

Sunfield

Design Controls & Design Guidelines

Town Centre Precinct

February 2025

Introduction:

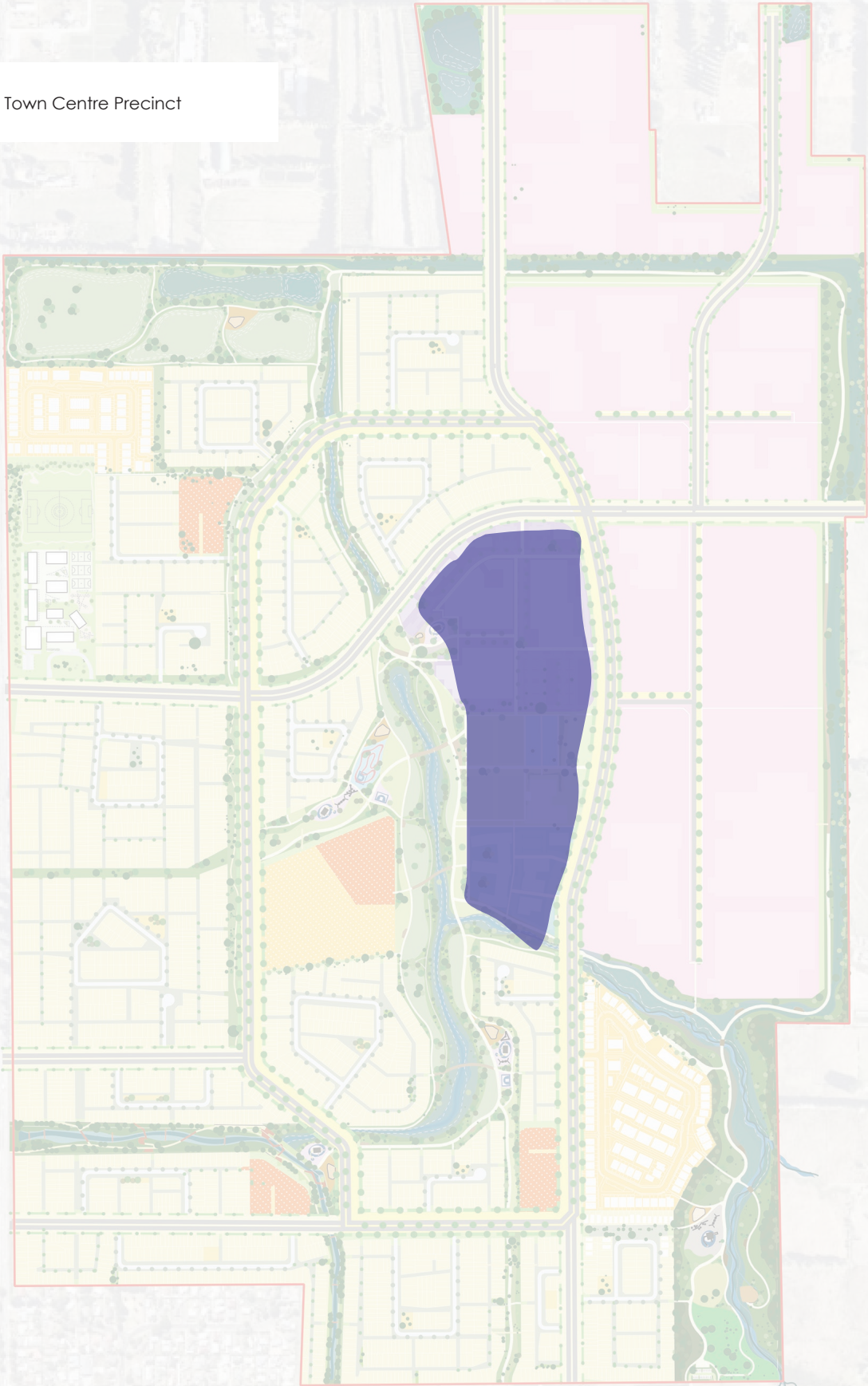
The Sunfield Masterplan ensures development will be carried out in an integrated manner both with the surrounding environment and internally to the site. The masterplan sets aside precincts for development. These controls relate to buildings and landscaping within the Town Centre Precinct outlined in the Sunfield Masterplan. They are to be read in conjunction with the **Town Centre Precinct Masterplan document**.

