MAVEN		05/2024
Design	MKS		03/2025
Drawn	MKS		03/2025
Checked	DJM		06/2025

**M** **Maven Associates**  
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info@maven.co.nz  
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5 Owens Road, Epsom  
Auckland 1023

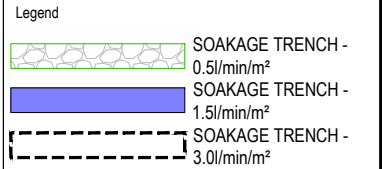
Project  
**ASHBOURNE  
RESIDENTIAL  
FOR  
MATAMATA  
DEVELOPMENTS LTD**

Title  
**PROPOSED  
STORMWATER ON-LOT  
TYPICAL PLAN**

Project no.	289001
Scale	AS SHOWN
Cad file	C470-SW ON-LOT TYP PLAN.DWG
Drawing no.	C470-1
Rev	<b>B</b>



- Notes
1. Site specific testing is required at Building Consent to determine the soakage rate and optimal soakage trench location.
  2. On-lot soakage trench size is to be determined using the attached table by selecting the appropriate impervious area and corresponding soakage rate.
  3. Invert of soakage device must be above the winter groundwater table.
  4. Soakage trench device is sized to cater for the 10-year ARI event including climate change.
  5. Soakage trench must maintain minimum 3m clearance from building footprint in accordance with RITS.
  6. Soakage device to be either a soakage trench, soak hole or an approved alternative.
  7. Soakage device must be constructed in accordance with the MPDC and Building Consent requirements.



B	FAST TRACK APP	MKS	06/2025
A	FAST TRACK APP	MKS	04/2025
Rev	Description	By	Date
	By	Date	
Survey	MAVEN	05/2024	
Design	MKS	03/2025	
Drawn	MKS	03/2025	
Checked	DJM	06/2025	



Project  
**ASHBOURNE  
RESIDENTIAL  
FOR  
MATAMATA  
DEVELOPMENTS LTD**

Title  
**PROPOSED  
STORMWATER ON-LOT  
TYPICAL PLAN**

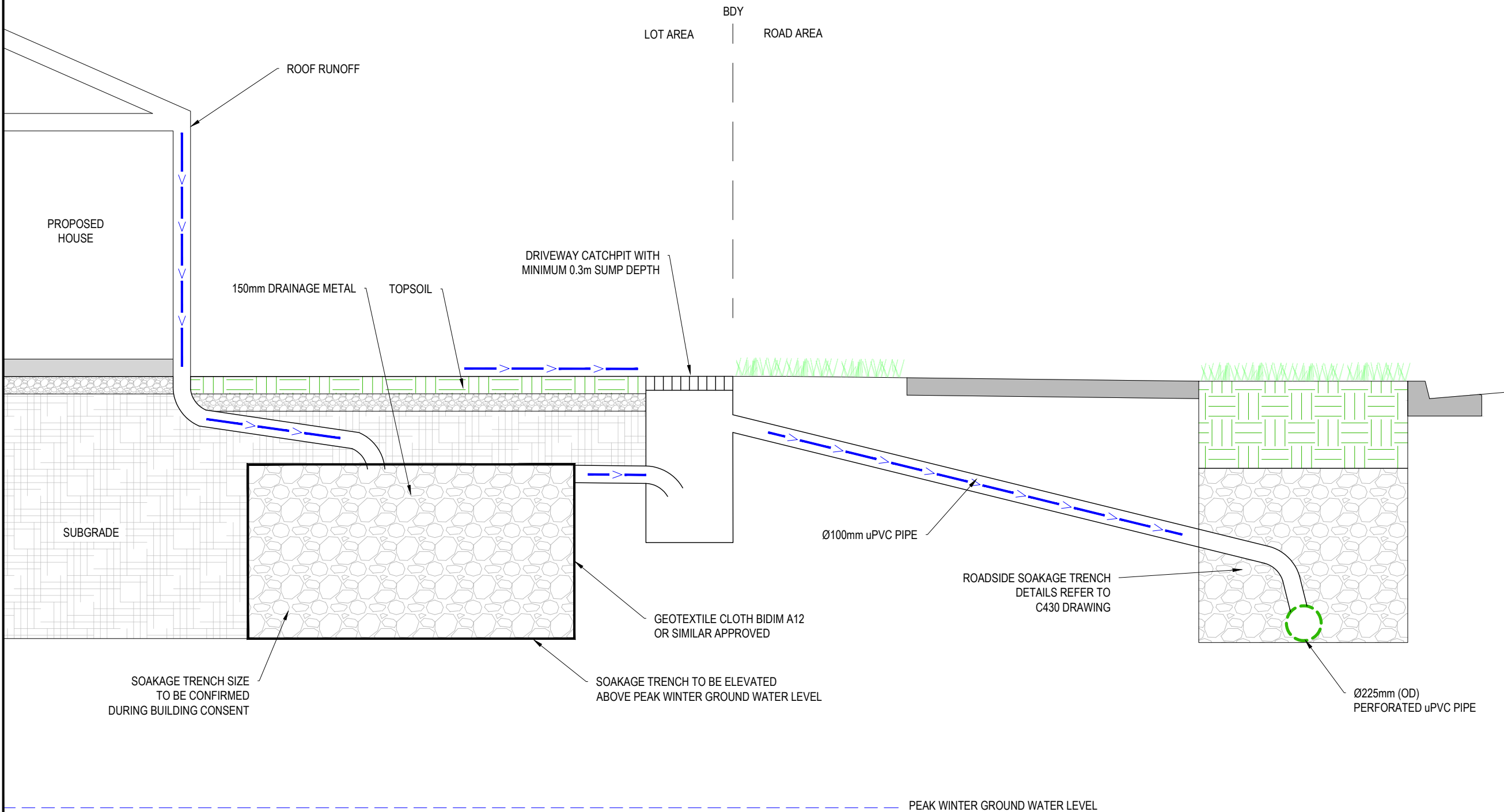
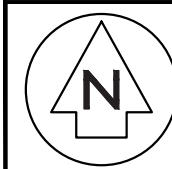
Project no.	289001		
Scale	AS SHOWN		
Cad file	C470-SW ON-LOT TYP PLAN.DWG		
Drawing no.	C470-2	Rev	<b>B</b>

### ON-LOT SOAKAGE TRENCH TABLE

ON-LOT SOAKAGE TRENCH SIZE REQUIREMENT	SOAKAGE RATE (l / min / m <sup>2</sup> )		
IMPERVIOUS AREA (m <sup>2</sup> )	0.5 < 1.5	1.5 - 3.0	> 3.0
< 150	6.49m <sup>3</sup>	5.56m <sup>3</sup>	4.64m <sup>3</sup>
150 - 200	8.46m <sup>3</sup>	7.21m <sup>3</sup>	6.27m <sup>3</sup>
200 - 250	10.71m <sup>3</sup>	9.99m <sup>3</sup>	7.85m <sup>3</sup>

ON-LOT SOAKAGE TRENCH TABLE  
SCALE: NTS

**RESOURCE CONSENT**



ON-LOT TYPICAL CROSS SECTION  
SCALE 1:25 HORI & 1:5 VERTICAL @ A3

- Notes
1. Site specific testing is required at Building Consent to determine the soakage rate and optimal soakage trench location.
  2. On-lot soakage trench size is to be determined using the attached table by selecting the appropriate impervious area and corresponding soakage rate.
  3. Invert of soakage device must be above the winter groundwater table.
  4. Soakage trench device is sized to cater for the 10-year ARI event including climate change.
  5. Soakage trench must maintain minimum 3m clearance from building footprint in accordance with RITS.
  6. Soakage device to be either a soakage trench, soak hole or an approved alternative.
  7. Soakage device must be constructed in accordance with the MPDC and Building Consent requirements.
  8. If soakage is not viable due to low soakage rate, detention tank to be proposed.

B	FAST TRACK APP	MKS	05/2025
A	FAST TRACK APP	MKS	04/2025
Rev	Description	By	Date
		By	Date
Survey	MAVEN		05/2024
Design	MKS		04/2025
Drawn	MKS		04/2025
Checked	DJM		05/2025

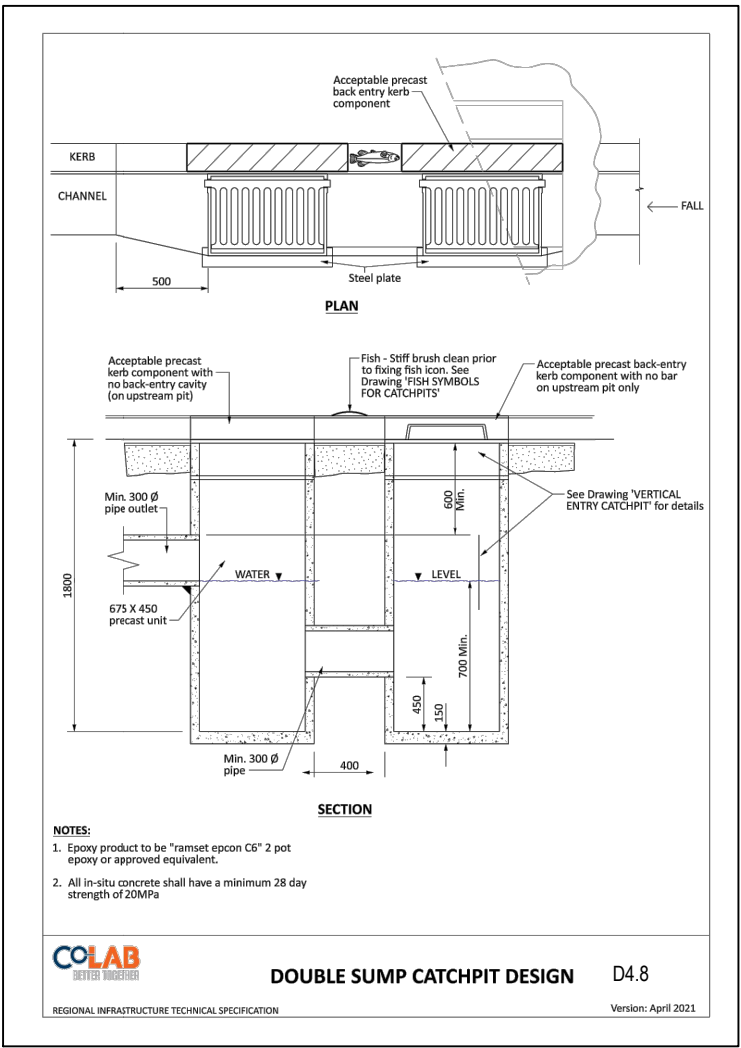
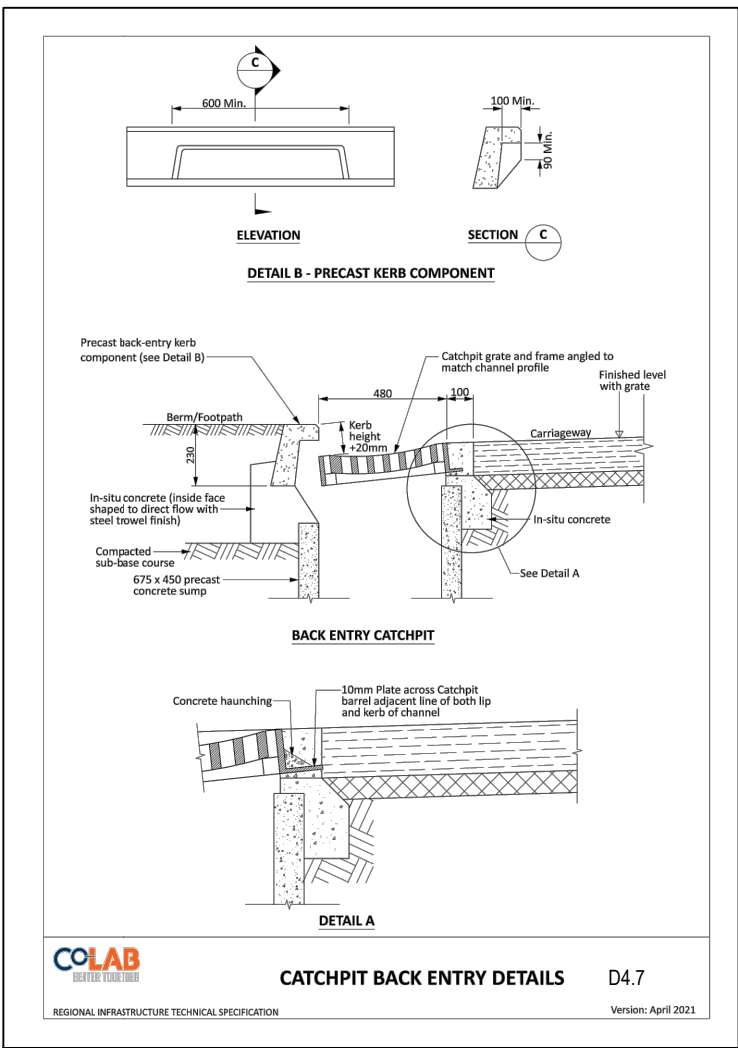
**M** **MAVEN** Associates  
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5 Owens Road, Epsom  
Auckland 1023

