

Sunfield

Design Controls & Design Guidelines

For Aged Care Precincts

February 2025

Introduction:

The Sunfield Masterplan ensures development will be carried out in an integrated manner both with the surrounding environment and internally to the site. The masterplan sets aside precincts for development.

These controls relate to buildings and landscaping within the **Aged Care Precinct** outlined in the Sunfield Masterplan. They are to be read in conjunction with the **Aged Care Precinct Masterplan** documents.

The objective of the Design Controls is to ensure that development within the precinct is carried out using best practice urban design principles. The Design Controls will ensure development is delivered in line with the Design Principles outlined in the Sunfield Masterplan.



Work Local



Kaitiakitanga



**Low Impact
Sustainable**



Enable Car-less
Living



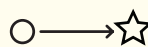
Live Local



Connected with the
**Natural
Environment,**
encouraging
Biodiversity



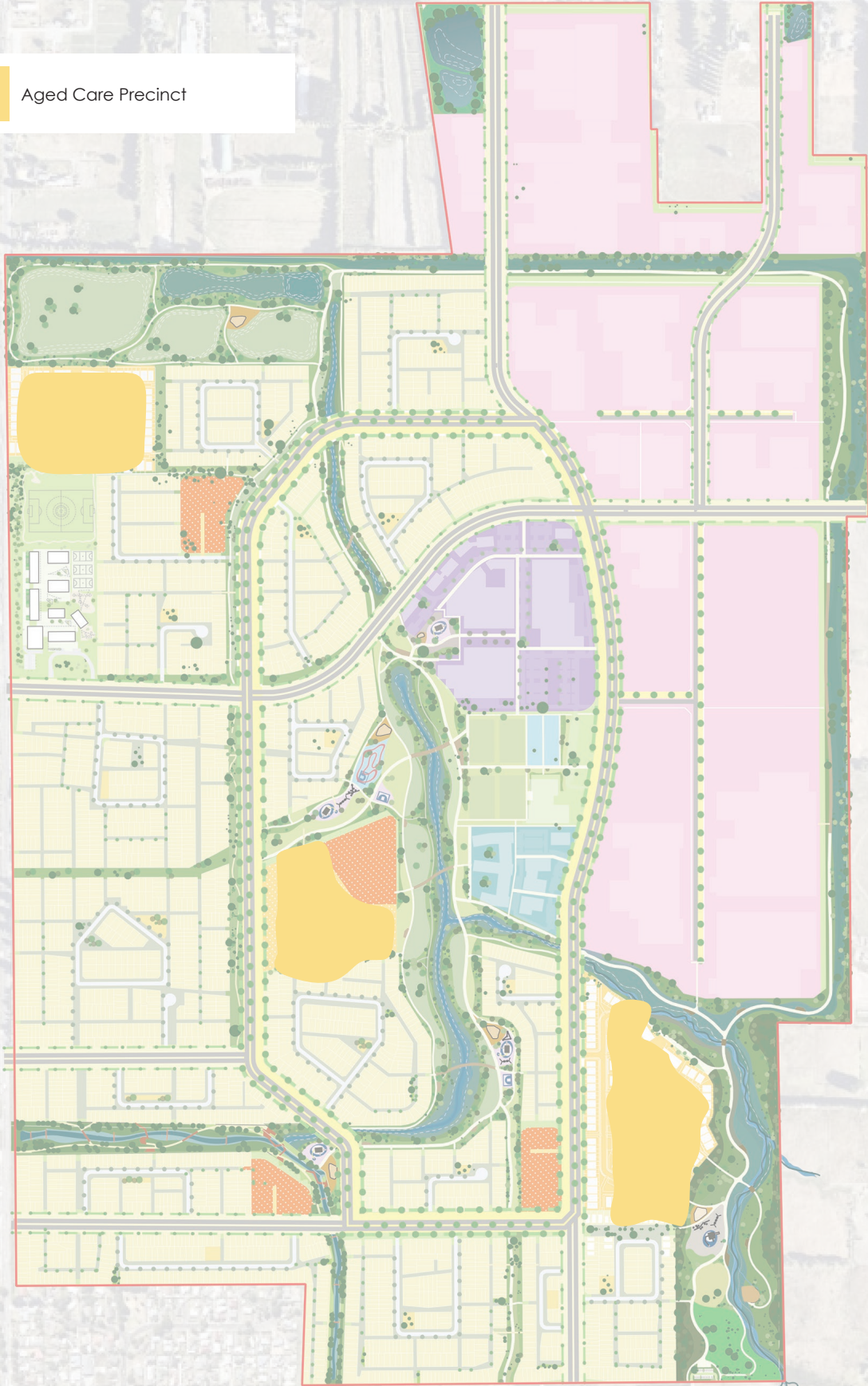
**Diverse Lifestyle
Choices**



Just Transition

Sunfield Masterplan:

Aged Care Precinct



Design Controls & Design Guidelines:

This document is to be read in conjunction with the **Aged Care Precinct Masterplans** and the **Sunfield Planting Palettes Documents**.



