



Appendix AE

Proposed Industrial Area Design Guidelines

WAIRAKEI SOUTH

DESIGN GUIDELINES
FOR
INDUSTRIAL

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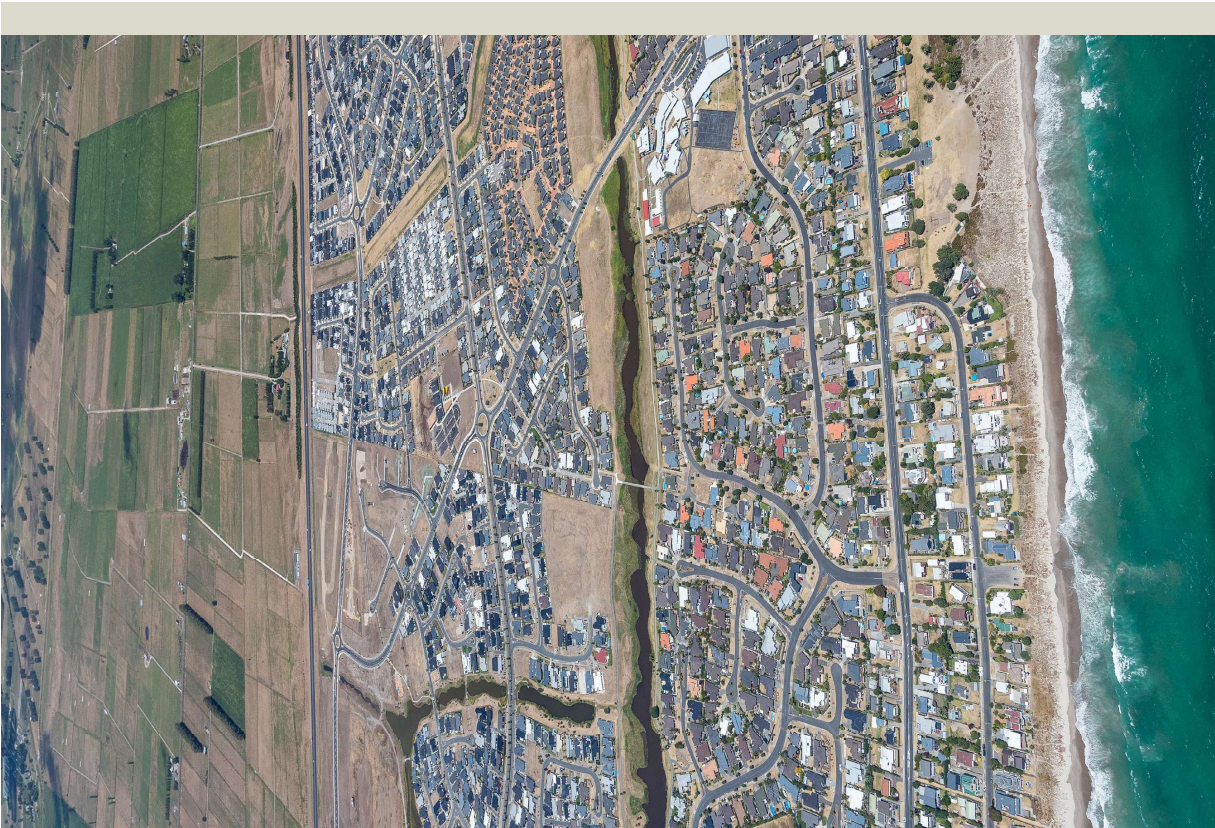
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1. OVERVIEW

1.1 INTRODUCTION

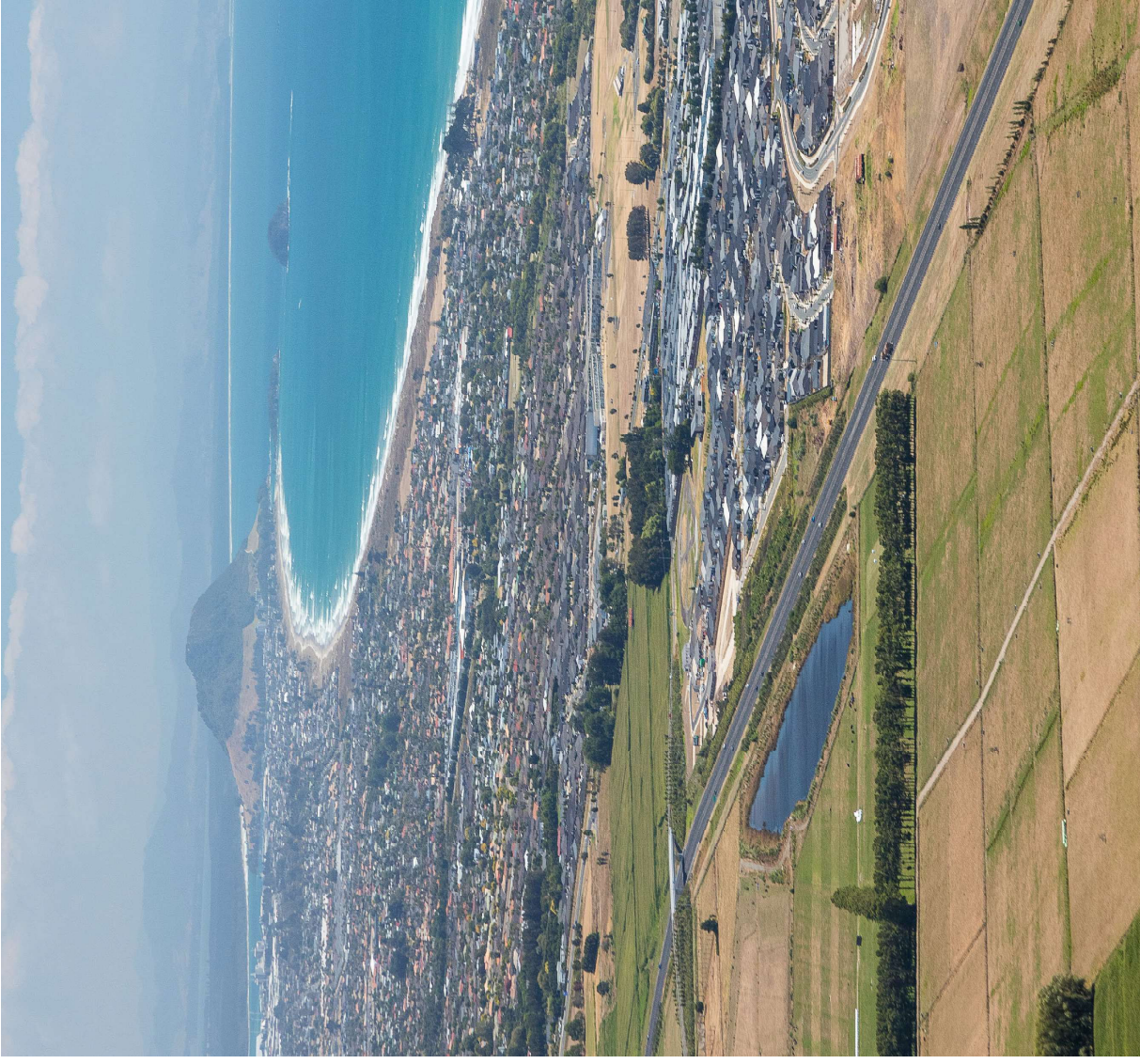
Wairakei South is a transformative 350-hectare development within Tauranga's high-growth Eastern Corridor, strategically positioned between Pāpāmoa, Te Tumu, and Te Puke Urban Growth Areas. Over the next 10–20 years, Wairakei South will deliver approximately 2,750 new homes within 128 hectares, alongside 50 hectares of industrial, 4 hectares of commercial centres, and a 4 hectare primary school, creating a vibrant, integrated, and connected mixed-use community.

Located adjacent to the Tauranga Eastern Link (TEL), the project offers exceptional connectivity to Tauranga, Mount Maunganui, Te Puke, the Port of Tauranga, and major employment hubs such as the Rangiuru Business Park. This accessibility, combined with a balanced land-use approach, positions Wairakei South as a self-sustaining, future-ready community that supports the sub-region's aspirations to live, work, and play.