Project  
**ASHBOURNE  
RESIDENTIAL  
FOR  
MATAMATA  
DEVELOPMENTS LTD**

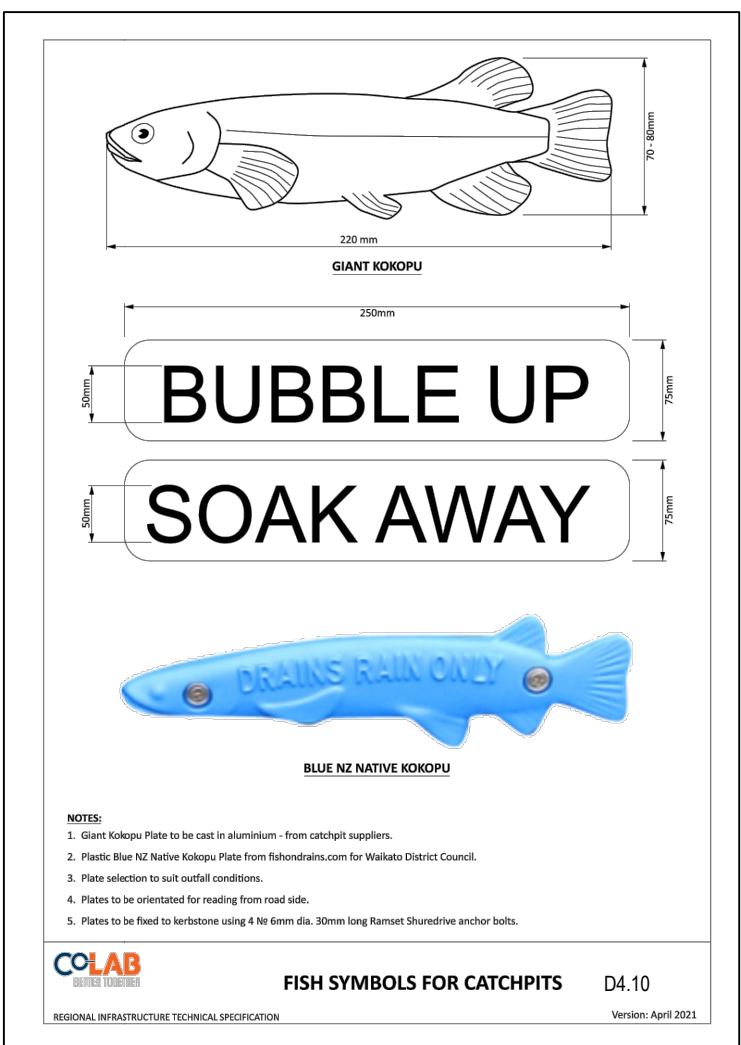
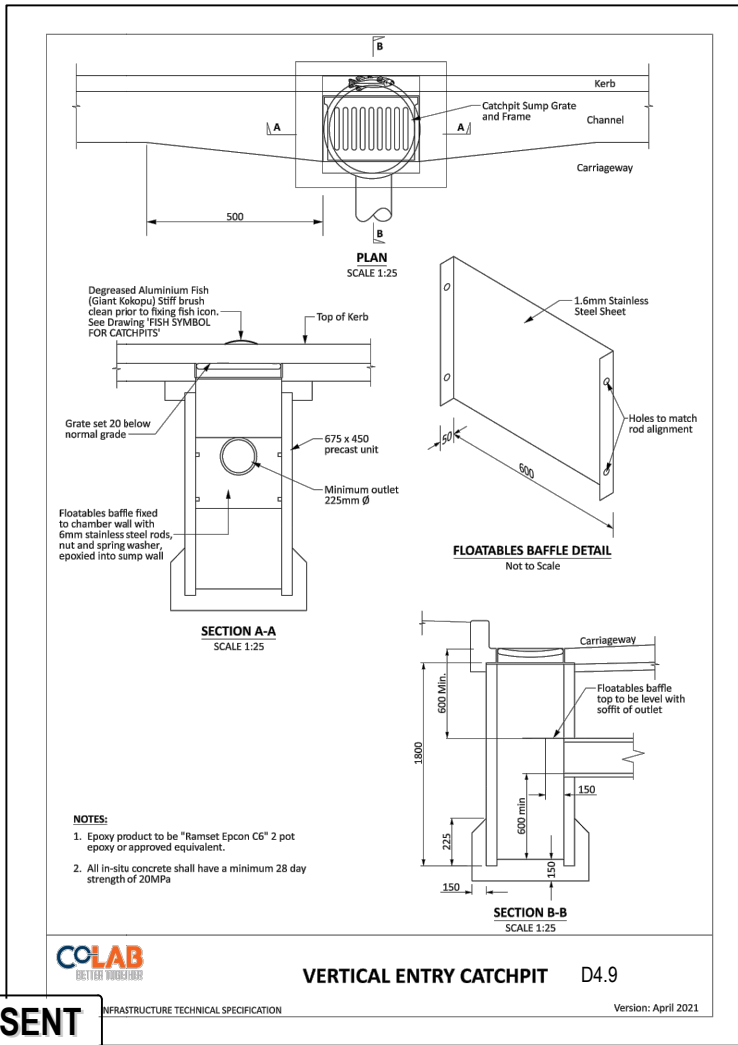
Title  
**PROPOSED  
STORMWATER ON-LOT  
TYPICAL CROSS-SECTION**

Project no.	289001		
Scale	1:25 @ A3		
Cad file	C470-SW ON-LOT TYP PLAN.DWG		
Drawing no.	C470-3	Rev	<b>B</b>

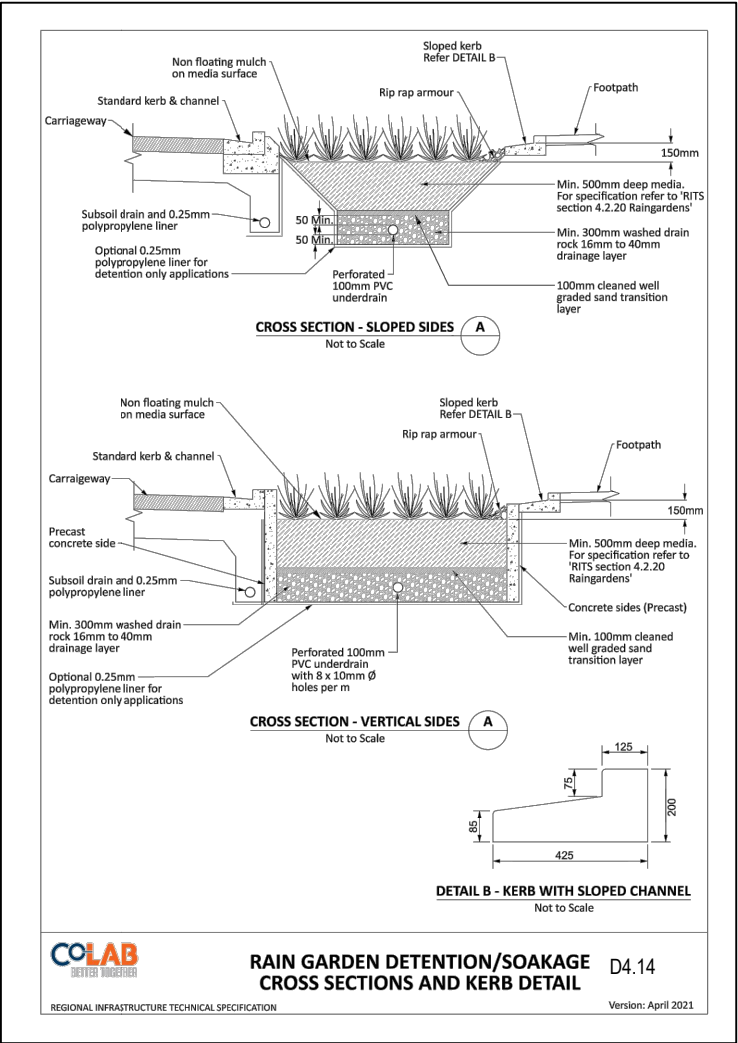
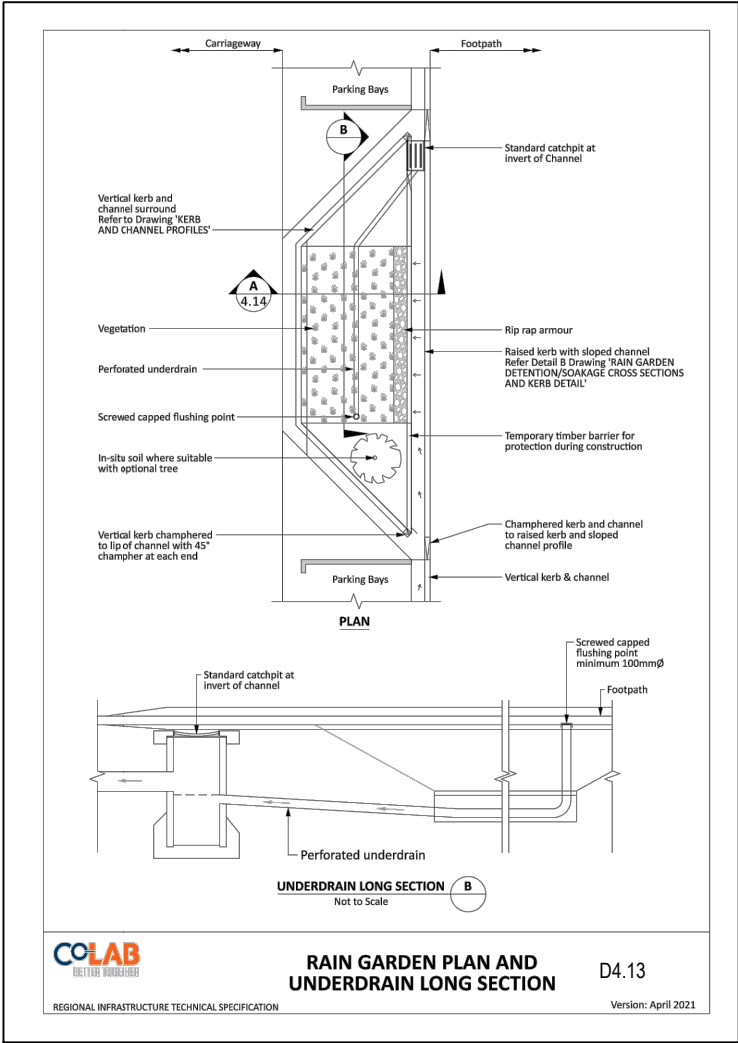
RESOURCE CONSENT