Building Setbacks

A building or parts of a building must be set back from the relevant boundary by the minimum depth listed below:

- Front 2.5m,
- Side 1.2m,
- Rear 1.2m,
- Reserve 2.5m.

No setback is required from an internal boundary where a building or parts of a building share a common wall on that boundary.

Continuous Building Length

Where the aggregate length along one elevation of a building measured parallel to any boundary or boundaries exceeds 16m, the entire building(s) frontage shall be set back an additional 0.5m.

Outlook Space

An outlook space must be provided from the face of a building containing windows or balconies to a habitable room. Where the room has two or more external faces with windows or balconies the outlook space must be provided from, in order of priority, the face with the largest balcony or largest area of glazing.

The minimum dimensions for a required outlook space are as follows:

- Principal living room: 4m in depth and 4m in width (duplexes and townhouses are <6m wide),
- Principal bedroom: 3m in depth and 3m in width,
- All other habitable rooms: 1m in depth and 1m in width.

The depth of the outlook space is measured at right angles to and horizontal from the window or balcony to which it applies.



Outlook spaces required from different rooms within the same dwelling may overlap.

Outlook spaces must:

- Be clear and unobstructed by buildings
- Not extend over adjacent sites or overlap with outlook spaces required by another dwelling unless it is over a public area.

Outdoor Living Space

All dwellings must have an outdoor space:

- Where located at ground level the outdoor space is at least 20m² and has no dimension less than 4m and has a gradient not exceeding 1 in 20; and/or,
- Where provided in the form of balcony, patio or roof terrace is at least 5m² and has a minimum dimension of 1.8m,
- Is accessible from the dwelling,
- Is free of buildings, parking spaces, servicing and manoeuvring areas.



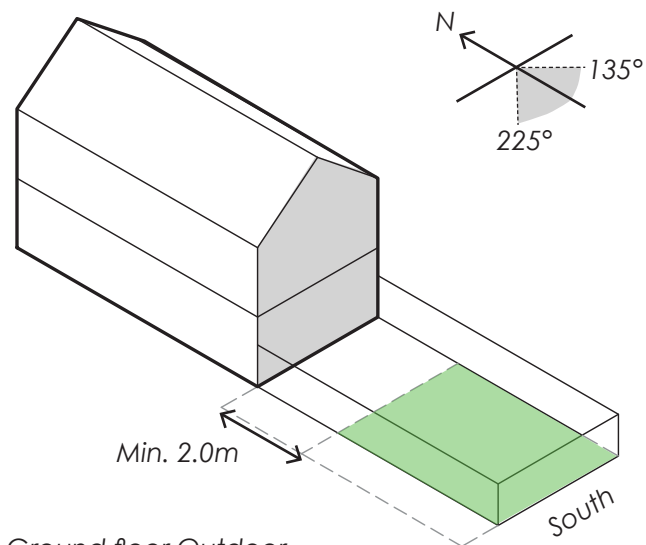
Figure from Masterplan document

For ground level Outdoor Living Spaces located south of any building, the southern boundary of that space must be separated from any south facing wall or building by a minimum of 2m.

For the purpose of this control south facing is defined as a true north compass bearing of between 135 and 225 degrees.

No Outdoor Living Space shall be occupied by:

- Any accessory building of less than 8m² gross floor area,
- A driveway or parking space,
- Areas to be used for the storage of waste and recycling.



Ground floor Outdoor Living Space to south of building





Universal Access

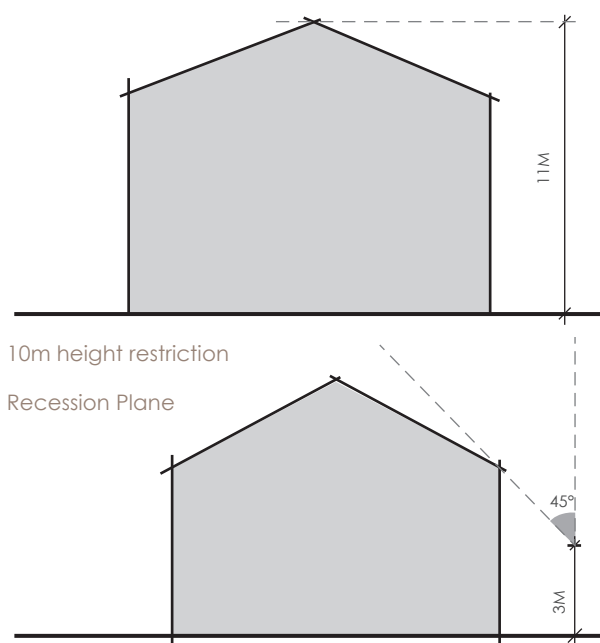
All dwellings in the Aged Care precincts must comply with the following:

- doorways must have a minimum clear opening width of 810mm,
- stairwells must have a minimum width of 1050mm,
- corridors must have a minimum width of 1050mm,
- the principal means of access from the frontage, or the parking space serving the dwelling, to the principal entrance of the dwelling must have:
 - a minimum width of 1200mm,
 - a maximum slope of 1:20,
 - a maximum cross fall of 1:50.

Building Height

The maximum height for buildings shall be 11m from ground level (at time of Title issue).

