



Appendix AG

Proposed Commercial Area Design Guidelines

WAIRAKEI SOUTH

DESIGN GUIDELINES
FOR
COMMERCIAL

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Report prepared by Boffa Miskell Limited for Bell Road Limited Partnership.

For any information regarding this report please contact:

Bryan Sanson | Landscape Architect | Senior Principal | bryan.sanson@boffamiskell.co.nz

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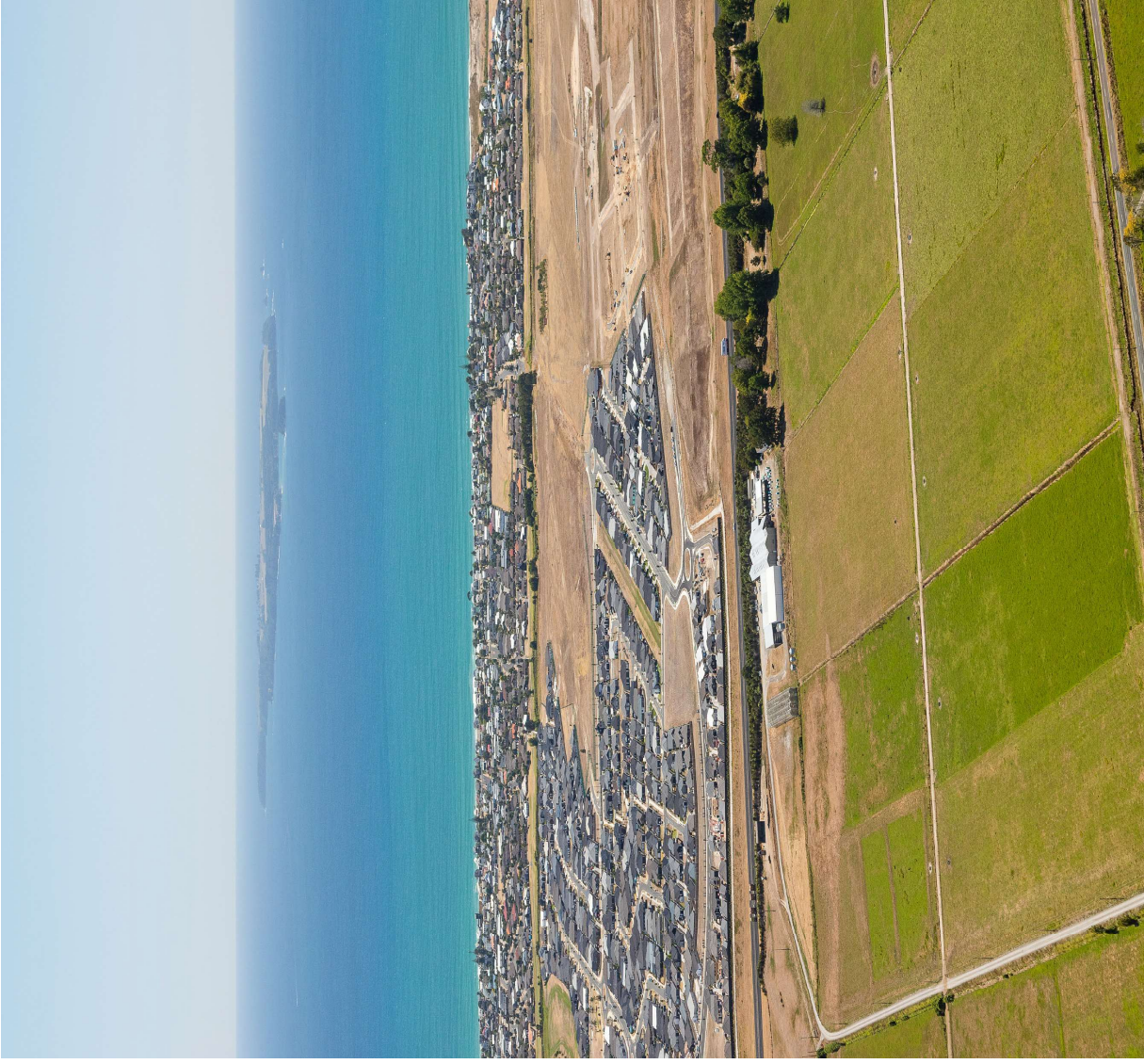
Bryan Sanson | Landscape Architect | Senior Principal | May 2026

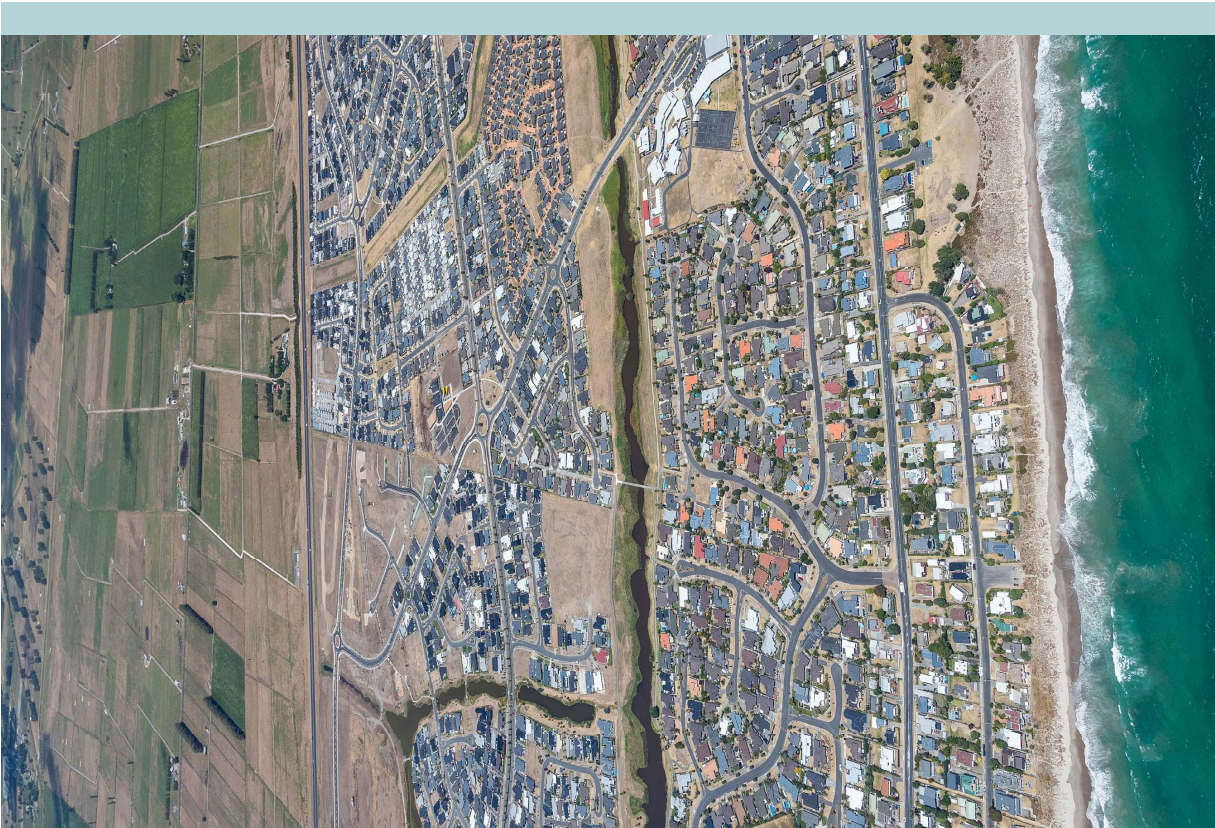
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1. OVERVIEW 4

- 1.1 INTRODUCTION 4
- 1.2 GUIDELINES 5
- 1.3 PURPOSE OF THE GUIDELINES 5
- 1.4 WHO SHOULD USE THESE GUIDELINES 5
- 1.5 WAIRAKEI SOUTH COMMERCIAL SITES PLAN 6

2. DEVELOPMENT CONTROL 7

- 2.1 APPROVAL PROCESS 7
- 2.1.1 APPROVAL DRAWINGS CHECKLIST 7
- 2.3 APPROVAL FORM 7

3. ARCHITECTURAL 8

- 3.1 SITE PLANNING GUIDELINES 8
- 3.2 SITE DESIGN CONSIDERATIONS: LOCAL CENTRES 9
- 3.3 SITE DESIGN CONSIDERATIONS: NEIGHBOURHOOD CENTRE 10
- 3.4 SITE DESIGN CONSIDERATIONS: SERVICE CENTRE 11
- 3.6 ACCEPTABLE ARCHITECTURAL MATERIALS 12
- 3.7 ACCEPTABLE COLOUR & REFLECTIVITY RANGE 13
- 3.8 SIGNAGE 14
- 3.9 EXTERIOR LIGHTING 15
- 3.10 KEY CPTED CONSIDERATIONS 16