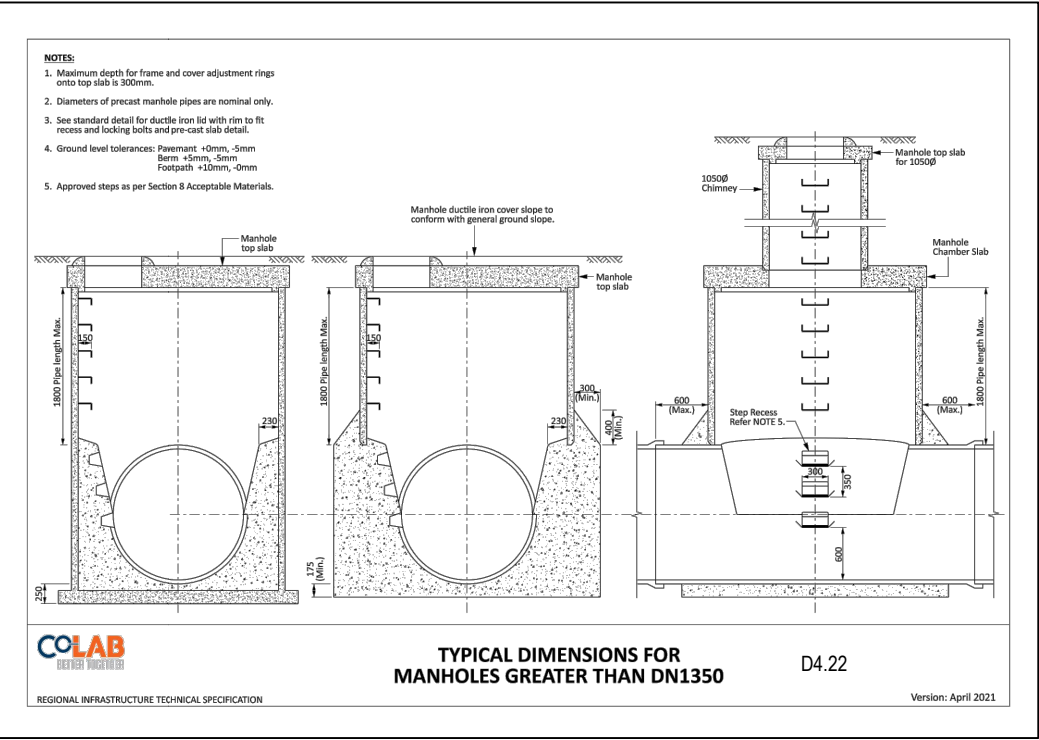
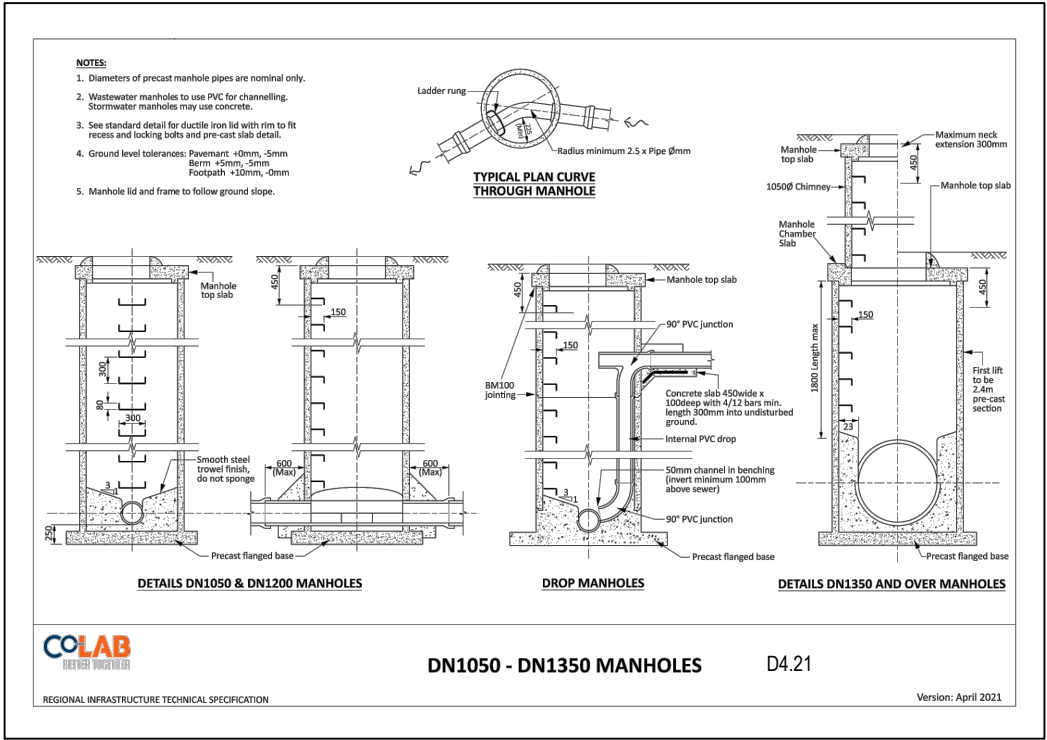
- Notes
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  7. All lines to be abandoned shall be sealed at each end. Timing of all sealing to be coordinated with council staff.



A	FAST TRACK APP	MKS	04/2025
Rev	Description	By	Date
		By	Date
Survey	MAVEN		05/2024
Design	MKS		04/2025
Drawn	MKS		04/2025
Checked	DJM		04/2025
<div><div><div>M</div><div>MAVEN</div></div><div><div>Maven Associates</div><div>09 571 0050</div><div>info@maven.co.nz</div><div>www.maven.co.nz</div><div>5 Owens Road, Epsom</div><div>Auckland 1023</div></div></div>			
Project <b>ASHBOURNE RESIDENTIAL FOR MATAMATA DEVELOPMENTS LTD</b>			
Title <b>PROPOSED STORMWATER STANDARD DETAILS</b>			
Project no.	289001		
Scale	NTS		
Cad file	C480-SW STANDARD DETAILS.DWG		
Drawing no.	C480-1	Rev	A



- Notes
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Rev	Description	By	Date
		By	Date
Survey	MAVEN		05/2024
Design	MKS		04/2025
Drawn	MKS		04/2025
Checked	DJM		04/2025

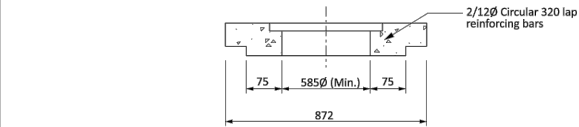
**M** Maven Associates  
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Project  
**ASHBOURNE  
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MATAMATA  
DEVELOPMENTS LTD**

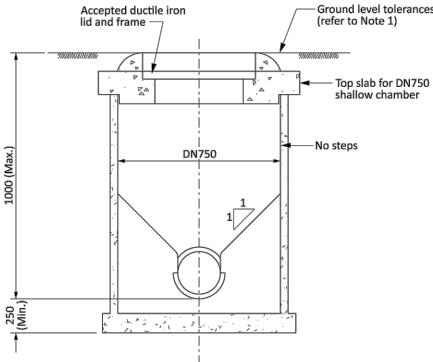
Title  
**PROPOSED  
STORMWATER  
STANDARD DETAILS**

Project no.	289001
Scale	NTS
Cad file	C480-SW STANDARD DETAILS.DWG
Drawing no.	C480-2
Rev	A

RESOURCE CONSENT



TOP SLAB FOR DN750 SHALLOW CHAMBER



DN750 INTERNAL SHALLOW CHAMBER  
To be used only on pipes of DN100 to DN300 and where depth of invert is less than 1000mm

- NOTES:**
1. Ground level tolerances: Pavement +0mm, -5mm  
Berm +5mm, -5mm  
Footpath +10mm, -0mm