No part of any building shall protrude through a recession line inclined towards the site at an angle of 45° and commencing at 3m above ground level at any given point on the site boundary: except:



- Gable, hip, dormer and other similar projections may encroach beyond the recession lines provided they are contained within a calculated area(s) no greater than 6m² with the apex no higher than a point 1m below the maximum height for the zone and the base of the area(s) at the level of recession line protrusion,
- The recession line shall not apply to buildings that share a common wall on an internal boundary.

Building Coverage and Impervious Area

- The maximum building coverage on any lot shall be 60%,
- The maximum impervious area on any lot shall be no greater than 60%.

Surveillance and Interaction with the Street

Front doors must be visible from the street. All habitable rooms with a street frontage must have either a window or door that allows views to the street with a minimum transparent glazed area of 1m²

Garages and carports must be setback at least level with the front façade (i.e. the façade facing the street) of the residential unit.

Fences or walls must not obscure visibility of the front door.

Building Materials

Building cladding materials shall be coated in earthy toned colours in the realm of greens browns and greys which have a reflectance value of between 0 and 70%; or

- Consist of unpainted wood (excluding tanned), unpainted local stone, terracotta, unpainted concrete, plaster, brick, weathering steel or copper; except that:



- architectural features taking up no more than 20% of any facade, including doors and window frames, may be any earthy tone colour in the realm of whites, greys, greens and browns.

Roof materials shall have a reflectance value of between 70-100%.

Building material controls shall apply to all structures and fencing.

Minimum Dwelling Size

Dwellings must have a minimal net internal floor area as follows:

- 30m² for studio dwellings,
- 45m² for one or more bedroom dwellings.

Boundary Planting

Any Front or Reserve yard boundary must comprise planting to a minimum depth of 1m and be maintained to a mature maximum height of <1.5m. Plants in this area must be >600mm at high the time of planting. Plants shall be selected from the Sunfield Street Planting Palettes.

Any Front or Reserve yard boundary planting area must contain at least one tree that is 45L grade or larger at the time of planting Trees shall be selected from the Sunfield Street Tree Planting Palettes.

Tree positioning should consider front setback, window locations and avoid overhanging architectural structures such as eaves and balconies.

All plants and trees within setbacks shall be selected from the Sunfield Street Tree and Street Planting Palettes.



Fencing & walls

No walls or fences shall be located within any building setback from any road, reserve or access Lot, except:

- Fences or walls are permitted up to a maximum of 1.2m high,
- Where the Main Outdoor Living Space is located within the setback from a road or reserve fencing up to 1.8m high is permitted provided it is less than 50% of the Boundary length when measured parallel to the boundary.

Any fencing must be behind the required boundary planting.

Fencing and wall Materials and colours shall be as per Building Material controls.

General Landscape Controls

Garden sheds are permitted to a maximum height of 2m provided they are not visible from a Road, Reserve or other public space.

Storage areas are permitted provided they are set back behind the main facade or incorporated into the building.

Plant and equipment shall not be visible from public places.

Pergolas, and other shade structures are to adhere to the Building Material controls. Transparent plastics are prohibited unless retractable and stored in such a state.

Letterboxes are to have a maximum dimension of 400mm and shall be integrated into a fence or wall where practical. Materials and colours are to be as per Building Material controls. Letterboxes must be built for purpose units.



Paths and Vehicle Crossings

Paths and crossings shall be constructed in a material that visually contrasts with the adjacent vehicle and pedestrian surfacing to not read as a continuation of either.

Permitted materials are:

- Natural Stone paving,
- Concrete in the following finishes:
 - Exposed Aggregate,
 - Brushed,
 - Precast concrete block pavers including, permeable block pavers,
- Compacted hoggin or lime chip is acceptable where appropriate as a feature pavement.

Hardstand areas are permitted within the lot frontage in materials from the list above to a maximum width of 4.0m.

Maintenance and rules

Paint, stain and other finishes on buildings and fences shall be maintained and reapplied as weathering affects colour strength over time.

If any tree planting or boundary hedge planting required in these guidelines is to become sick or to die, it is to be replaced within the following planting season. Replacements to make good defects shall be true to the heights and species specified.

Boundary hedges are to be neatly clipped and maintained to the height and width specified.

No car, boat or motorbike or other vehicle shall be parked overhanging a public area. These shall be contained entirely within residential Lots or 'on street' parking spaces.

Lay down areas for building materials and other associated materials are to be located within private lots.



Amenity Buildings

Design Controls

Building designs shall be placemaker buildings that signal their respective use. They shall be synonymous with contemporary New Zealand aged care, community and leisure typologies.

The facility is envisaged to provide a range of amenity options which will be accommodated within built forms of different scales.

To signal their intended use and be recognisable as such, separate buildings shall have a clear and coherent stand alone architectural form.

Buildings shall respond to their location adjoining key viewshafts, intersections of movement networks, and key parts of the open space network.