The objective of the Design Controls is to ensure that development within the precinct is carried out using best practice urban design principles. The Design Controls will ensure development is delivered in line with the Design Principles outlined in the Sunfield Masterplan.



Sunfield Masterplan:

Town Centre Precinct



Design Controls:

There are two parts to this document:

- **Controls for Streets & Public Spaces,** and
- **Controls for Built Form**

This document is to be read in conjunction with the **Town Centre Precinct Masterplan** and the **Sunfield Planting Palettes Documents**.



Streets & Public Spaces

Connectivity and circulation

Pedestrian and vehicle connections shall be located in general accordance with those shown on the Required Circulation and Transport Infrastructure plan.

Street Materials

The Town Centre shall feature a high-quality streetscape, to prioritise the pedestrian experience.



Paving

Pedestrian areas shall be paved with materials from the following list:

- Natural Stone paving,
- Concrete in the following finishes:
 - Exposed Aggregate,
 - Brushed,
 - Precast concrete block pavers including, permeable block pavers,
- Compacted hoggins or lime chip is acceptable where appropriate as a feature pavement.

Vehicle areas within the Main Street area shall be paved in the following materials:

- Natural Stone paving,
- Asphalt (no more than 50%),
- Concrete in the following finishes:
 - Exposed Aggregate,
 - Brushed finish,
 - Precast,
 - Precast concrete block pavers including permeable block pavers.

Paved Thresholds in Vehicle Areas

Paved thresholds shall be used to calm vehicle traffic and indicate a point of pedestrian interaction along vehicle carriageways.

Paved thresholds shall be continuous across the width of the carriageway and a minimum of 3m wide. They shall be located at intervals of no greater than 50m apart.

Thresholds shall be accessible.

Thresholds shall be constructed in a material that visually contrasts with the adjacent vehicle and pedestrian surfacing to not read as a continuation of either.

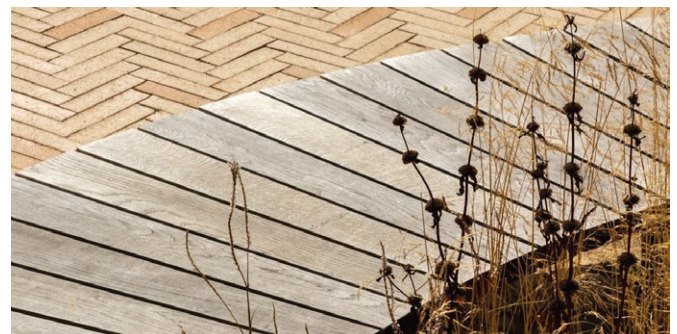
Vehicle Crossings

Vehicle crossings shall be constructed in a material that visually contrasts with the adjacent vehicle and pedestrian surfacing to not read as a continuation of either.

Vehicle crossings shall be constructed in accordance with the Auckland City Council Land Development and Subdivision Code of Practice.

Street Furniture, Signage & Structures

Street furniture, signage and structures such as pergolas, shelters and canopies shall adhere to the Building Materials controls in the Built Form section of this document.



Waste And Recycling

Public waste & resource recovery bins are to be provided so that they are visible from anywhere in the Main Street and Food and Beverage Activity Areas.





Active transport and Micro Mobility

Cycle & scooter stands shall be located as per the Required Circulation and Transport Infrastructure plan. These shall include provisions for charging and be lockable like the 'onedock' system shown above.

For compatibility with a variety of micro mobility types which are not electric, simple steel loop type cycle stands (Sheffield) shall be provided, securely surface mounted or cast into concrete footings.

Play Area and Equipment

A children's play area shall be constructed in general accordance with the location indicated on the Illustrative Masterplan.

All play equipment is to meet relevant NZ standards and feature natural materials such as timber as much as practical. Brightly coloured plastic shall be limited to feature items making up <20% of the total play equipment visual mass.



Lighting

Lighting to pedestrian and vehicle areas which will be used during the hours of darkness shall be provided for pedestrian and vehicle areas and shall be comply with the provisions set out in current versions of the Auckland Unitary Plan.