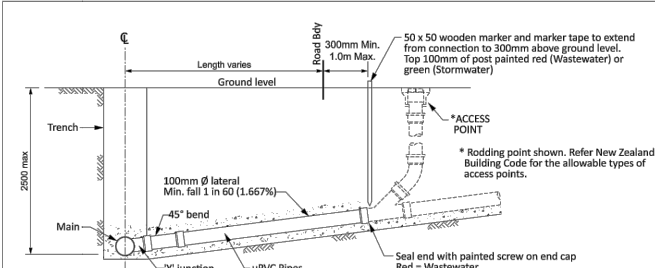


SHALLOW MANHOLE/CHAMBER

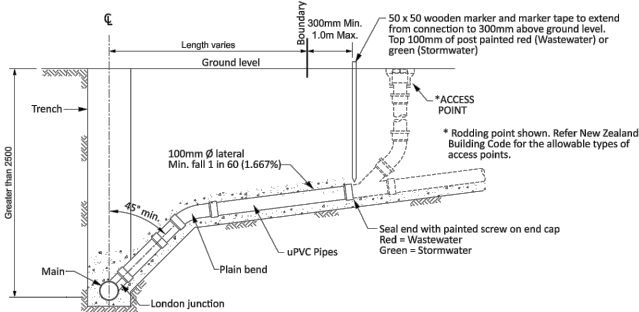
D4.23

REGIONAL INFRASTRUCTURE TECHNICAL SPECIFICATION

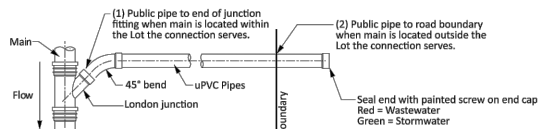
Version: April 2021



STANDARD CONNECTION WITH A DEPTH TO INVERT LESS THAN 2500mm - SECTION



RAMP RISER CONNECTION WITH A DEPTH TO INVERT GREATER THAN 2500mm - SECTION



POINT OF DISCHARGE: PUBLIC AND PRIVATE INFRASTRUCTURE

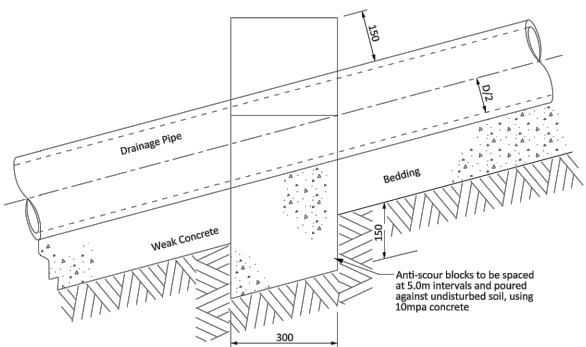


LATERAL CONNECTION

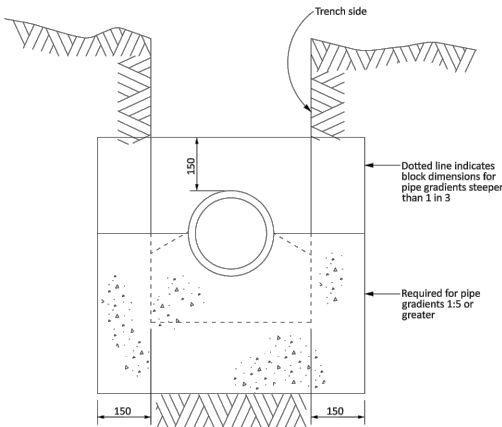
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REGIONAL INFRASTRUCTURE TECHNICAL SPECIFICATION

Version: April 2021



LONG SECTION



CROSS SECTION

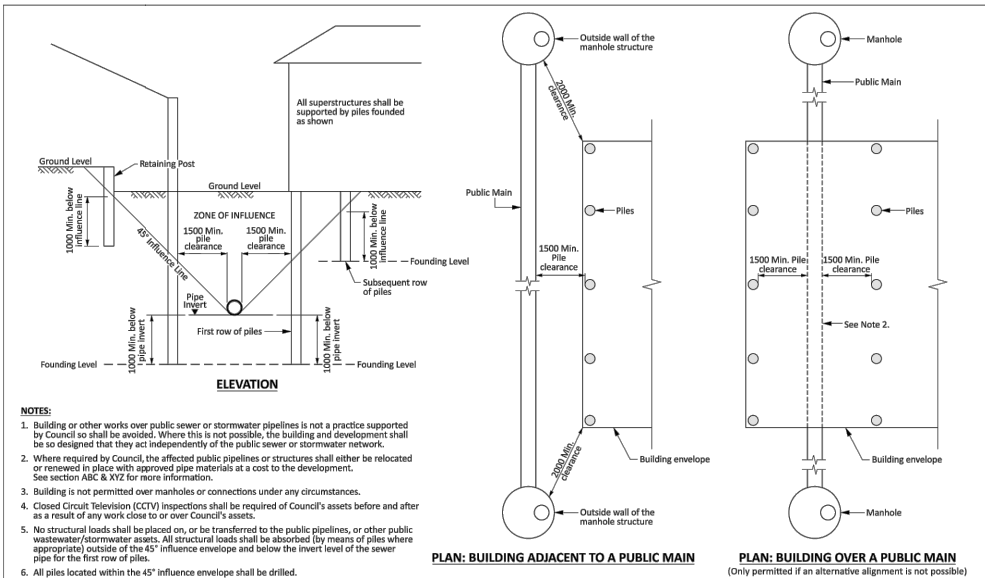


ANTI-SCOUR BLOCKS  
FOR STEEP DRAINAGE PIPES

D4.25

REGIONAL INFRASTRUCTURE TECHNICAL SPECIFICATION

Version: April 2021



- NOTES:**
1. Building or other works over public sewer or stormwater pipelines is not a practice supported by Council so shall be avoided. Where this is not possible, the building and development shall be so designed that they act independently of the public sewer or stormwater network.
  2. Where required by Council, the affected public pipelines or structures shall either be relocated or renewed in place with approved pipe materials at a cost to the development. See section A16 & XYZ for more information.
  3. Building is not permitted over manholes or connections under any circumstances.
  4. Closed Circuit Television (CCTV) inspections shall be required of Council's assets before and after as a result of any work close to or over Council's assets.
  5. No structural loads shall be placed on, or be transferred to the public pipelines, or other public wastewater/stormwater assets. All structural loads shall be absorbed (by means of piles where appropriate) outside of the 45° influence envelope and below the invert level of the sewer pipe for the first row of piles.
  6. All piles located within the 45° influence envelope shall be drilled.



BUILDING OVER AND ADJACENT TO  
PUBLIC WASTEWATER OR STORMWATER PIPELINES

D4.26

REGIONAL INFRASTRUCTURE TECHNICAL SPECIFICATION

Version: April 2021

Notes

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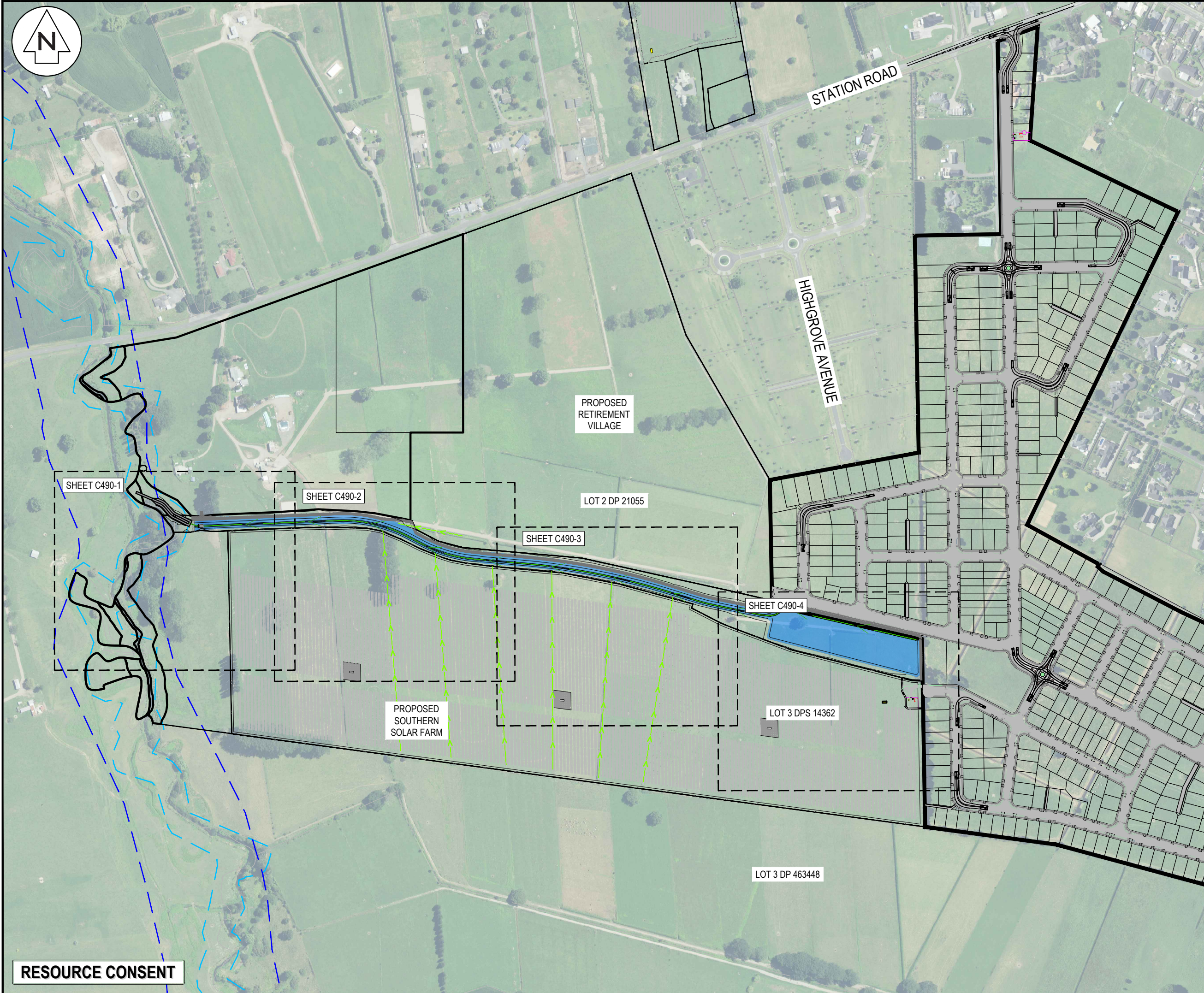
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Rev	Description	By	Date
		By	Date
Survey	MAVEN		05/2024
Design	MKS		04/2025
Drawn	MKS		04/2025
Checked	DJM		04/2025

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Auckland 1023

Project  
**ASHBOURNE  
RESIDENTIAL  
FOR  
MATAMATA  
DEVELOPMENTS LTD**

Title  
**PROPOSED  
STORMWATER  
STANDARD DETAILS**

Project no.	289001
Scale	NTS
Cad file	C480-SW STANDARD DETAILS.DWG
Drawing no.	C480-3
Rev	A



- Notes
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  11. Pipe lengths shown on plan are from upstream pipe invert to downstream pipe invert.