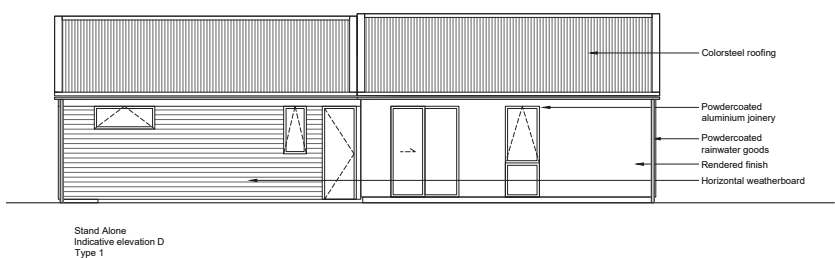
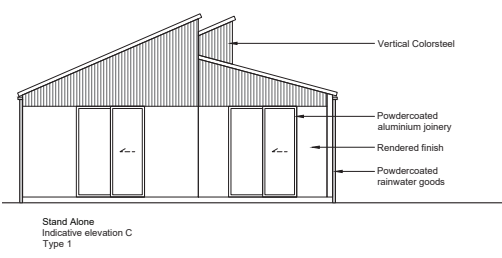
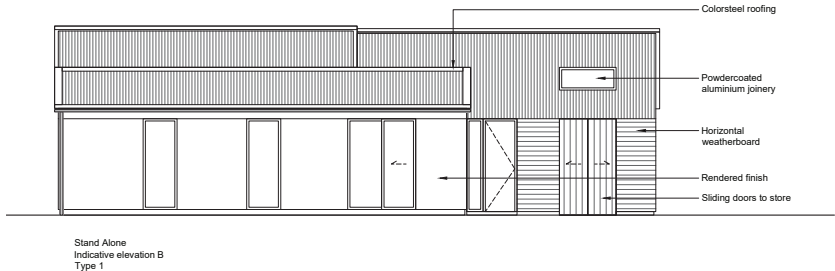
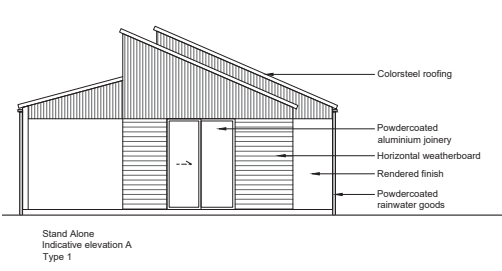
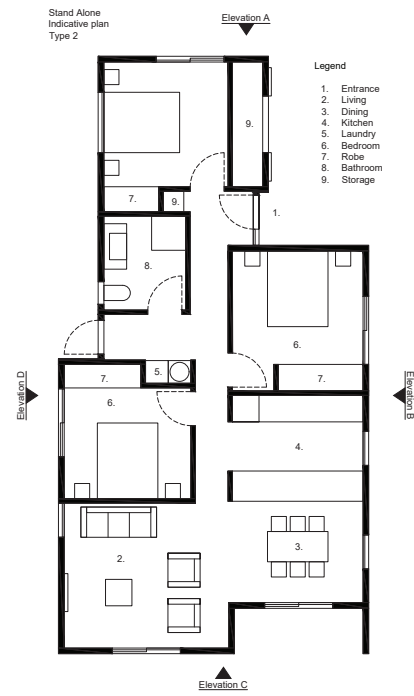
Setbacks, Height, continuous building length, Fencing, Materials and Boundary Planting to be as per the above controls.