A dedicated industrial precinct forms a cornerstone of the development, designed to foster local business growth, attract investment, and generate employment opportunities. This industrial land allocation ensures economic development is integrated with housing provision, supporting a resilient and balanced urban framework.

Beyond its economic role, Wairakei South embeds cultural narratives and ecological restoration into its design. The project reflects a commitment to partnership with mana whenua and the protection of natural systems, drawing inspiration from the ancient relationship between Ōtanewainuku/Ōtāwa and the Kaituna River.

Guided by the Waitaha Iwi Management Plan's "Mountains to the Sea" perspective, the development embraces a holistic environmental worldview that acknowledges the interconnectedness of ecosystems from mountain ranges to coastal waters.



1. OVERVIEW

1.2 GUIDELINES

These design guidelines have been developed for and are applicable only to the land identified as industrial / employment in the Wairakei South Development.

These guidelines should be applied in conjunction with the specific rules framework prepared specifically for the industrial land within the Wairakei South Development as part of the Fast Track application, and those within the Western Bay of Plenty District current Operative District Plan.

Disclaimer: These guidelines are subject to review and updates in the future to respond to any changes to national policy and planning standards.

1.3 PURPOSE OF THE GUIDELINES

The purpose of these design guidelines is to design, develop and maintain an overall high design quality and cohesive architectural and urban design character of the industrial land and business activities within it.

Protecting the integrity of the wider development through the design and architectural elements is integral to establishing and maintaining a high-quality asset with enduring value that ensures positive urban outcomes for the mixed-use zoning.

1.4 WHO SHOULD USE THESE GUIDELINES

This guideline document intends to provide individual property owners, developers, and their supporting architects, landscape architects, engineers and builders with an easy-to-follow toolkit for their developments



1. OVERVIEW

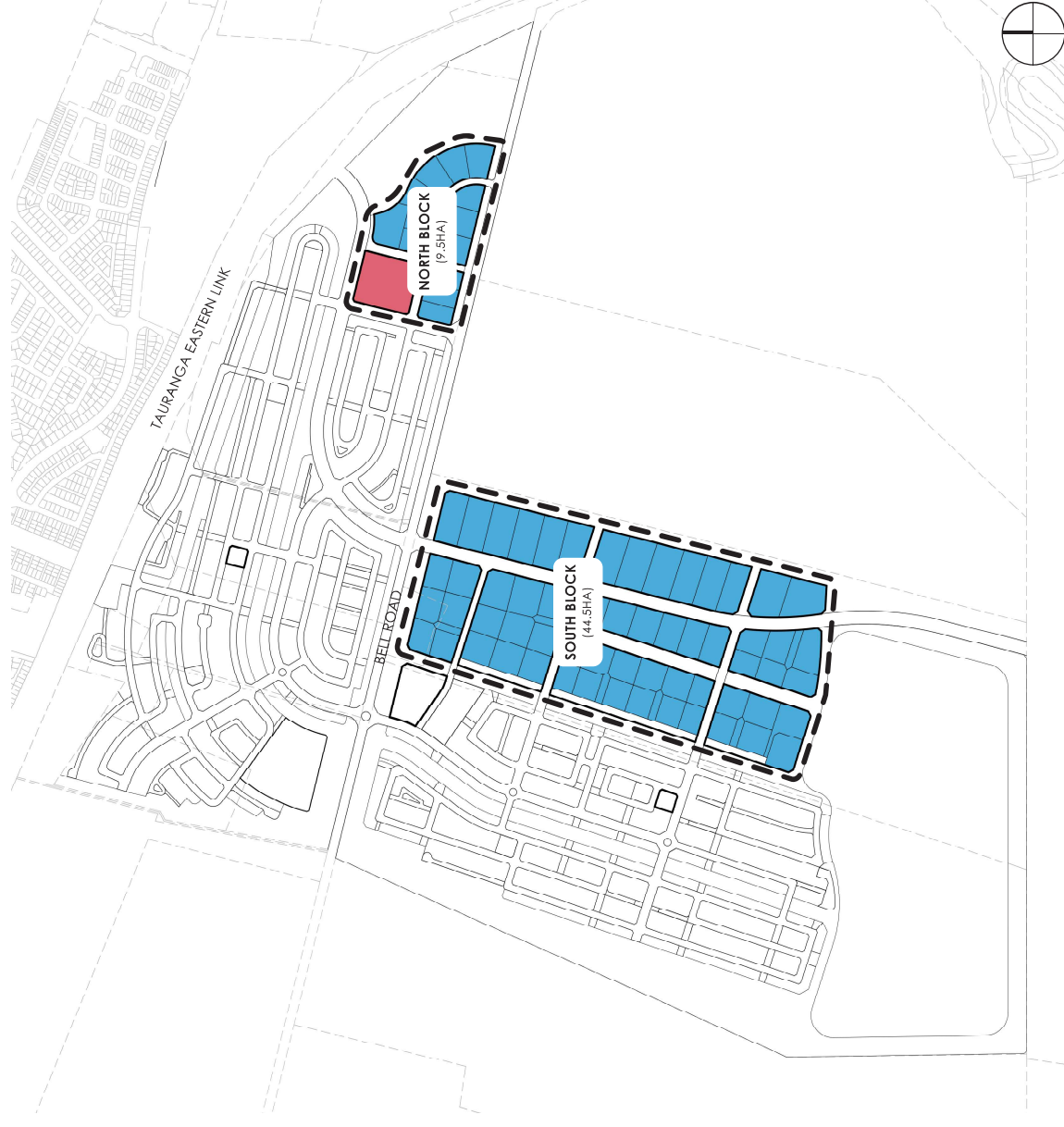
1.5 WAIRAKEI SOUTH INDUSTRIAL AREA PLAN

The Industrial land within Wairakei South is split into two blocks. These are directly linked by the Secondary Arterial Road corridor running generally north/southern from Papamoa Eastern Interchange through to the southern part of the development area.




North Block - Located adjacent the Papamoa Eastern Interchange, and bracketed by the Secondary Arterial Road, Bell Road and stormwater reserve network, this area offers smaller sized lot opportunities and a 2.2ha Service Centre.

South Block - Located directly south of Bell Road and bordered on all sides with stormwater reserves. This is the primary block of industrial land and provides a range of lot sizes and frontage offerings, with the bulk of the lots accessed via the Secondary Arterial and Primary Collector Road networks.

Lot sizes shown are indicative and varied in size from 0.5ha to over 1ha, with the ability to increase and reduce lot sizes (depending on the availability) to suit the needs of individual businesses developing within the industrial area.



LEGEND

-  NORTH/SOUTH BLOCKS
-  INDUSTRIAL AREA
-  SERVICE CENTRE (2.2ha)

2. DEVELOPMENT CONTROL

2.1 APPROVAL PROCESS

The design of every development at Wairakei South Business Park will require approval from the Development Controller (DC) prior to the submission of plans to Western Bay of Plenty District Council for Building Consent and the commencement of works on site.

The approval process is extremely straight-forward and is simply to ensure all developments are of a high quality.

- The Purchaser will be required to submit the following documentation for DC approval:
- A comprehensive site plan showing all built elements, parking areas, service areas, entry zones, landscaping areas, and any other key development components;
- A set of floor plans and elevations of the proposed development;
- A material palette sheet indicating all exterior finishes and colours (walls, roof, windows & doors, visual screens, and any other relevant architectural elements).

Further information on the process:

- The DC will review plans twice (once prior to submission and once prior to implementation (to determine if any changes have arisen through the consenting process).
- The DC will be assessing compliance with the Design Guidelines only, not the District Plan, as that is the role of the consenting authority WBOPDC.
- Pictures in this document are for guidance only and shall not be relied upon. DC approval is required as specified within the proposed land covenants.

Plans can be submitted in hard copy or emailed in .pdf format to:

Boffa Miskell Limited
bryan.sanson@boffamiskell.co.nz / morne.hugo@boffamiskell.co.nz

2.1 APPROVAL DRAWINGS CHECKLIST

- A comprehensive site plan showing all built elements, parking areas, service areas, entry zones, location of signage, fencing extent and any other key development components.
- A set of floor plans and elevations that clearly illustrates materials, facades, and any other key components.
- Landscape plan showing extent of landscaping, position of trees, including a plant schedule and/or plant palette identifying proposed species.
- Materials and colour palettes, including external surfaces and elements.