Streetscape Planting

Planting and street trees provide worthwhile amenity, shade & ecological benefit. Paved areas including parking spaces are to be interspersed with planter beds, raised lawns, street trees and rain gardens.

Street trees in the Main Street area shall be spaced at a minimum of density of 1 tree per 20m on each side of the street. Street tree species must consider carriageway encroachment, window locations and overhanging architectural structures such as canopies. Street tree species shall be selected from the Sunfield Street Tree Planting Palette.

Areas of parking shall be broken up with planting. A maximum run of 5 parallel or 15 nose-in parks are permitted before a planting break of at least 1m in length is required. A planting break shall also be located at both ends of a run of car parking. Planting breaks shall be equal to or greater than the depth of the parking. Planting bed species shall be as per the Sunfield Street Planting Palette.



Ground level planting including tree pits and areas of lawn to the Town Centre shall be finished with hard edging, securely fixed to resist movement from soils or surcharge, chosen from the following materials:

- Weathering steel,
- Concrete for example vertical edge of paved areas or nib,
- Treated timber stained a dark colour,
- Paving and Brickwork (haunched appropriately).



Raised Planters and Lawns

Raised planter beds and lawns including informal seating edges create an area of greater amenity. These shall be located where appropriate along the Main Street Area and within the Food and Beverage Precinct as shown on the Illustrative Masterplan. These shall be in general accordance with the render images. Areas shall be constructed from the following materials:

- Concrete in a precast or 'off the form' finish,
- Exposed aggregate,
- Steel in powder-coat or weathering finish,
- Seating surfaces are to be natural timber.

Raised planters or lawn shall not drain or discharge onto paved areas. Finished levels shall be free of humps and hollows and graded as to not hold water.

Planter beds shall be finished with 100mm of mulch to retain moisture and keep down weeds.

Planting species shall be selected from the Street Tree and Street Planting Palettes in the Sunfield Planting Palettes document.





Artist impression of Main Street, and Food and Beverage Area





Artist impression of Food and Beverage Area





Artist impression of Medical Centre from Central Stream Park



Built Form Controls

Building Setbacks

Buildings shall be setback a minimum of 5 metres from the Site Boundary as illustrated on the Lot Plan.

There are no internal boundary setback requirements.

Building Height

The maximum height limits shall apply:

- Mixed Use Commercial - 9 metres,
- Mixed Use Commercial - Food & Beverage - 9 metres,
- Large Format Retail - 12 metres,
- Medical Centre - 12 metres,
- Sports and Aquatic Centre - 12 metres.

Building height is taken from ground level at the time of Title issue.



Building Use

Building use shall be in general accordance with the Activity Areas set out in the Activity Areas Plan.

Within the mixed use commercial Activity Area use shall be limited to commercial and retail only on the ground floor.

Within the Food and Beverage overlay, use shall be limited to retail Food and Beverage use only on the ground floor.

Building Design and Appearance within the Mixed Use Commercial Activity Area

(including the Food and Beverage and Residential or Visitor Accommodation overlay)

Building designs shall be synonymous with contemporary New Zealand retail and commercial typologies. Building façades shall have a fine architectural grain by including articulation and modulation to create visual interest, avoid monotony and respect human scale. This shall be achieved by the following:

- Building frontages are to be limited to a maximum 30m length of visually continuous façade,
- Each building frontage is to read as a distinct building, with variety to façade treatment articulation, materiality and canopy,
- The height and roof form of each frontage shall differ between buildings to further separate them into modules that are clearly noticeable,
- Materials shall differ between building frontages and be selected from the Building Materials controls.



To achieve an active street front, buildings in the Town Centre shall connect visually with the main pedestrian and vehicle routes via glazing, entrances and articulation of built form. This shall be achieved by the following:

- Building frontages shall have a principal pedestrian entrance which is clearly visible and easily accessible and visually distinct from other entrances. The position of the principal entrance shall be expressed by a distinct canopy, recess or overhang, and shall be protected from adverse weather,
- To increase interaction and vibrancy, building frontages with ground floor food and beverage functions are permitted and encouraged to have outdoor dining areas spill out to the public spaces, provided a pedestrian thoroughfare of 2.5m is maintained to both the entrance and along the pedestrian route.