Appendices

Appendices - Indicative Housing Typologies

Stand Alone Type 1 - Plan & Elevations



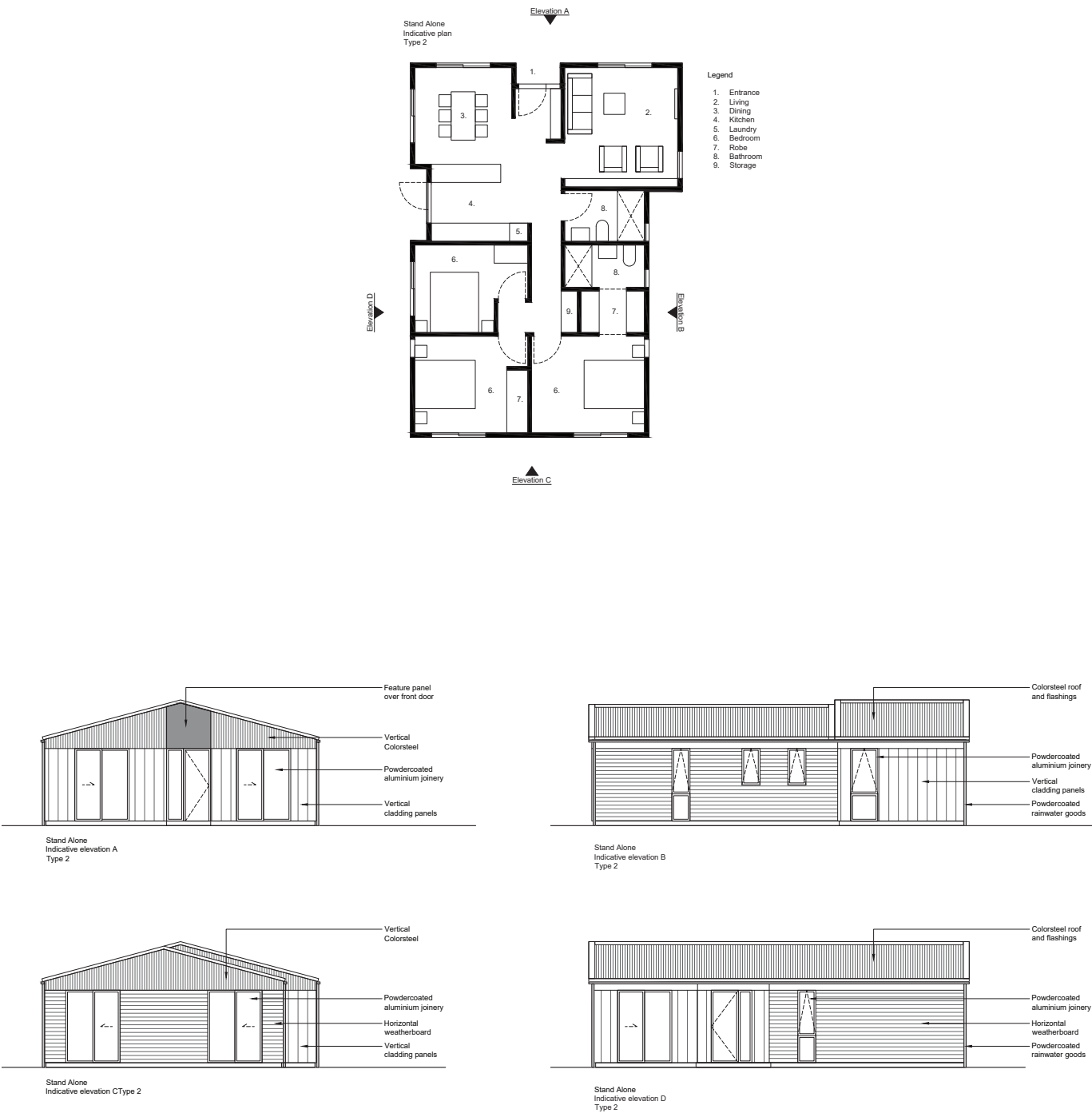
Appendices - Indicative Housing Typologies