4. LANDSCAPE 17

- 4.1 FRONT, SIDE AND REAR BOUNDARY FENCING 17
- 4.2 SPECIMEN TREES 18
- 4.3 HEDGE SPECIES 18
- 7.3 LOW GROUNDCOVER SPECIES 19
- 7.3 LOW GROUNDCOVER SPECIES 19

5. ACTIVITY PERFORMANCE STANDARDS 20

- 5.1 BUILDING HEIGHT, SETBACK, ALIGNMENT AND DESIGN 20
- 5.2 HEIGHT IN RELATION TO BOUNDARY 21
- 5.3 OFFICES 21
- 5.4 DWELLINGS - NOISE 21

1. OVERVIEW

1.1 INTRODUCTION

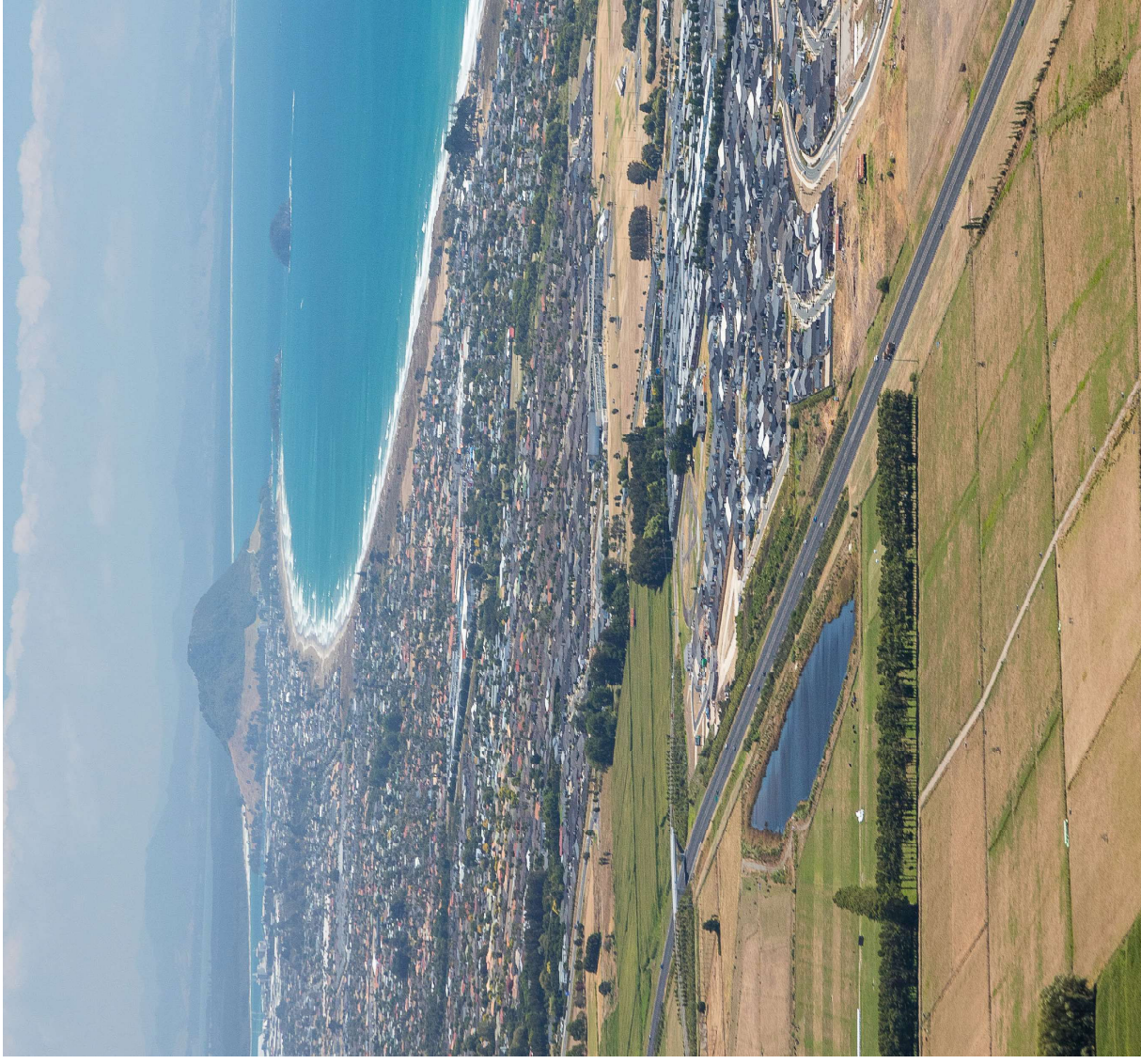
Wairakei South is a transformative 350-hectare development within Tauranga's high-growth Eastern Corridor, strategically positioned between Pāpāmoa, Te Tumu, and Te Puke Urban Growth Areas. Over the next 10–20 years, Wairakei South will deliver approximately 2,750 new homes within 128 hectares, alongside 50 hectares of industrial, 4 hectares of commercial centres, and a 4 hectare primary school, creating a vibrant, integrated, and connected mixed-use community.

Located adjacent to the Tauranga Eastern Link (TEL), the project offers exceptional connectivity to Tauranga, Mount Maunganui, Te Puke, the Port of Tauranga, and major employment hubs such as the Ranguru Business Park and more directly connected is The Sands Town Centre, located immediately across the Pāpāmoa Eastern Interchange. This accessibility, combined with a balanced land-use approach, positions Wairakei South as a self-sustaining, future-ready community that supports the sub-region's aspirations to live, work, and play.

Commercial nodes have been strategically placed throughout the development to service the community for their day to day needs. These sites are located to foster local business growth, attract investment, complement the employment opportunities in the industrial areas, and support a well connected, resilient and balanced urban framework.

Beyond its economic role, Wairakei South embeds cultural narratives and ecological restoration into its design. The project reflects a commitment to partnership with mana whenua and the protection of natural systems, drawing inspiration from the ancient relationship between Otanewainuku/Otāwa and the Kaituna River.

Guided by the Waitaha Iwi Management Plan's "Mountains to the Sea" perspective, the development embraces a holistic environmental worldview that acknowledges the interconnectedness of ecosystems from mountain ranges to coastal waters.



1. OVERVIEW

1.2 GUIDELINES

These design guidelines have been developed for and are applicable only to the land identified as commercial in the Wairakei South Development.

These guidelines should be applied in conjunction with the specific rules framework prepared specifically for the commercial areas within the Wairakei South Development as part of the Fast Track application, and those within the Western Bay of Plenty District current Operative District Plan.

Disclaimer: These guidelines are subject to review and updates in the future to respond to any changes to national policy and planning standards.

1.3 PURPOSE OF THESE GUIDELINES

The purpose of these design guidelines is to design, develop and maintain an overall high design quality and cohesive architectural and urban design character of the commercial land and business activities within it.

Protecting the integrity of the wider development through the design and architectural elements is integral to establishing and maintaining a high-quality asset with enduring value that ensures positive urban outcomes for the mixed-use zoning.

1.4 WHO SHOULD USE THESE GUIDELINES

This guideline document intends to provide commercial property owners, developers, and their supporting architects, landscape architects, engineers and builders with an easy-to-follow toolkit for their developments.