Legend

---	EX BOUNDARY
---	PROP LOT BOUNDARY
---	EX STORMWATER
---	PROP STORMWATER
---	PROP WASTEWATER
○	EX/PROP SWMH
○	EX/PROP WWMH
---	PROP SW LOT CON
---	PROP SWCP SINGLE
---	PROP LOW FLOW CHANNEL
---	PROP FLOOD ZONE

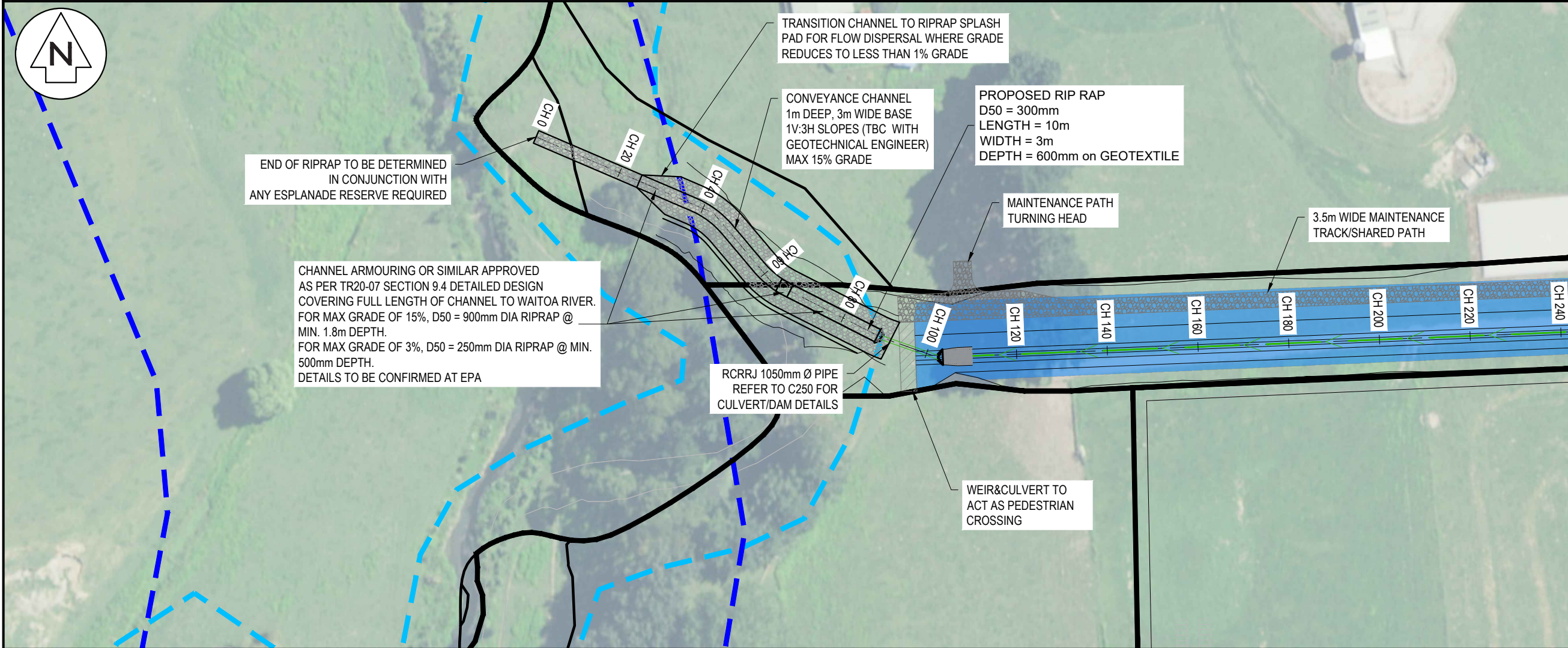
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D	FAST TRACK APP	MKS	07/2025
C	FAST TRACK APP	MKS	06/2025
B	FAST TRACK APP	MKS	05/2025
Rev	Description	By	Date
		By	Date
Survey	LINZ		10/2023
Design	MHS		10/2024
Drawn	RJM		11/2024
Checked	DJM		10/2025

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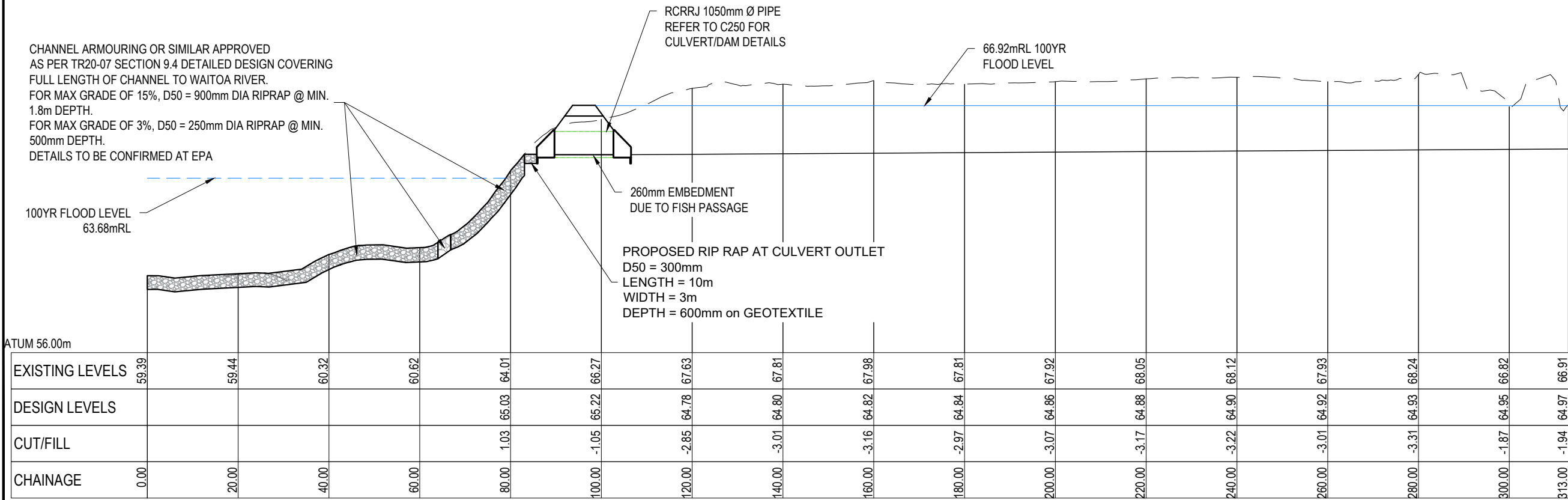
Title  
**PROPOSED  
STORMWATER  
GREENWAY OVERVIEW**

Project no.	289001		
Scale	1:5000 @ A3		
Cad file	C490-SW GREENWAY.DWG		
Drawing no.	C490	Rev	E



- Notes
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	PROP LOT BOUNDARY
	EX STORMWATER
	PROP STORMWATER
	PROP WASTEWATER
	EX/PROP SWMH
	EX/PROP WWMH
	PROP SW LOT CON
	PROP SWCP SINGLE
	PROP LOW FLOW CHANNEL
	PROP FLOOD ZONE



GREENWAY LONGSECTION CH 0-313  
SCALE: HORI 1:500 VERT 1:100

RESOURCE CONSENT

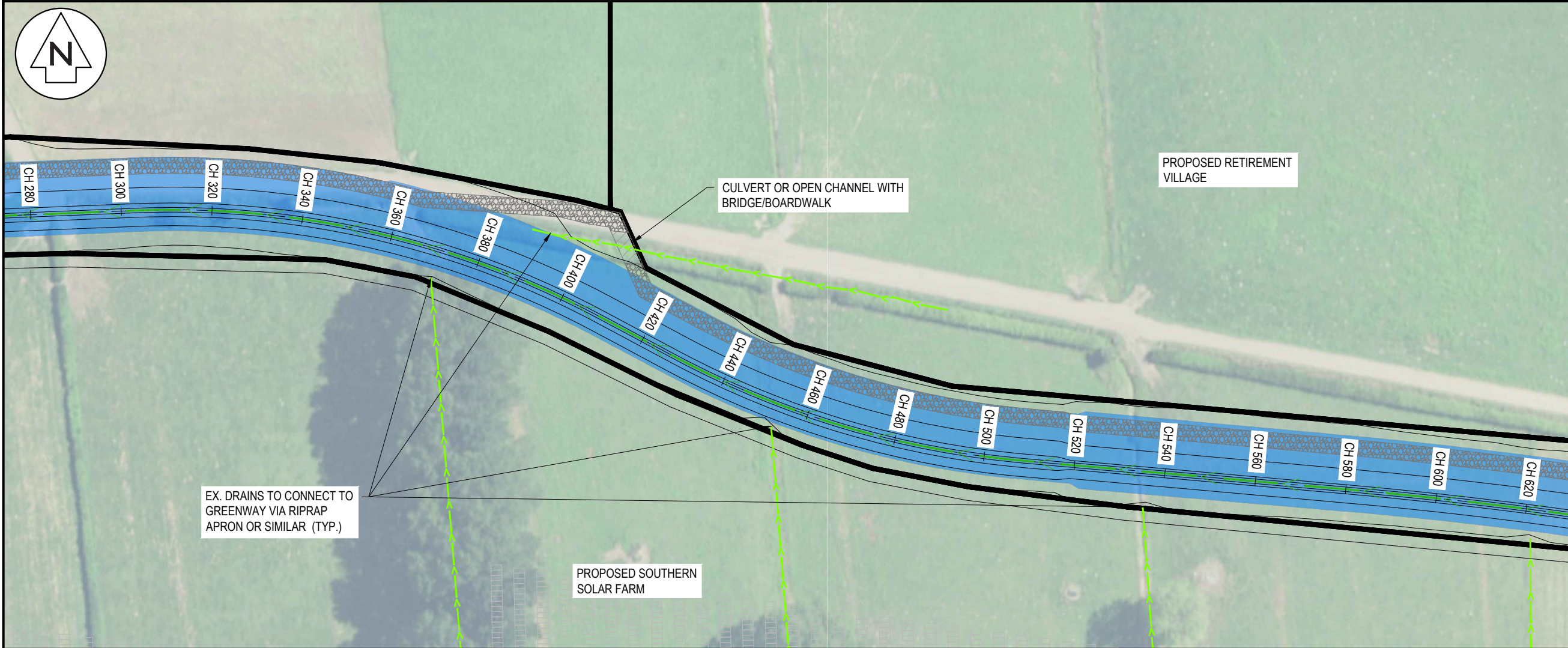
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Rev	Description	By	Date
Survey	LINZ		10/2023
Design	MHS		10/2024
Drawn	RJM		11/2024
Checked	DJM		06/2025

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FOR  
MATAMATA  
DEVELOPMENTS**

Title  
**PROPOSED  
STORMWATER  
GREENWAY PLAN**

Project no.	289001		
Scale	1:1000 @ A3		
Cad file	C490-SW GREENWAY.DWG		
Drawing no.	C490-1	Rev	F