2.3 APPROVAL FORM

DEVELOPMENT CONTROL APPROVAL FORM

Lot Number: _____

Development Client: _____

Submission Date: _____

Submitted Plan Meets Development Control Guidelines Tick ✓

Submitted Plan Does Not Meet Development Control Guidelines

Additional Information Required to Meet Development Control Guidelines

Submitted Plan Avoids conflict with street trees, light posts and stormwater culvert locations

Development Controller Comments:

Approved By: _____

Name: _____ Signature: _____

Note: Submitted Plans that DO NOT meet Development Control Guidelines are to resubmitted for approval following consideration of the Development Controller comments.



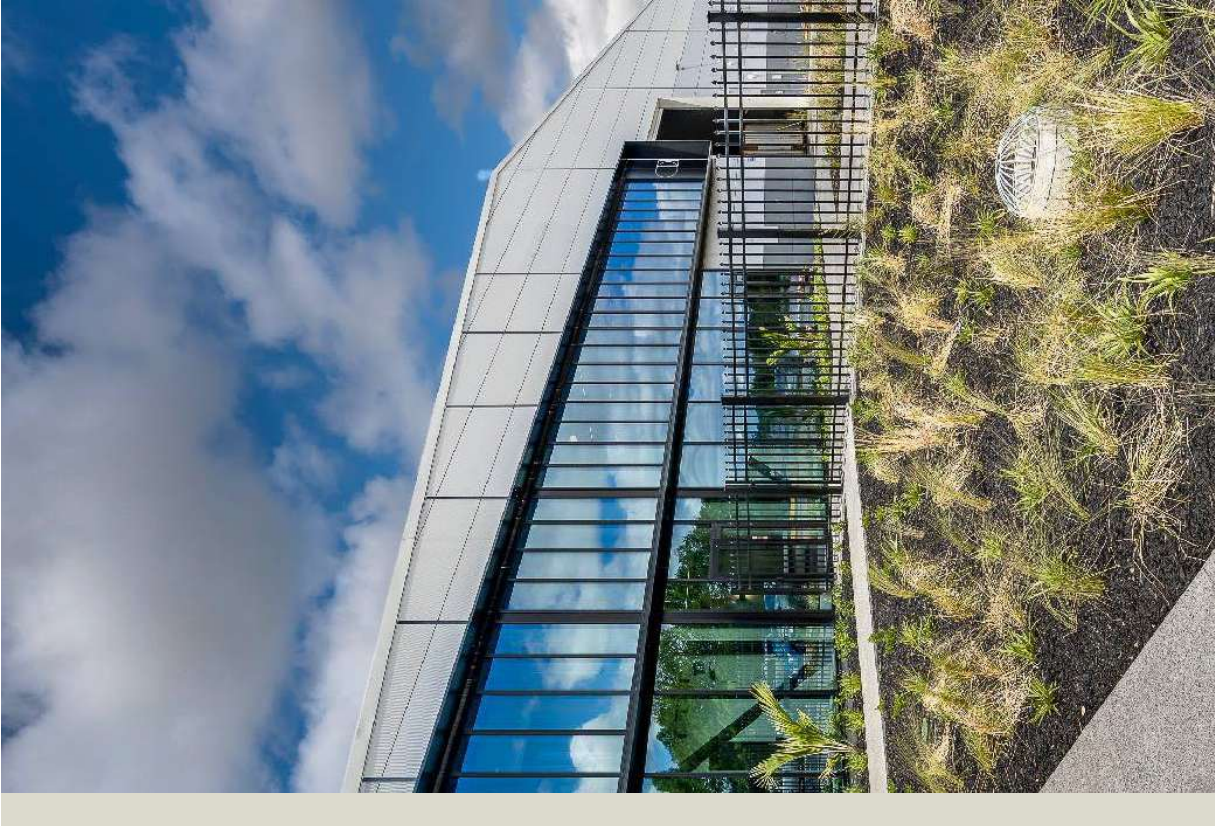
3. ARCHITECTURAL - GENERAL GUIDELINES

3.1 SITE PLANNING GUIDELINES

The following general guidelines should be applied when planning the overall layout of any development site:

- Offices and car parking are to face the primary internal street frontage
- Loading yards should take into considerations the prevailing wind direction and any existing adjacent developments, in order to avoid negative adverse effects of noise and dust as much as possible.
- Truck turning is to be accommodated within the yard area.
- Rubbish areas, container storage and recycling areas are to be screened from the street frontage.
- All fencing and landscaping buffers to be design in accordance with this guideline document.
- Office components of any development should be clearly visible from the site entry point and designed to consider passive surveillance of the streetscape and public accessible site areas.
- Business signage and branding to face street frontage only

Development controls relating to yard setbacks, building height and site coverage shall comply with the Provisions written specifically for the Wairakei South Development Industrial Rules, and Western Bay of Plenty District Council current Operative District Plan (where applicable) and are outlined in detail further on in this document.



3. ARCHITECTURAL - BUILDING SHAPE & FORM



3.2 BUILDING SHAPE AND FORM

There are no specific restrictions imposed on the shape and form of buildings, but common issues with Industrial Buildings that should be avoided are:

- Large, blank façades often face the street.
- Typical compositions include small office sections attached to much larger metal-clad structures, both surrounded by extensive asphalt areas.
- Little to no consideration to landscape treatments and amenity to street frontages.
- This repetitive design results in a monotonous, characterless streetscape.

3.3 BUILDING DESIGN RECOMMENDATIONS

Address the "Big Box / Small Box" Issue:

- Extend the office area along the front of the industrial building as much as possible.
- Incorporate the office within the industrial structure and add front-facing glazing.
- Use overhangs on single-storey office components that stretch across the larger building's frontage or incorporate other horizontal architectural features to mitigate the visual bulk of main warehouse components.

3.4 ENHANCE STREET ENGAGEMENT

- Increase the use of glass in office frontages.
- Apply glazing or clear plastic sheets to sections of the industrial building's front.
- Position parking lots and staff courtyards adjacent to the street.
- Ensure main building entrances are directly accessible and visible from the streetscape.

3.5 ADD DIMENSION AND DEPTH TO FAÇADES

- Add small overhangs to the roofs of industrial buildings to create shadow effects.
- Layer different materials on the front of large industrial structures.
- Install canopies at all entrance points.
- Utilise sun screens.
- Create indented patterns in precast concrete.

Read in conjunction with Chapter 5 of these guidelines which outlines specific provisions for developments with the Wairakei South Industrial Area

3. ARCHITECTURAL - MATERIAL & FAÇADES

3.6 ACCEPTABLE ARCHITECTURAL MATERIALS

Industrial built form components

The industrial built form components of a development should use the following recommended material types:

- Pre-coloured powder coated steel wall cladding and roofing
- Standing seam pre-coloured wall cladding and roofing
- Pre-cast concrete panels
- Translucent plastic sheets for roof lighting

Office and entry built form components

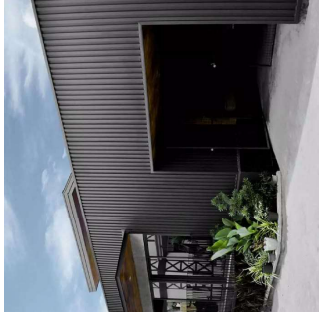
The office and entry built form components of a development should use the following recommended material types:

- Composite aluminium panel
- Painted / indented / honed precast concrete panels
- Stack-bond concrete block walls (sealed)
- Painted fibre cement sheet (minimum thickness 9mm)
- Powder coated metal cladding that matches the material on the industrial form
- Powder coated aluminium joinery
- Powder coated aluminium louvres