1. OVERVIEW

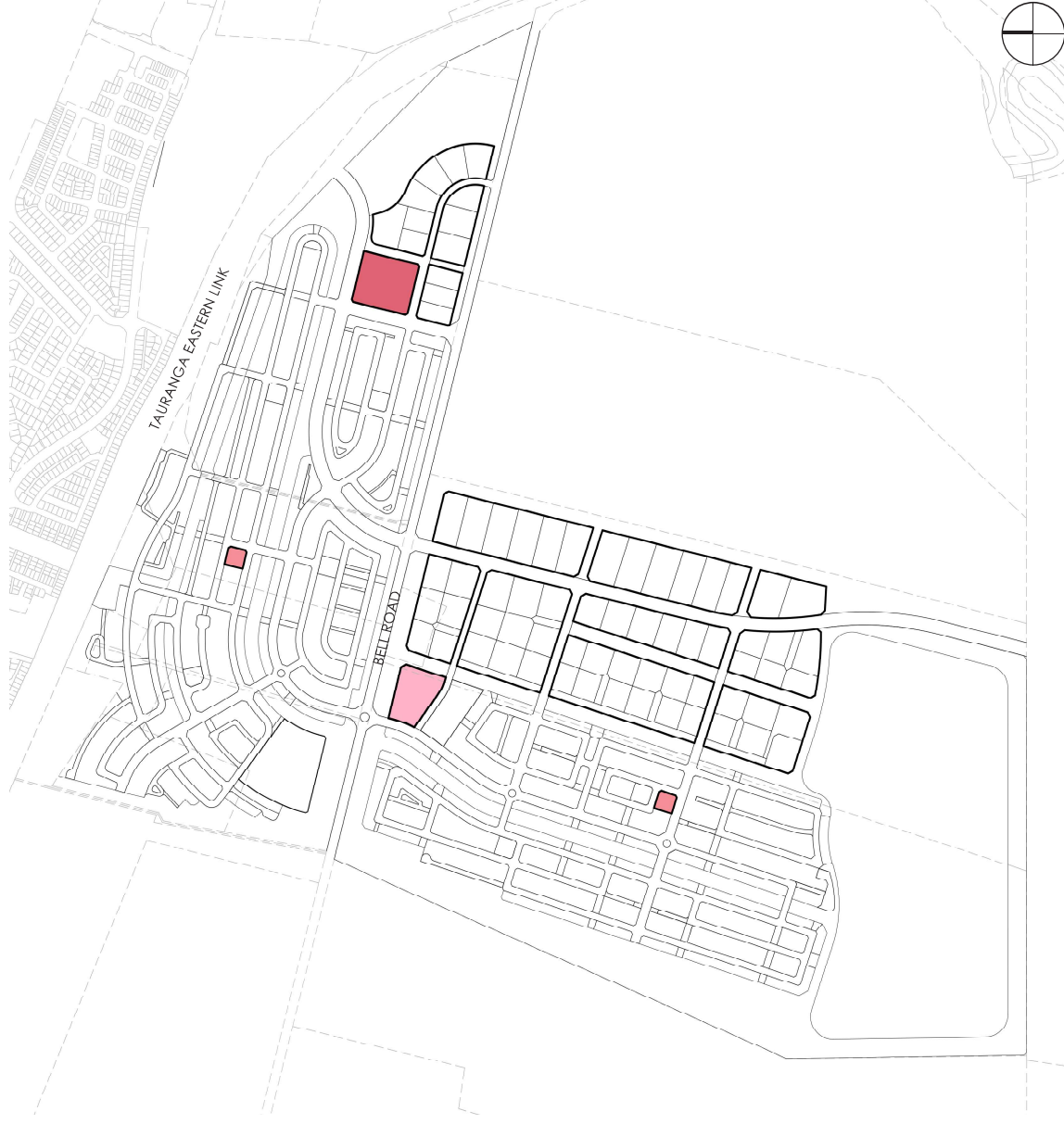
1.5 WAIRAKEI SOUTH COMMERCIAL SITES PLAN

The Commercial land within Wairakei South is made up of four key sites. These are located throughout the development to provide a level of service accessible to all residents and commuters. The four sites consist of the following:

Service Centre - Located adjacent the Papamoia Eastern Interchange, and bracketed by the Secondary Arterial Road and Bell Road and collector road network for a high level of vehicle and pedestrian access. This site will offer refueling, takeaway and food outlets, retail and general supporting business.

Neighbourhood Centre - Located centrally to maximise walkable catchment and adjacent primary collector roading and reserve networks for strong multimodal access to the centre. This site will have varied commercial offerings of retail, restaurants, offices, commercial services, etc. as typically expected in these centres.

Local Centre - Two (2) sites located in the north and south of the development to service the daily needs of the resident and provide a walkable commercial offering. These sites will have similar offerings to the neighbourhood centre but at a reduced scale and focus on local needs.



LEGEND

- SERVICE CENTRE (2.2ha)
- NEIGHBOURHOOD CENTRE (1.5ha)
- LOCAL CENTRES (0.25ha)

2. DEVELOPMENT CONTROL

2.1 APPROVAL PROCESS

The design of every development at Wairakei South Business Park will require approval from the Development Controller (DC) prior to the submission of plans to Western Bay of Plenty District Council for Building Consent and the commencement of works on site.

The approval process is extremely straight-forward and is simply to ensure all developments are of a high quality.

- The Purchaser will be required to submit the following documentation for DC approval:
 - A comprehensive site plan showing all built elements, parking areas, service areas, entry zones, landscaping areas, and any other key development components;
 - A set of floor plans and elevations of the proposed development;
 - A material palette sheet indicating all exterior finishes and colours (walls, roof, windows & doors, visual screens, and any other relevant architectural elements).
- Further information on the process:
- The DC will review plans twice (once prior to submission and once prior to implementation (to determine if any changes have arisen through the consenting process).
 - The DC will be assessing compliance with the Design Guidelines only, not the District Plan, as that is the role of the consenting authority WBOPDC.
 - Pictures in this document are for guidance only and shall not be relied upon. DC approval is required as specified within the proposed land covenants.

Plans can be submitted in hard copy or emailed in .pdf format to:

Boffa Miskell Limited
bryan.sanson@boffamiskell.co.nz / morne.hugo@boffamiskell.co.nz

2.1 APPROVAL DRAWINGS CHECKLIST

- A comprehensive site plan showing all built elements, parking areas, service areas, entry zones, location of signage, fencing extent and any other key development components.
- A set of floor plans and elevations that clearly illustrates materials, facades, and any other key components.
- Landscape plan showing extent of landscaping, position of trees, including a plant schedule and/or plant palette identifying proposed species.
- Materials and colour palettes, including external surfaces and elements.

2.3 APPROVAL FORM

DEVELOPMENT CONTROL APPROVAL FORM

Lot Number: _____

Development Client: _____

Submission Date: _____

Submitted Plan Meets Development Control Guidelines Tick ✓

Submitted Plan Does Not Meet Development Control Guidelines

Additional Information Required to Meet Development Control Guidelines

Submitted Plan Avoids conflict with street trees, light posts and stormwater culvert locations

Development Controller Comments: _____

Approved By: _____

Name: _____ Signature: _____

Note: Submitted Plans that DO NOT meet Development Control Guidelines are to resubmitted for approval following consideration of the Development Controller comments.



3. ARCHITECTURAL - GENERAL GUIDELINES

3.1 SITE PLANNING GUIDELINES

The following general guidelines should be applied when planning the overall layout of any commercial development site:

- Commercial building design in relation to size and height are to align with the Medium Density Residential Standards rules.
- Street frontage is to be continuous with a focus on high quality design and materials to correctly address the public interface and ensure high amenity outcomes.
- Both on and off street parking provisions are to be accommodated.
- Outdoor dining areas facing onto the street or reserve spaces is preferred.
- Business signage and branding is to be on store frontage only.
- Storage of waste - no outdoor waste storage area shall be located in any street scene setback area.
- All fencing and landscaping is to be designed in accordance with this guideline document.
- Offices and commercial services that don't have regular public visitors are to be located on the second floor of commercial buildings where possible.
- Integrate pedestrian access and strong public interface with the street and reserves where commercial sites are located adjacent.

The following additional guidelines should be applied when planning the overall layout of the service centre site:

- Wide landscaping strips required to address street frontage and promote large setbacks from street for service based commercial activities (fuel stations, fast food restaurants, etc.).
- Limit the number of vehicle access into site to manage traffic movements and minimise risk to pedestrians.
- Offstreet parking only for service centre given the high volume of traffic passing by and entering the site.
- Location and placement of commercial branding and associated signage elements needs careful consideration to limit proliferation of signage clutter.



3. ARCHITECTURAL - GENERAL GUIDELINES

3.2 SITE DESIGN CONSIDERATIONS: LOCAL CENTRES

The two local centres are bordered by streets on three sides. There is to be strong activation along these frontages with stores opening onto the street, amenity planting and space for outdoor dining where suitable to do so.

On street and onsite parking is to be accommodated to provide visitors with choice. Onsite vehicle access is to be restricted to one public and one service access to minimise potential vehicle conflict with pedestrians and reduce the dominance of vehicles.

Buffer space is to be included in the shared boundary with residential lots to manage reverse sensitivity and adverse effects of noise, smell and visual clutter for residents living in the houses.