- Notes
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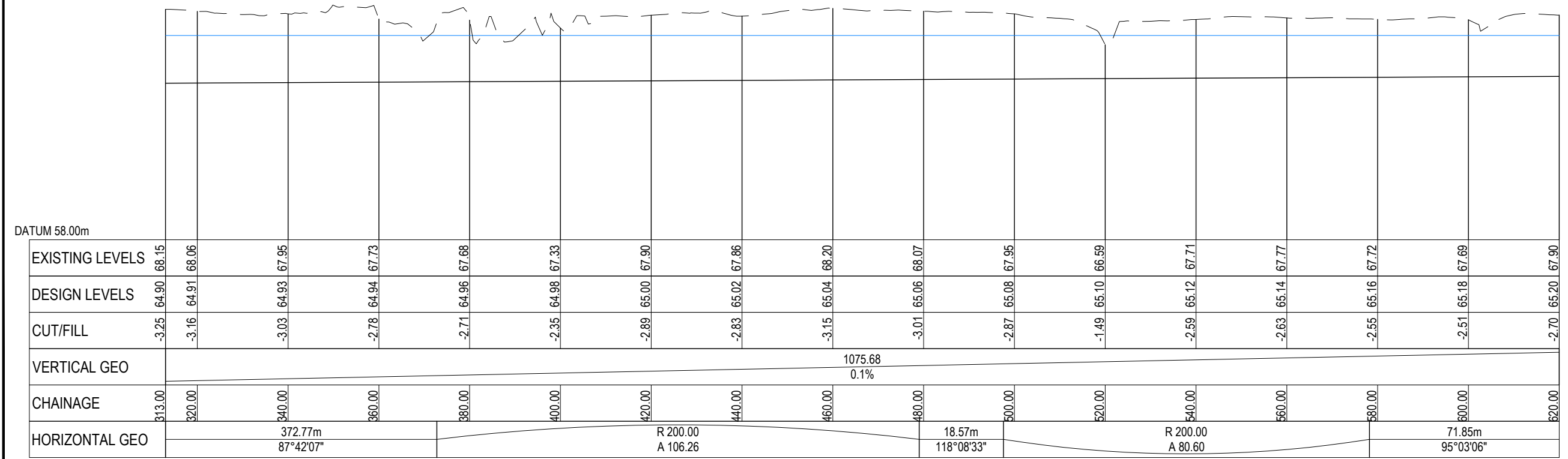
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B	FAST TRACK APP	MKS	05/2025
A	FAST TRACK APP	MS	04/2025
Rev	Description	By	Date
		By	Date
Survey	LINZ		10/2023
Design	MHS		10/2024
Drawn	RJM		11/2024
Checked	DJM		06/2025

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Project  
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MATAMATA  
DEVELOPMENTS**

Title  
**PROPOSED  
STORMWATER  
GREENWAY PLAN**

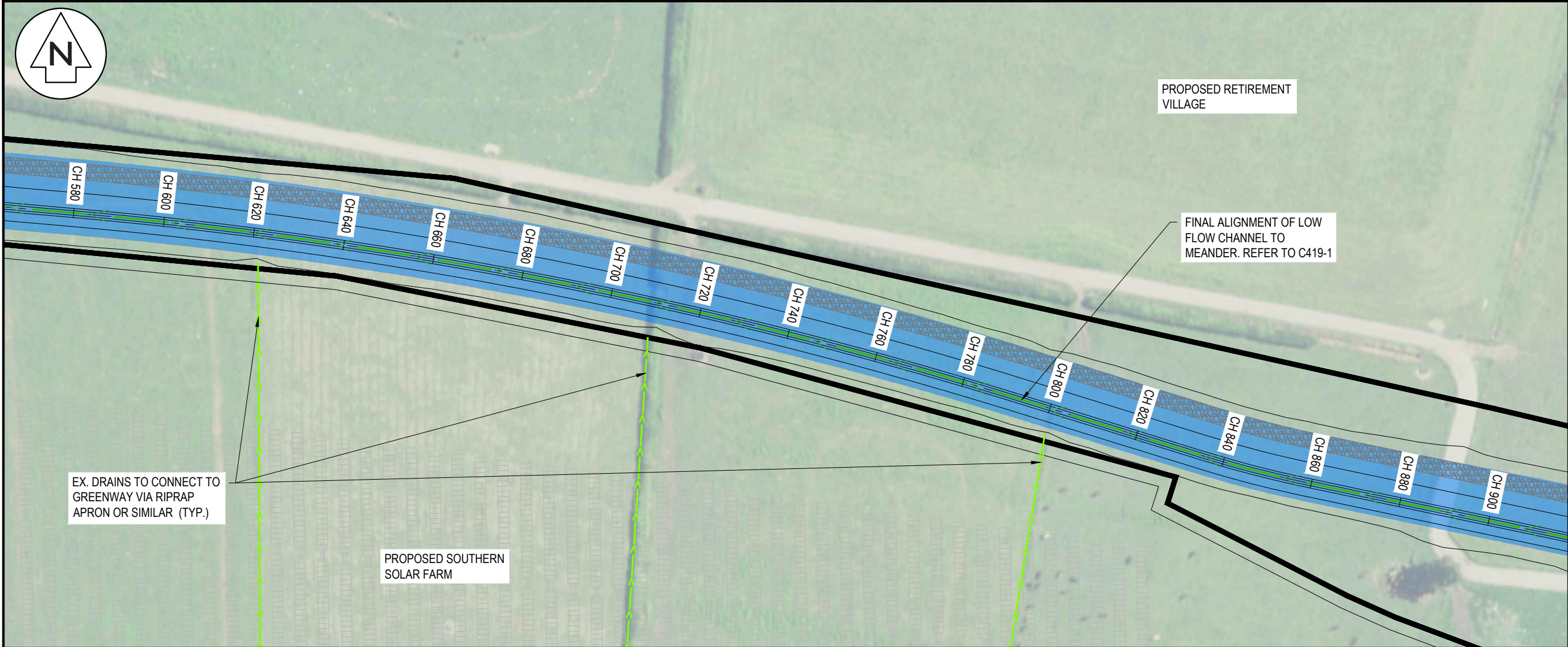
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Drawing no.	C490-2	Rev	C



**RESOURCE CONSENT**

GREENWAY LONGSECTION CH 313-620  
SCALE: HORI 1:500 VERT 1:100

DATE: 11/11/25 FILEPATH: F:\Maven\Hamilton\6. PROJECTS\289001 - STATION ROAD\DRAWING\1. ASHBORNE RESIDENTIAL\C490-SW GREENWAY.DWG



- Notes
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	EX STORMWATER
	PROP STORMWATER
	PROP WASTEWATER
	EX/PROP SWMH
	EX/PROP WWMH
	PROP SW LOT CON
	PROP SWCP SINGLE
	PROP LOW FLOW CHANNEL
	PROP FLOOD ZONE

DATUM 58.00m											
EXISTING LEVELS	67.90	67.76	67.69	67.69	67.63	67.69	67.65	67.74	67.30	67.69	67.65
DESIGN LEVELS	65.20	65.22	65.24	65.26	65.28	65.30	65.32	65.34	65.36	65.38	65.40
CUT/FILL	-2.70	-2.54	-2.46	-2.43	-2.36	-2.39	-2.33	-2.40	-1.94	-2.31	-2.25
VERTICAL GEO	1075.68 0.1%										
CHAINAGE	620.00	640.00	660.00	680.00	700.00	720.00	740.00	760.00	780.00	800.00	820.00
HORIZONTAL GEO	71.85m 95°03'06"	R 1000.00 A 212.05								42.89m 107°12'05"	R 250.00 A 23.31

C	FAST TRACK APP	MKS	06/2025
B	FAST TRACK APP	MKS	05/2025
A	FAST TRACK APP	MS	04/2025
Rev	Description	By	Date
Survey	LINZ		10/2023
Design	MHS		10/2024
Drawn	RJM		11/2024
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Project  
**ASHBOURNE  
RESIDENTIAL  
FOR  
MATAMATA  
DEVELOPMENTS**

Title  
**PROPOSED  
STORMWATER  
GREENWAY PLAN**

Project no.	289001
Scale	1:1000 @ A3
Cad file	C490-SW GREENWAY.DWG
Drawing no.	C490-3
Rev	<b>C</b>