Stand Alone Type 1 - Landscape



Appendices - Indicative Housing Typologies

Stand Alone Type 2 - Plan & Elevations



Appendices - Indicative Housing Typologies

Stand Alone Type 2 - Landscape

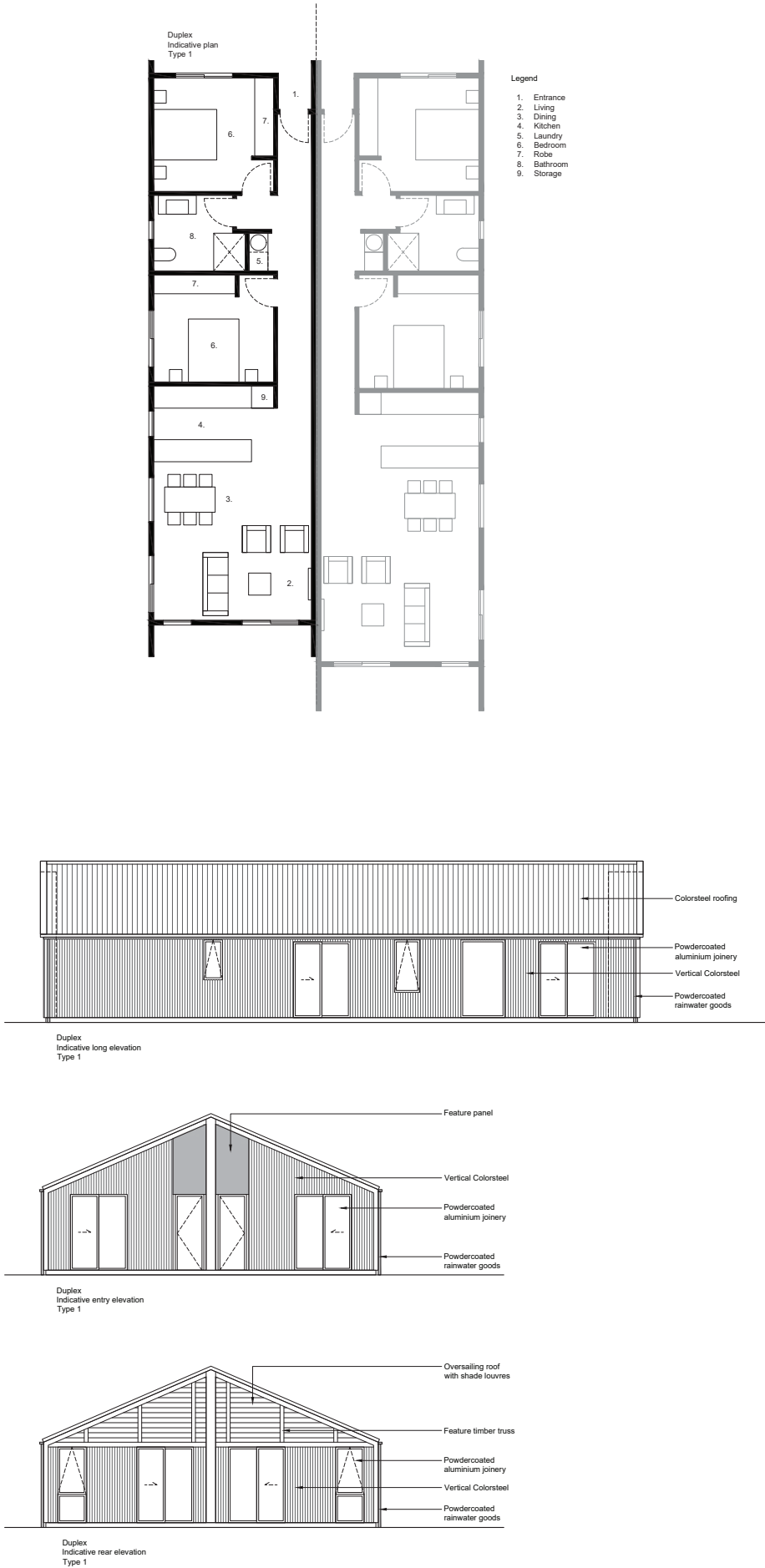


Legend

- 1. Outlook space
- 2. Outdoor living
- 3. Fencing
- 4. Mailbox
- 5. Bike store
- 6. Deck
- 7. Planting buffer
- 8. Lawn
- 9. Hedge
- 10. Trees
- 11. Yard (bins etc.)

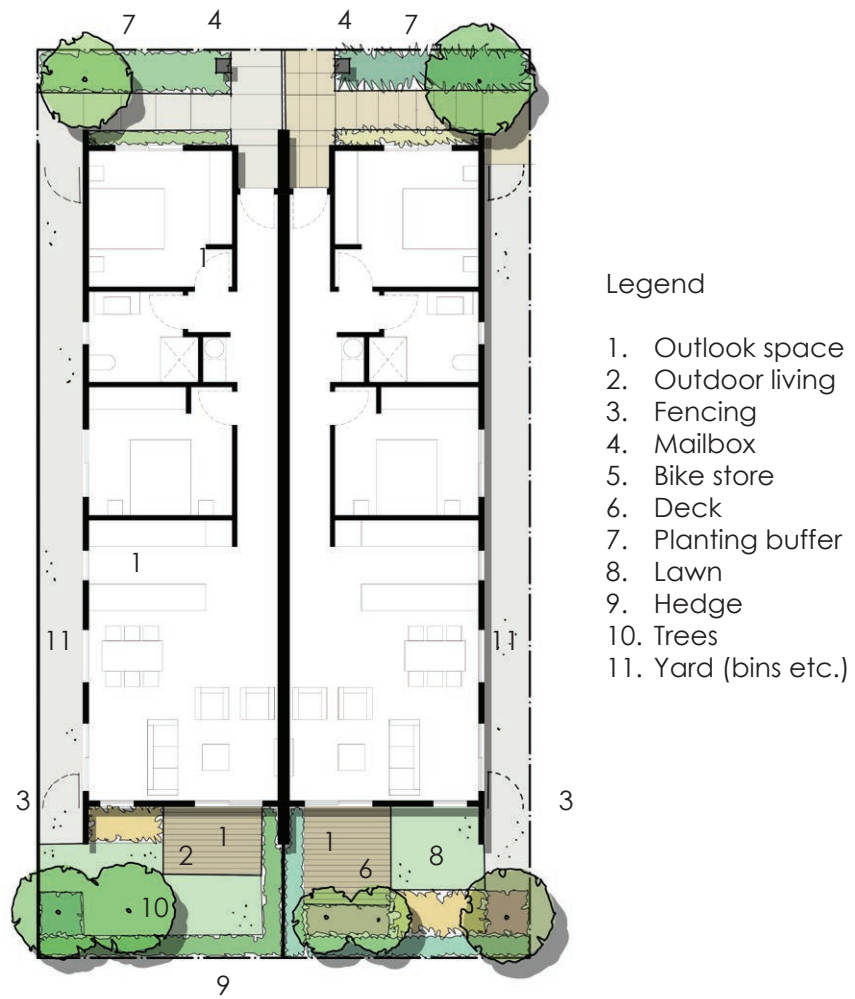
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Duplex Type 1 - Plan & Elevations