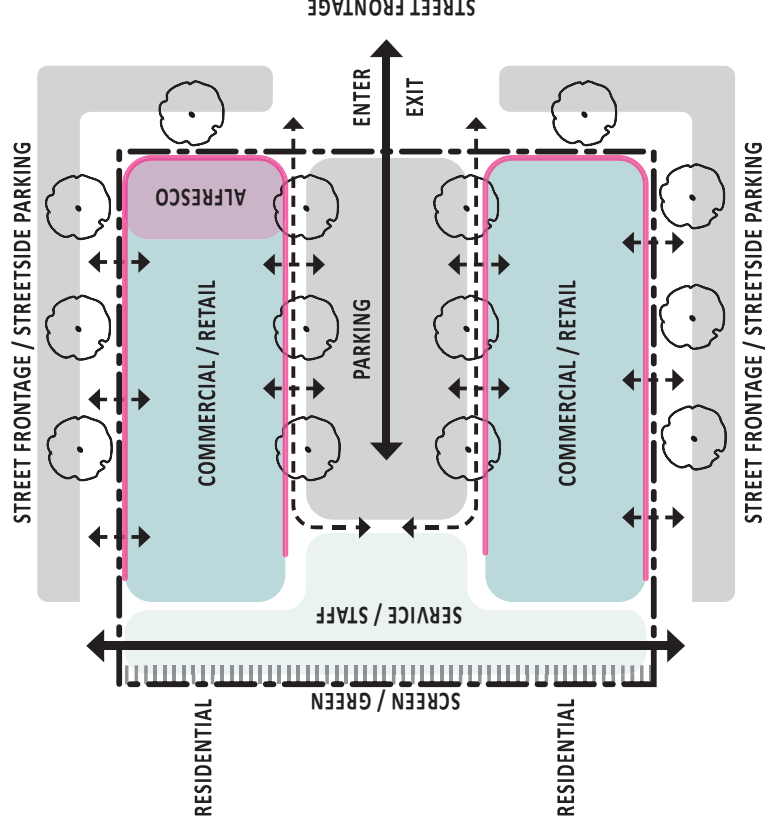
Service lane supports the physical separation of commercial activities with the adjoining residential housing.

Commercial buildings are to support double sided active frontages where possible to promote public access, circulation and accessibility.

Onsite landscape planting is to be a mixture of shade trees and low groundcovers that complement the architectural form, enable clear sightlines and lift the overall amenity of the commercial area.

A maximum site coverage of 75% total area for commercial buildings.

TYPICAL DEVELOPMENT SITE FUNCTIONAL DIAGRAM



- LEGEND**
- BOUNDARY
 - BUILDING
 - PARKING
 - SERVICE / PEDESTRIAN
 - SHADE / AMENITY TREE
 - BUFFER PLANTING / SCREENING
 - VEHICLE ACCESS / MOVEMENT
 - PEDESTRIAN ACCESS / MOVEMENT
 - ACTIVE FRONTAGE

3. ARCHITECTURAL - GENERAL GUIDELINES

3.3 SITE DESIGN CONSIDERATIONS: NEIGHBOURHOOD CENTRE

The neighbourhood centre is bordered by streets on two sides (west and south) and reserves on the remaining two (north and east). There is to be strong activation along all frontages with stores opening onto the street and internally, with amenity planting, plaza areas and space for outdoor dining where suitable to do so.

On street and onsite parking is to be accommodated to provide visitors with choice. Onsite vehicle access is to be restricted to one public and one service access to minimise potential vehicle conflict with pedestrians and reduce the dominance of vehicles.

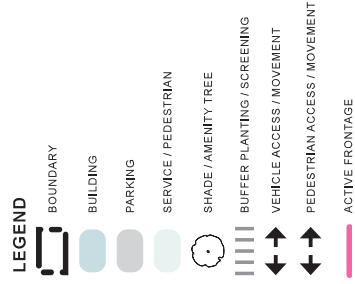
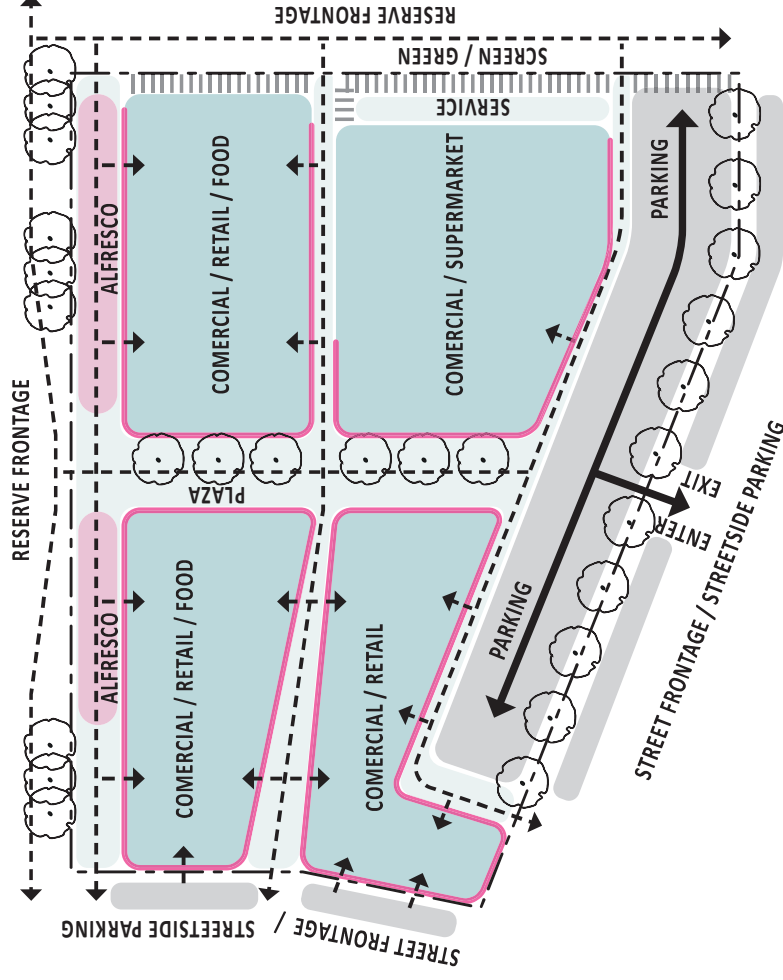
Buffer space is to be included along the eastern boundary to accommodate services, and ensure the majority of public interactions occur elsewhere on the site and away from this boundary.

Service lanes and back of house to be screened and away from public interfacing areas.

Commercial buildings are to support double sided public access where possible to promote circulation and accessibility.

Onsite landscape planting is to be a mixture of shade trees and low groundcovers that complement the architectural form, enable clear sightlines and lift the overall amenity of the commercial area.

TYPICAL DEVELOPMENT SITE FUNCTIONAL DIAGRAM



3. ARCHITECTURAL - GENERAL GUIDELINES

3.4 SITE DESIGN CONSIDERATIONS: SERVICE CENTRE

The service centre is bordered by roads on all four sides, some of which are high volume traffic corridors. There are to be wide setbacks and landscape treatments to all boundaries to create space and separation from the traffic and noise.

Strong activation along these frontages with stores opening onto the street, amenity planting and space for outdoor dining where suitable to do so.

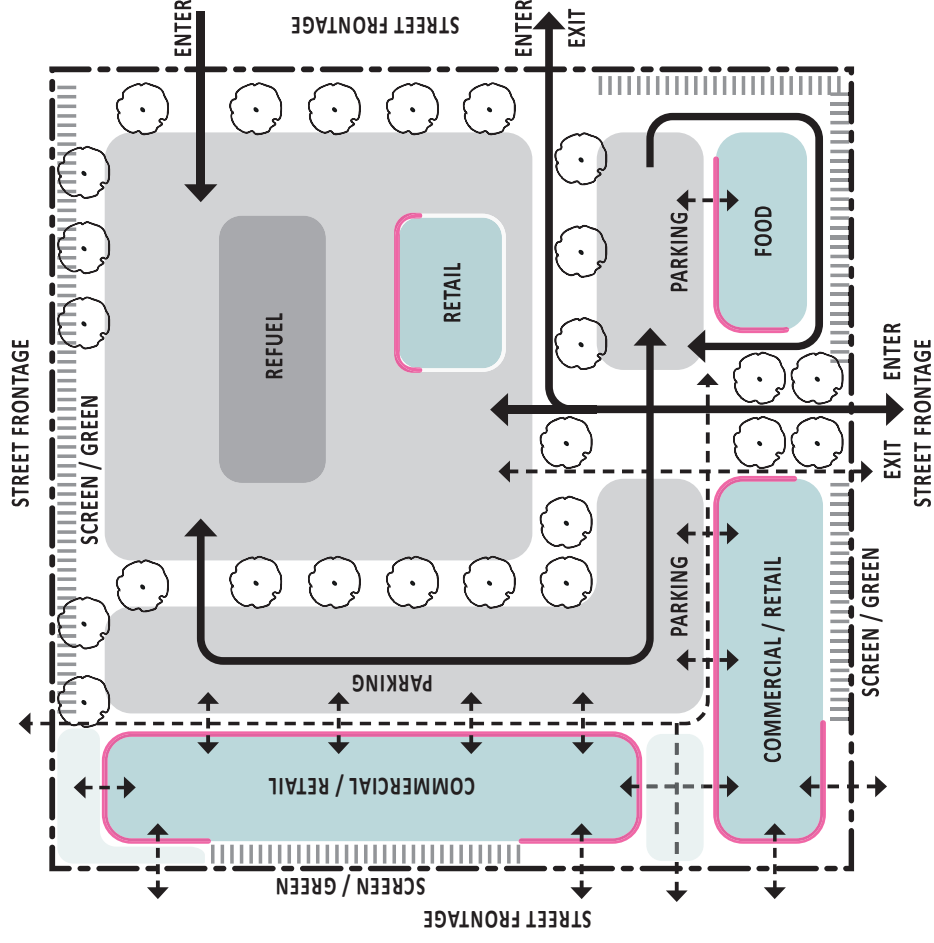
Onsite parking is proposed with vehicle access restricted to two primary entry/exit points and one additional entry for the service station specifically. A single internal road with dual sided parking is proposed to minimise potential vehicle conflict with pedestrians and reduce the dominance of vehicles.