EXAMPLE MATERIAL 01

Pre-coloured powder coated steel wall cladding



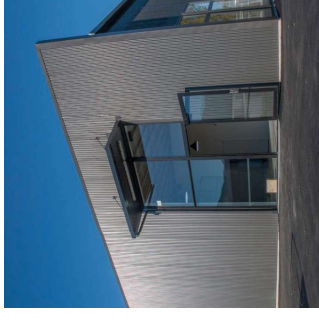
EXAMPLE MATERIAL 02

Pre-coloured powder coated steel wall cladding



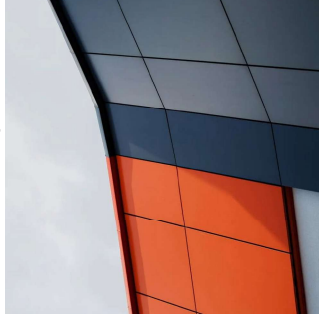
EXAMPLE MATERIAL 03

Pre-coloured powder coated steel wall cladding



EXAMPLE MATERIAL 04

Pre-coloured powder coated steel wall cladding



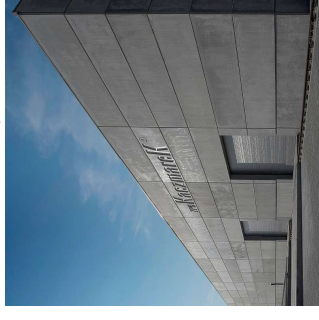
EXAMPLE MATERIAL 05

Aluminium cladding



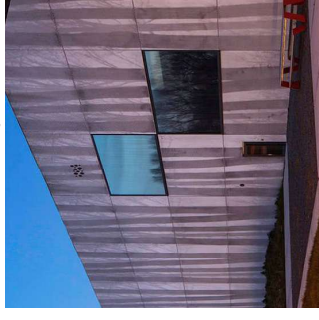
EXAMPLE MATERIAL 06

Aluminium cladding and glass combination



EXAMPLE MATERIAL 07

Light weight precast concrete facade panel



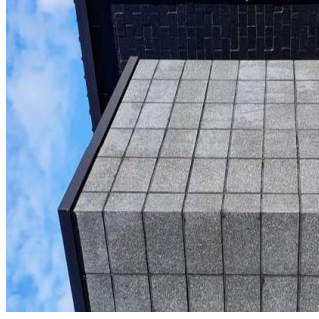
EXAMPLE MATERIAL 08

Precast concrete decorative panel



EXAMPLE MATERIAL 09

Precast concrete decorative panel



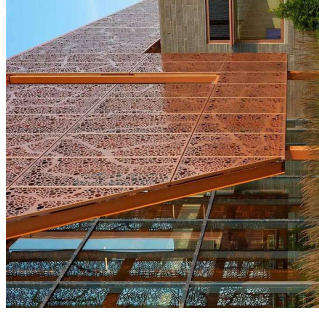
EXAMPLE MATERIAL 10

Stack bond concrete block with exposed aggregate or honed finish



EXAMPLE MATERIAL 11

Precast concrete tilt slab with decorative timber or similar texture



EXAMPLE MATERIAL 12

Corten steel or anodised aluminium decorative facade panels

3. ARCHITECTURAL - COLOURS & REFLECTIVITY

3.7 ACCEPTABLE COLOUR & REFLECTIVITY RANGE

The range of colours on this page are permitted for use on the external facades, roofs and joinery within Wairakei South Industrial areas.

For external facades and vertical building elements, only materials with a Light Reflectivity Value (LRV) of 60 or less are permitted on all walls, and LVR of 75 or less are permitted on roofs and joinery.

** Bright primary, secondary or corporate colours are permitted on the facades of industrial buildings, but cannot exceed 30% of any facade face. It is recommended that these colours are restricted to the office or entry components of buildings. These are not permitted on roof or horizontal elements.*

Roof & Window Frame Elements Only	LRV 74	Dulux Colorsteel® Cloud	LRV 48	Dulux Colorsteel® Stonepeak Matte	LRV 12	Dulux Colorsteel® Thunder Grey	LRV 9	Dulux Colorsteel® Slate	LRV 25	Dulux Colorsteel® Mist Green
Roof & Window Frame Elements Only	LRV 68	Dulux Colorsteel® Titania	LRV 27	Dulux Colorsteel® Sandstone Grey	LRV 34	Dulux Colorsteel® Sandbar	LRV 8	Dulux Colorsteel® Ironsand	LRV 7	Dulux Colorsteel® Flax Pod / Flax Pod Matte
Roof & Window Frame Elements Only	LRV 66	Dulux Colorsteel® Sandscape	LRV 11	Dulux Colorsteel® Denim Blue	LRV 28	Dulux Colorsteel® Lichen	LRV 7	Dulux Colorsteel® Windsor Grey	LRV 5	Dulux Colorsteel® Ebony
	LRV 51	Dulux Colorsteel® Gull Grey	LRV 10	Dulux Colorsteel® Grey Friars	LRV 13	Dulux Colorsteel® Tidal Drift Matte	LRV 8	Dulux Colorsteel® Karaka	 Limited Use Only*	

3. ARCHITECTURAL - SIGNAGE

3.8 SIGNAGE

All developments should have identification signage on the street at the visitor entry point.

Signage should be in the form of a 'blade' sign without visible posts.

The following rules are in accordance with the Western Bay of Plenty District Council current Operative District Plan:

PROVISION 4D 3.3.1 - PERMITTED ACTIVITIES

Any site signs shall not exceed any combination of the following:

- a. One freestanding sign not exceeding 10m in height, and up to 2m in width.
- b. One freestanding sign not exceeding 3m in height and 2m in width for every 30 linear metres of road frontage.
- c. Signs, whether painted or attached, covering up to 30% of each wall of the building, within the profile of the building.

Except that:

- d. Where a boundary of a Commercial or Industrial property adjoins or faces (ie. across a street from) an existing or proposed reserve or a land use that is not commercial or industrial, signs on that property boundary shall be limited to a maximum area of 6m²

PROVISION 4D 5.1.2 - LOCATION OF SIGNS

Except where specifically provided for, no sign shall be located within a legal road reserve nor on land other than that occupied by the activity to which the sign relates.

Yard requirements relating to buildings/structures shall not apply.

Signs shall be sited such that they do not restrict visibility to and from intersections and property accesses.

PROVISION 4D 5.1.3 - SIGN HEIGHT

Except where otherwise stated by a rule within this document, the maximum height of any sign not the subject of separate resource consent shall be the same as that applying to buildings/structures within the industrial land in which the property concerned is located.

PROVISION 4D 5.1.6 - ILLUMINATION OF SIGNS

- a. The following performance standards shall be met by all: Shall be constructed to comply with the following levels of luminance:
 - Daytime: 25 lux
 - Night-time: 10 lux
- b. With the exception of neon and side emitting fibre optic signs, no light source used for the sign shall be visible from any adjoining site including roads and reserves.



3. ARCHITECTURAL - EXTERIOR & LIGHTING

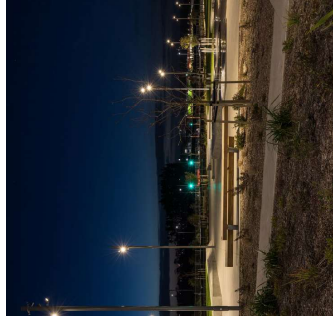
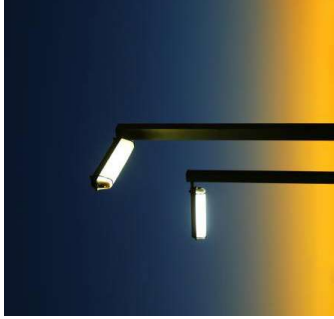
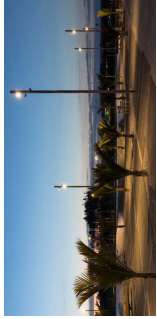
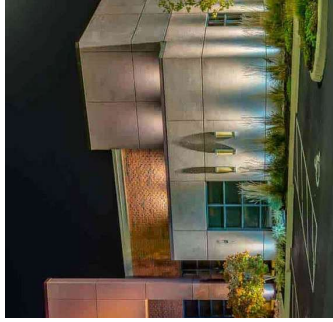
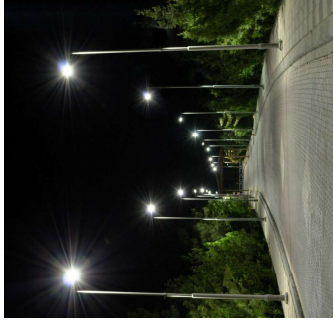
3.9 EXTERIOR LIGHTING

CPTED principles are to be applied to the lighting design for all external and publicly accessible site areas.

Loading yards, car parking and building entry areas should be adequately lit to ensure good visibility and clear face recognition, thereby ensure safe and comfortable use.