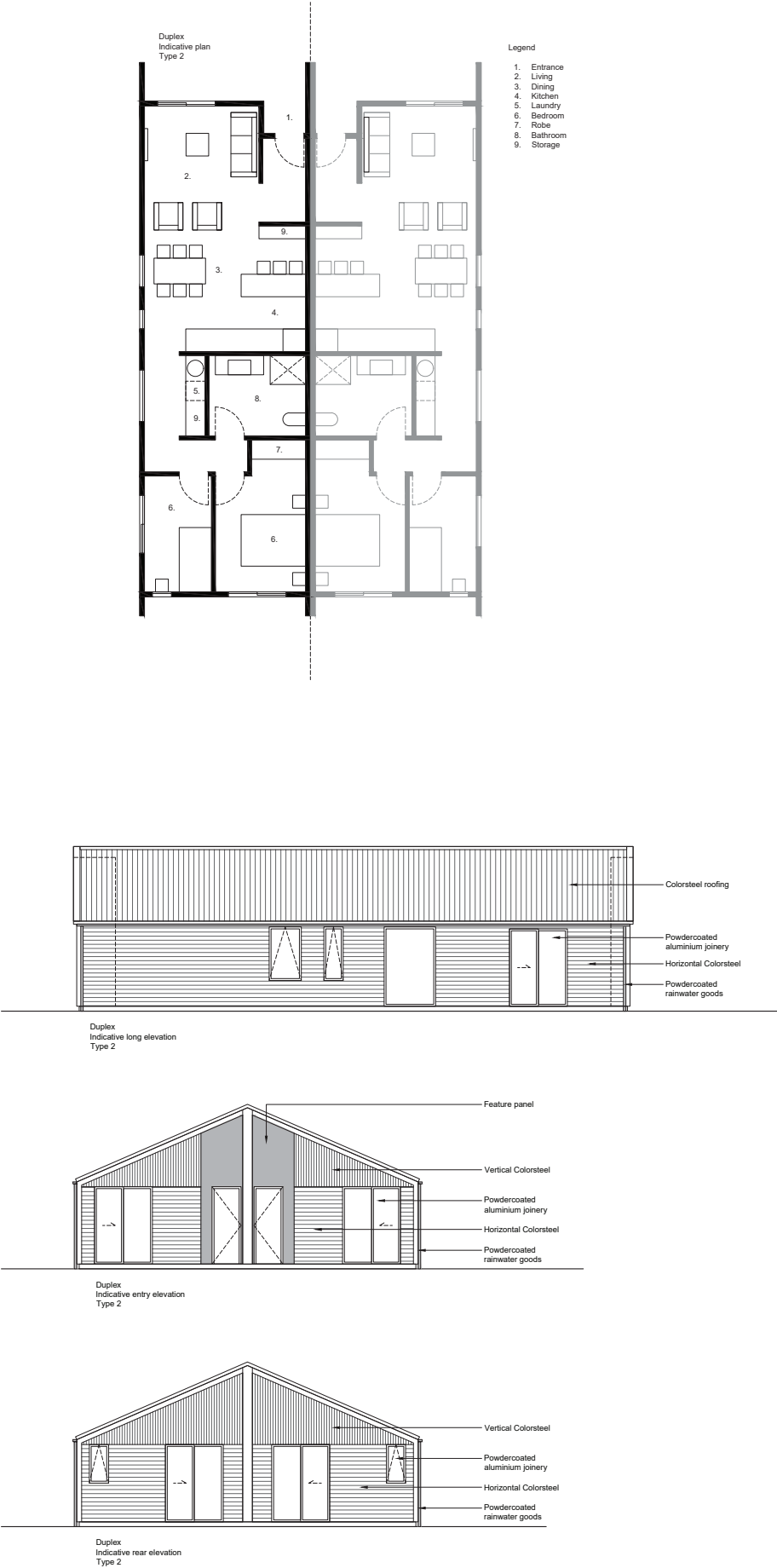
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Duplex Type 1 - Landscape



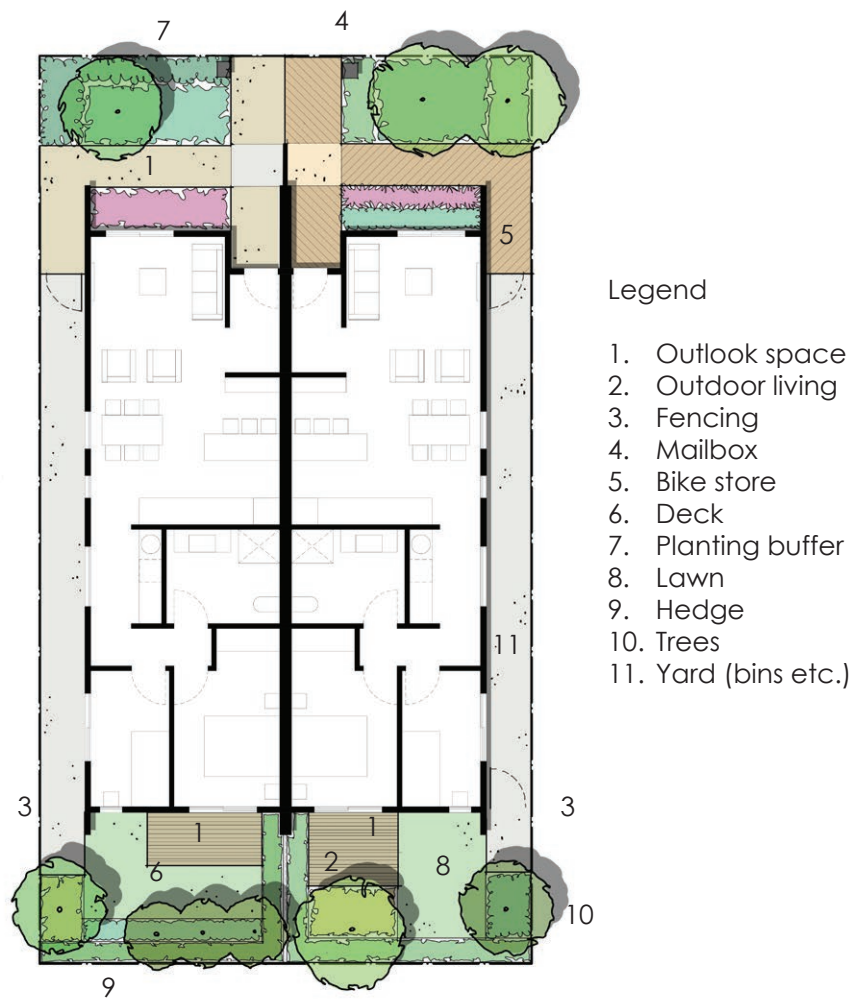
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Duplex Type 2 - Plan & Elevations