Buffer space is to be included in the shared boundary with residential lots to manage reverse sensitivity and adverse effects of noise, smell and visual clutter for residents living in the houses.

Commercial buildings are to support double sided public access where possible to promote circulation and accessibility.

Extensive onsite landscape planting with a mixture of shade trees and low groundcovers that complement the architectural form, enable clear sightlines and lift the overall amenity of the commercial area.

TYPICAL DEVELOPMENT SITE FUNCTIONAL DIAGRAM



- LEGEND**
- BOUNDARY
 - BUILDING
 - PARKING
 - SERVICE / PEDESTRIAN
 - SHADE / AMENITY TREE
 - BUFFER PLANTING / SCREENING
 - VEHICLE ACCESS / MOVEMENT
 - PEDESTRIAN ACCESS / MOVEMENT
 - ACTIVE FRONTAGE

3. ARCHITECTURAL - MATERIAL & FAÇADES

3.5 ACCEPTABLE ARCHITECTURAL MATERIALS

Walls and Roofs

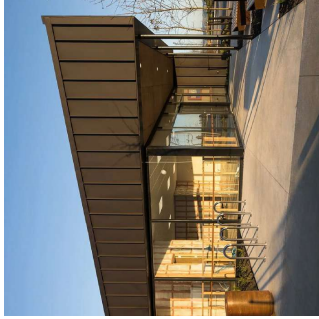
The commercial built form components of a development should use the following recommended material types:

- Pre-coloured powder coated steel wall cladding and roofing
- Standing seam pre-coloured wall cladding and roofing
- Painted / indented / honed precast concrete panels
- Stack-bond concrete block walls (sealed)
- Traditional-style pointed and painted brick
- Painted timber or Linea® weatherboard
- Vertical natural cedar timber
- Board and batten (must be stained or painted in approved colours)
- Natural stone

Doors and Windows

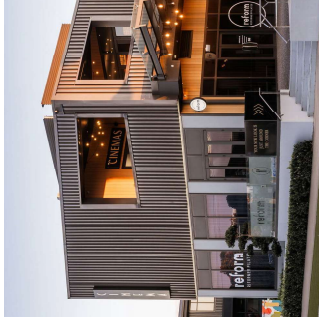
Natural timber, pre-coloured aluminium, or pure glass doors and windows are to be used. All need to be BRANZ certified and appropriate for commercial use.

Alternative materials proposed may be submitted for consideration by the Development Controller, along with an explanatory statement as to why the alternative material has been proposed



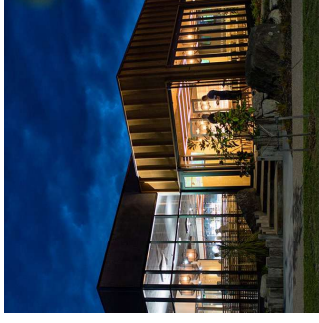
EXAMPLE MATERIAL 01

Pre-coloured powder coated steel wall cladding



EXAMPLE MATERIAL 02

Pre-coloured powder coated steel wall cladding



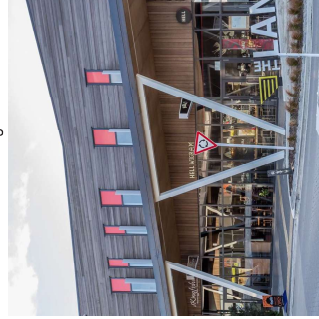
EXAMPLE MATERIAL 03

Pre-coloured powder coated steel wall cladding



EXAMPLE MATERIAL 04

Vertical natural cedar



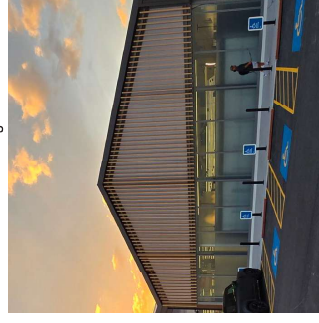
EXAMPLE MATERIAL 05

Vertical natural cedar



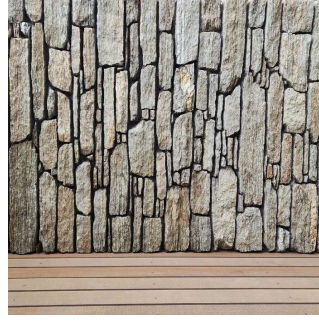
EXAMPLE MATERIAL 06

Painted timber or Linea weatherboard



EXAMPLE MATERIAL 07

Glass with timber slat screen



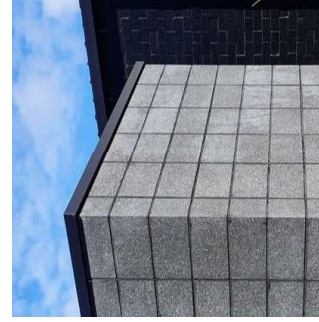
EXAMPLE MATERIAL 08

Natural stone



EXAMPLE MATERIAL 09

Traditional-style pointed and painted brick



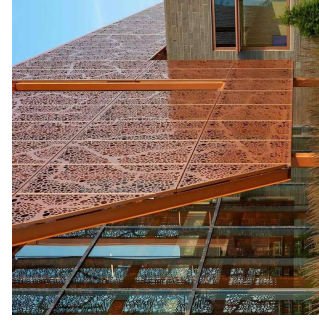
EXAMPLE MATERIAL 10

Stack bond concrete block with exposed aggregate or honed finish



EXAMPLE MATERIAL 11

Precast concrete tilt slab with decorative timber or similar texture



EXAMPLE MATERIAL 12

Corten steel or anodised aluminium decorative facade panels

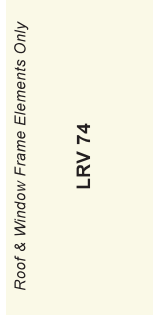
3. ARCHITECTURAL - COLOURS & REFLECTIVITY

3.6 ACCEPTABLE COLOUR & REFLECTIVITY RANGE

The range of colours on this page are permitted for use on the external facades, roofs and joinery within Wairakei South Commercial areas.

For external facades and vertical building elements, only materials with a Light Reflectivity Value (LRV) of 60 or less are permitted on all walls, and LVR of 75 or less are permitted on roofs and joinery.