Light standards or poles (where used) should be powder coated or 2 pot epoxy painted in a colour to match fencing.

Use of feature or accent lighting is promoted adjacent to building and site entry points.



3. ARCHITECTURAL - CPTED

Crime Prevention Through Environmental Design (CPTED) is a crucial approach for enhancing the safety and security of industrial building developments.

3.10 KEY CPTED CONSIDERATIONS

Surveillance

- **Maximize Visibility:** Design buildings and site layouts to allow clear lines of sight to and from the building, parking areas, and surrounding streets.
- **Windows and Glass:** Use ample windows and glass doors to increase visibility both inside and outside the building.
- **Lighting:** Ensure adequate lighting for all areas, including entrances, exits, walkways, and parking areas to deter criminal activity and increase visibility at night.
- **Landscaping:** Keep landscaping trimmed and avoid planting tall bushes or trees that can create hiding spots or obscure views.

Access Management

- **Defined Entrances and Exits:** Clearly mark and control the number of entry and exit points to limit unauthorised access.
- **Fencing and Gates:** Use secure fencing and gates to control access to the site, especially in high-risk areas.
- **Pathways:** Design pathways to guide people to intended entrances and away from private or sensitive areas.
- **Signage:** Use clear, informative signage to direct visitors and employees to appropriate areas while discouraging access to restricted zones.

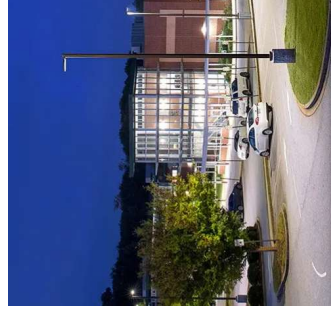
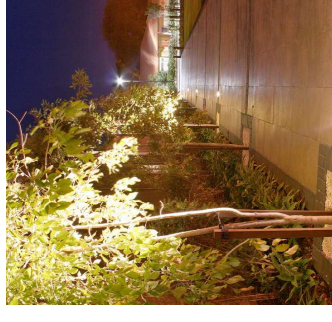
Territorial Reinforcement

- **Security Hardware:** Install robust locks, alarms, and security cameras to protect the building and its assets.
- **Reinforced Entrances:** Use strong, durable materials for doors, windows, and entry points to prevent break-ins.

- **Controlled Access Systems:** Implement keycard or biometric access systems to limit entry to authorized personnel only.

Quality Environment

- **Regular Maintenance:** Keep the property clean and well-maintained to convey a sense of order and vigilance.
- **Rapid Repair:** Promptly address any signs of vandalism or damage to prevent the area from appearing neglected or abandoned.
- **Security Patrols:** Consider regular security patrols, especially in larger developments or high-risk areas.



For further CPTED information refer to:

<https://environment.govt.nz/publications/national-guidelines-for-crime-prevention-through-environmental-design-in-new-zealand/>

4. LANDSCAPE - SITE BOUNDARY FENCING

4.1 FRONT, SIDE AND REAR BOUNDARY FENCING

Fencing locations, extents and heights are to be in accordance with the specific rules framework prepared specifically for the industrial land within the Wairakei South Development.

The following front, side & rear boundary fencing types are permitted.

1. Boundaryline Axis Aluminium Fence (or Similar*)

Height: 1.2m high

Location: Front fencing within 5m of the front site boundary shall be permeable, with a maximum 1.2m in height.

2. Boundaryline SentryPanel Rod Top Fence (or Similar*)

Height: 2m high

Location: Side boundary fencing along laneway should be permeable with a maximum height of 2m.

3. Boundaryline ColourPanel Classic Fence (or Similar*)

Height: 2m high

Location: Rear boundary fencing and side boundary fencing between lots shall be solid with a maximum height of 2m.

4. Boundaryline SleekWall Fence (or Similar*)

Height: 2m high

Location: Rear boundary fencing and side boundary fencing between lots shall be solid with a maximum height of 2m.

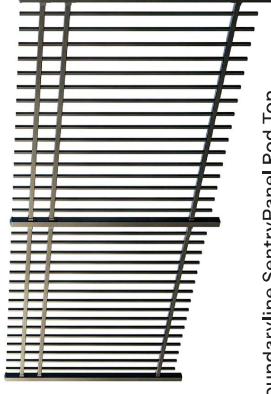
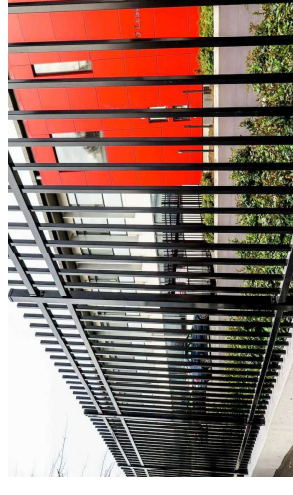
5. Specific Fencing Requirements (Resource Consent)

Specific fencing designs may be required as part of a resource consent process, to mitigate activities such as noise (e.g. acoustic fencing), these will be reviewed on a case by case basis when submitted along with any associated consent conditions for reference to the Development Controller for approval.

***Alternative products are allowed if they are consistent with design controls and above. Alternatives are to be noted and put forward to development controller for approval.**



Boundaryline Axis



Boundaryline SentryPanel Rod Top



Boundaryline ColourPanel Classic



Boundaryline SleekWall

4. LANDSCAPE - PLANTING SPECIES

4.2 SPECIMEN TREES

BOTANICAL NAME	COMMON NAME	MATURE HEIGHT	SPREAD
Acer x freemanii 'Jeffers Red'	Freeman Maple	15m	9m
Alectryon excelsus	Titoki	9m	6m
Carpinus betulus 'Fastigiata'	Upright Hornbeam	9m	4m
Cornus 'Eddies White Wonder'	White Flowering Dogwood	8m	5m
Ginkgo biloba 'Fastigiata'	Fastigiata Maidenhair Tree	12m	3m
Knightsia excelsa	Rewarewa	15m	3m
Prunus x serrulata 'Tai Haku'	Great White Cherry	8m	6m
Prunus x yedoensis 'Te Mara'	Yoshino Cherry	6m	5m
Quercus robur 'Fastigiata'	Upright English Oak	15m	4m
Sophora microphylla	Kōwhai	8m	5m

4.3 HEDGE SPECIES

BOTANICAL NAME	COMMON NAME	MATURE HEIGHT	SPREAD
Corokia 'Geentys Green'	Korokio	3m	2m
Griselinia littoralis	Kapuka	6m	2.5m
Photinia 'Red Robin'	Upright Hornbeam	4.5m	3m
Pittosporum tenuifolium	Kohuhu	6m	3m



Acer x freemanii
'Jeffers Red'



Alectryon excelsus



Carpinus betulus
'Fastigiata'



Cornus 'Eddies White
Wonder'



Ginkgo biloba
'Fastigiata'



Knightsia excelsa



Prunus serrulata 'Te
Mara'



Prunus x yedoensis 'Te
Mara'



Quercus robur
'Fastigiata'



Sophora microphylla



Corokia 'Geentys
Green'



Griselinia littoralis



Photinia 'Red Robin'



Pittosporum
tenuifolium

4. LANDSCAPE - PLANTING SPECIES

4.4 LOW GROUND COVER SPECIES

BOTANICAL NAME	COMMON NAME	MATURE HEIGHT	SPREAD
Carex testacea	Swamp Sedge	0.6m	0.6m
Carex virgata	Speckled Sedge	1m	0.75m
Ceanothus Blue Sapphire	California Lilac	1.5m	0.75m
Choisya ternata 'Aztec Pearl'	Mexican Orange Blossom	1.5m	1.5m
Coprosma 'Hawera'	Hawera Sand Coprosma	0.5m	1.5m
Coprosma repens 'Poor Knight'	Taupata	0.5m	1m
Coprosma robusta	Karamu	3m	2m
Dianella caerulea 'Little Jess'	Little Jess Dianella	0.5m	0.5m
Dianella nigra	Tūrutu	0.5m	0.5m
Diets grandiflora	Fortnight Lily	1m	0.75m
Juncus australis	Leafless Rush	1m	0.75m
Libertia peregrinans	Creeping Iris	0.5m	0.5m
Lobelia angulata	Penakenake	0.1m	1m
Lomandra 'White Sand'	White Lomandra	0.75m	0.75m
Lomandra longifolia 'Nyalla'	Green Lomandra	1m	1m
Loropetalum chinese 'Fire Dance'	Chinese Fringe Flower	1.2m	1.2m
Metrosideros collina 'Tahiti'	Pohutukawa Tahiti	1m	1m
Muehlenbeckia complexa	Small-Leaved Pohuehue	0.5m	1.5m
Phormium 'Emerald Green'	Dwarf Mountain Flax	0.75m	0.75m
Viburnum davidii	Viburnum	1.2m	1.2m