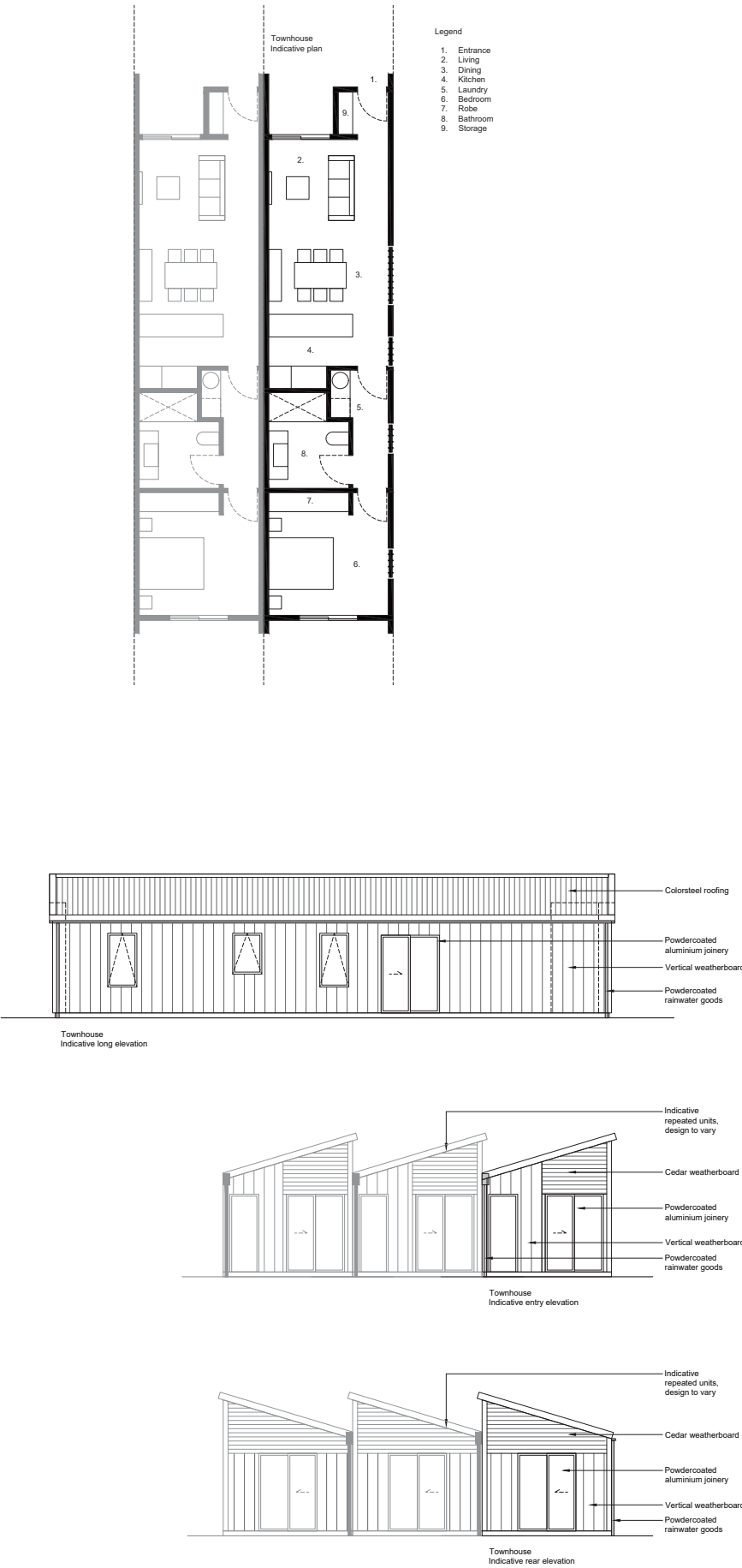
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Duplex Type 2 - Landscape



Appendices - Indicative Housing Typologies

Townhouses - Plan & Elevations



Appendices - Indicative Housing Typologies

Townhouses - Landscape



Sunfield