Building Design and Appearance within the Large Format Retail Activity Areas.

Building designs shall be synonymous with contemporary New Zealand large format retail and commercial typologies. Typically, these are low pitched gable or mono-pitch wide-span buildings built to meet the parameters of their intended use.

Building frontages shall have a principal pedestrian entrance which is clearly visible, easily accessible and visually distinct from other entrances.

The position of the principal entrance shall be expressed by a distinct canopy, recess or overhang, and shall be protected from adverse weather.

Building façades that overlook streets or reserves other than suitably screened loading areas shall contain glazing at a minimum density of 5m² for every 10 linear metres of facade length.



Surveillance and Interaction with the street and reserves will be achieved by:

- Façades, including upper levels, that overlook Streets or Reserves shall contain glazing at a minimum density of 50% of the facade area,
- Entrances being clearly legible from the street.

Where buildings front the Main Street, or the Food and Beverage precinct, they shall have a ground floor canopy projecting 2m from the façade over the public area at a minimum height of 3m.



Loading and Deliveries

For Large Format Retail use buildings, loading areas shall be:

- Located away from the main pedestrian areas and restricted from public access,
- Covered by a canopy,
- Suitably screened from public view to a height of 2m by visually continuous vegetation.

Waste & Recycling

Areas for the storage of waste and recycling must not be visible from public places and located within private lots.

Signage

Building signage shall be integrated with the building and shall not project above façades, roof lines and parapets, or outwards from the building facade by greater than 0.5m.

The following types of signs are not permitted:

- Banners, balloons and inflatables,
- Any vehicle, trailer or container with signage of graphics parked or located as to serve as a sign,
- Signage with flashing lights or movement,
- Signage with fluorescent graphics.

Each retail unit shall include, at entrance points, a sign that identifies the street number, and name of the business.

Medical Centre

Building designs shall be placemaker buildings that signal their respective use. They shall be synonymous with contemporary New Zealand civic, commercial & healthcare typologies.

The facility is envisaged to provide a range of healthcare options which will be accommodated within built forms of different scales.

To signal their intended use and be recognisable as such, separate buildings shall have a clear and coherent architectural form.



Buildings shall respond to their location adjoining key viewshafts, intersections of movement networks, and key parts of the open space network.

Where a single built form contains multiple units accessed externally, each unit frontage is encouraged to read as distinct, through the use of façade articulation and modulation.



Where a single built form contains multiple units accessed internally, there will be a clearly defined main entrance with reception / directory area.

Sports & Aquatic Facilities

Building designs shall be placemaker buildings that signal their respective use. They shall be synonymous with contemporary New Zealand civic, and sports & Aquatic Facility buildings.

The facility is envisaged to provide a range of leisure facilities which shall be accommodated within a single striking architectural form or broken into a family of similar and recognisable forms.

Buildings shall respond to their location adjoining key viewshafts, intersections of movement networks, and key parts of the open space network.

Building Materials

- Building cladding materials shall be coated in earthy toned colours in the realm of greens browns and greys which have a reflectance value of less than 70%,



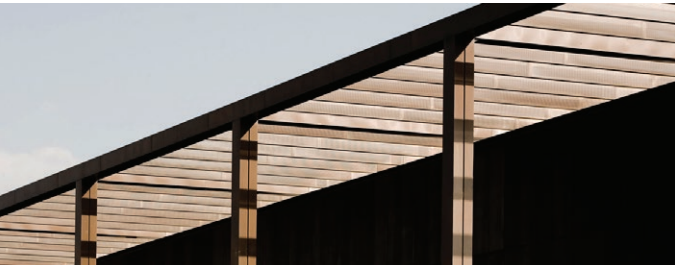


- Consist of unpainted wood (including sealed or stained wood), unpainted stone, terracotta, unpainted 'off the form' or precast concrete, plaster, brick, weathering steel or copper, except that:
- Architectural features taking up no more than 20% of any facade or other visible area, including doors and window frames, may be any earthy tone colour in the realm of whites, greys, greens and browns,
- Roof materials shall have a reflectance value of between 70-100%,
- Building material controls shall cover all structures and fencing.



General Controls

All plant, equipment, plumbing, drainage, and electrical cables or conduits shall not be visible from public view.



Sunfield