Carex testacea



Carex virgata



Ceanothus 'Blue Sapphire'



Choisya ternata 'Aztec Pearl'



Coprosma 'Hawera'



Coprosma repens 'Poor Knight'



Coprosma robusta



Dianella caerulea 'Little Jess'



Dianella nigra



Diets grandiflora



Juncus australis



Libertia peregrinans



Lobelia angulata



Lomandra 'White Sand'



Lomandra longifolia 'Nyalla'



Loropetalum chinese 'Fire Dance'



Metrosideros collina 'Tahiti'



Muehlenbeckia complexa



Phormium 'Emerald Green'



Viburnum davidii

5. DISTRICT PLAN PROVISIONS

5.1 HEIGHT AND DAYLIGHTING

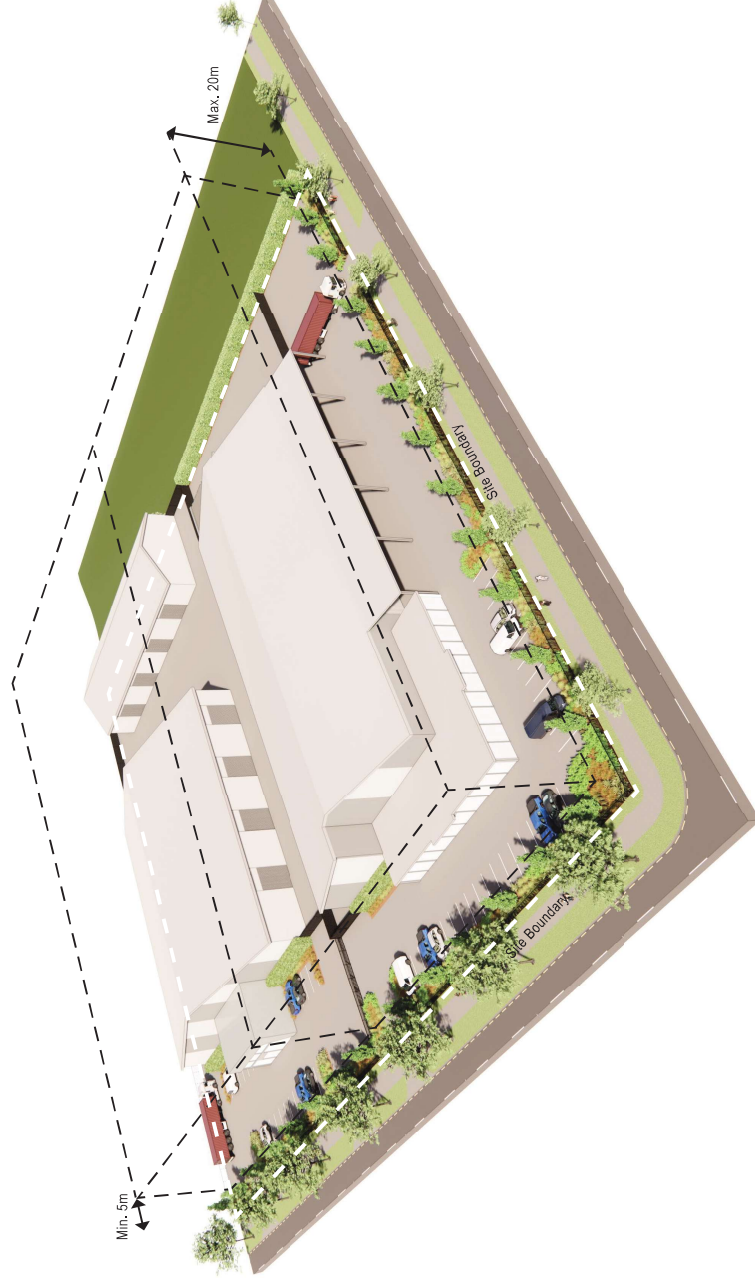
The following are in accordance with the development rules framework prepared specifically for the industrial land within the Wairakei South Development.

PROVISION 21.4.1 A. HEIGHT AND DAYLIGHTING

Maximum height of all buildings/structures - 20m unless shown as a specific height on the height setback plan.

Stepped height setbacks are allowed along boundaries with stormwater reserves with residential and/or rural land on opposite adjacent site boundaries. This is to be in the form of a 12m height / 5m width from boundary.

A landscape strip is required adjacent to internal development roads in accordance with clause 21.4.1 c.



5. DISTRICT PLAN PROVISIONS

5.2 YARDS AND SETBACKS

The following are in accordance with the development rules framework prepared specifically for the industrial land within the Wairakei South Development.

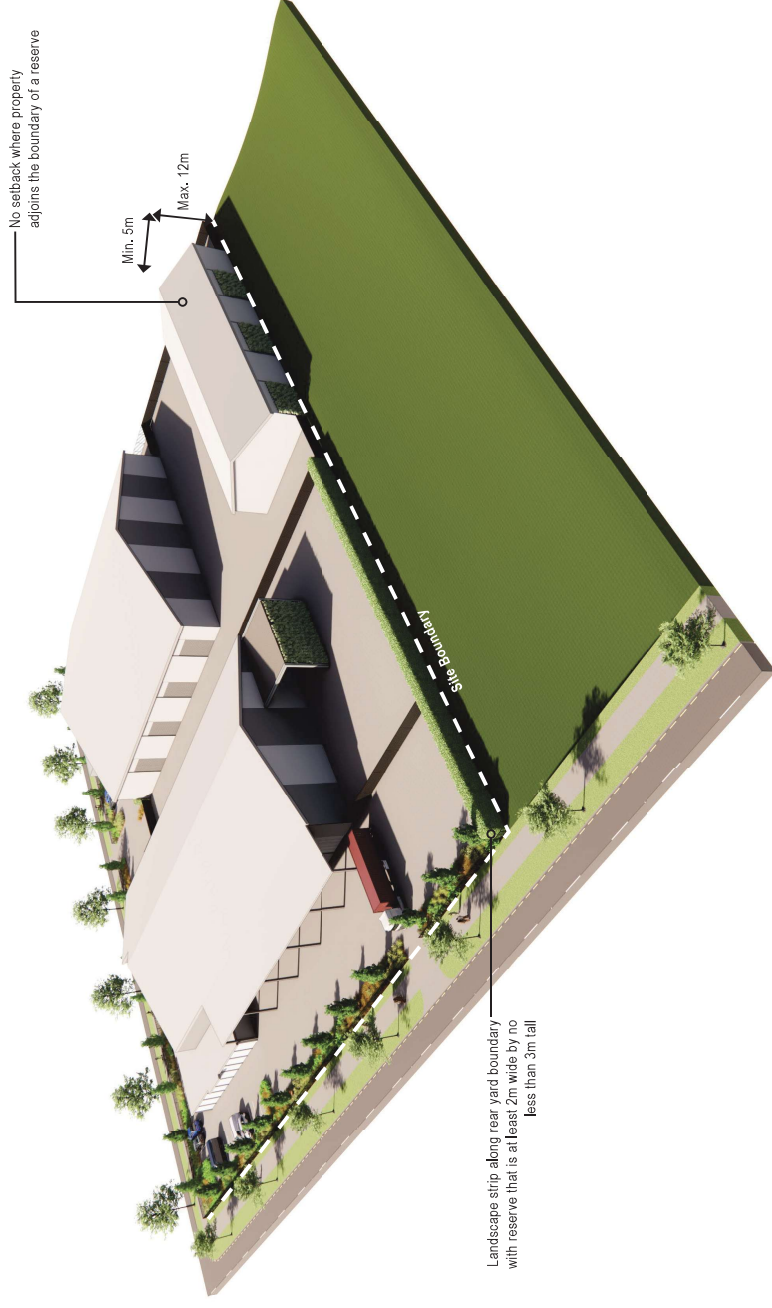
PROVISION 21.4.1 B. YARDS AND SETBACKS

Where a property adjoins a residential site or any area to be developed as a reserve the following should apply:

- Minimum of 5m setback where property adjoins residential site, with at least 2m of this planted with a landscape strip for screening that is at least 3m tall.