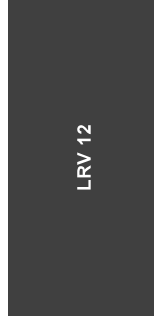
** Bright, primary, secondary or corporate colours are permitted on the facades of industrial buildings, but cannot exceed 15% of any facade face. It is recommended that these colours are restricted to the office or entry components of buildings. These are not permitted on roof or horizontal elements.*



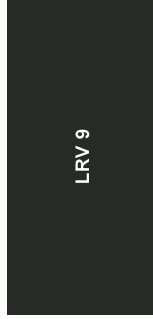
Dulux Colorsteel® Cloud



Dulux Colorsteel® Stonepeak Matte



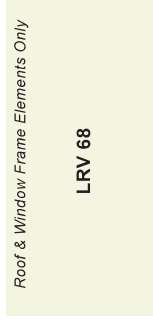
Dulux Colorsteel® Thunder Grey



Dulux Colorsteel® Slate



Dulux Colorsteel® Mist Green



Dulux Colorsteel® Titania



Dulux Colorsteel® Sandstone Grey



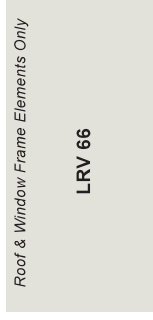
Dulux Colorsteel® Sandbar



Dulux Colorsteel® Ironsand



Dulux Colorsteel® Flax Pod / Flax Pod Matte



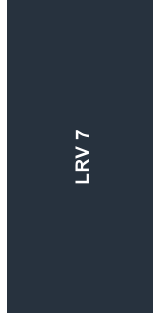
Dulux Colorsteel® Sandscape



Dulux Colorsteel® Denim Blue



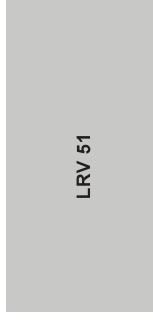
Dulux Colorsteel® Lichen



Dulux Colorsteel® Windsor Grey



Dulux Colorsteel® Ebony



Dulux Colorsteel® Gull Grey



Dulux Colorsteel® Grey Friars



Dulux Colorsteel® Tidal Drift Matte



Dulux Colorsteel® Karaka



Limited Use Only *

3. ARCHITECTURAL - SIGNAGE

3.7 SIGNAGE

All developments should have identification signage on the street at the visitor entry point.

Signage should be in the form of a 'blade' sign without visible posts.

The following rules are in accordance with the Western Bay of Plenty District Council current Operative District Plan:

PROVISION 4D 3.3.1 - PERMITTED ACTIVITIES

Any site signs shall not exceed any combination of the following:

- a. One freestanding sign not exceeding 10m in height, and up to 2m in width.
- b. One freestanding sign not exceeding 3m in height and 2m in width for every 30 linear metres of road frontage.
- c. Signs, whether painted or attached, covering up to 30% of each wall of the building, within the profile of the building.

Except that:

- d. Where a boundary of a Commercial or Industrial property adjoins or faces (ie. across a street from) an existing or proposed reserve or a land use that is not commercial or industrial, signs on that property boundary shall be limited to a maximum area of 6m².

PROVISION 4D 5.1.2 - LOCATION OF SIGNS

Except where specifically provided for, no sign shall be located within a legal road reserve nor on land other than that occupied by the activity to which the sign relates.

Yard requirements relating to buildings/structures shall not apply.

Signs shall be sited such that they do not restrict visibility to and from intersections and property accesses.

PROVISION 4D 5.1.3 - SIGN HEIGHT

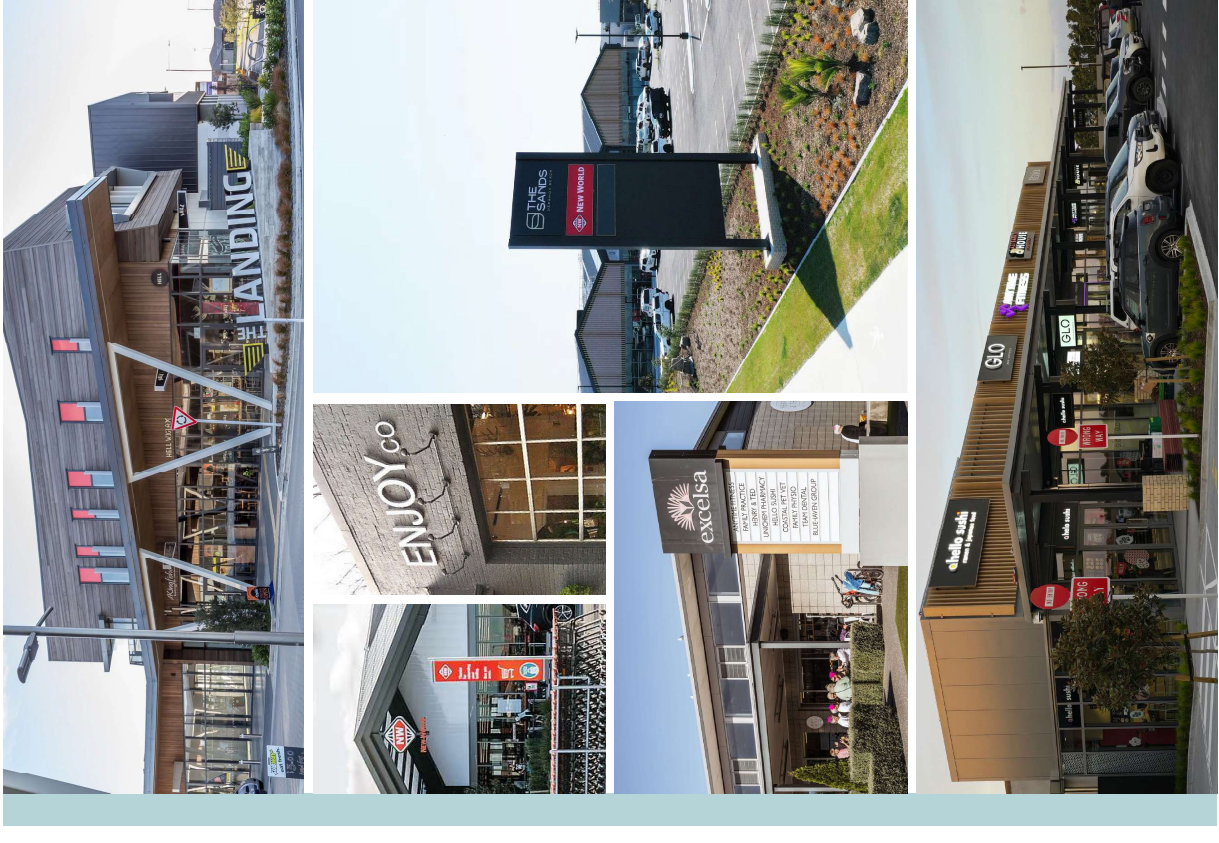
Except where otherwise stated by a rule within this document, the maximum height of any sign not the subject of separate resource consent shall be the same as that applying to buildings/structures within the commercial land in which the property concerned is located.

PROVISION 4D 5.1.6 - ILLUMINATION OF SIGNS

a. The following performance standards shall be met by all: Shall be constructed to comply with the following levels of luminance:

- Daytime: 25 lux
- Night-time: 10 lux

b. With the exception of neon and side emitting fibre optic signs, no light source used for the sign shall be visible from any adjoining site including roads and reserves.



3. ARCHITECTURAL - EXTERIOR & LIGHTING

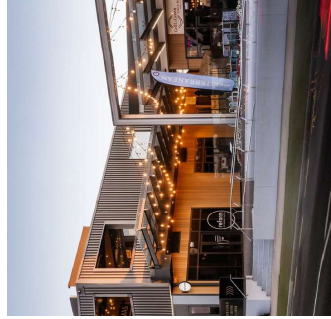
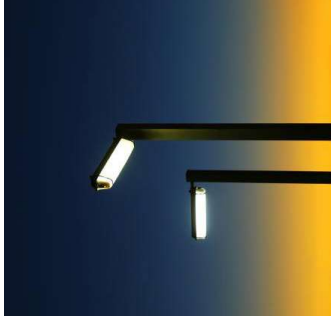
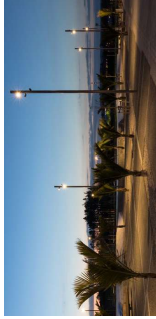
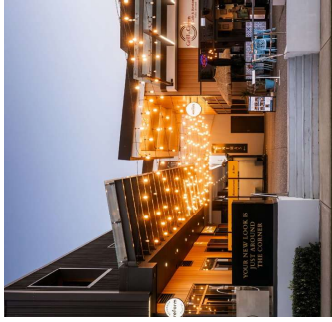
3.8 EXTERIOR LIGHTING

CPTED principles are to be applied to the lighting design for all external and publicly accessible site areas.

Loading yards, car parking and building entry areas should be adequately lit to ensure good visibility and clear face recognition, thereby ensure safe and comfortable use.

Light standards or poles (where used) should be powder coated or 2 pot epoxy painted in a colour to match fencing.

Use of feature or accent lighting is promoted adjacent to building and site entry points.



3. ARCHITECTURAL - CPTED

Crime Prevention Through Environmental Design (CPTED) is a crucial approach for enhancing the safety and security of industrial building developments.