**RESOURCE CONSENT**

GREENWAY LONGSECTION CH 620-930  
SCALE: HORI 1:500 VERT 1:100





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 New Zealand

Project  
**ASHBOURNE  
RESIDENTIAL  
FOR  
MATAMATA  
DEVELOPMENTS**

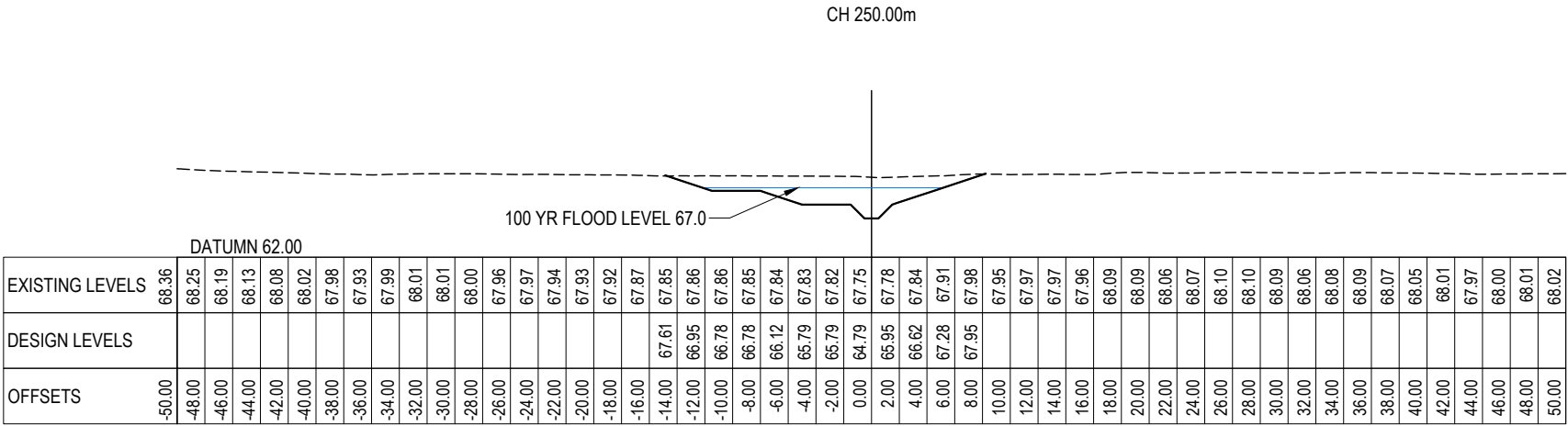
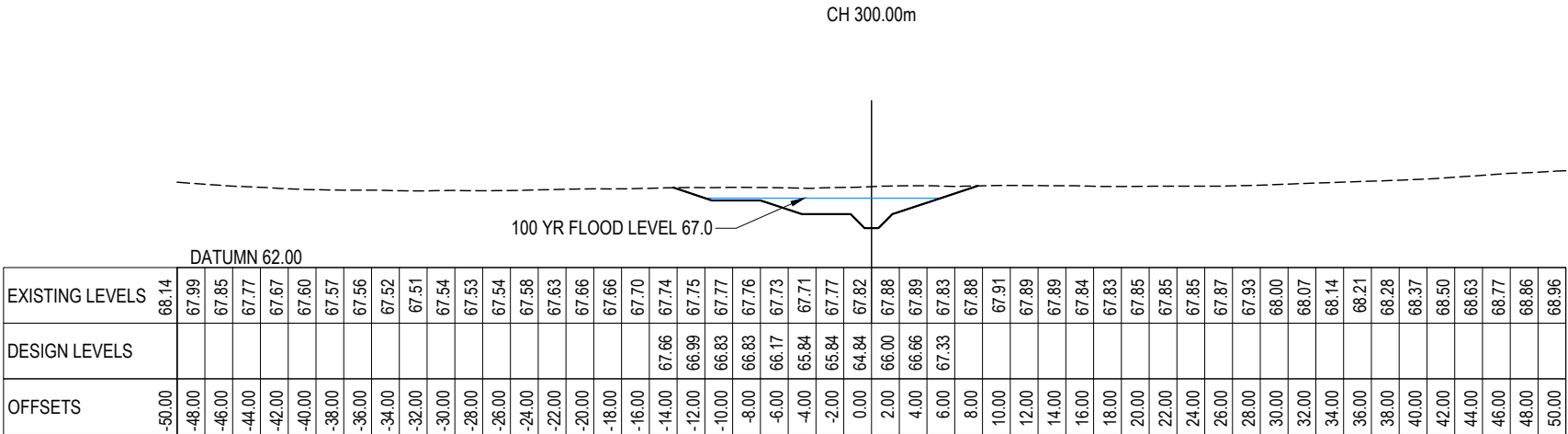
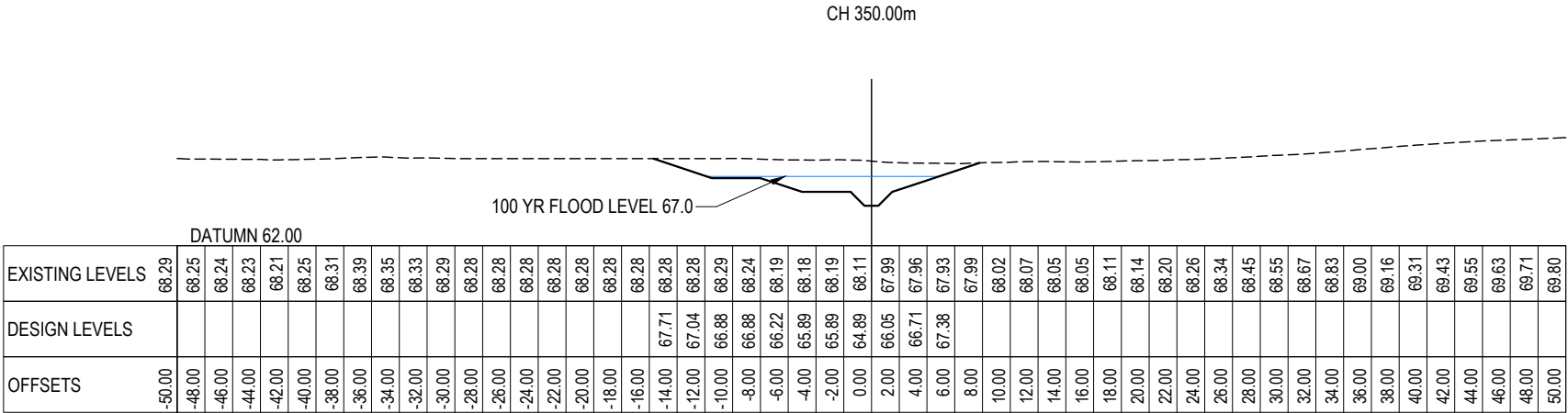
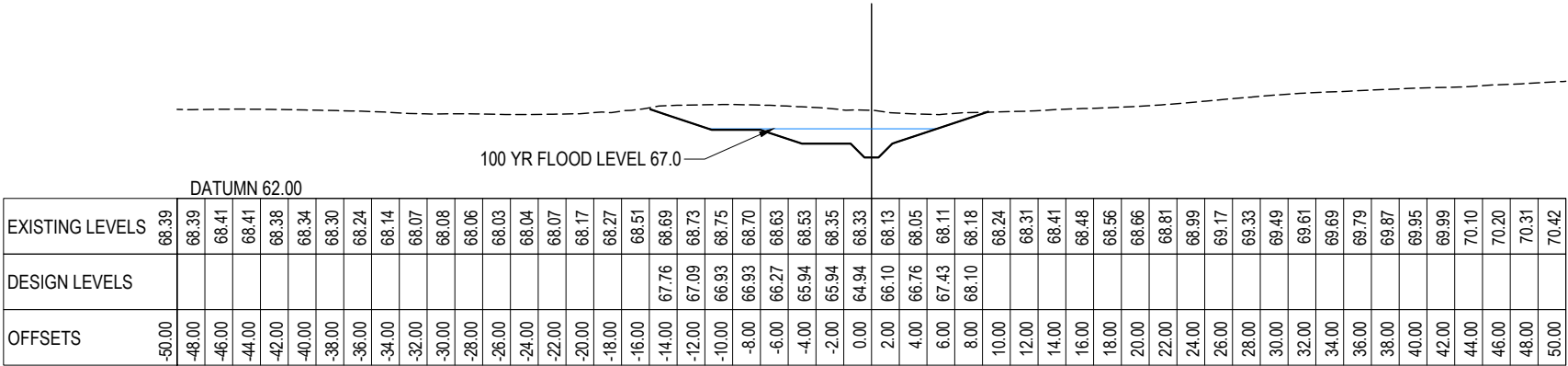
Title

**PROPOSED  
GREENWAY  
CROSS SECTIONS**

Project no.	289001		
Scale	1:500 @ A3		
Cad file	C490-SW GREENWAY.DWG		
Drawing no.	C490-10	Rev	<b>A</b>

DATE: 11/1/25 FILEPATH: F:\MVEN\HAMITON6 PROJECTS\88001 - STATION ROAD\ DRAWING\11 ASHBOURNE RESIDENTIAL\C490-SW GREENWAY.DWG

RESOURCE CONSENT



A	FAST TRACK APP	MS	04/2025
Rev	Description	By	Date
	By	Date	
Survey	LINZ	10/2023	
Design	MHS	10/2024	
Drawn	RJM	11/2024	
Checked	DJM	11/2024	

M

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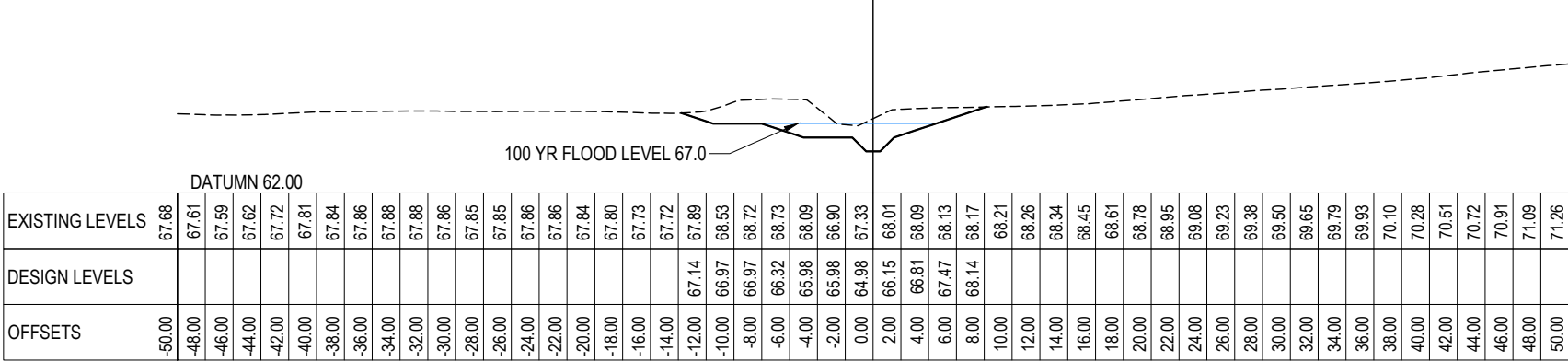
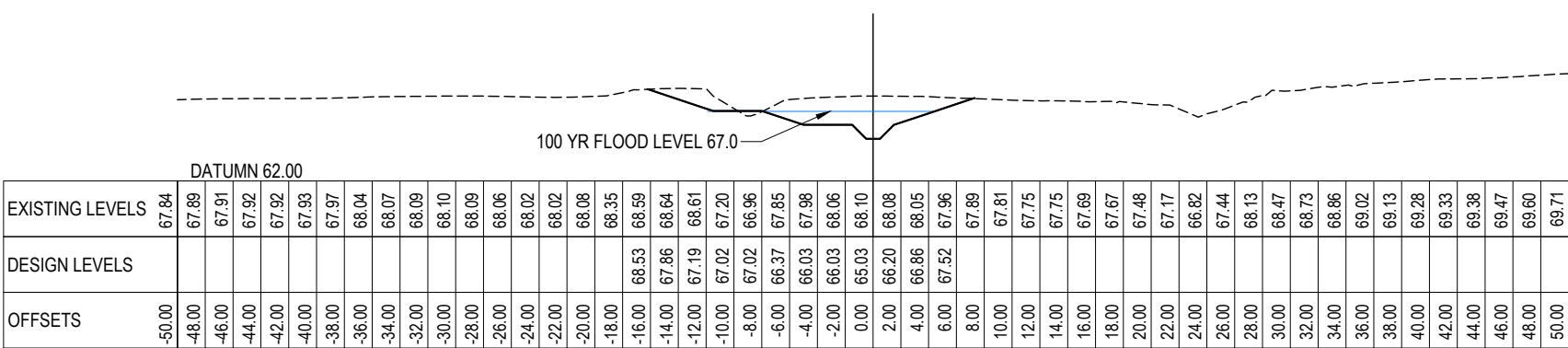
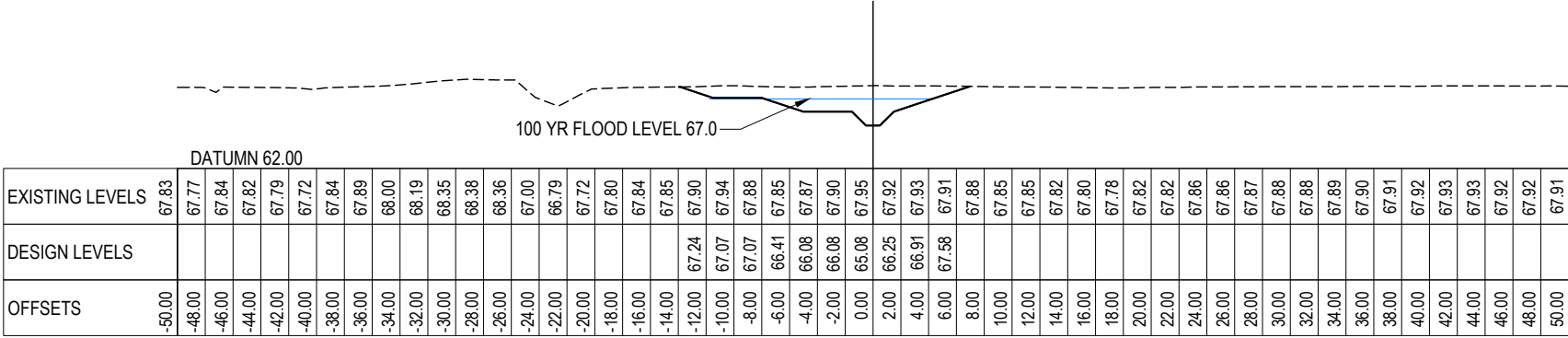
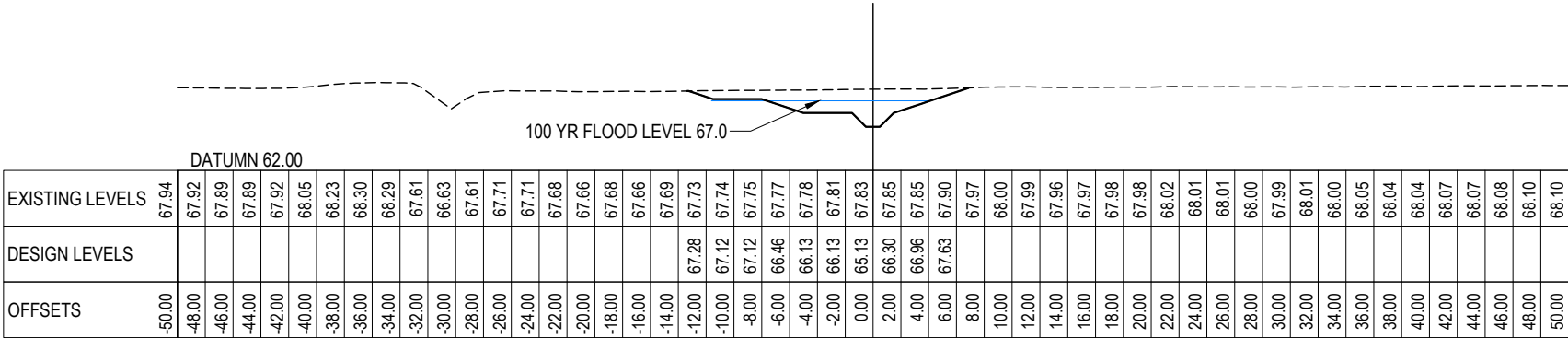
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**ASHBOURNE  
RESIDENTIAL  
FOR  
MATAMATA  
DEVELOPMENTS**