And/or

- No setback where property adjoins the boundary of a reserve as long as height and daylight provisions from clause 21.4.1 a, and visual amenity and streetscene provisions from clauses 21.4.1 c ii and iii are met.



5. DISTRICT PLAN PROVISIONS

5.3 STREET SETBACKS AND STORAGE

The following are in accordance with the development rules framework prepared specifically for the industrial land within the Wairakei South Development.

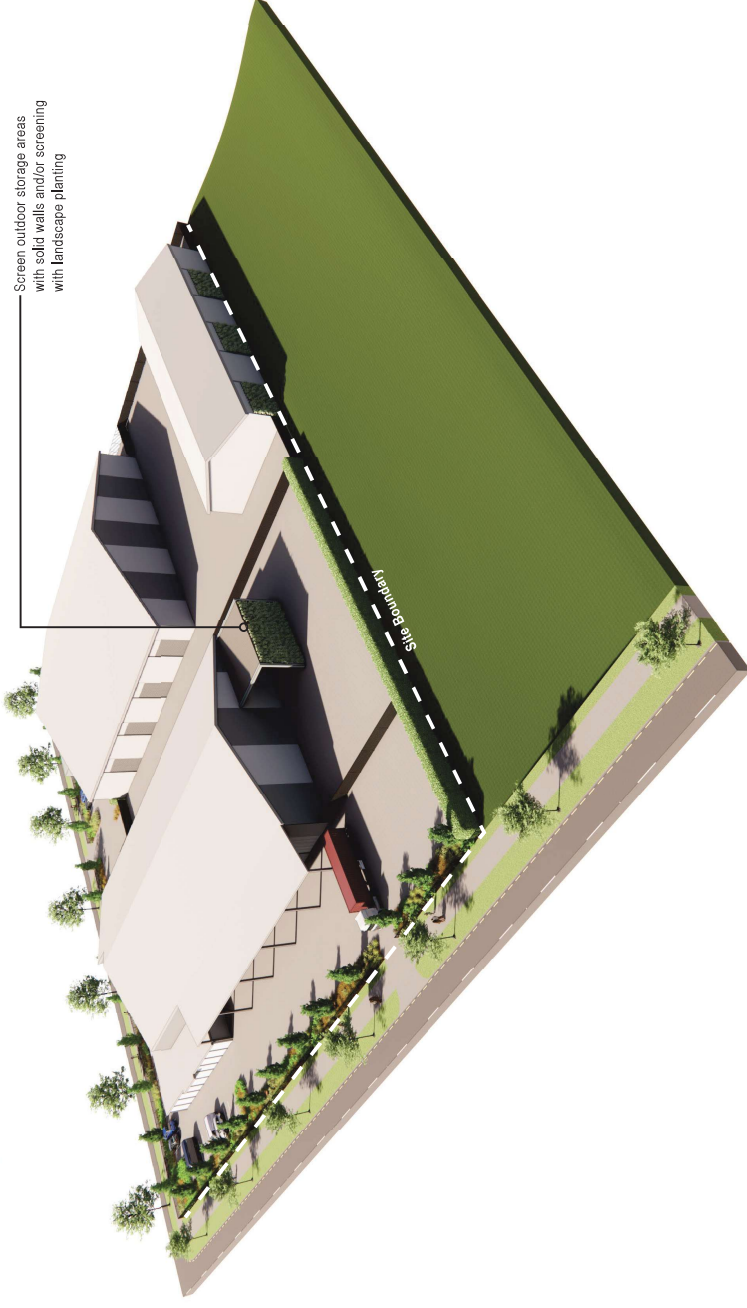
Streetscene performance standards apply to the following areas:

All secondary arterial roads, collector roads, local industrial roads, or a site boundary adjacent to the Tauranga Eastern Link, or Bell Road, (including a boundary which is separated from the above by any reserve, incl. stormwater reserve).



PROVISION 21.4.1 C. VISUAL AMENITY - STREETSCENE

- i. All buildings/structures shall be set back a minimum of 5m from the road boundary;
- ii. Loading and unloading, or outdoor storage activities shall be set back behind a line perpendicular to the nearest part of any building to the boundary with the road. Outdoor storage areas shall be screened from public view and other properties by way of a solid wall of not less than 2m in height and/or a landscape planting to a minimum depth of 2m and a minimum height of not less than 3m. Such screening is to be maintained in good order at all times;



5. DISTRICT PLAN PROVISIONS

5.4 EXTERIOR WALLS FACING STREET

The following are in accordance with the development rules framework prepared specifically for the Industrial land within the Wairakei South Development.

Streetscene performance standards apply to the following areas:

All secondary arterial roads, collector roads, local industrial roads, or a site boundary adjacent to the Tauranga Eastern Link, or Bell Road, (including a boundary which is separated from the above by any reserve, incl. stormwater reserve).

PROVISION 21.4.1 C. VISUAL AMENITY - STREETSCENE (CONT.)

- iii. In respect of any exterior wall that faces the road, or any reserve, or residential sites, and which is greater than 150m² in face area, provision shall be made for at least two of the following design features:
 - A step of protrusion in the wall of at least 2m in depth and 4m in height;
 - Doors and windows that cover at least 20% of the wall;
 - A variation of surface texture or material with at least 20mm relief from the wall that covers at least 30% of the wall;
 - Vegetation in the form of vines and other climbing plants attached to the wall, or free standing plantings that screen at least 50% of the wall;

For the purposes of clause iii. Above, a wall is considered to 'face' a boundary if the outside face of the wall is parallel to, or at an angle of 45 degrees or less to the boundary. This includes any sides of buildings where they front onto an adjoining road.

All street facing walls to have variation and interest to architectural form and materials



5. DISTRICT PLAN PROVISIONS

5.5 FRONT ENTRANCES AND PLANTING

The following are in accordance with the development rules framework prepared specifically for the industrial land within the Wairakei South Development.

Streetscene performance standards apply to the following areas:

All secondary arterial roads, collector roads, local industrial roads, or a site boundary adjacent to the Tauranga Eastern Link, or Bell Road, (including a boundary which is separated from the above by any reserve, incl. stormwater reserve).

PROVISION 21.4.1 C. VISUAL AMENITY - STREETSCENE (CONT.)

- iv. Front entrances to buildings shall face towards the main vehicle entrances on the site;
- v. Specimen tree planting shall be provided on sites adjoining the road boundary at the rate of 1 tree for every 10m (lineal) of road frontage or fraction thereof. The required trees shall be located in the area within 5m of the front boundary of the site with the road;
- vi. At least 50% of the 5m setback depth required by clause i. above shall be landscaped in the form of shrubs and groundcover species.



5. DISTRICT PLAN PROVISIONS

5.5 PARKING AND FENCING

The following are in accordance with the development rules framework prepared specifically for the industrial land within the Wairakei South Development.

Streetscene performance standards apply to the following areas:

All secondary arterial roads, collector roads, local industrial roads, or a site boundary adjacent to the Tauranga Eastern Link, or Bell Road, (including a boundary which is separated from the above by any reserve, incl. stormwater reserve).