3.9 KEY CPTED CONSIDERATIONS

Surveillance

- **Maximize Visibility:** Design buildings and site layouts to allow clear lines of sight to and from the building, parking areas, and surrounding streets.
- **Windows and Glass:** Use ample windows and glass doors to increase visibility both inside and outside the building.
- **Lighting:** Ensure adequate lighting for all areas, including entrances, exits, walkways, and parking areas to deter criminal activity and increase visibility at night.
- **Landscaping:** Keep landscaping trimmed and avoid planting tall bushes or trees that can create hiding spots or obscure views.

Access Management

- **Defined Entrances and Exits:** Clearly mark and control the number of entry and exit points to limit unauthorised access.
- **Fencing and Gates:** Use secure fencing and gates to control access to the site, especially in high-risk areas.
- **Pathways:** Design pathways to guide people to intended entrances and away from private or sensitive areas.
- **Signage:** Use clear, informative signage to direct visitors and employees to appropriate areas while discouraging access to restricted zones.

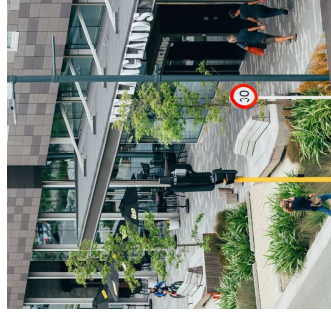
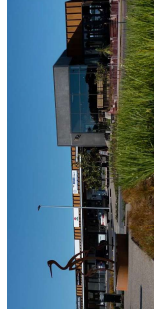
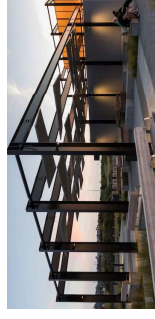
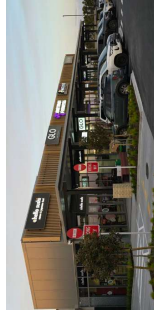
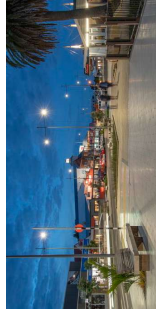
Territorial Reinforcement

- **Security Hardware:** Install robust locks, alarms, and security cameras to protect the building and its assets.
- **Reinforced Entrances:** Use strong, durable materials for doors, windows, and entry points to prevent break-ins.

- **Controlled Access Systems:** Implement keycard or biometric access systems to limit entry to authorized personnel only.

Quality Environment

- **Regular Maintenance:** Keep the property clean and well-maintained to convey a sense of order and vigilance.
- **Rapid Repair:** Promptly address any signs of vandalism or damage to prevent the area from appearing neglected or abandoned.
- **Security Patrols:** Consider regular security patrols, especially in larger developments or high-risk areas.



For further CPTED information refer to:

<https://environment.govt.nz/publications/national-guidelines-for-crime-prevention-through-environmental-design-in-new-zealand/>

4. LANDSCAPE - SITE FENCING

4.1 FRONT, SIDE AND REAR BOUNDARY FENCING

Fencing locations, extents and heights are to be in accordance with the following permitted fencing types and associated locations:

1. Boundaryline Axis Aluminium Fence (or Similar*)

Height: 1.2m high

Location: Front fencing within 5m of the front site boundary shall be permeable, with a maximum 1.2m in height.

2. Boundaryline SentryPanel Rod Top Fence (or Similar*)

Height: 2m high

Location: Side boundary fencing along laneway should be permeable with a maximum height of 2m.

3. Boundaryline ColourPanel Classic Fence (or Similar*)

Height: 2m high

Location: Service or bin storage yards, and rear or side boundary fencing when commercial lot is adjacent residential lots shall be solid with a maximum height of 2m.

4. Boundaryline SleekWall Fence (or Similar*)

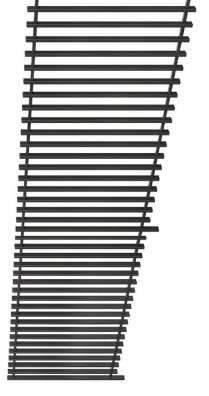
Height: 2m high

Location: Service or bin storage yards, and rear or side boundary fencing when commercial lot is adjacent residential lots shall be solid with a maximum height of 2m.

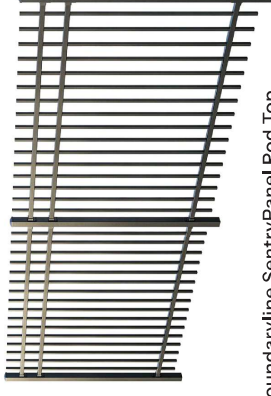
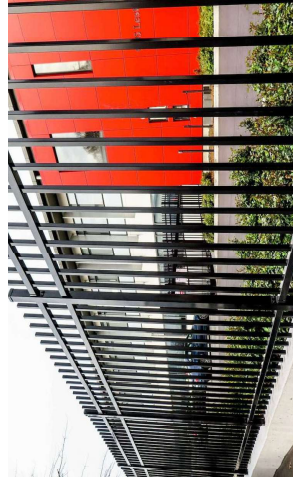
5. Specific Fencing Requirements (Resource Consent)

Specific fencing designs may be required as part of a resource consent process, to mitigate activities such as noise (e.g. acoustic fencing), these will be reviewed on a case by case basis when submitted along with any associated consent conditions for reference to the Development Controller for approval.

***Alternative products or high quality dressed/stained timber variants are allowed if they are consistent with design controls and above. Alternatives are to be noted and put forward to development controller for approval.**



Boundaryline Axis



Boundaryline SentryPanel Rod Top



Boundaryline ColourPanel Classic

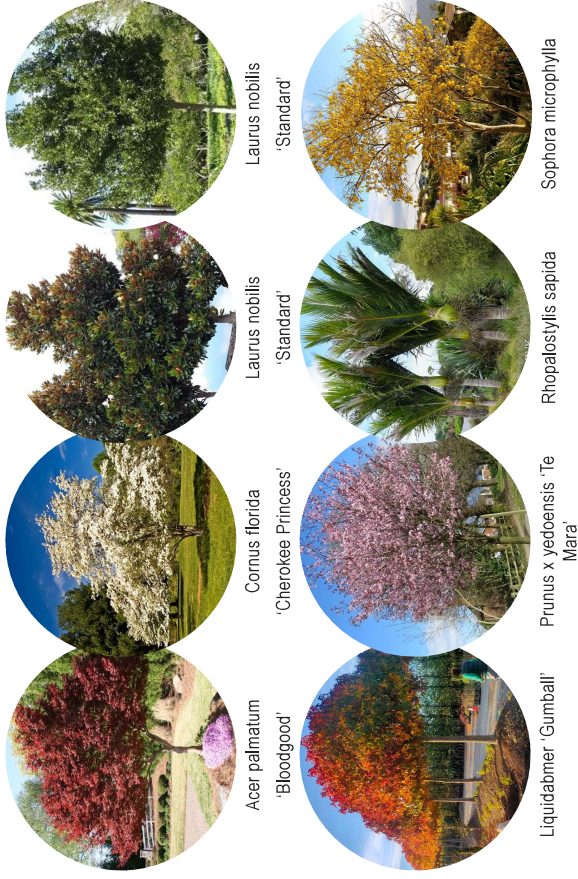


Boundaryline SleekWall

4. LANDSCAPE - PLANTING SPECIES

4.2 SPECIMEN TREES

BOTANICAL NAME	COMMON NAME	MATURE HEIGHT	SPREAD
Acer palmatum 'Bloodgood'	Red Maple	4m	3m
Cornus florida 'Cherokee Princess'	Flowering Dogwood	4m	3m
Magnolia grandiflora 'Little Gem'	'Little Gem' Magnolia	5m	3m
Laurus nobilis 'Standard'	Bay Laurel	4m	3m
Liquidambar 'Gumball'	Gumball Sweet Gum	3m	1.5m
Prunus x yedoensis 'Te Mara'	Yoshino Cherry	6m	5m
Rhopalostylis sapida	Nikau Palm	10m	3m
Sophora microphylla	Kōwhai	8m	5m



4.3 HEDGE SPECIES

Hedges are to be a minimum grade of Pb12 at time of planting, to be a single species (not mixed) and maintained as a maximum 1.2m high hedge along front yards and rear yards (shen adjacent reserves), and 1.8m high hedge on side and rear yards elsewhere.