Title  
**PROPOSED  
GREENWAY  
CROSS SECTIONS**

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Scale	1:500 @ A3		
Cad file	C490-SW GREENWAY.DWG		
Drawing no.	C490-11	Rev	A

DATE: 11/1/25 FILE PATH: F:\MVEN\HAM1046 PROJECTS\289001 - STATION ROAD\ DRAWING\011 ASHBOURNE RESIDENTIAL\C490-SW GREENWAY.DWG

RESOURCE CONSENT



A	FAST TRACK APP	MS	04/2025
Rev	Description	By	Date
	By	Date	
Survey	LINZ	10/2023	
Design	MHS	10/2024	
Drawn	RJM	11/2024	
Checked	DJM	11/2024	

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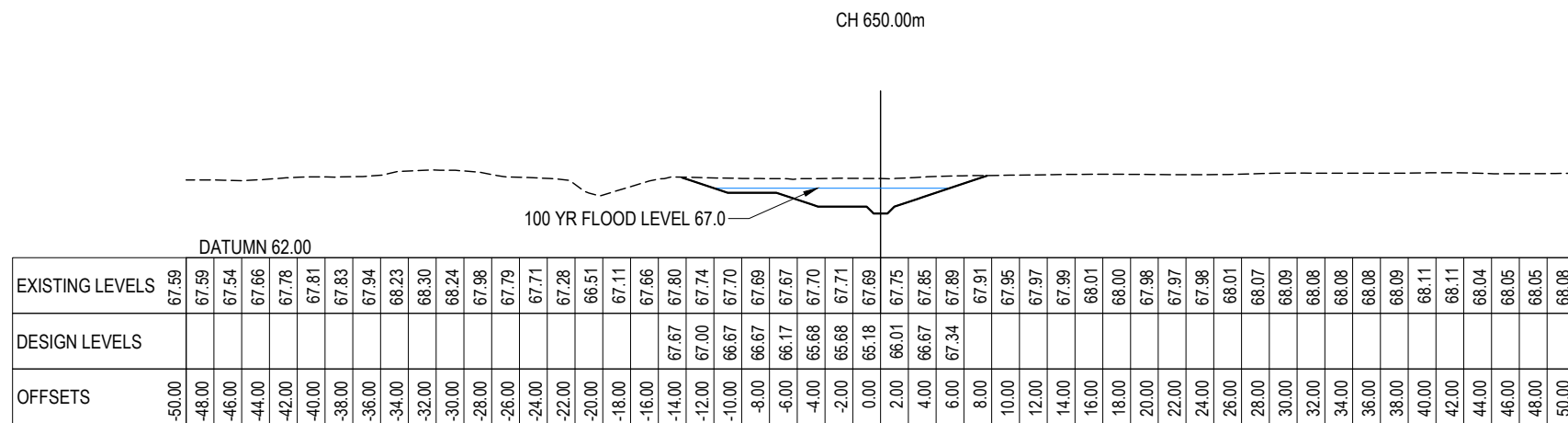
Project


ASHBOURNE  
RESIDENTIAL  
FOR  
MATAMATA  
DEVELOPMENTS

Title

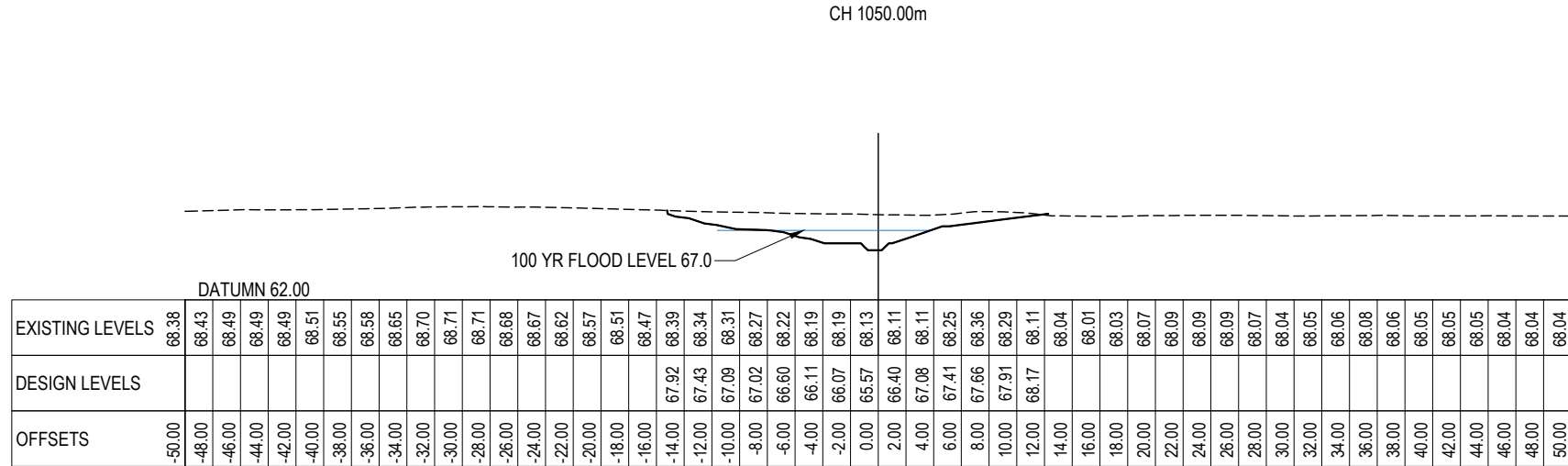
PROPOSED  
GREENWAY  
CROSS SECTIONS

Project no.	289001		
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Cad file	C490-SW GREENWAY.DWG		
Drawing no.	C490-12	Rev	A



	<p><b>Maven Waikato</b>          07 242 0601  <a href="mailto:info@maven.co.nz">info@maven.co.nz</a>  <a href="http://www.maven.co.nz">www.maven.co.nz</a>          Level 1 286 Victoria Street, Hamilton          New Zealand</p>
<p>Project</p> <p><b>ASHBOURNE          RESIDENTIAL          FOR          MATAMATA          DEVELOPMENTS</b></p> <hr/> <p>Title</p> <p><b>PROPOSED          GREENWAY          CROSS SECTIONS</b></p>	

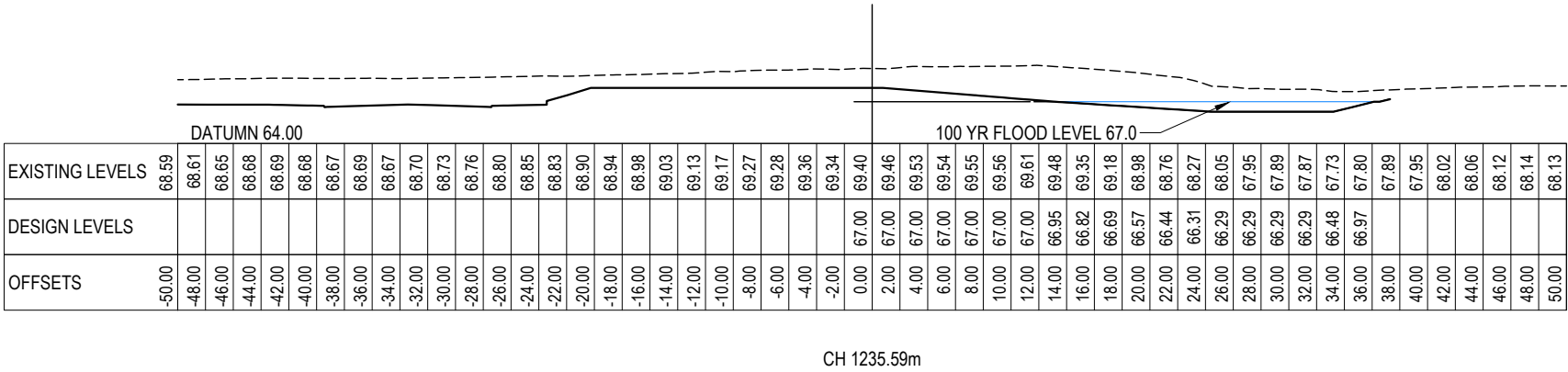




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Drawing no.	C490-15	Rev	<b>A</b>

DATE: 11/1/25 FILEPATH: F:\Maven\Hamilton\6. PROJECTS\289001 - STATION ROAD\7. DRAWING\11. ASHBOURNE RESIDENTIAL\C490-SW GREENWAY.DWG

RESOURCE CONSENT



A	FAST TRACK APP	MS	04/2025
Rev	Description	By	Date
	By	Date	
Survey	LINZ	10/2023	
Design	MHS	10/2024	
Drawn	RJM	11/2024	
Checked	DJM	11/2024	
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Project			
ASHBOURNE			
RESIDENTIAL			
FOR			
MATAMATA			
DEVELOPMENTS			
Title			
PROPOSED			
GREENWAY			
CROSS SECTIONS			
Project no.	289001		
Scale	1:500 @ A3		
Cad file	C490-SW GREENWAY.DWG		
Drawing no.	C490-16	Rev	A