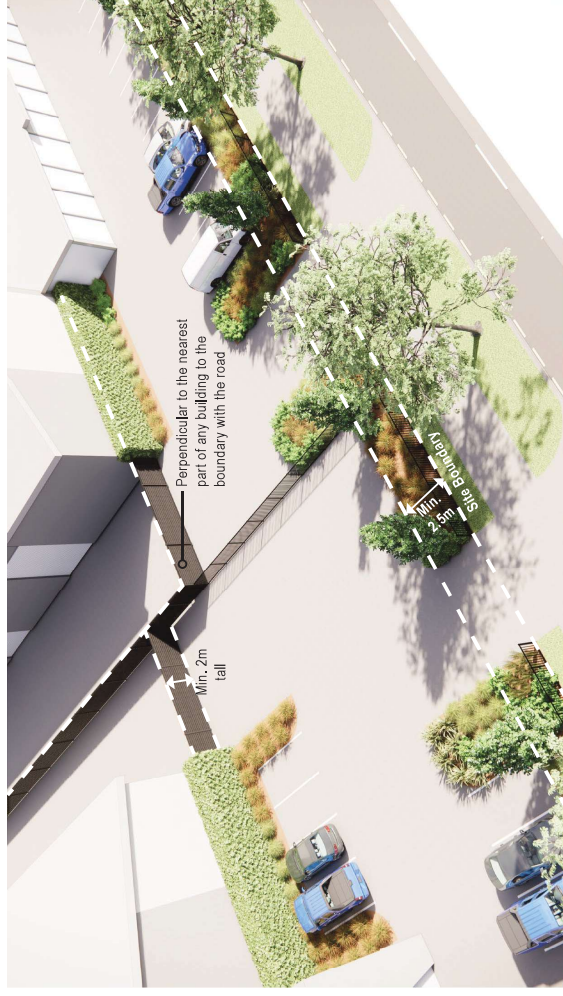
Fencing within 5m from boundary shall not exceed 1.2m tall, but does not need to run along boundary, and can be set back within landscape planting strip if desired



PROVISION 21.4.1 C. VISUAL AMENITY - STREETSCENE (CONT.)

vii. No more than five vehicle parking spaces may be located within the 5m setback required by clause i. above, except where continuous landscape planting to screen the carparks is located between the road and the carparks, and this landscaping achieves a height of 1m across the front of the carparks;

viii. Fences shall not exceed 1.2m in height within 5m of any front boundary, with a maximum height of 2m along the remainder of sides and rear boundaries, unless otherwise specified as part of a resource consent process, or proven as a specific industry standard requirement.






5. DISTRICT PLAN PROVISIONS

5.6 FRONTAGE TYPE REFERENCE PLAN

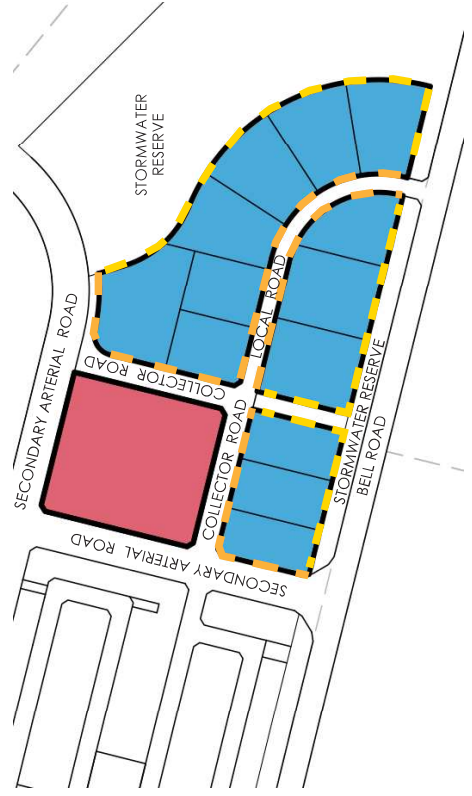
This plan highlights the main external boundaries for each block of industrial lots where they are adjacent streets or reserves, and can be used as a guide for what provisions apply to each boundary for setbacks, access, planting and fencing treatments, etc.

Internal boundaries are subject to change, so not highlighted in the adjoining plan, but fencing and daylighting rules still apply.

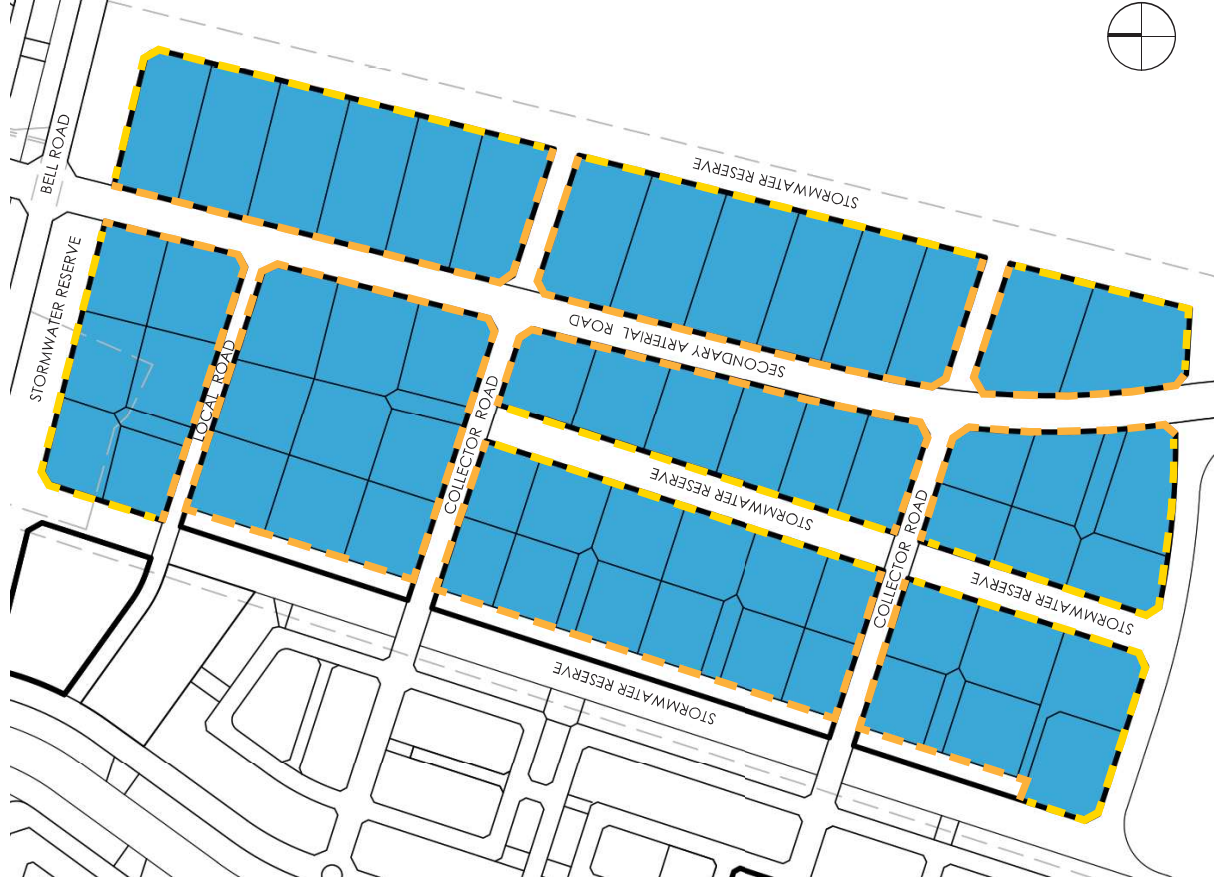
LEGEND

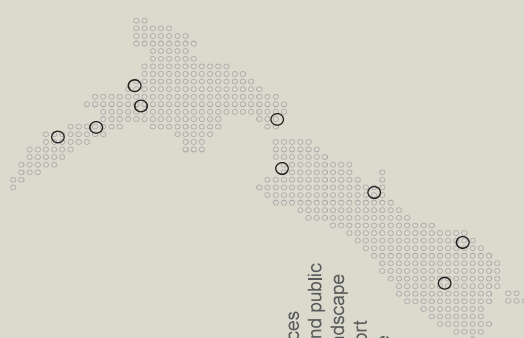
-  INDUSTRIAL LAND
-  SERVICE CENTRE (2.2ha)
-  STREETSCENE BOUNDARY INTERFACE
-  RESERVE BOUNDARY INTERFACE

NORTH INDUSTRIAL BLOCK PLAN



SOUTH INDUSTRIAL BLOCK PLAN





Together. Shaping Better Places.

Boffa Miskell is a leading New Zealand environmental consultancy with nine offices throughout Aotearoa. We work with a wide range of local, international private and public sector clients in the areas of planning, urban design, landscape architecture, landscape planning, ecology, biosecurity, Te Hihiri (cultural advisory) engagement, transport advisory, climate change, graphics and mapping. Over the past five decades we have built a reputation for creativity, professionalism, innovation and excellence by understanding each project's interconnections with the wider environmental, social, cultural and economic context.

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