BOTANICAL NAME	COMMON NAME	MATURE HEIGHT	SPREAD
Buxus sempervirens	Common Boxwood	1m	1m
Corokia 'Geentys Green'	Korokio	3m	2m
Griselinia 'Broadway Mint'	Kapuka	4.5m	2.5m
Michelia figo	Port Wine Magnolia	3m	2m



4. LANDSCAPE - PLANTING SPECIES

7.3 LOW GROUNDCOVER SPECIES

BOTANICAL NAME	COMMON NAME	MATURE HEIGHT	SPREAD
Carex testacea	Swamp Sedge	0.6m	0.6m
Carex virgata	Speckled Sedge	1m	0.75m
Ceanothus Blue Sapphire	California Lilac	1.5m	0.75m
Choisya ternata 'Aztec Pearl'	Mexican Orange Blossom	1.5m	1.5m
Coprosma 'Hawera'	Hawera Sand Coprosma	0.5m	1.5m
Coprosma repens 'Poor Knight'	Taupata	0.5m	1m
Coprosma robusta	Karamu	3m	2m
Dianella caerulea 'Little Jess'	Little Jess Dianella	0.5m	0.5m
Dianella nigra	Tūrutu	0.5m	0.5m
Diets grandiflora	Fortnight Lily	1m	0.75m
Juncus australis	Leafless Rush	1m	0.75m
Libertia peregrinans	Creeping Iris	0.5m	0.5m
Lobelia angulata	Penakenake	0.1m	1m
Lomandra 'White Sand'	White Lomandra	0.75m	0.75m
Lomandra longifolia 'Nyalla'	Green Lomandra	1m	1m
Loropetalum chinese 'Fire Dance'	Chinese Fringe Flower	1.2m	1.2m
Metrosideros collina 'Tahiti'	Pohutukawa Tahiti	1m	1m
Muehlenbeckia complexa	Small-Leaved Pohuehue	0.5m	1.5m
Phormium 'Emerald Green'	Dwarf Mountain Flax	0.75m	0.75m
Viburnum davidii	Viburnum	1.2m	1.2m



Carex testacea



Carex virgata



Ceanothus 'Blue Sapphire'



Choisya ternata 'Aztec Pearl'



Coprosma 'Hawera'



Coprosma repens 'Poor Knight'



Coprosma robusta



Dianella caerulea 'Little Jess'



Dianella nigra



Diets grandiflora



Juncus australis



Libertia peregrinans



Lobelia angulata



Lomandra 'White Sand'



Lomandra longifolia 'Nyalla'



Loropetalum chinese 'Fire Dance'



Metrosideros collina 'Tahiti'



Muehlenbeckia complexa



Phormium 'Emerald Green'



Viburnum davidii

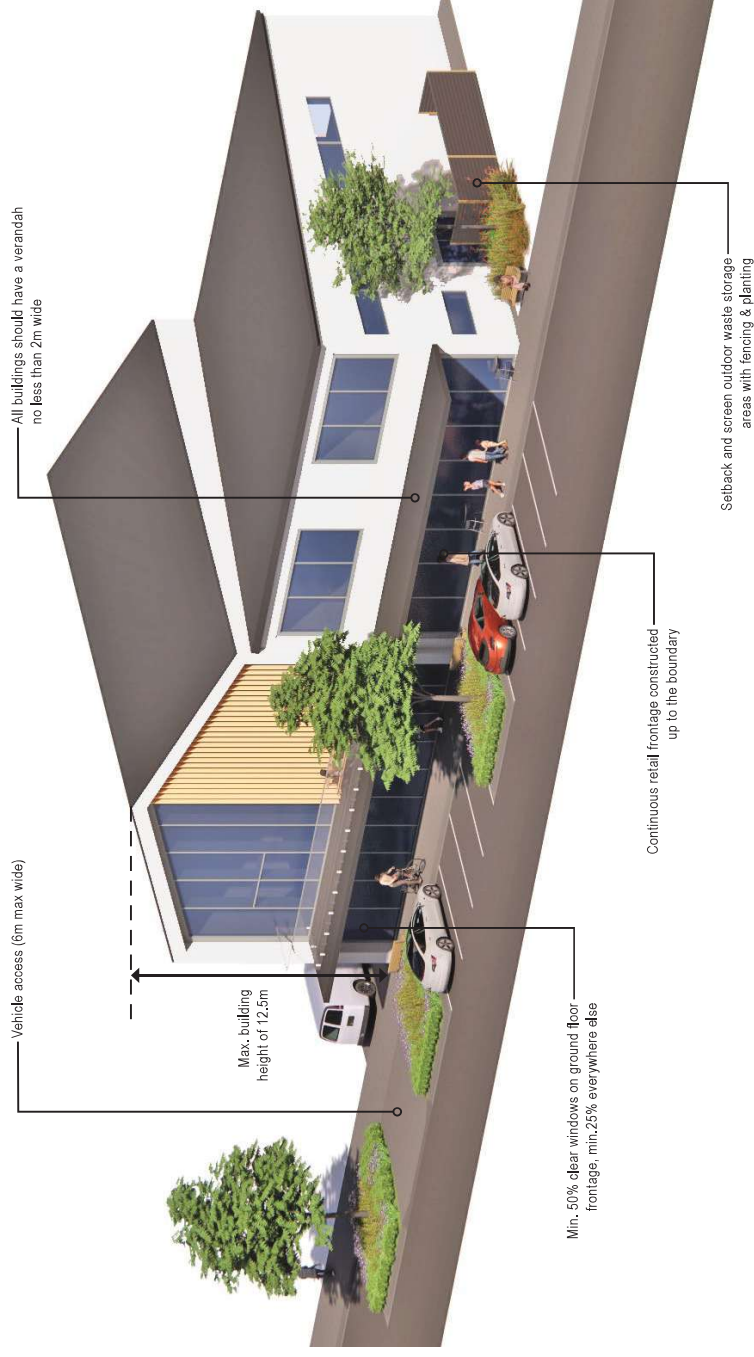
5. ACTIVITY PERFORMANCE STANDARDS

5.1 BUILDING HEIGHT, SETBACK, ALIGNMENT AND DESIGN

The following are in accordance with the development rules framework prepared specifically for the commercial land within the Wairakei South Development.

PROVISION 19.4 A. BUILDING HEIGHT, SETBACK, ALIGNMENT AND DESIGN

- i. All buildings shall be provided with a veranda not less than 2m wide, 3m above street level, 0.3m back from the kerb line and not more than 0.4m thick;
- ii. Overall building/structure height shall not exceed 12.5m
- iii. Continuous retail frontage – Development in the Commercial areas shall be constructed up to the road boundary except for vehicle access up to 6m wide per site. Each building shall have clear windows on the ground floor that must cover at least 50% of the building's frontage to a main street and at least 25% for all other streets and public areas, such as walkways and public parking areas.
- iv. Storage of Waste - No outdoor waste storage area shall be located in any street scene setback area. Any outdoor type storage area shall be sited behind any street scene setback and screened from road frontages by either a solid fence of at least 2m minimum height, and/or dense planting of the same height.



5. ACTIVITY PERFORMANCE STANDARDS



5.2 HEIGHT IN RELATION TO BOUNDARY

All buildings and structures within the commercial areas within Wairakei South must align with the **Medium Density Residential Standards** as outlined below:

Buildings and structures must not project beyond a 60° recession plane measured from a point 4m vertically above ground level along all boundaries. Where the boundary forms part of a legal right of way, entrance strip, access site, or pedestrian access way, the height in relation to boundary applies from the farthest boundary of that legal right of way, entrance strip, access site, or pedestrian access way.

This standard does not apply to:

- A boundary with a road.
- Existing or proposed internal boundaries within a site.
- Site boundaries where there is an existing common wall between two buildings on adjacent sites or where a common wall is proposed.
- Where a subdivision is proposed between residential units that share a common wall (in this case it will not apply along the length of the common wall). Where the written approval of the owner(s) of the immediately adjoining property to the specific encroachment is obtained.

5.3 OFFICES

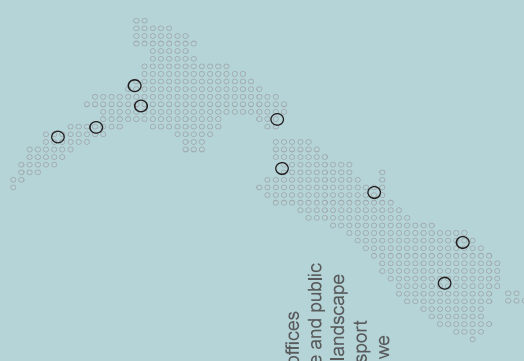
The floor area utilised for office purposes on the ground floor is not to exceed 30% of the total gross floor area of the ground floor of the building.

5.4 DWELLINGS - NOISE

Any habitable room in new residential activities established on a commercial site shall be designed to meet an internal LAeq noise level of 45dB at all times;

An acoustic design report from a suitably qualified acoustic engineer will be required to show that the required noise standards will be met.

All dwellings shall be located above ground floor.



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